



William

Commission of Architectural Review SUBMISSION APPLICATION

City of Richmond, Room 510 – City Hall
900 East Broad Street, Richmond, Virginia 23219
PHONE: (804) 646-6335 FAX: (804) 646-5789

12 COPIES OF SUPPORTING DOCUMENTATION ARE REQUIRED FOR PROCESSING YOUR SUBMISSION

LOCATION OF WORK: 2109+2111 M St DATE: 9/26/14

OWNER'S NAME: Melvin Hayes / Alan Watkins TEL NO.: 804-614-5824

AND ADDRESS: P.O. Box 98664 EMAIL: AlanJWatkins@gmail.com

CITY, STATE AND ZIP CODE Henrico, VA 23228

ARCHITECT/CONTRACTOR'S NAME: _____ TEL. NO. _____

AND ADDRESS: _____ EMAIL: _____

CITY, STATE AND ZIP CODE _____

Would you like to receive your staff report via email? Yes No

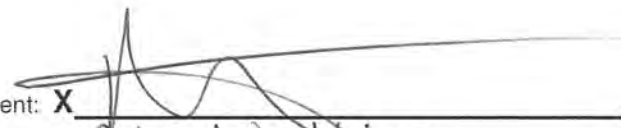
REQUEST FOR CONCEPTUAL REVIEW

I hereby request Conceptual Review under the provisions of Chapter 114, Article IX, Division 4, Section 114-930.6(d) of the Richmond City Code for the proposal outlined below in accordance with materials accompanying this application. I understand that conceptual review is advisory only.

APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

I hereby make application for the issuance of a certificate under the provisions of Chapter 114, Article IX, Division 4 (Old and Historic Districts) of the Richmond City Code for the proposal outlined below in accordance with plans and specifications accompanying this application.

DETAILED DESCRIPTION OF PROPOSED WORK (Required):
STATE HOW THE DESIGN REVIEW GUIDELINES INFORM THE DESIGN OF THE WORK PROPOSED. (Include additional sheets of description if necessary, and **12 copies** of artwork helpful in describing the project. The 12 copies are not required if the project is being reviewed for an administrative approval. See instruction sheet for requirements.)

Signature of Owner or Authorized Agent: 
Name of Owner or Authorized Agent (please print legibly): Alan Watkins

(Space below for staff use only)

