

Reviewed per VA Residential Code 2015
 Insulation and Fenestration values:
 Walls R-15
 Crawl R-19
 Attic R-38
 UMAX = 0.35

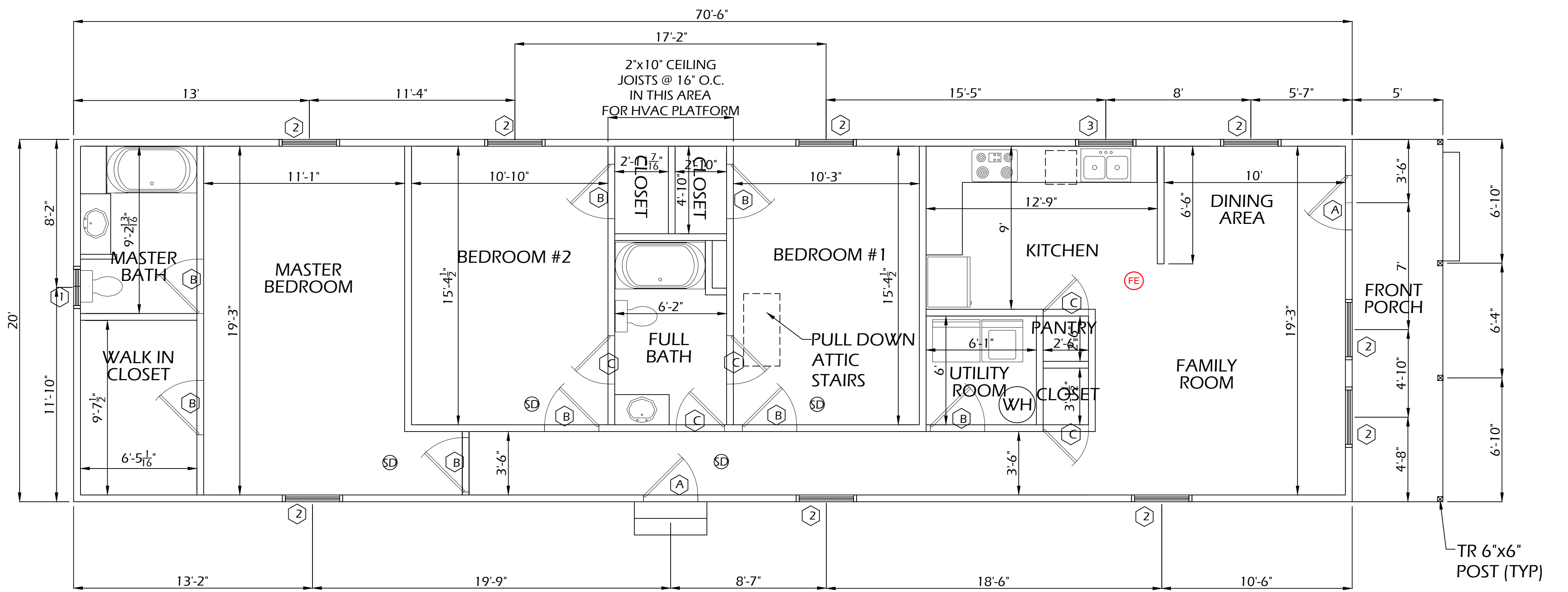
DOOR SCHEDULE

| MARK | DESCRIPTION | QUAN |
|------|--------------------------------|------|
| (A) | 3'0" x 6'8" HM EXTERIOR DOOR | 2 |
| (B) | 3'0" x 6'8" WOOD INTERIOR DOOR | 7 |
| (C) | 2'8" x 6'8" WOOD INTERIOR DOOR | 5 |

WINDOW SCHEDULE

| MARK | DESCRIPTION | QUAN |
|------|--------------------------------|------|
| (1) | 2'0"x2'8" VINYL CLAD DH WINDOW | 1 |
| (2) | 3'0"x4'6" VINYL CLAD DH WINDOW | 8 |
| (3) | 3'0"x2'8" VINYL CLAD DH WINDOW | 1 |

NOTES:
 DOORS AND WINDOWS ARE TO HAVE A U-FACTOR OF 0.35
 A DOUBLE 2"x10" HEADER IS TO BE PROVIDED FOR ALL DOORS AND WINDOWS IN EXTERIOR AND BEARING WALLS EXCEPT WHERE NOTED.
 ALL WINDOWS WITHIN 2 ft (HORIZONTALLY) OF A DOOR IS TO BE TEMPERED SAFETY GLASS.



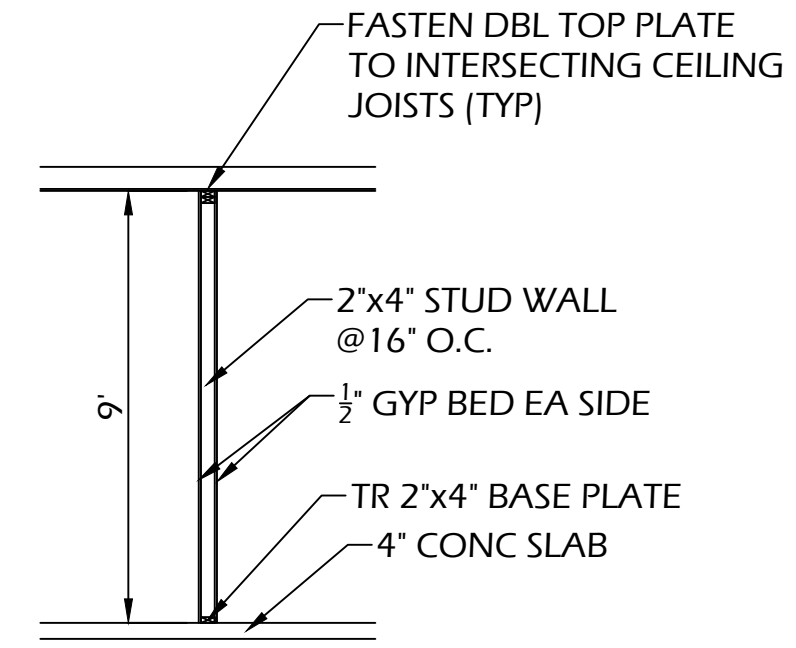
FLOOR PLAN
 1/4" = 1'-0"

GENERAL NOTES :

- 1. OWNER / APPLICANT: GULNORA LLC, 7534 WHITTINGTON DR, CHESTERFIELD, VA 23225, S0080380025
- 2. TAX PARCEL: R-5 - RESIDENTIAL (SINGLE FAMILY)
- 3. ZONING: R-5 - RESIDENTIAL (SINGLE FAMILY)
- 4. WATER: CITY WATER
- SEWER: CITY SEWER
- 5. LAND AREA: 0.366 ACRES

