



COMMISSION OF ARCHITECTURAL REVIEW

APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

PROPERTY (location of work)

Address 2318 Venable St Richmond VA 23223

Historic district _____

Date/time rec'd: _____
Rec'd by: _____
Application #: _____
Hearing date: _____

APPLICANT INFORMATION

☒ Check if Billing Contact

Name Ogemdi Maka

Company ORR Reactor LLC

Mailing Address 7112 Harbourside Ct, Midlothian VA 23112

Phone 862-205-3327

Email orr.reactor@gmail.com

Applicant Type: ☒ Owner ☐ Agent
☐ Lessee ☐ Architect ☐ Contractor
☐ Other (please specify): _____

OWNER INFORMATION (if different from above) ☐ Check if Billing Contact

Name Ralph Dadzie

Mailing Address 2802 North Ave Richmond VA 23222

Company ORR Reactor LLC

Phone 804-517-4289

Email orr.reactor@gmail.com

PROJECT INFORMATION

Project Type: ☒ Alteration ☐ Demolition ☐ New Construction
(Conceptual Review Required)

Project Description: (attach additional sheets if needed)

The subject property is a 3 floor row home. We will be enclosing a previously open section in the back of the home, adding a balcony for both the second floor as well as the third floor floor, creating two bedrooms on the ground floor with a shared bathroom, a living room, dining room, and kitchen leading out to the balcony will be on the second floor. The 3rd floor will be the master bedroom which will have a balcony as well, a walk in closet that leads into the master bathroom and finally a study. We plan to have mid-level finishings. Please see the attached building plans for additional information.

ACKNOWLEDGEMENT OF RESPONSIBILITY

Compliance: If granted, you agree to comply with all conditions of the certificate of appropriateness (COA). Revisions to approved work require staff review and may require a new application and approval from the Commission of Architectural Review (CAR). Failure to comply with the conditions of the COA may result in project delays or legal action. The COA is valid for one (1) year and may be extended for an additional year, upon written request and payment of associated fee.

Requirements: A complete application includes all applicable information requested on checklists available on the CAR website to provide a complete and accurate description of existing and proposed conditions, as well as payment of the application fee. Applicants proposing major new construction, including additions, should meet with Staff to review the application and requirements prior to submitting an application. Owner contact information and signature is required. Late or incomplete applications will not be considered.

Zoning Requirements: Prior to Commission review, it is the responsibility of the applicant to determine if zoning approval is required and application materials should be prepared in compliance with zoning.

Signature of Owner Ralph Dadzie

Date 8-30-21



CERTIFICATE OF APPROPRIATENESS APPLICATION INSTRUCTIONS

In advance of the application deadline please contact staff to discuss your project, application requirements, and if necessary, to make an appointment to meet with staff for a project consultation in the office or on-site. The Commission of Architectural Review website has additional project guidance and required checklists:

<http://www.richmondgov.com/CommissionArchitecturalReview/index.aspx>

Staff Contact: 804.646.6335 Carey.Jones@Richmondgov.com

SUBMISSION INSTRUCTIONS

Certain exterior work can be administratively approved by Staff. Please contact staff for a preliminary determination of the level of review required prior to submitting an application.

Submit the following items to the Division of Planning and Preservation, 900 E. Broad Street, Rm. 510:

- One (1) signed and completed application – property owner's signature required
- One (1) copy of supporting documentation, as indicated on appropriate checklist, collated and stapled. All plans and elevations must be printed **11x17** and all text easily legible.
- One digital copy of the application and supporting documentation, submitted via email or OneDrive.
- Application fee, as required, will be invoiced. Payment of the fee must be received before the application will be scheduled. Please see fee schedule brochure available on the CAR website for additional information.
- **Application deadlines are firm.** All materials must be submitted by the deadline to be considered at the following Commission meeting. Designs must be final at the time of application; revisions will not be accepted after the deadline. Incomplete and/or late applications will not be placed on the agenda.
- **A complete application** includes a signed application form, related checklist, legible plans, drawings, elevations, material specifications, and payment of the required fee as described in Sec. 30-930.6(b).
- The Commission will not accept new materials, revisions, or redesigns at the meeting. Deferral until the following month's meeting may be necessary in such cases to allow for adequate review by staff, Commissioners, and public notice if required.

MEETING SCHEDULE AND APPLICATION DUE DATES

- The CAR meets on the fourth Tuesday of each month, except in December when it meets on the third Tuesday.
- The hearing of applications starts at 4:00 PM in the 5th floor conference room of City Hall, 900 E. Broad Street. The owner and/or applicant is *encouraged to attend* the meeting.
- All applications are due at 12 noon the Friday after the monthly CAR meeting, except in December, when applications are due the following Monday. For a list of meeting dates and submission deadline dates for each meeting please visit: <http://www.richmondgov.com/CommissionArchitecturalReview> or contact staff.
- **Exception:** Revisions to applications that have been deferred or conceptually reviewed at a Commission meeting can be submitted nine (9) business days after that meeting in order to be reviewed at the following meeting. Please contact staff to confirm this date.



CERTIFICATE OF APPROPRIATENESS

ALTERATION AND ADDITION CHECKLIST

Well in advance of the COA application deadline contact staff to discuss your project, and if necessary, to make an appointment to meet with staff for a project consultation.

Complete all applicable sections and submit with the COA application form. Staff can assist you in determining what items are required for your scope of work. An incomplete application may cause delays in processing or may be deferred to the next agenda. Application materials must clearly represent current and proposed conditions. Refer to Standards for Rehabilitation outlined in Section 30.930.7(b) of the City Code, as well as, the *Richmond Old and Historic Districts Handbook and Design Review Guidelines*.

PROPERTY ADDRESS: 2318 Venable St Richmond VA 23223

BUILDING TYPE

- | | |
|---|--|
| <input checked="" type="checkbox"/> single-family residence | <input type="checkbox"/> garage |
| <input type="checkbox"/> multi-family residence | <input type="checkbox"/> accessory structure |
| <input type="checkbox"/> commercial building | <input type="checkbox"/> other |
| <input type="checkbox"/> mixed use building | |
| <input type="checkbox"/> institutional building | |

ALTERATION TYPE

- | | |
|--|---|
| <input type="checkbox"/> addition | <input type="checkbox"/> roof |
| <input type="checkbox"/> foundation | <input type="checkbox"/> awning or canopy |
| <input type="checkbox"/> wall siding or cladding | <input type="checkbox"/> commercial sign |
| <input type="checkbox"/> windows or doors | <input type="checkbox"/> ramp or lift |
| <input type="checkbox"/> porch or balcony | <input checked="" type="checkbox"/> other |

WRITTEN DESCRIPTION

- ☒ property description, current conditions and any prior alterations or additions
- ☒ proposed work: plans to change any exterior features, and/or addition description
- ☒ current building material conditions and originality of any materials proposed to be repaired or replaced
- ☒ proposed new material description: attach specification sheets if necessary

PHOTOGRAPHS place on 8 ½ x 11 page, label photos with description and location (refer to photograph guidelines)

- ☒ elevations of all sides
- ☒ detail photos of exterior elements subject to proposed work
- ☒ historical photos as evidence for restoration work

DRAWINGS (refer to required drawing guidelines)