Received by Commission Secretary
DATE 9/26/14 1:00 pm

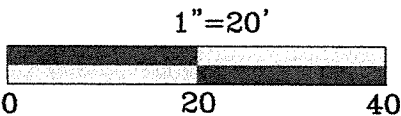
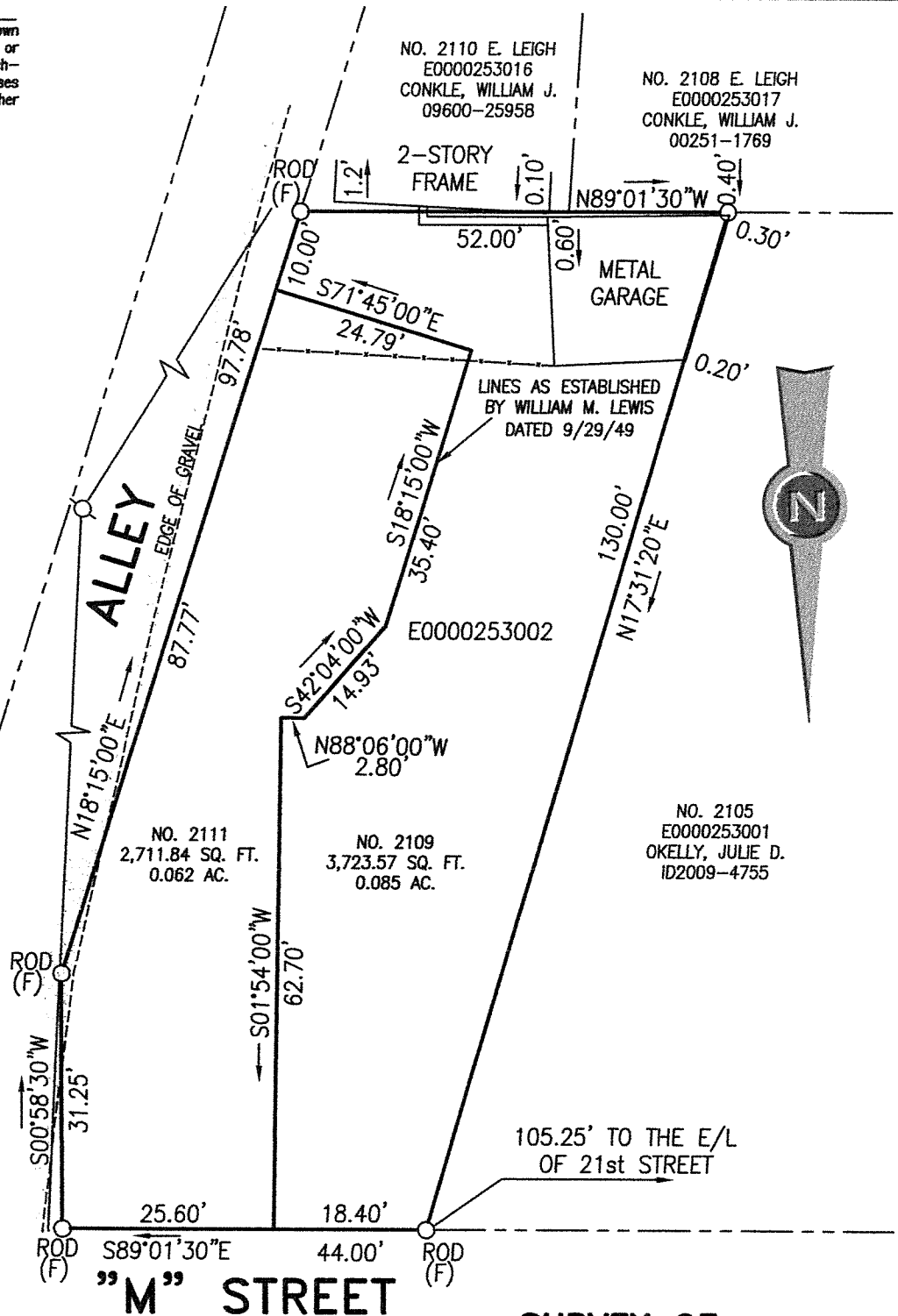
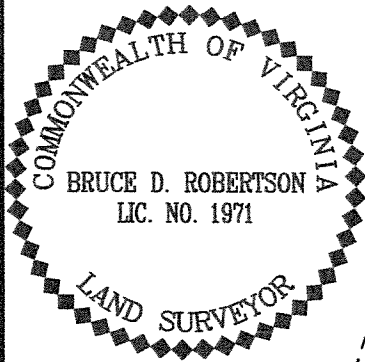
APPLICATION NO. 14-118
SCHEDULED FOR 10/28/2014

Note: CAR reviews all applications on a case-by-case basis.

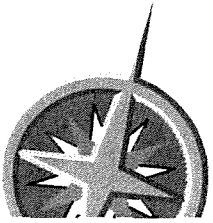
This is to certify that on 9/11/14
 I made an accurate field survey of the premises shown
 hereon, that all improvements and easements known or
 visible are shown hereon, that there are no encroach-
 ments by improvements either from adjoining premises
 or from subject premises upon adjoining premises other
 than as shown hereon.

This plat was prepared without the
 benefit of a title report and may not,
 therefor, indicate all easements or
 conditions affecting subject property.

NOTE: THIS LOT APPEARS TO
 BE IN F.E.M.A. FLOOD ZONE
 "X" AS SHOWN ON F.E.M.A.
 COMMUNITY PANEL NUMBER
 510129-0041-E.