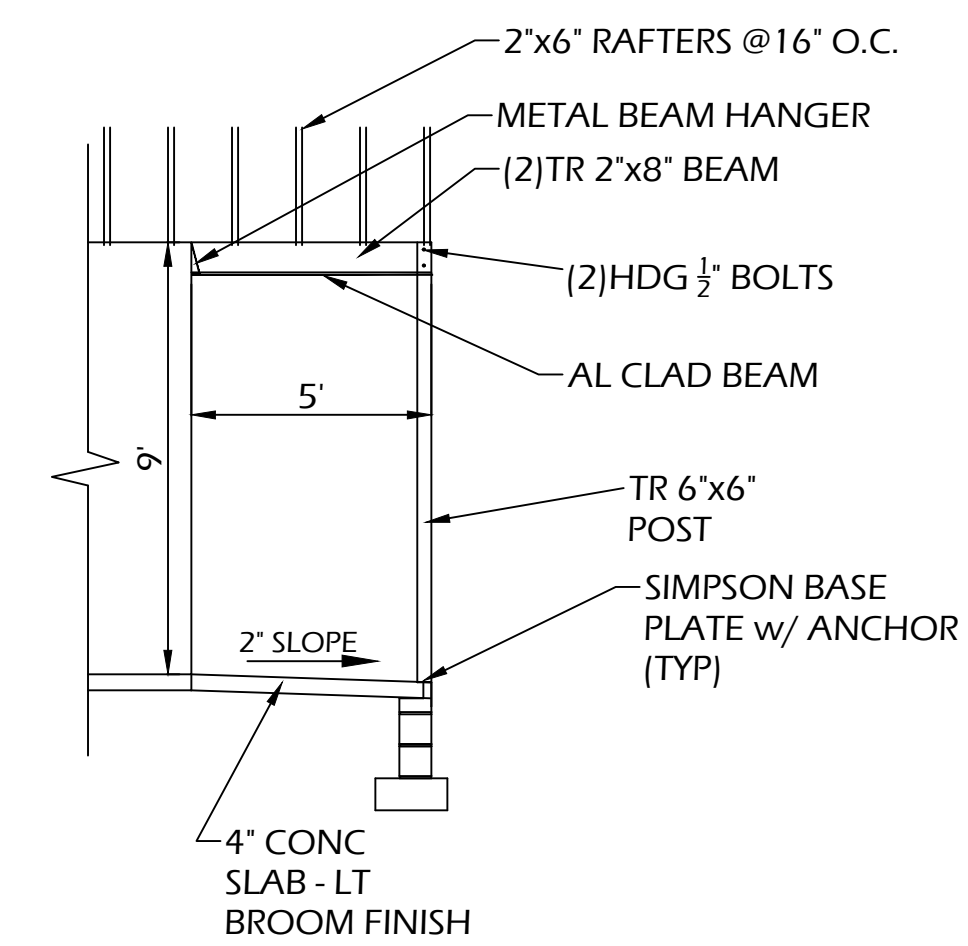
Per Section R310 of the 2015 VA Residential Code, basements, habitable attics, and every sleeping room must have at least one operable emergency escape and rescue opening. The sill height shall be not more than 44" to the bottom of the clear opening. Openings not on grade level shall have a min net clear opening of 5.7 sf. Openings on grade level shall have a min net clear opening of 5 sf. The min clear opening height shall be 24". The min clear opening width shall be 20".

Legend
 SD - Smoke Alarm
 CO - Carbon Monoxide Alarm
 FE - Fire Extinguisher
 EF - Exhaust Fan



TYP PARTITION WALL DETAIL
 1/4" = 1'-0"

SD SMOKE DETECTOR



FRONT PORCH SECTION
 1/4" = 1'-0"

ALL WORK TO BE IN COMPLIANCE WITH 2015 VCC / IRC

| | | | | | | |
|-----|------|----|----------|---------------------------|-------------|----------|
| NO. | DATE | BY | REVISION | SHEET TITLE | PROJECT NO. | |
| | | | | FLOOR PLAN and ELEVATIONS | | SCALE |
| | | | | HOUSE PLAN | | AS SHOWN |
| | | | | GULNORA, LLC | | DATE |
| | | | | PROJECT | DRAWN BY | |
| | | | | JK | | |
| | | | | CHECKED BY | JK | |
| | | | | DRAWING NO. | 011 | |
| | | | | 1 OF 3 SHTS | | |

1901 N PARHAM ROAD
 HENRICO, VA. 23228
 (850) 319-2395
 E-Mail: gulokamalovna@yahoo.com

CONCRETE

- A. CONCRETE SHALL NOT BE PLACED ON FROZEN SOILS, OR UNDER CONDITIONS WHICH WILL ADVERSELY AFFECT STRENGTH.
- B. FOOTING SIZING ASSUMES A MINIMUM ALLOWABLE SOIL BEARING PRESSURE OF 1500 PSF.
- C. CONTRACTOR TO NOTIFY CONSTRUCTION MANAGER IMMEDIATELY IF UNSTABLE/UNSUITABLE SOIL CONDITIONS ARE ENCOUNTERED DURING EXCAVATION.
- D. CONCRETE SHALL BE MINIMUM 3000 PSI AT 28 DAYS COMPRESSIVE STRENGTH.
- E. CONCRETE SHALL BE AIR ENTRAINED IN ALL EXPOSED EXTERIOR APPLICATIONS.
- F. CONCRETE SLABS SHALL BE 4" THICK AND DO NOT REQUIRE WOVEN WIRE MESH REINFORCING UNLESS NOTED OTHERWISE.
- G. PROVIDE 4" #57 STONE BENEATH ALL NEW SLABS, UNLESS NOTED OTHERWISE.
- H. PROVIDE 6 MIL VAPOR BARRIER BETWEEN THE SLAB AND STONE.
- I. ALL FOOTINGS MUST BE A MINIMUM OF 24" BELOW GRADE AND EXTEND TO UNDISTURBED SOIL OR PROPERLY COMPACTED FILL.