- | | | |
|--|--|---|
| <input type="checkbox"/> current site plan | <input type="checkbox"/> list of current windows and doors | <input type="checkbox"/> current elevations (all sides) |
| <input checked="" type="checkbox"/> proposed site plan | <input type="checkbox"/> list of proposed window and door | <input type="checkbox"/> proposed elevations (all sides) |
| <input type="checkbox"/> current floor plans | <input type="checkbox"/> current roof plan | <input type="checkbox"/> demolition plan |
| <input type="checkbox"/> proposed floor plans | <input type="checkbox"/> proposed roof plan | <input type="checkbox"/> perspective and/or line of sight |
| <input type="checkbox"/> legal "plat of survey" | | |







1723 Arlington Road
Richmond, VA 23230
804-677-1151
chrish@threemiles.com

PROJECT INFORMATION

Name: 2318
Address: 2318 Venable Street
Richmond, VA 23223
Owner: DMS Construction LLC
PO Box 35437
Richmond, VA 23235

[illegible]

Jurisdictional Stamp:

Notes:

SHEET INFORMATION

Name: _____

DEMOLITION PLANS

Sheet:

D-101

Page:

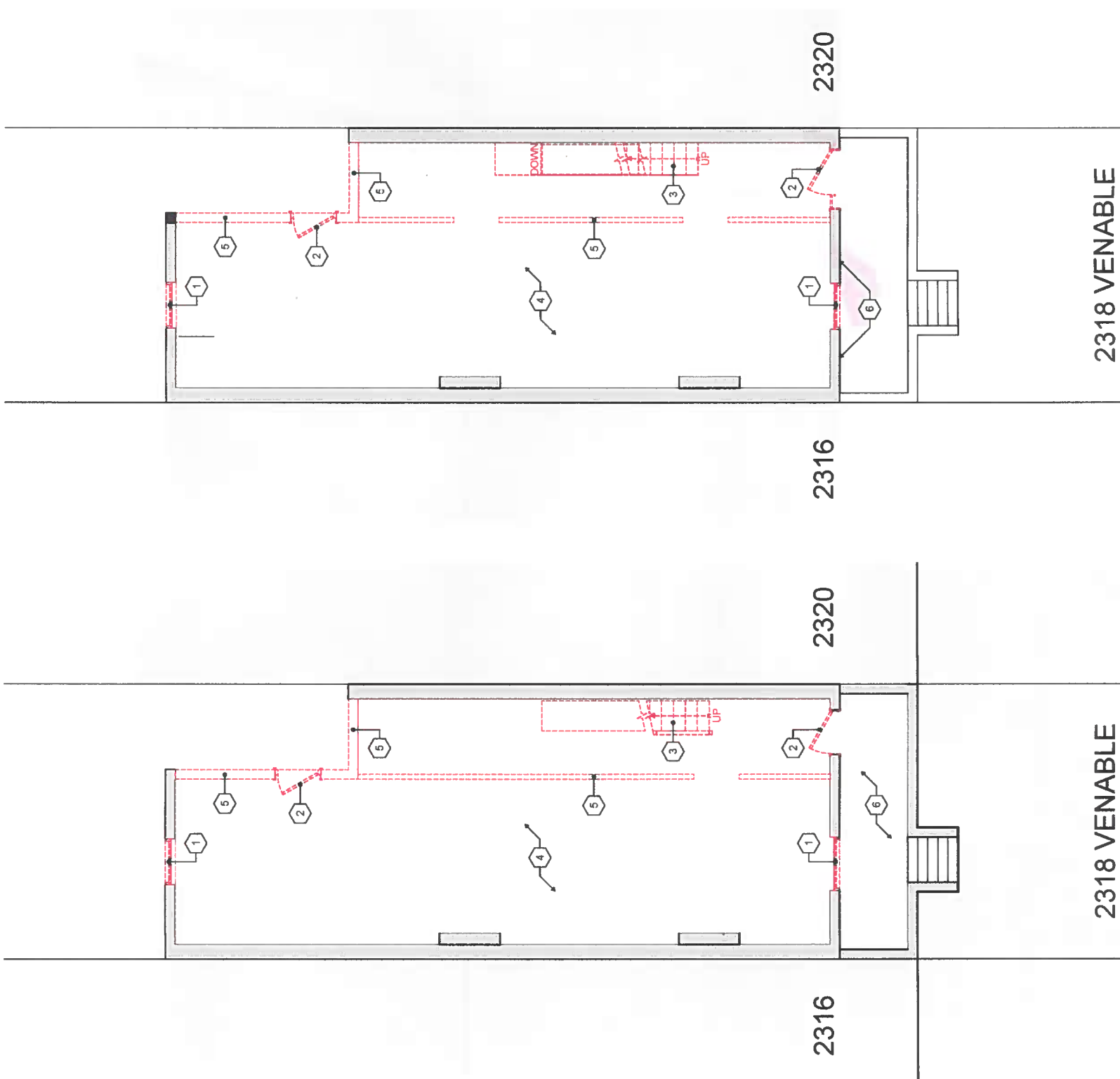
1 of 14

SHEET KEYNOTES

1. REMOVE WINDOW
2. REMOVE DOOR
3. DEMOLISH STAIRS
4. DEMOLISH FLOOR STRUCTURE
5. DEMOLISH WALL
6. DETAIL CLEAN AND STRIP OLD BRICK AND PAVERS

GENERAL NOTES

1. EXISTING BASEMENT FLOOR IS WOOD JOISTS LAID ON BARE EARTH WITH PLANK SUBFLOOR
2. EXISTING STATE OF STRUCTURE:
3. A. WALLS BARE TO BRICK AND STUDS
4. B. SUBFLOOR FAILING
5. C. WOOD IN WINDOWS ROTTED
6. CONTRACTOR TO PROVIDE SHORING WHEN STRUCTURAL ELEMENTS ARE EITHER ALTERED OR DEMOLISHED



(

SCALE: 3/16" = 1'-0"

BASEMENT DEMOLITION

0	4'	8'	12'
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2

1ST FLOOR DEMOLITION

SCALE: 3/16" = 1'-0"