**SURVEY OF
 NO. 2109 & 2111 "M" STREET
 RICHMOND, VIRGINIA**

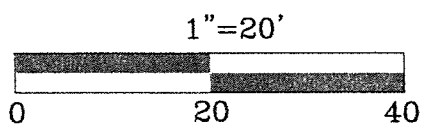
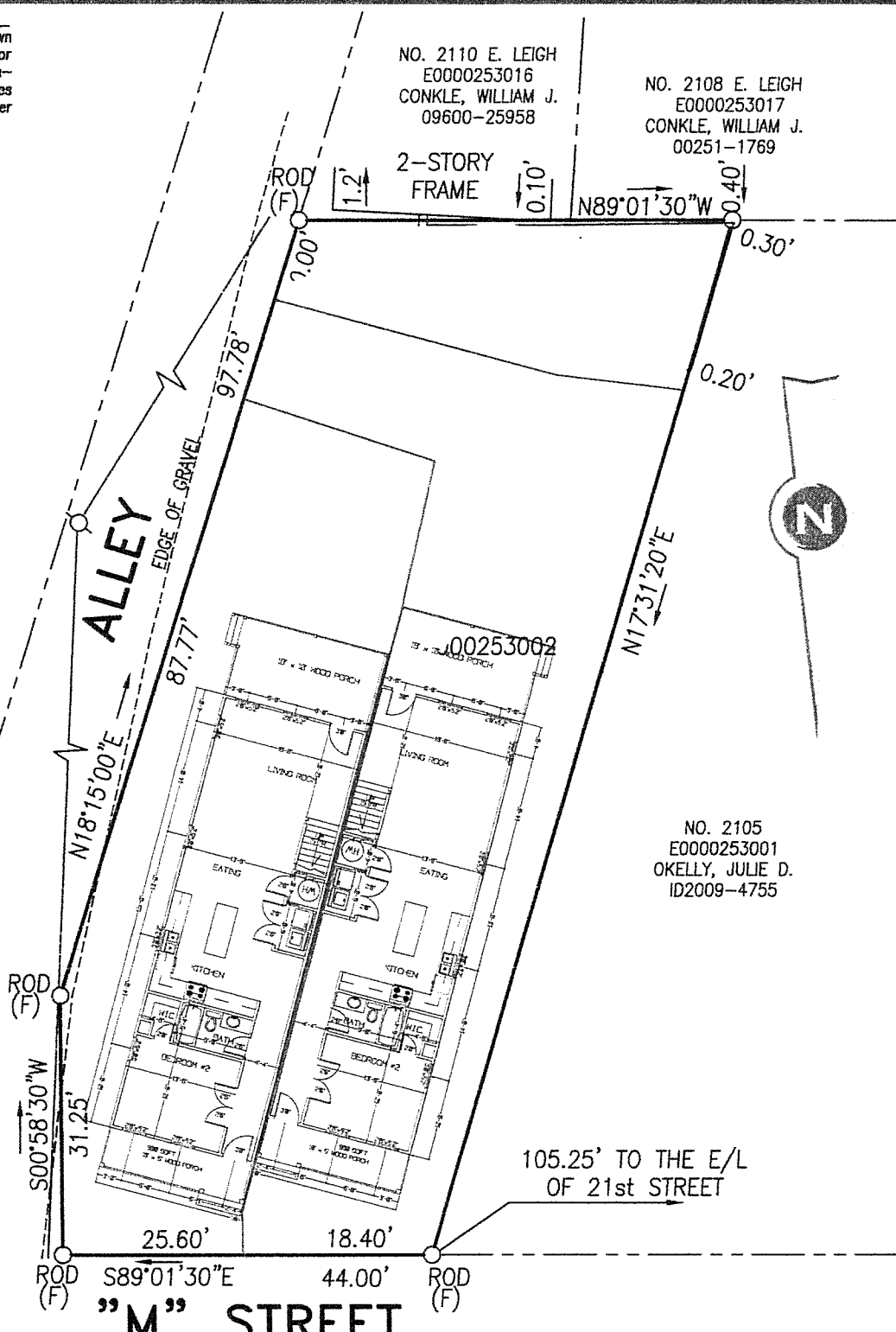
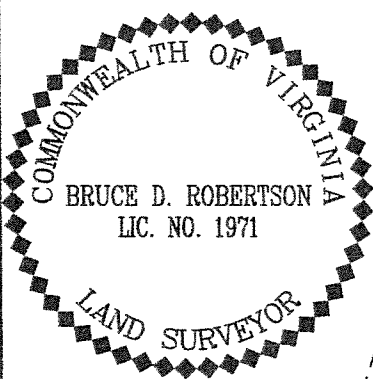


Date: 9/11/14
 Scale: 1"=20'
 Bruce Robertson Land Surveying, P.C.
 P.O. Box 35311 Richmond, Virginia Phone/Fax (804)330-2801 **Job No. 1480**

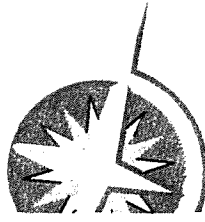
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**SURVEY OF
 NO. 2109 & 2111 "M" STREET
 RICHMOND, VIRGINIA**



Bruce Robertson Land Surveying, P.C.