MASONRY

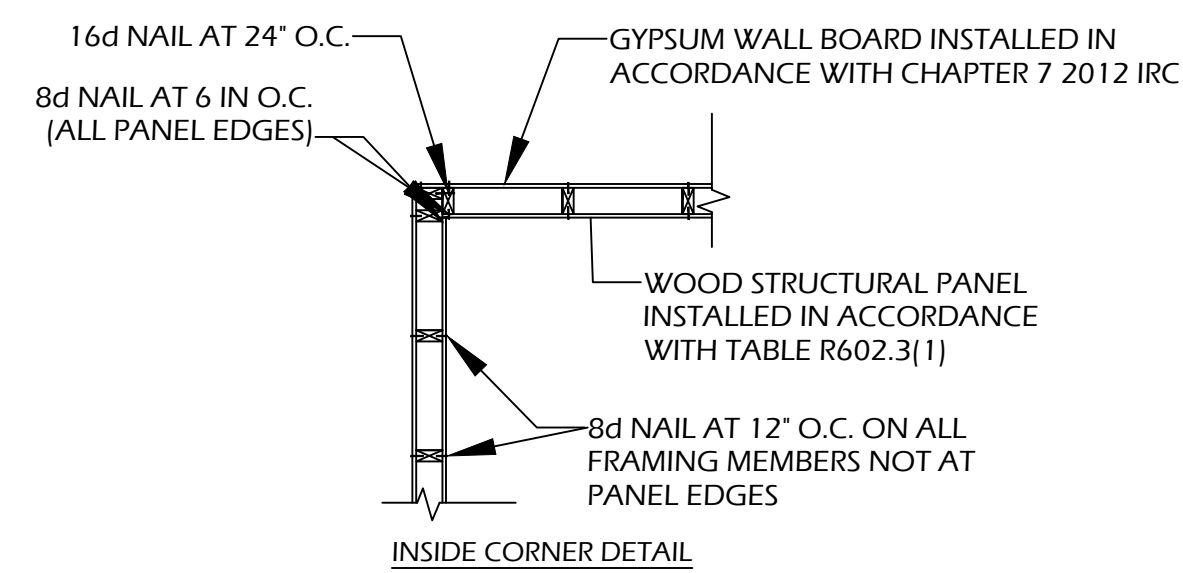
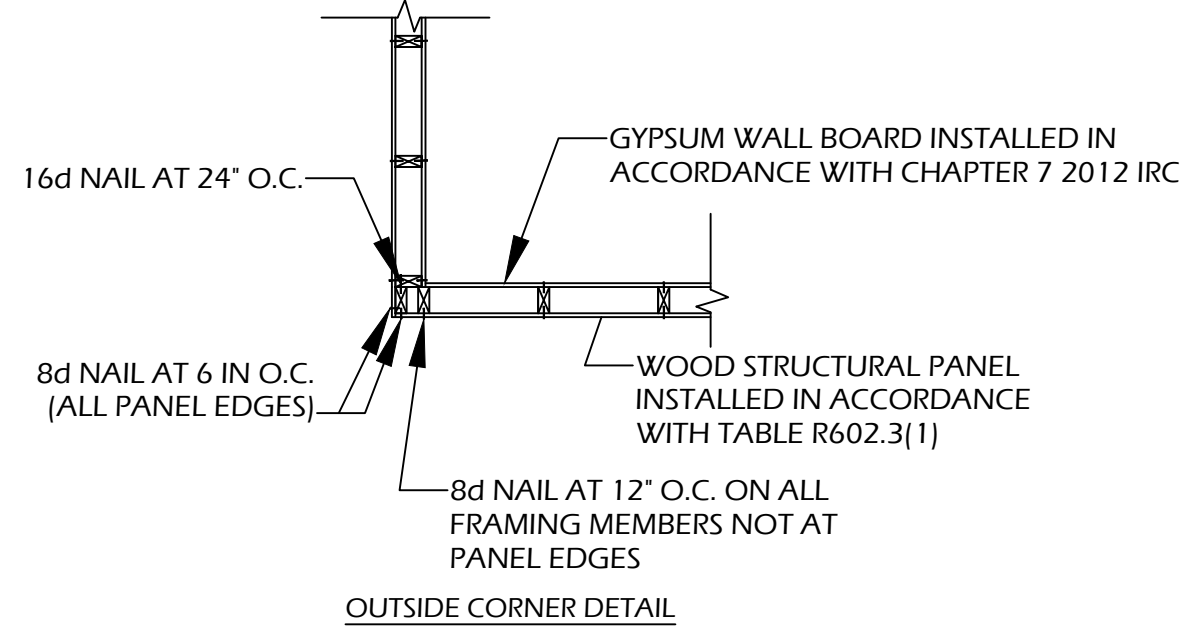
- A. CONCRETE MASONRY UNITS (CMU) SHALL MEET THE FOLLOWING STANDARDS:
 - 1. HOLLOW LOAD BEARING: ASTM C-90
 - 2. SOLID LOAD BEARING: ASTM C-145
 - 3. HOLLOW NON-LOAD BEARING: ASTM C-129
- B. BRICK: TYPE, SIZE, AND BOND TO BE CHOSEN BY OWNER.
- C. MORTAR SHALL BE ASTM C-270 TYPE S, AND NO ADMIXTURE WILL BE ALLOWED. COLOR AN JOINT TYPE TO BE CHOSEN BY OWNER.
- D. CONTRACTOR SHALL SUBMIT SAMPLES OF BRICK AND MORTAR TO THE CONSTRUCTION MANAGER FOR REVIEW AND APPROVAL PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- E. CMU SHALL BE LAID IN RUNNING BOND WITH FLUSH JOINTS.
- F. CMU WALL REINFORCING SHALL BE HOT-DIPPED GALVANIZED TRUSS TYPE REINFORCING, 1" LESS THAN WALL THICKNESS, 16" OC VERTICALLY, LAPPED 6" AND WIRE TIED.
- G. PROVIDE ALL BRICK TIES, HORIZONTAL REINFORCEMENT, FOUNDATION VENTS, LINTELS, AND ACCESSORIES REQUIRED FOR A COMPLETE JOB.
- H. MASONRY FIREPLACES SHALL BE DESIGNED FOR PROPER AIR INTAKE, DRAW, AND CODE COMPLIANCE. INCLUDE DAMPER, CAPS, AND ALL OTHER ACCESSORIES REQUIRED FOR COMPLETE INSTALLATION.