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Name: _____

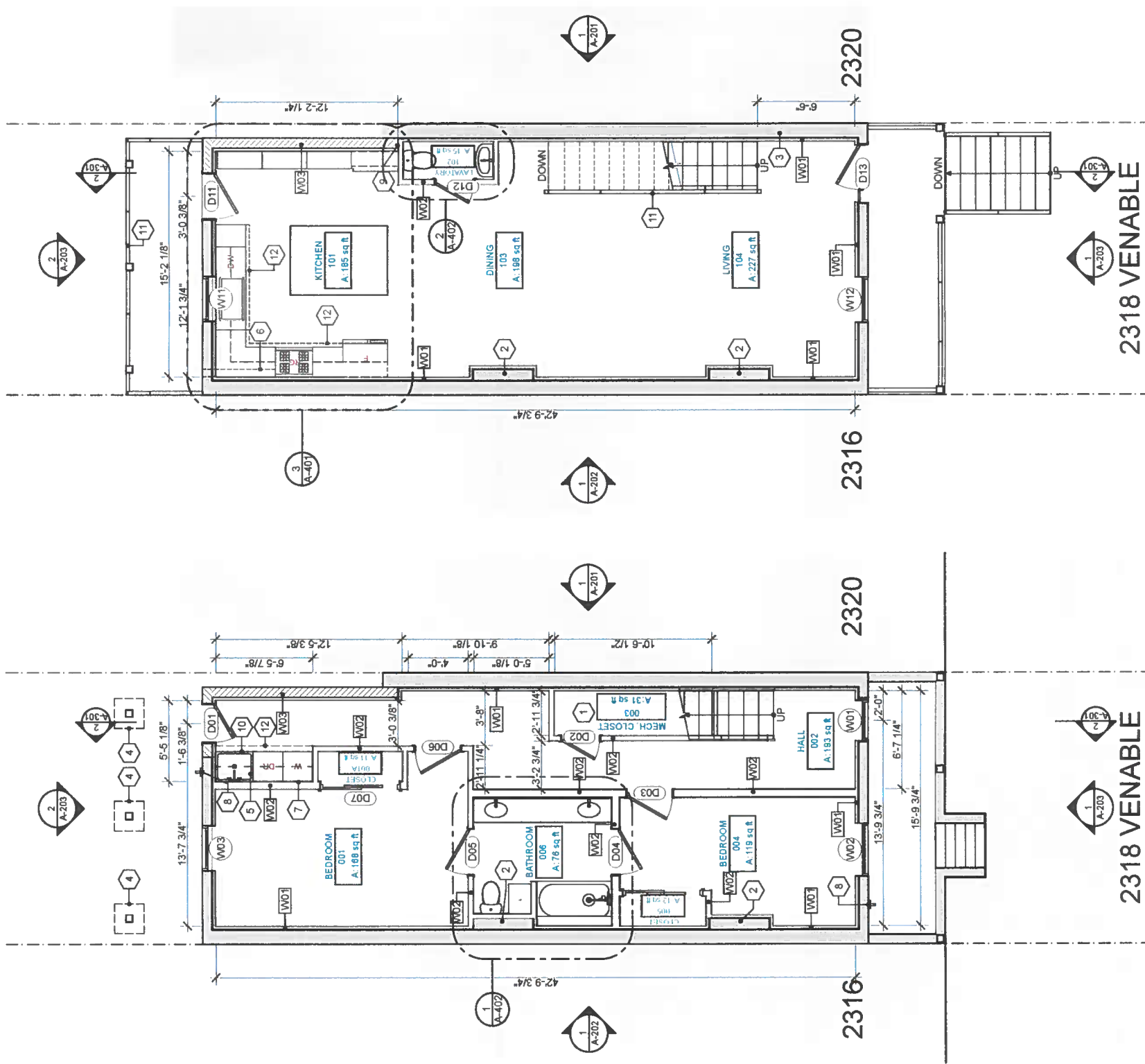
CONSTRUCTION PLANS

A-101

1 of 14

1. REPLACE FENESTRATION THROUGHOUT, COMPLY WITH 2012 VIRGINIA BUILDING CODE
2. FIX STRUCTURAL BRICK THROUGHOUT, AS NEEDED
3. FOR KITCHEN AND BATH INFORMATION SEE ENLARGED PLANS ON A-40x

1. CLOSET UNDER STAIR
2. CLOSE OFF AND SEAL FLUE
3. FILL IN CAVITY WITH BRICK
4. 2"x2" x1" D FOOTING FOR DECK
5. DRYER VENT
6. HOOD VENT
7. WASHER CONNECTION
8. HOSE SPIGOT
9. 1" RIGID INSULATION BEHIND WALL
10. LAUNDRY SINK
11. 4" RAILING
12. SOFFIT



BASEMENT CONSTRUCTION

SCALE: 3/16" = 1'-0"

2318 VENABLE

1ST FLOOR CONSTRUCTION

SCALE: 3/16" = 1'-0"

2

[illegible]



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[illegible]Jurisdictional Stamp:

Notes:

SHEET INFORMATION

Name: _____

CONSTRUCTION PLANS

Sheet: _____

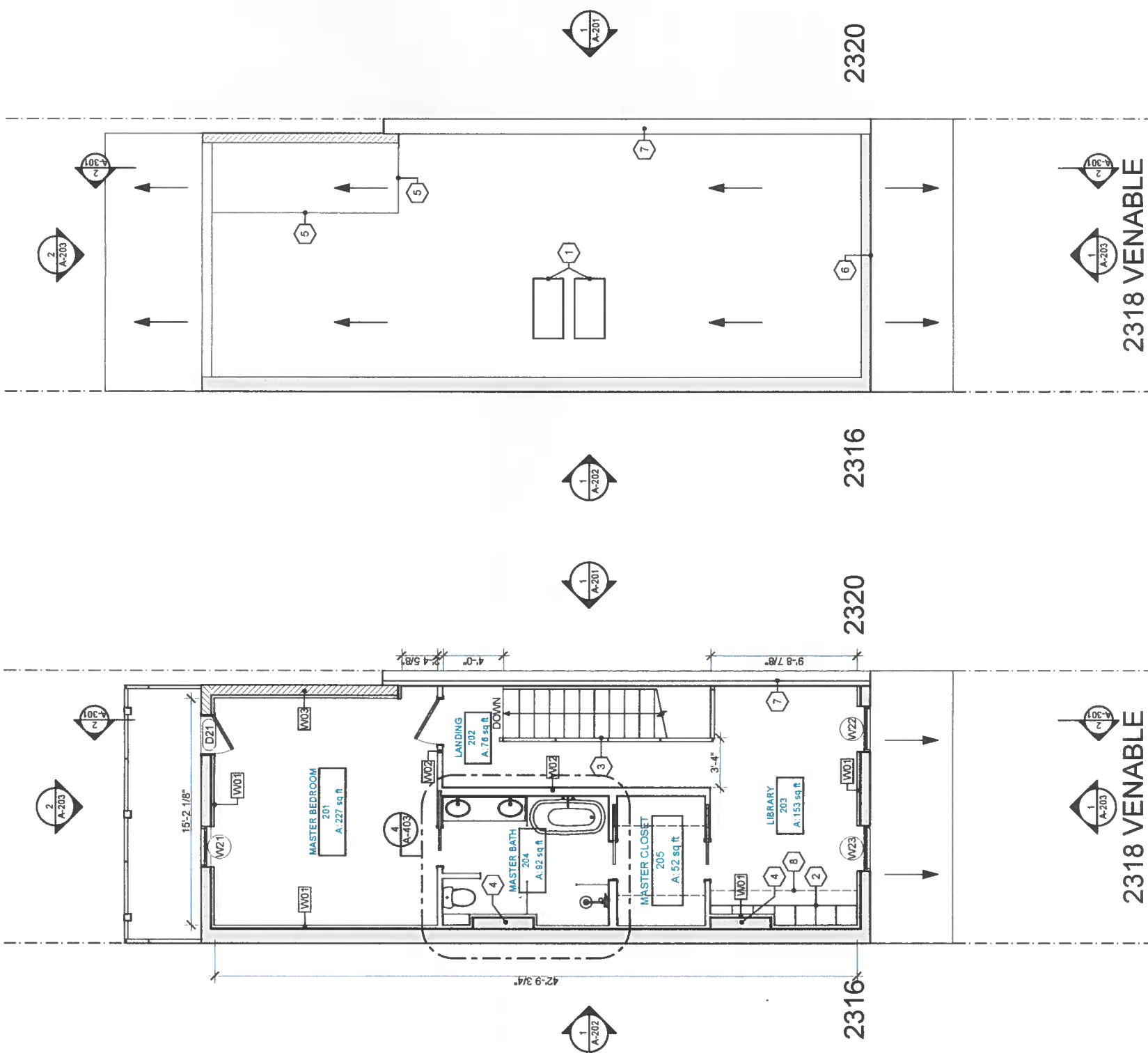
A-102

Page: _____

1 of 14

1. REPLACE FENESTRATION THROUGHOUT, COMPLY WITH 2012 VIRGINIA BUILDING CODE
2. FIX STRUCTURAL BRICK THROUGHOUT AS NEEDED
3. FOR KITCHEN AND BATH INFORMATION SEE ENLARGED PLANS ON A-40x