P.O. Box 35311 Richmond, Virginia Phone/Fax (804)330-2801

Job No. 1480

Date: 9/11/14
 Scale: 1"=20'

2109 and 2111 M Street Proposed Materials and Details

Siding – Smooth Hardiplank

Windows – Composite

Front door – Fiberglass or Wood

Front porch – Painted Richmond Rail

Front Posts – Wood

Main Roof- Rubber Membrane

Front porch roof – Architectural Shingles

Corbels- Vinyl

Foundation – Masonry

Front Porch Foundation Supports – Masonry or Brick

Building Height- 24-26 ft

Side setbacks 3+ feet as per R-63 zoning code

Neighbors building heights and setbacks-

2105 M St-

Estimated building height 24 feet (2 story)

Setback 2-5 feet (angled)

2113 M St-

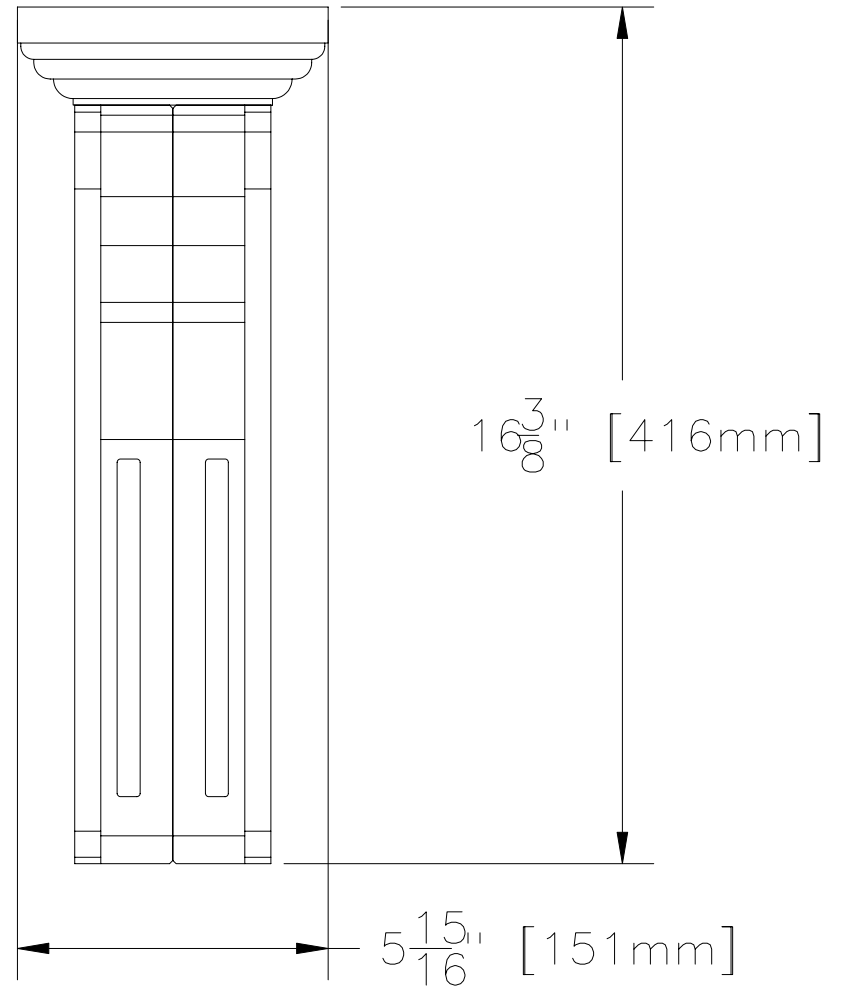
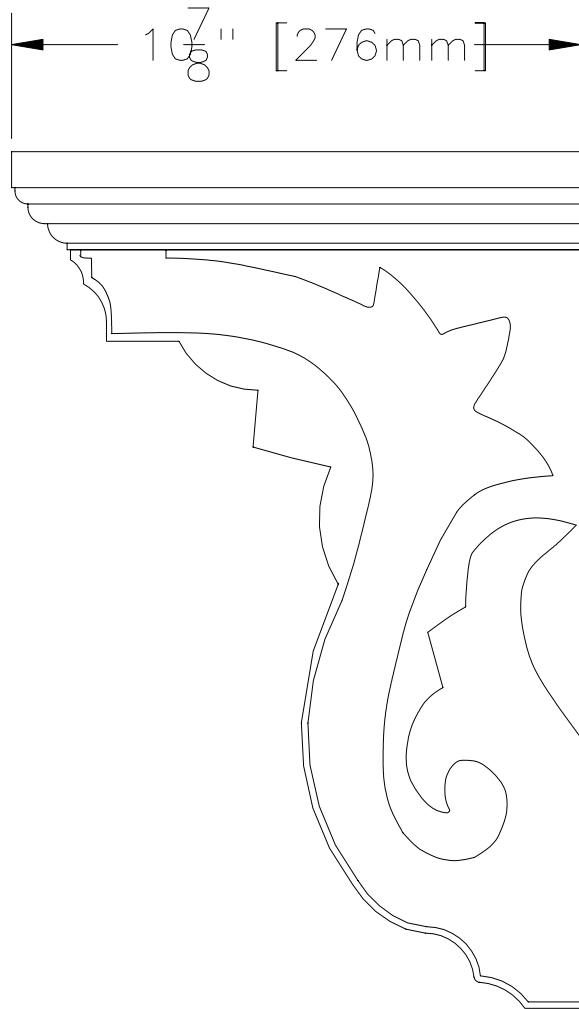
Estimated building height 30 feet (3 story)