WOOD FRAMING

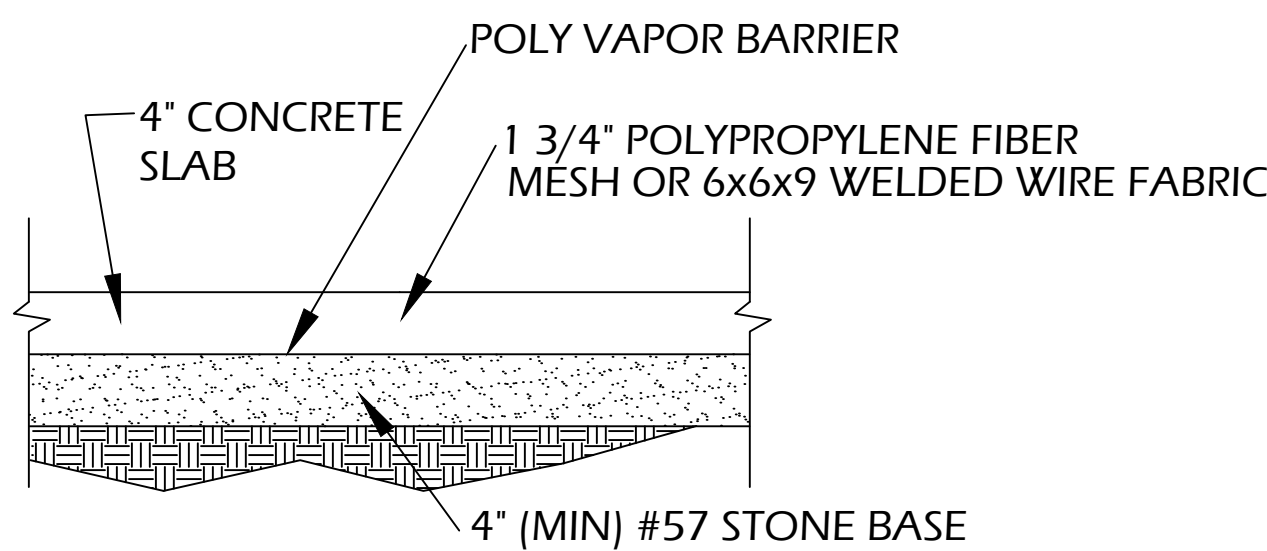
- A. STRUCTURAL FRAMING ANDBLOCKING SHALL BE NO. 2 OR BETTER SOUTHERN YELLOW PINE (19% MAX MOISTURE CONTENT, F = 1200, E = 1,600,000), UNLESS NOTED OTHERWISE.
- B. STUDS SHALL BE GRADE-MARKED 'STANDARD' OR BETTER.
- C. ALL FRAMING WHICH CONTACTS THE GROUND, MASONRY, OR CONCRETE SHALL BE PRESERVATIVE PRESURE TREATED.
- D. LAMINATED VENEER LUMBER (LVL'S) SHALL BE TRUSJOIST'S 1.9E MICROLAM OR APPROVED EQUAL.
- E. LAMINATED STRAND LUMBER (LSL'S) SHALL BE TRUSJOIST'S 1.3E OR 1.5E TIMBERSTRAND OR APPROVED EQUAL.
- F. PARALLEL STRAND LUMBER (PSL'S) SHALL BE TRUSJOIST'S 2.0E PARALLAM OR APPROVED EQUAL.
- G. PRE-FAB. WOOD I-JOISTS SHALL BE TRUSJOIST'S TJI JOISTS OR APPROVED EQUAL.
- H. CONTRACTOR TO PROVIDE FRAME BLOCKING AND BRIDGING AS REQUIRED.
- I. JOIST AND BEAM DESIGN MAX. ALLOWABLE DEFLECTIONS SHALL BE AS FOLLOWED:
 - 1. JOISTS = L/480 (LL)
 - 2. BEAMS = L/360 (LL)
- J. FRAMING ACCESSORIES SHALL BE SIMPSON STRONG-TIE OR APPROVED EQUAL.
- K. SUBFLOORING SHALL BE APA RATED 3/4" STURD-I-FLOOR, T&G EXTERIOR EXPOSURE UNLESS NOTED OTHERWISE.
- L. SUBFLOORING SHALL BE ADHESIVE APPLIED AND NAILED IN PLACE PER MANUFACTURER'S RECOMMENDATIONS.
- M. SUBFLOOR/UNDERLAYMENT UNDER THINSET TIE SHALL BE A MIN. OF 1 1/4" TOTAL THICKNESS PER TCA RECOMMENDATIONS.
- N. ROOF SHEATHING SHALL BE APA SPAN-RATED 7/16" CDX UNLESS OTHERWISE NOTED.
- O. WALL SHEATHING SHALL BE APA SPAN-RATED 5/16" OSB UNLESS OTHERWISE NOTED.
- P. DOUBLE STUDS AT ALL DOOR, WINDOWS, AND CASED OPENING JAMBS.
- Q. FRAMER TO VERIFY DIMENSIONAL LAYOUT WITH CONSTRUCTION MANAGER PRIOR TO SETTING WALLS.

BRACED WALL PANEL DESIGN

CONTINUOUS STRUCTURAL PANEL SHEATHING METHOD TO BE USED PER 2015 IRC.



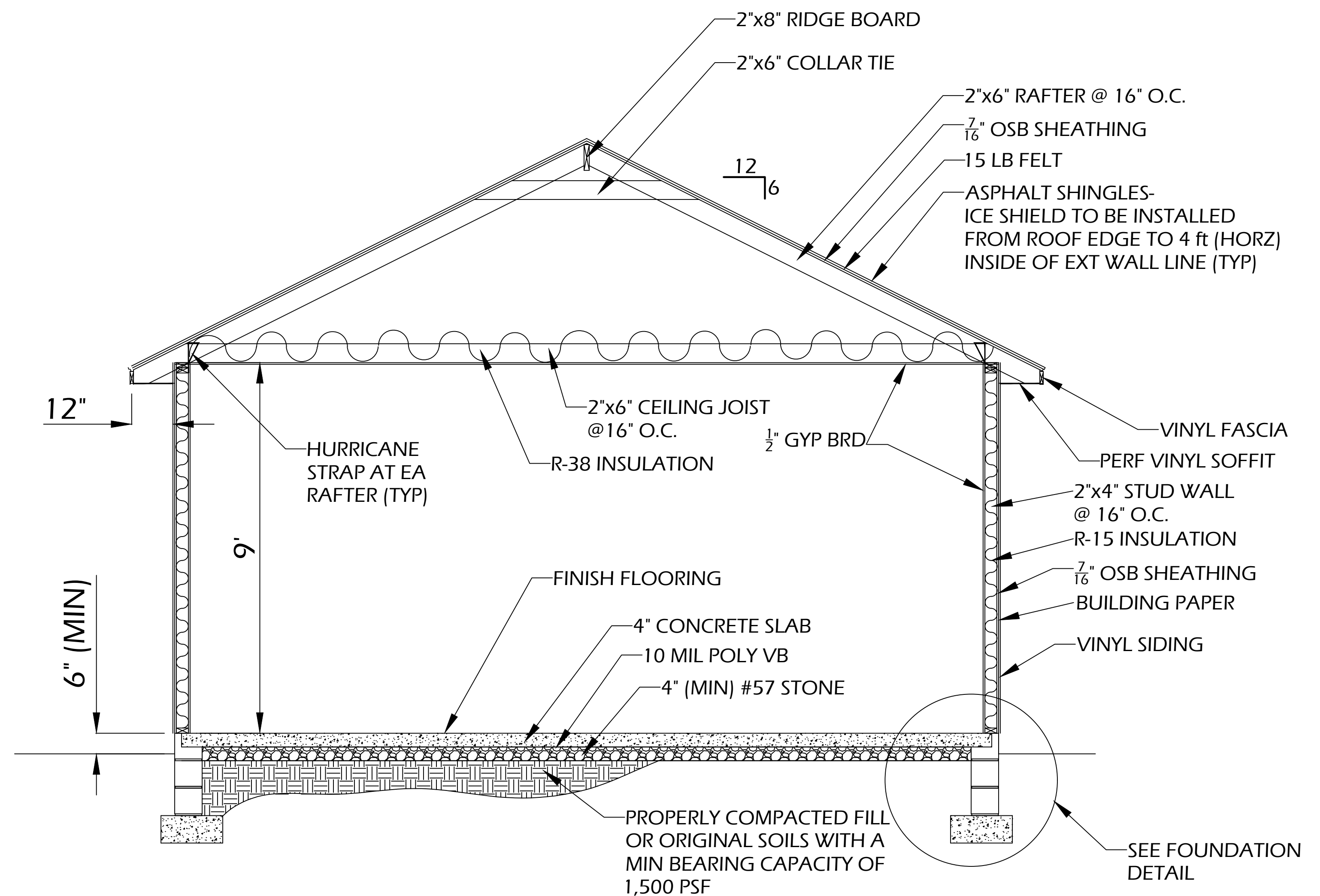
EXTERIOR CORNER FRAMING



4\"/>

NTS

Reviewed per VA Residential Code 2015
 Insulation and Fenestration values:
 Walls R-15
 Crawl R-19
 Attic R-38
 UMAX = 0.35



TYP WALL SECTION

1/2" = 1'-0"

DESIGN LOADS

DESIGN FIRST FLOOR LIVE LOAD : 40 PSF
 DESIGN ROOF LIVE LOAD (SNOW) : 20 PSF
 ULTIMATE DESIGN WIND LOAD Vult (3 SEC GUST) : 115 MPH