1. SKYLIGHTS CENTERED OVER BATHING AREA
2. BUILT IN SHELVING AND CABINETRY
3. 42" RAILING AT STAIR OPENING
4. CLOSE OFF AND SEAL FLUE
5. TIE IN NEW ROOF MIN. OVERLAP 12"
6. REPAIR CORNICE
7. WALL REBUILT UNDER BLDR-0517/19-2019
8. SOFFIT OVER BUILT-IN



2ND FLOOR CONSTRUCTION

SCALE: 3/16" = 1'-0"

2

ROOF CONSTRUCTION

SCALE: 3/16" = 1'-0"





PROJECT INFORMATION

[illegible]

Notes:

SHEET INFORMATION

Name: ENLARGED KITCHEN
PLAN
A-401
Sheet: 1 of 14
Page:

1. DROP SOFFIT
2. FLOOR TO SOFFIT PANTRY CASEWORK
3. FRIDGE
4. GAS RANGE
5. RANGE HOOD
6. HOOD VENT
7. SINK, CENTERED UNDER WINDOW
8. REPLACE WINDOW
9. DISHWASHER
10. DESK SPACE
11. ISLAND WITH 12" OVERHANG
12. FIRE EXTINGUISHER STORED UNDER SINK
13. BACKSPLASH FROM COUNTERTOP TO UPPER CABINETS





PROJECT INFORMATION

MARK	DATE	DESCRIPTION
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[illegible]

Notes:

Name: _____

ENLARGED BATHROOM PLANS

Page: 1 of 14

1. 30" X 60" BATHTUB WITH SHOWER
2. FRAMED LEDGE WITH STONE CAP
3. LINEN CLOSET CASEWORK
4. TOILET
5. DOUBLE SINK VANITY
6. MIRROR WITH MEDICINE CABINET
7. BATH FAN
8. SINGLE VANITY
9. MIRROR ABOVE VANITY
10. 2X6 PLUMBING WALL



SCALE: $3/8" = 1'-0"$



SCALE: 3/8" = 1'-0"



SCALE: 3/8" = 1'-0"

SHEET KEYNOTES

- 1. FREESTANDING TUB
- 2. DOUBLE VANITY
- 3. LINEN CLOSET CASEWORK
- 4. TOILET
- 5. PRIVACY HALF-WALL
- 6. GLASS SPLASH GUARD
- 7. SHOWER HEAD
- 8. FLOOR DRAIN
- 9. TILED WALL
- 10. 2X6 PLUMBING WALL



THREE MILES
DESIGN + CONSTRUCTION

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chrish@threemiles.com

PROJECT INFORMATION

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Richmond, VA 23235

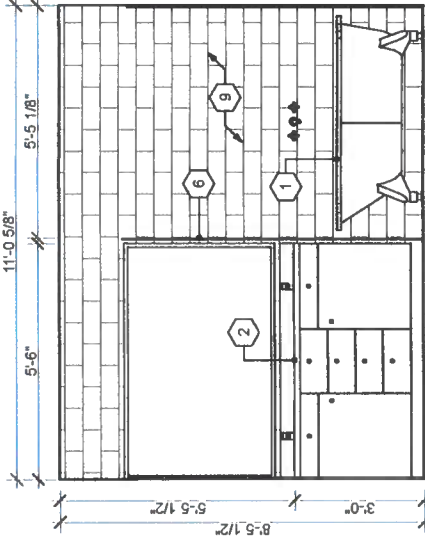
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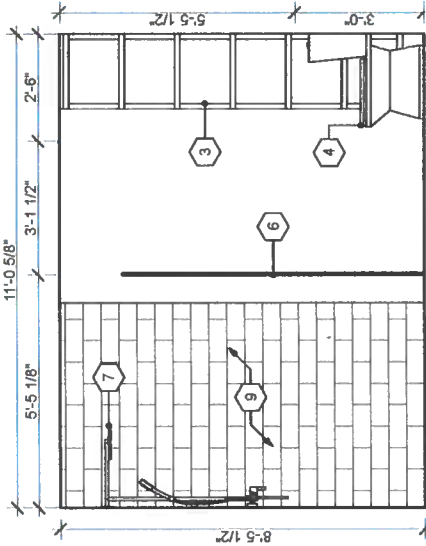
Name:
ENLARGED MASTER
BATH
Sheet:
A-403
Page:
1 of 14



East

4

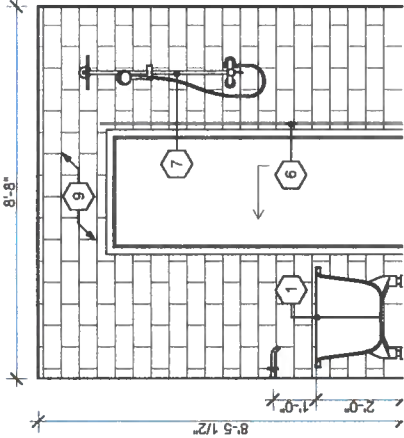
SCALE: 3/8" = 1'-0"



West

2

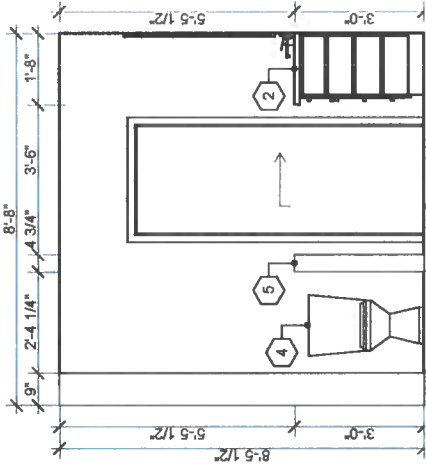
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South

5

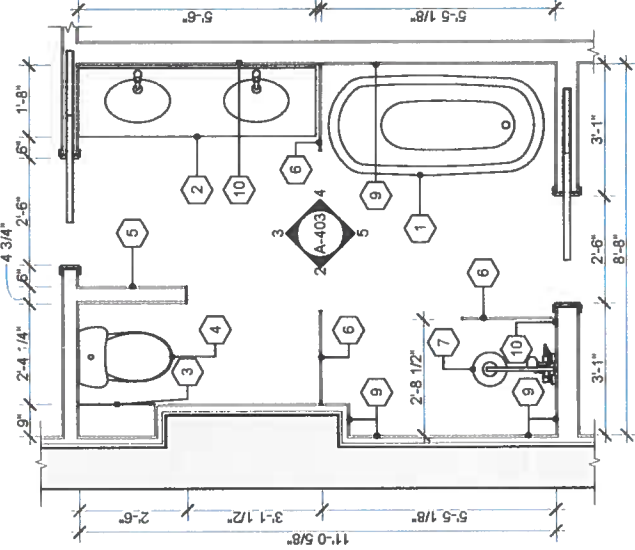
SCALE: 3/8" = 1'-0"



North

3

SCALE: 3/8" = 1'-0"



MASTER BATH

1

SCALE: 3/8" = 1'-0"