Setback 2-5 feet (angled)

2105 M Street Front Existing

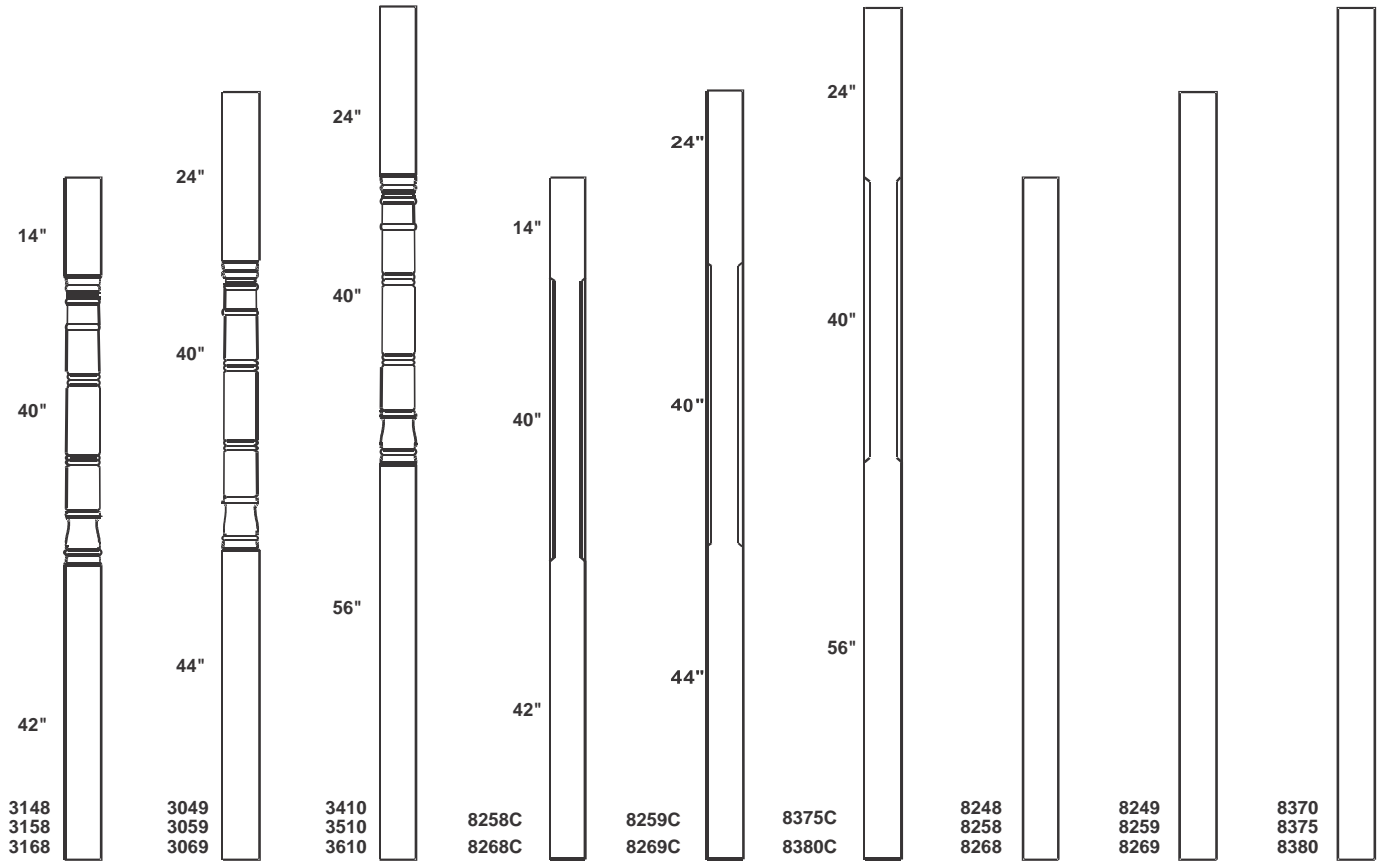








Post Defense™ Wood Porch Posts



NEW! Post Defense program now applies to ALL Turncraft porch posts!

Porch posts are turned from finger-jointed, kiln dried western wood species. All turned surfaces are factory sanded.

Since moisture is one of the primary problems in fungal wood decay, Post Defense posts are factory sealed on the bottom end. This end must never be trimmed - doing so will void the warranty. This sealer provides an effective method of controlling moisture and inhibiting the growth of fungal decay. Our specially formulated 100% acrylic latex primer is applied, adding to the prevention and control of moisture and fungal decay. Quick-Mount™, aluminum plinths, or other elevated platforms are required on each post for warranty coverage.

The Post Defense limited lifetime warranty is only available in the continental USA. Contact Turncraft for complete warranty and installation instructions.