ROOF FRAMING PLAN NOTES

| | |
|---|---|
| A | ALL HEADERS SHALL BE 2-2x10 UNLESS OTHERWISE NOTED ON PLAN |
| B | CONTRACTOR SHALL PROVIDE 3 GANG STUDS (G.S.) MINIMUM UNDER ALL BEAMS AND GIRDERS UNLESS OTHERWISE NOTED ON PLAN |
| C | ALL EXTERIOR WALLS SHALL BE SHEARWALL "1" AS PER THE SHEAR WALL SCHEDULE UNLESS OTHERWISE NOTED |

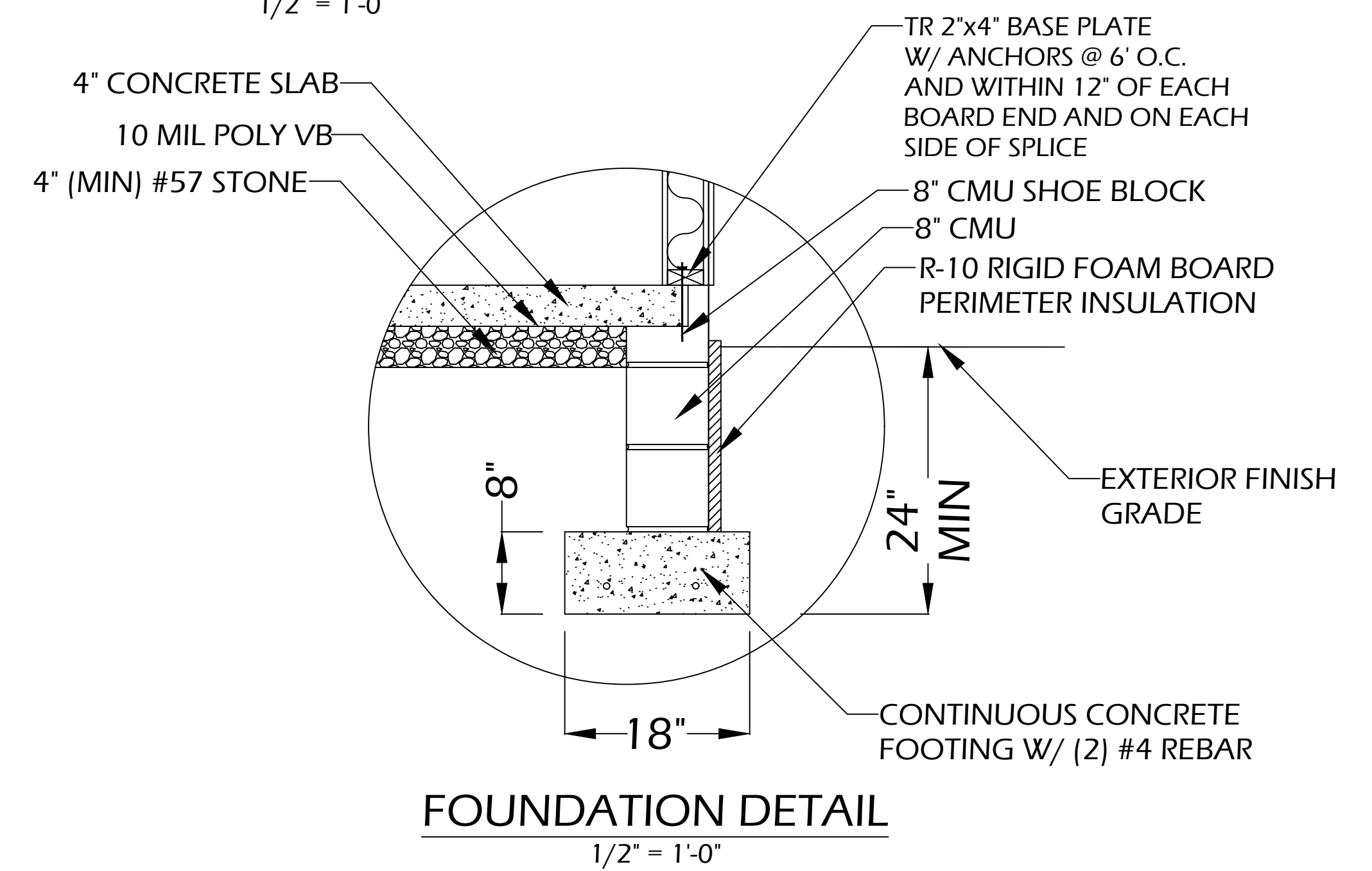
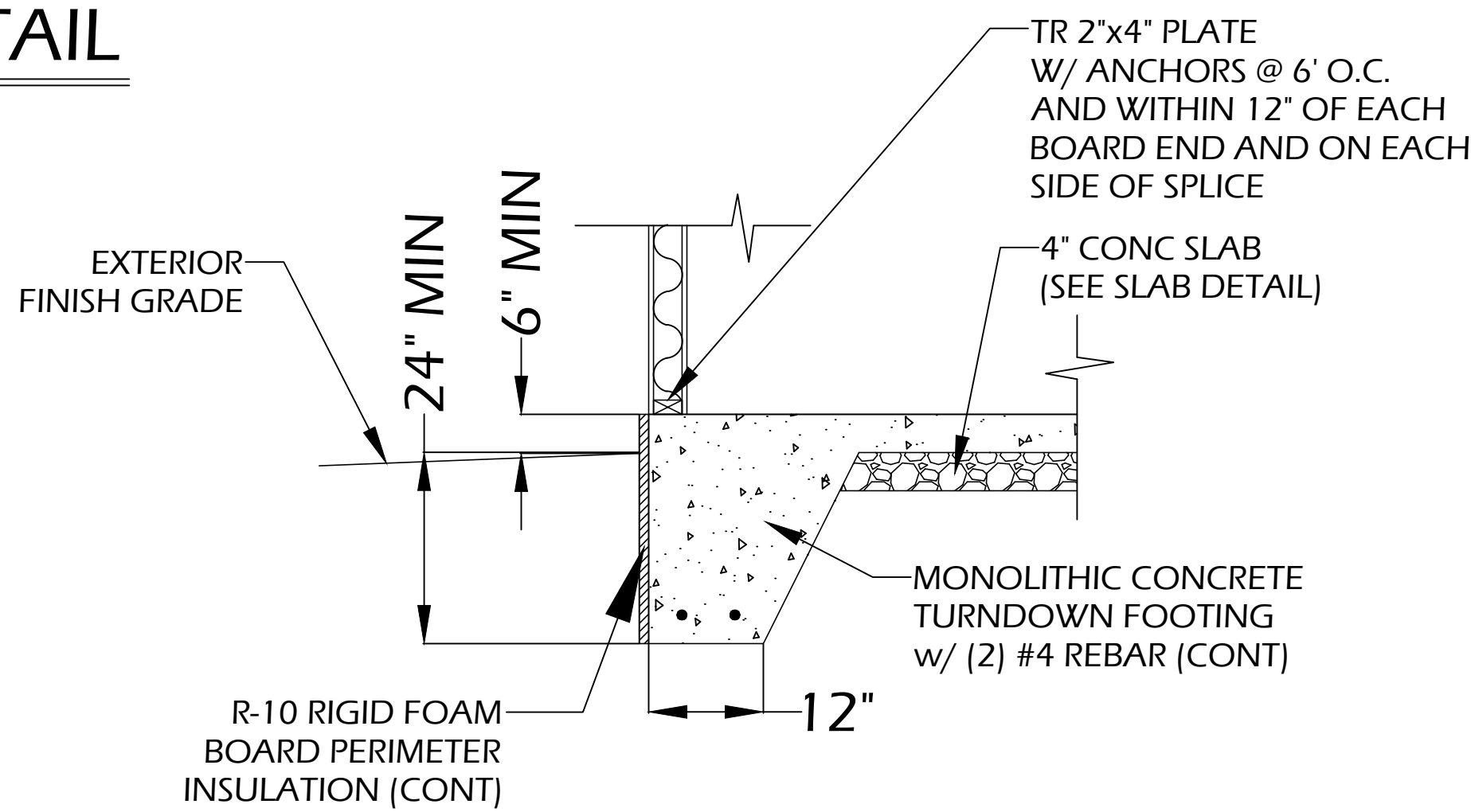
SHEAR WALL SCHEDULE