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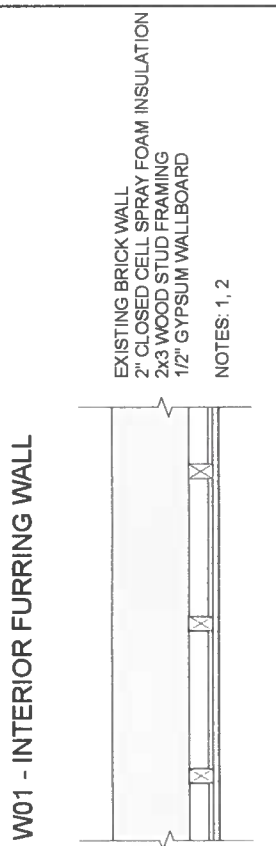
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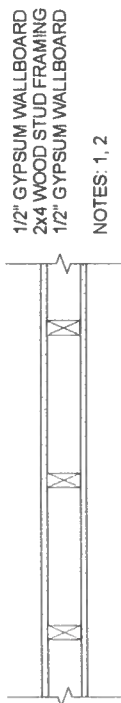
A-501

Page:

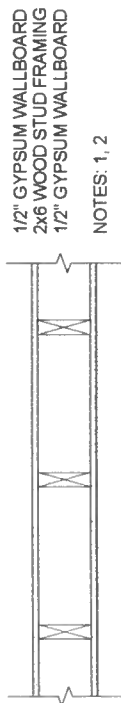
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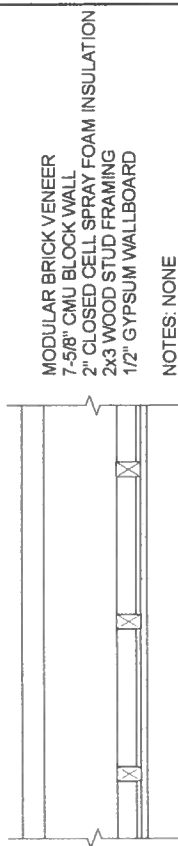
W02 - INTERIOR 2x4 FRAMED WALL



W03 - INTERIOR 2x6 FRAMED WALL

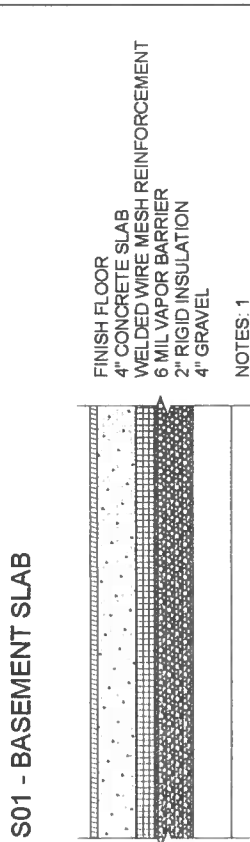


W04 - EXTERIOR BRICK WALL WITH INTERIOR FURRING WALL

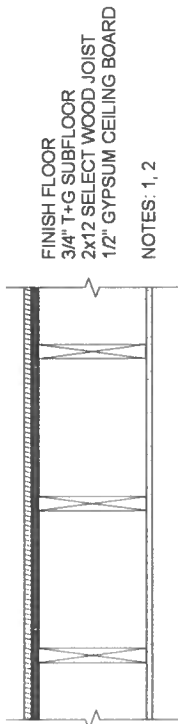


WALL TYPE NOTES:

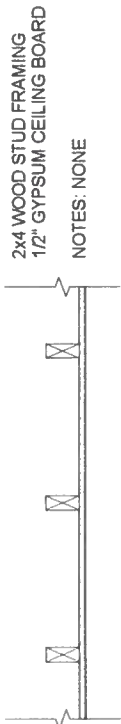
1. REPLACE GYPSUM WALLBOARD WITH CEMENTITIOUS BACKER BOARD AT WET WALLS, PROVIDE WATERPROOFING MEMBRANE AT SHOWERS TO PREP FOR TILING
2. PROVIDE SOUND INSULATION AT BEDROOMS



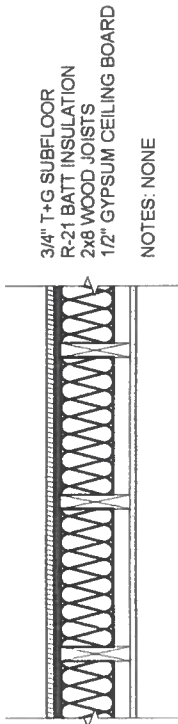
F01 - FLOOR FRAMING



C01 - DROP CEILING/SOFFIT



C02 - SECOND FLOOR CEILING/ATTIC FLOOR



NOTES:

1. FINISH FLOOR TO BE DETERMINED BY OWNER
2. PROVIDE SOUND INSULATION AT BEDROOMS

WALL TYPES

SCALE: 1" = 1'-0"



FLOOR/CEILING TYPES

SCALE: 1" = 1'-0"





THREE MILES
DESIGN + CONSTRUCTION

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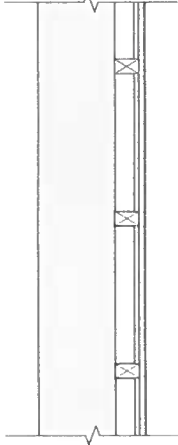
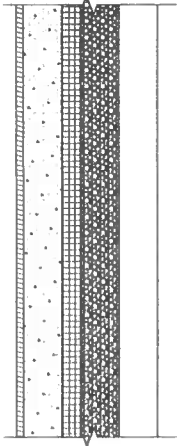
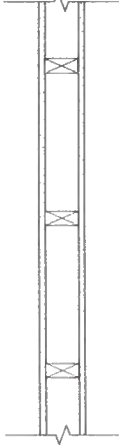
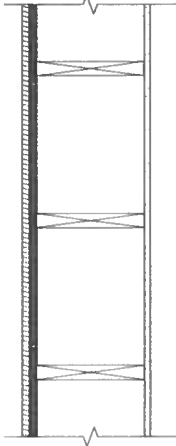
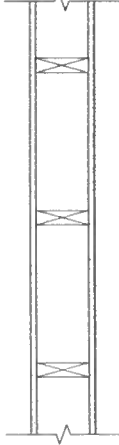
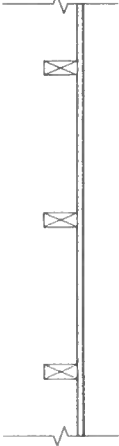
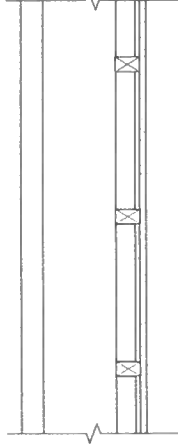
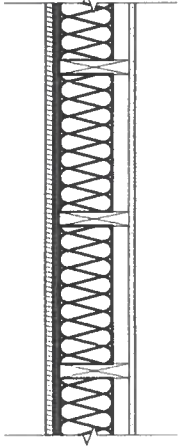
MARK	DATE	DESCRIPTION

Jurisdictional Stamp:

Notes:

SHEET INFORMATION

Name:
WALL AND FLOOR
TYPES
Sheet:
A-501
Page:
1 of 14

<p>W01 - INTERIOR FURRING WALL</p>  <p>EXISTING BRICK WALL 2" CLOSED CELL SPRAY FOAM INSULATION 2x3 WOOD STUD FRAMING 1/2" GYPSUM WALLBOARD</p> <p>NOTES: 1, 2</p>	<p>S01 - BASEMENT SLAB</p>  <p>FINISH FLOOR 4" CONCRETE SLAB WELDED WIRE MESH REINFORCEMENT 6 MIL VAPOR BARRIER 2" RIGID INSULATION 4" GRAVEL</p> <p>NOTES: 1</p>
<p>W02 - INTERIOR 2x4 FRAMED WALL</p>  <p>1/2" GYPSUM WALLBOARD 2x4 WOOD STUD FRAMING 1/2" GYPSUM WALLBOARD</p> <p>NOTES: 1, 2</p>	<p>F01 - FLOOR FRAMING</p>  <p>FINISH FLOOR 3/4" T+G SUBFLOOR 2x12 SELECT WOOD JOIST 1/2" GYPSUM CEILING BOARD</p> <p>NOTES: 1, 2</p>
<p>W03 - INTERIOR 2x6 FRAMED WALL</p>  <p>1/2" GYPSUM WALLBOARD 2x6 WOOD STUD FRAMING 1/2" GYPSUM WALLBOARD</p> <p>NOTES: 1, 2</p>	<p>C01 - DROP CEILING/SOFFIT</p>  <p>2x4 WOOD STUD FRAMING 1/2" GYPSUM CEILING BOARD</p> <p>NOTES: NONE</p>
<p>W04 - EXTERIOR BRICK WALL WITH INTERIOR FURRING WALL</p>  <p>MODULAR BRICK VENEER 7-5/8" CMU BLOCK WALL 2" CLOSED CELL SPRAY FOAM INSULATION 2x3 WOOD STUD FRAMING 1/2" GYPSUM WALLBOARD</p> <p>NOTES: NONE</p>	<p>C02 - SECOND FLOOR CEILING/ATTIC FLOOR</p>  <p>3/4" T+G SUBFLOOR R-21 BATT INSULATION 2x8 WOOD JOISTS 1/2" GYPSUM CEILING BOARD</p> <p>NOTES: NONE</p>
<p>WALL TYPE NOTES:</p> <p>1. REPLACE GYPSUM WALLBOARD WITH CEMENTITIOUS BACKER BOARD AT WET WALLS, PROVIDE WATERPROOFING MEMBRANE AT SHOWERS TO PREP FOR TILING</p> <p>2. PROVIDE SOUND INSULATION AT BEDROOMS</p>	<p>NOTES:</p> <p>1. FINISH FLOOR TO BE DETERMINED BY OWNER</p> <p>2. PROVIDE SOUND INSULATION AT BEDROOMS</p>

WALL TYPES

SCALE: 1" = 1'-0"

2

FLOOR/CEILING TYPES

SCALE: 1" = 1'-0"

0 6" 1' 2'

1. REBUILD PORCH TO ENTRY- BUILT TO HISTORICAL PRECEDENT
2. REPAIR/REPLACE ELEMENTS OF CORNICE, PAINT
3. CONSTRUCT DECK WITH 42" GUARDRAIL AT PERIMETER
4. WALL OF ADDITION, EXPOSED BRICK



PROJECT INFORMATION

[illegible]

Notes:

Name: EAST ELEVATION

A-201

1 of 14



SCALE: 3/16" = 1'-0"



SHEET KEYNOTES

1. REBUILD PORCH TO ENTRY- BUILT TO HISTORICAL PRECEDENT
2. REPAIR/REPLACE ELEMENTS OF CORNICE, PAINT
3. CONSTRUCT DECK WITH 42" GUARDRAIL AT PERIMETER



THREE MILES
DESIGN + CONSTRUCTION

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MARK	DATE	DESCRIPTION

Jurisdictional Stamp:

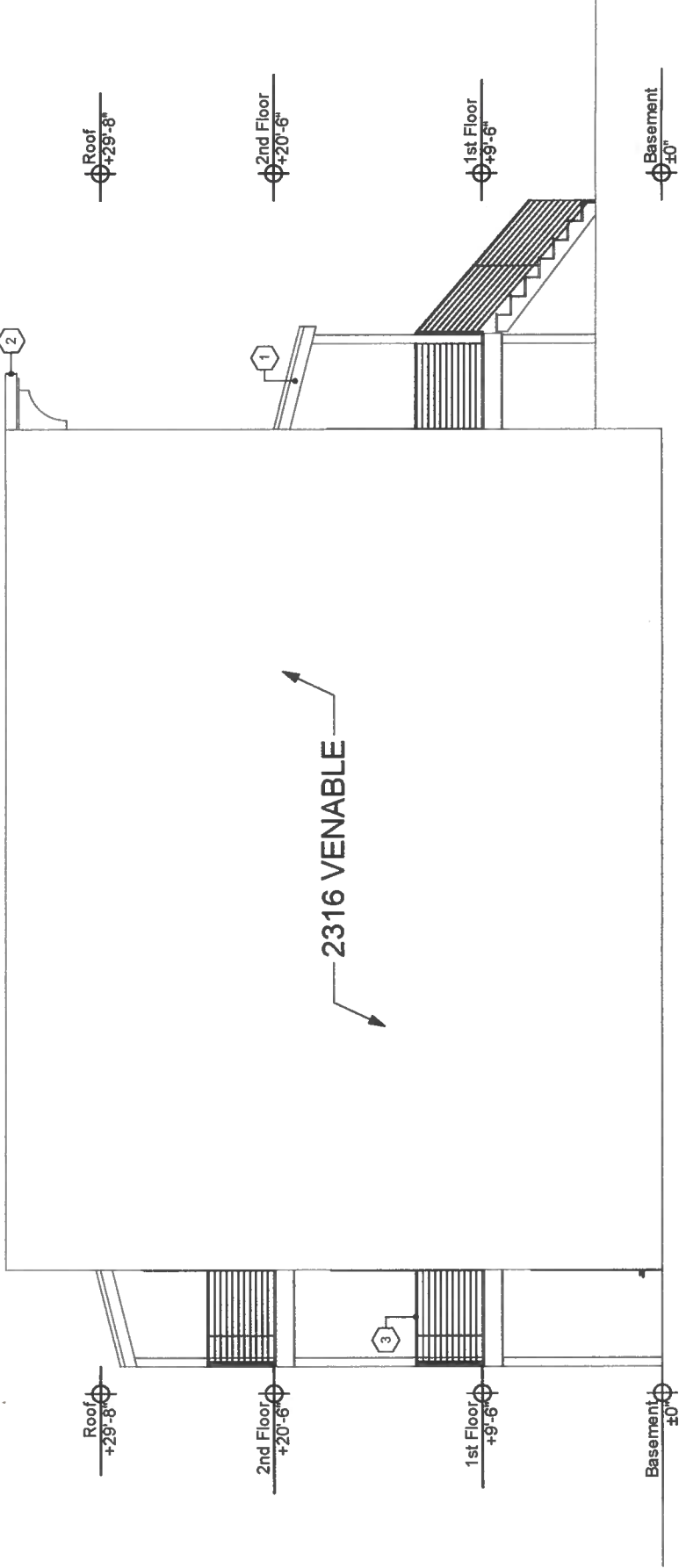
Notes:

SHEET INFORMATION

Name:
WEST ELEVATION

Sheet:
A-202

Page:
1 of 14



1 WEST ELEVATION

SCALE: 3/16" = 1'-0"