| MARK | SHEATHING | EDGE NAILING | FIELD NAILING | NAIL TYPE |
|------|--------------------|--------------|---------------|-----------|
| SW-1 | 7/16" OSB ONE SIDE | 6 | 12 | 8d |
| SW-2 | 7/16" OSB ONE SIDE | 4 | 12 | 10d |

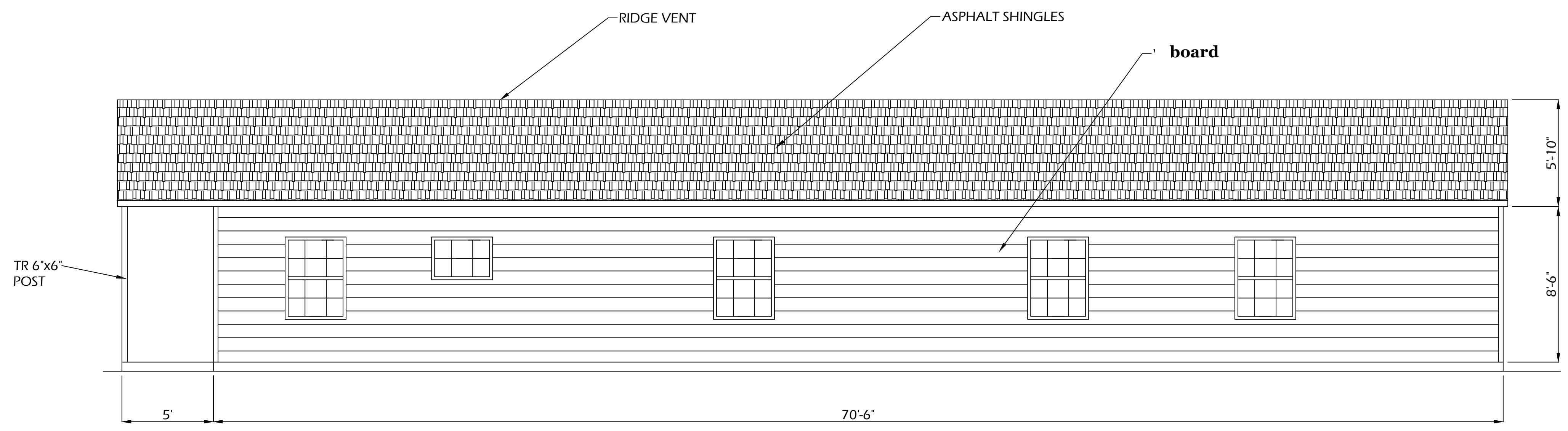
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ALTERNATE FOUNDATION DETAIL

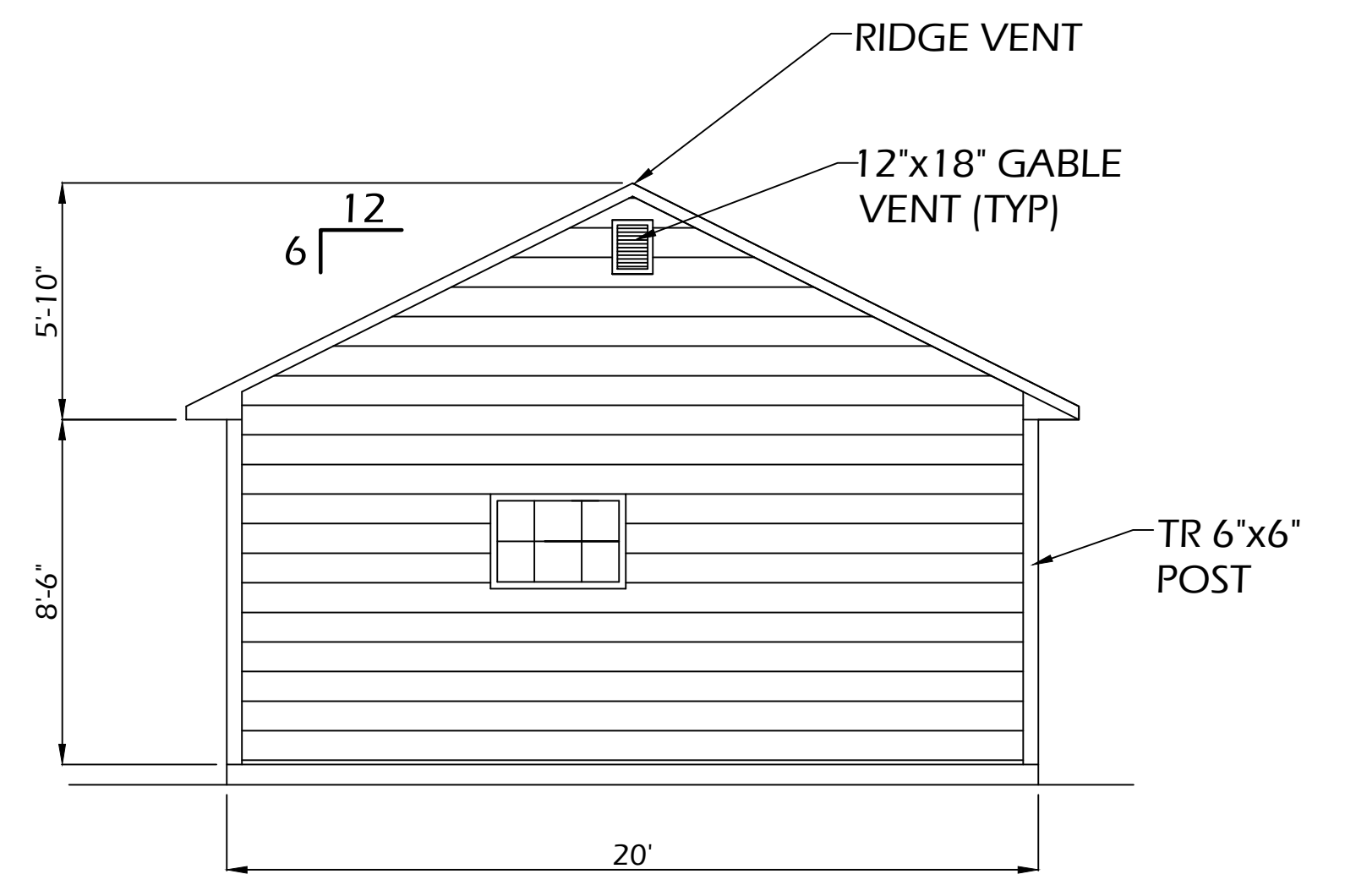
1/4" = 1'-0"