PROJECT INFORMATION

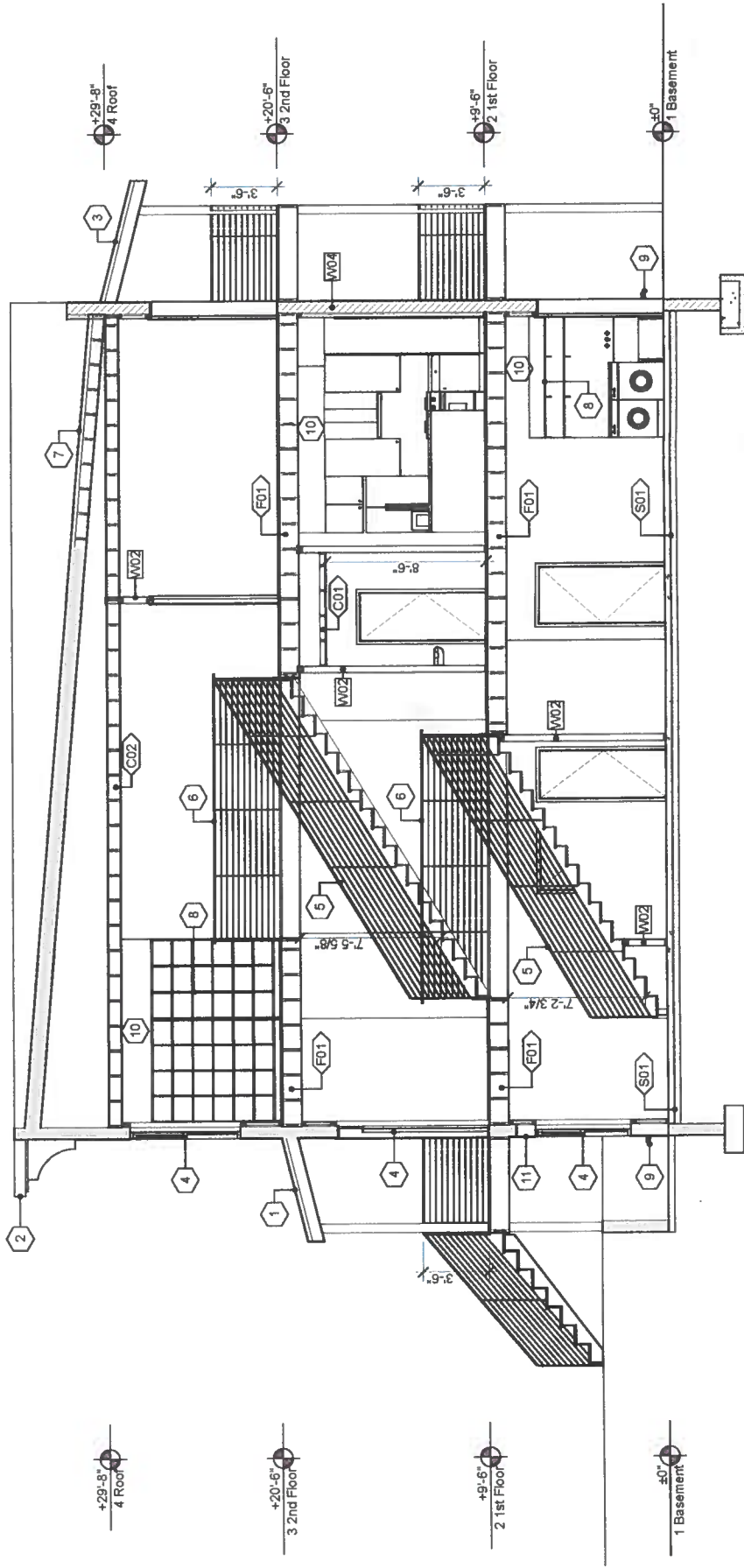
Richmond, VA 23235

[illegible]

Notes:

Page: 1 of 14

1. REBUILD PORCH WITH STAIRS, RAILING, ROOF
2. REPAIR AND REFINISH CORNICE
3. NEW DECK WITH ROOF-AT 2ND FLOOR
4. REPLACE FENESTRATION
5. NEW STAIRS AND RAILING
6. RAILING AT STAIR OPENING WITH MAX. 4" OPENING
7. NEW ROOF TO MATCH AND TIE INTO EXISTING
8. BUILT-IN SHELVING UNIT
9. EXTERIOR HOSE SPIGOT
10. SOFFIT OVER CABINET/BUILT-IN
11. INFILL WALL, MATCH EXISTING WIDTH



LONGITUDINAL SECTION

SCALE: 3/16" = 1'-0"



SHEET KEYNOTES

1. REBUILD PORCH TO ENTRY- BUILT TO HISTORICAL PRECEDENT
2. REPAIR/REPLACE ELEMENTS OF CORNICE, PAINT CONSTRUCT DECK WITH 42" GUARDRAIL AT PERIMETER
4. WALL OF ADDITION, STUCCO AND PAINT TO MATCH EXISTING FINISH



THREE MILES
DESIGN + CONSTRUCTION

1723 Arlington Road
Richmond, VA 23230
804-677-1151
chrish@threemiles.com

PROJECT INFORMATION

Name: 2318
Address: 2318 Venable Street
Richmond, VA 23223
Owner: DMS Construction LLC
PO Box 35437
Richmond, VA 23235

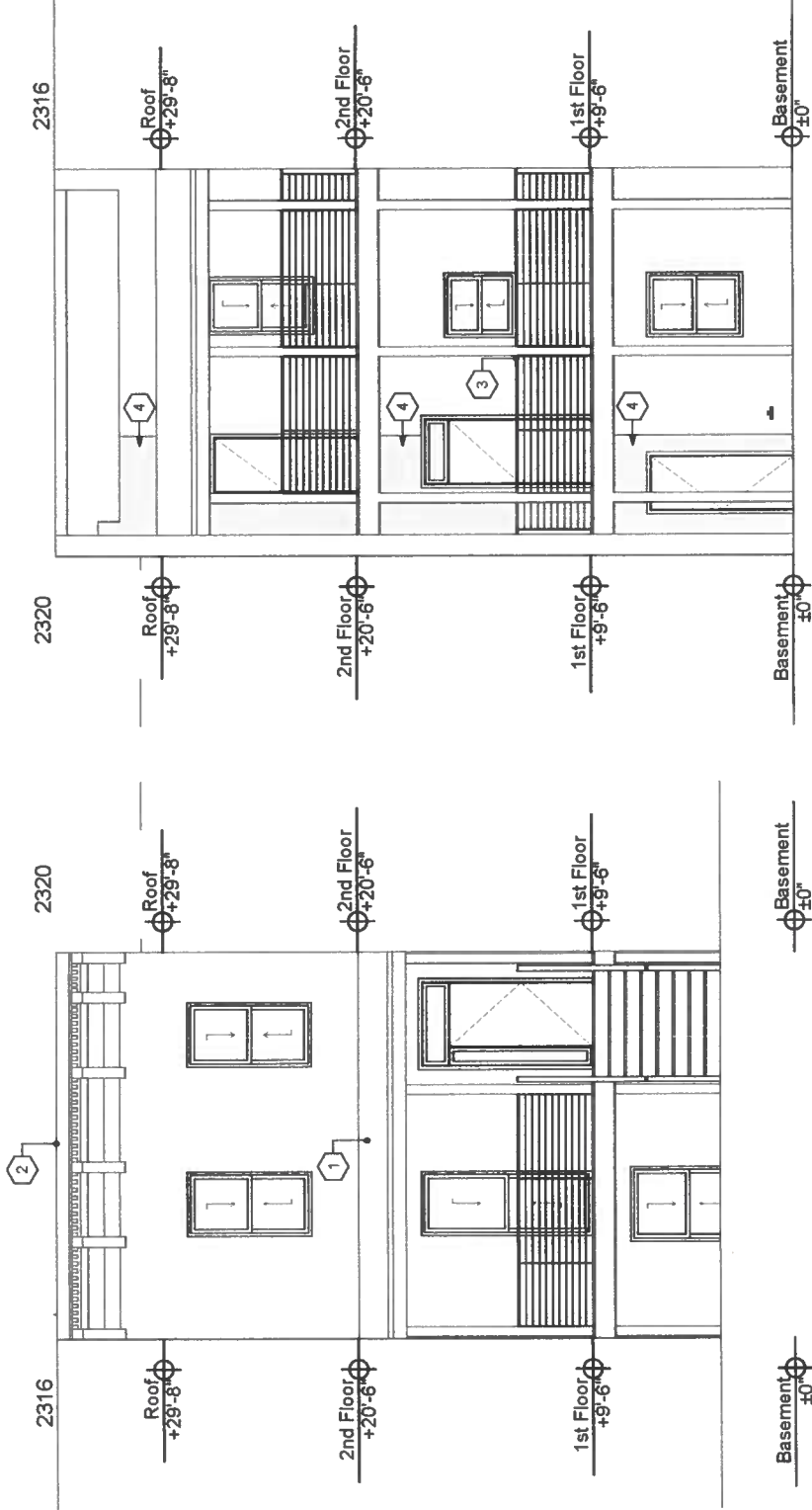
MARK	DATE	DESCRIPTION

Jurisdictional Stamp:

Notes:

SHEET INFORMATION

Name: NORTH AND SOUTH
ELEVATIONS
Sheet: A-203
Page: 1 of 14



1 SOUTH ELEVATION
SCALE: 3/16" = 1'-0"

2 NORTH ELEVATION
SCALE: 3/16" = 1'-0"



2318 VENABLE STREET, RICHMOND, VA 23235



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[illegible]

Jurisdictional Stamp:

Notes:

SHEET INFORMATION

Name: _____

PROJECT INFORMATION

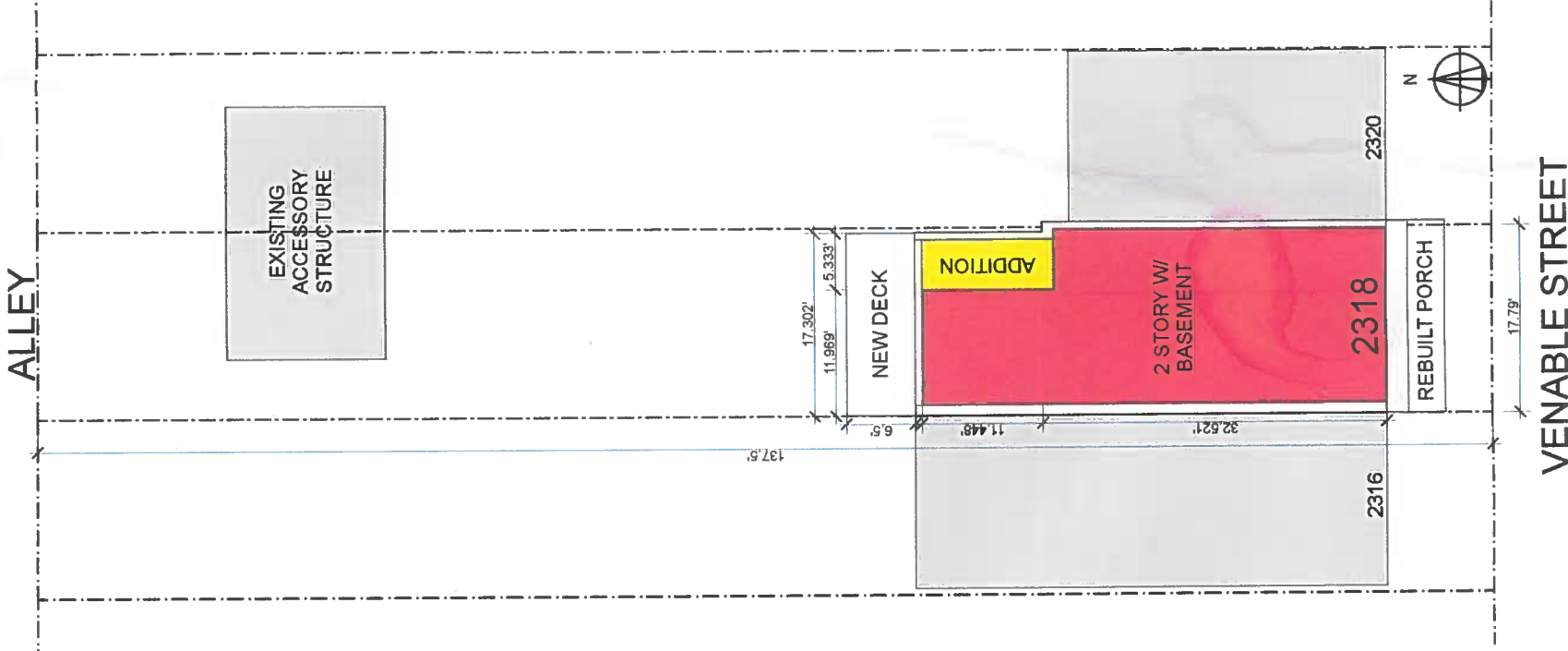
Sheet:

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Page:

1 of 14

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SHEET	NAME	REV.
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D-101	DEMOLITION PLANS	
D-102	DEMOLITION PLANS	
A-101	CONSTRUCTION PLANS	
A-102	CONSTRUCTION PLANS	
A-103	FRAMING PLANS	
A-201	EAST ELEVATION	
A-202	WEST ELEVATION	
A-203	NORTH AND SOUTH ELEVATIONS	
A-301	SECTION	
A-401	ENLARGED KITCHEN PLAN	
A-402	ENLARGED BATHROOM PLANS	
A-403	ENLARGED MASTER BATH	
A-501	WALL AND FLOOR TYPES	



SITE PLAN

SCALE: 1" = 10'



PROJECT DESCRIPTION:

THE INTENT OF THESE DRAWINGS IS TO PROVIDE GUIDANCE IN THE GUT RENOVATION OF THE STRUCTURE AT 2318 VENABLE STREET. THERE IS NO CHANGE TO USE OR OCCUPANCY TYPE. FLOOR STRUCTURES, AND STAIRS WILL BE REMOVED AND REPLACED WITH NEWER, CODE COMPLIANT MEMBERS. ALL NEW KITCHEN AND BATHROOMS TO BE INSTALLED. REBUILD THE FRONT PORCH SIMILAR TO PREVIOUSLY EXISTING PORCH. INCLUDED ALSO, AN ADDITION AT THE REAR OF THE HOUSE, WITH DECK AT FIRST AND SECOND STORIES.

UTILITY CONNECTIONS WILL NEED TO BE REPAIRED OR RECONNECTED. EXISTING STRUCTURE HAS PREVIOUSLY UNDERGONE INTERIOR GUT DEMOLITION.

REVIEW IS REQUESTED UNDER THE 2012 VIRGINIA RESIDENTIAL CODE

LOT INFORMATION:

OWNER - DMS CONSTRUCTION LLC
ADDRESS - PO BOX 35437, RICHMOND, VA 23235
DIMENSIONS - 17.79' x 137.50'
AREA - 2446.13 SF
ACREAGE - 0.056
ZONE - R-63

ZONING INFORMATION:

ZONE - R-63
NEIGHBORHOOD - UNION HILL
MAX. LOT COVERAGE - 65%
MIN. LOT WIDTH - 18'



EXISTING PHOTO

—

alvarez@polimex.com | 8 Venguer 2318 | Venetia, CO 19006 | Argentina