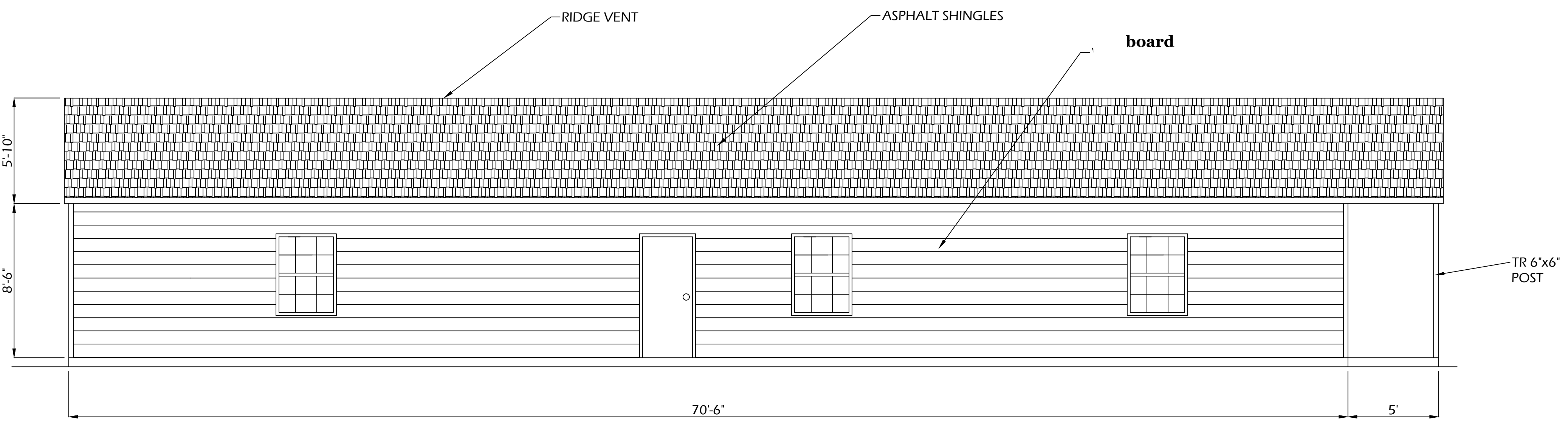
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|---------------------------------|--|----------------|--|
| SHEET TITLE | | PROJECT NO. | |
| TYPICAL SECTION and NOTES | | SCALE AS SHOWN | |
| PROJECT | | DATE 1/14/2020 | |
| HOUSE PLAN | | DRAWN BY JJK | |
| GULNORA, LLC | | CHECKED BY JJK | |
| 1901 N PARHAM ROAD | | DRAWING NO. | |
| HENRICO, VA. 23228 | | 011 | |
| (850) 319-2395 | | 2 OF 3 SHTS | |
| E-Mail: gulakamalovna@yahoo.com | | | |



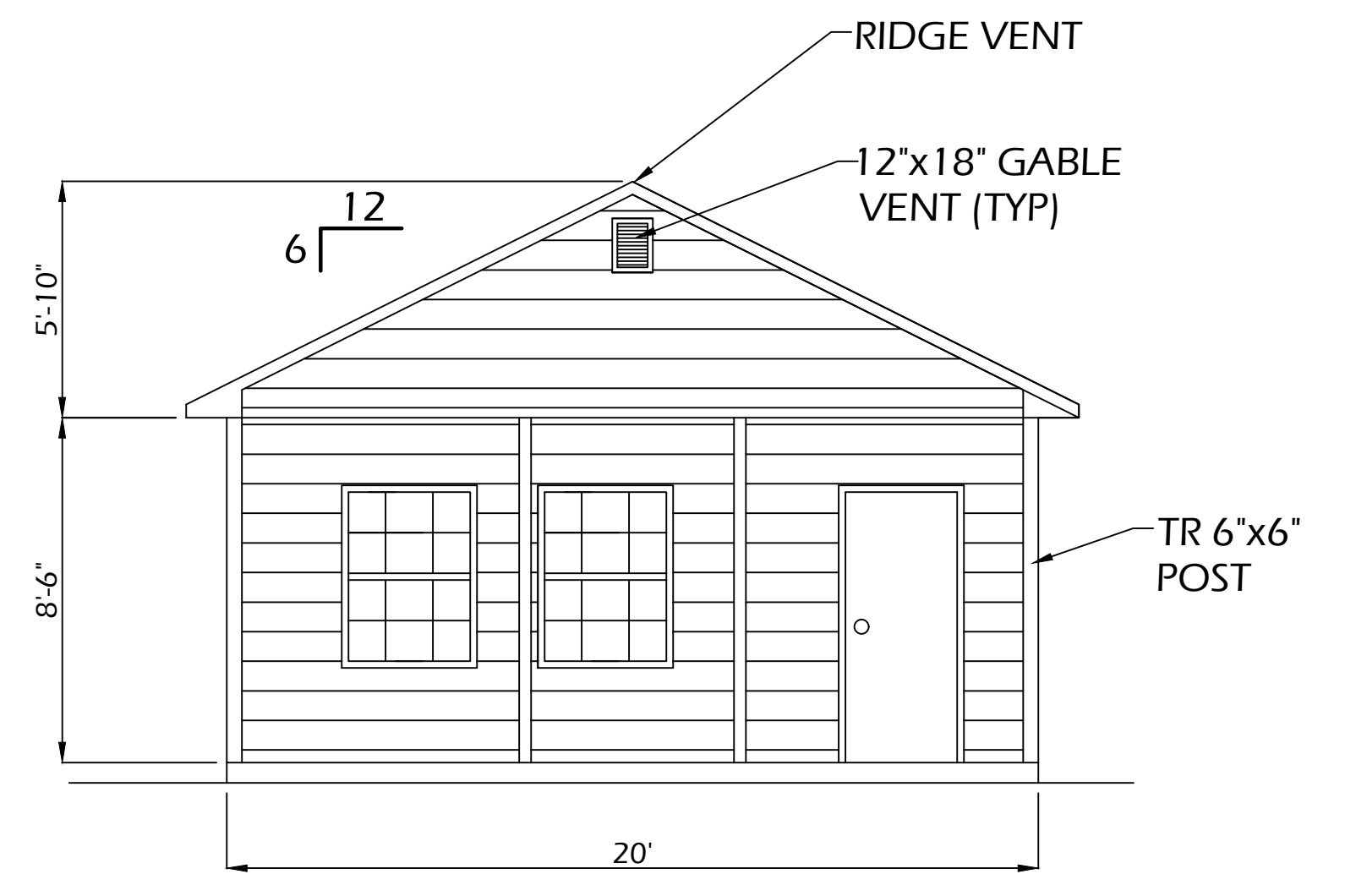
NORTH SIDE ELEVATION
 1/4" = 1'-0"



REAR ELEVATION - WEST
 1/4" = 1'-0"



SOUTH SIDE ELEVATION
 1/4" = 1'-0"



FRONT ELEVATION - EAST
 1/4" = 1'-0"

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| | | | | | | | |
|-----|------|----|----------|---|------------|-------------|-------------|
| | | | | SHEET TITLE | ELEVATIONS | PROJECT NO. | |
| | | | | PROJECT | HOUSE PLAN | SCALE | AS SHOWN |
| | | | | GULNORA, LLC | | DATE | 1/14/2020 |
| | | | | 1901 N PARHAM ROAD HENRICO, VA. 23228 (850) 319-2395 E-Mail: gulokamalovna@yahoo.com | | DRAWN BY | JK |
| | | | | | | DRAWING NO. | 011 |
| | | | | | | | 3 OF 3 SHTS |
| NO. | DATE | BY | REVISION | | | | |

This plat was prepared without the benefit of a title report and may not, therefore, indicate all easements or conditions affecting subject property.



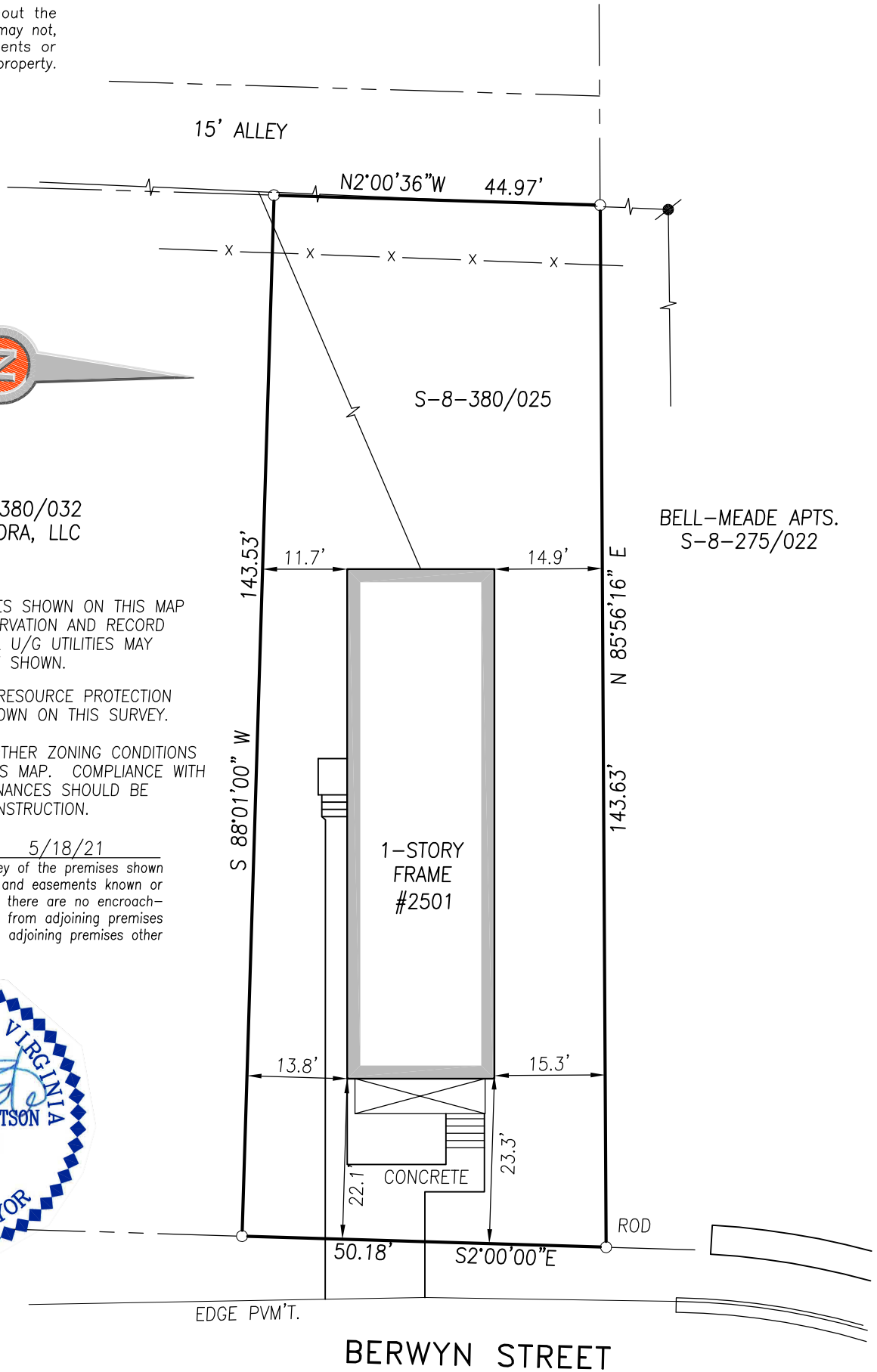
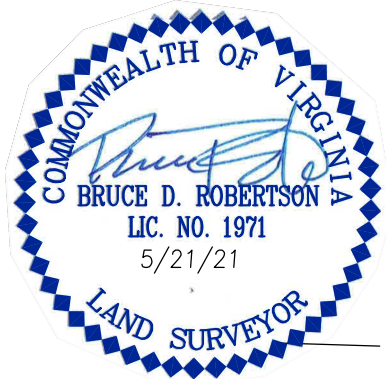
S-8-380/032
GULNORA, LLC

LOCATION OF U/G UTILITIES SHOWN ON THIS MAP IS BASED ON FIELD OBSERVATION AND RECORD INFORMATION. ADDITIONAL U/G UTILITIES MAY EXIST OTHER THAN THOSE SHOWN.

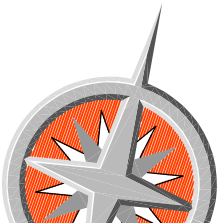
WETLANDS (IF ANY) AND RESOURCE PROTECTION AREA LIMITS ARE NOT SHOWN ON THIS SURVEY.

BUILDING SETBACKS OR OTHER ZONING CONDITIONS NOT DETERMINED FOR THIS MAP. COMPLIANCE WITH APPLICABLE ZONING ORDINANCES SHOULD BE CONFIRMED PRIOR TO CONSTRUCTION.

This is to certify that on 5/18/21
I made an accurate field survey of the premises shown hereon, that all improvements and easements known or visible are shown hereon, that there are no encroachments by improvements either from adjoining premises or from subject premises upon adjoining premises other than as shown hereon.



**SURVEY SHOWING IMPROVEMENTS
ON PROPERTY LOCATED AT
2501 BERWYN STREET
CITY OF RICHMOND, VIRGINIA**



Bruce Robertson Land Surveying, P.C.

P.O. Box 35311 Richmond, Virginia Phone (804)218-2801

Date: 5/21/21
Scale: 1"=20'

JN 21108