COLONIAL PORCH POSTS

Size*	Stock #	Lead Time	Base Height	Load Capacity	Ship Weight	Pieces per Pallet**
4" x 8'0"	D3148A	3	42"	1,000	14	120
4" x 9'0"	D3049A	3	44"	1,000	15	120
4" x 10'0"	D3410A	3	56"	1,000	17.5	120
5" x 8'0"	D3158A	3	42"	3,000	19	80
5" x 9'0"	D3059A	3	44"	3,000	23	80
5" x 10'0"	D3510A	3	56"	3,000	26	80
6" x 8'0"	D3168A	3	42"	5,800	27	56
6" x 9'0"	D3069A	3	44"	5,800	29	56
6" x 10'0"	D3610A	3	56"	5,800	34	56

*Net width is 3/4" less than nominal. Inside width of 5" post is 1-3/4", inside width of 6" post is 2-3/8".

Specifications subject to change without notice.



Post Defense™ Wood Porch Posts

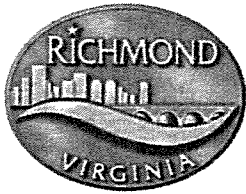
CHAMFERED PORCH POST

Size*	Stock #	Lead Time	Base Height	Load Capacity	Ship Weight	Pieces per Pallet**
5" x 8'0"	D8258CA	3	42"	3,000	21	80
5" x 9'0"	D8259CA	3	44"	3,000	25	80
5" x 10'0"	D8375CA	3	56"	3,000	29	80
6" x 8'0"	D8268CA	3	42"	5,800	30	56
6" x 9'0"	D8269CA	3	44"	5,800	34	56
6" x 10'0"	D8380CA	3	56"	5,800	38	56

SQUARE PORCH POSTS

Size*	Stock #	Lead Time	Base Height	Load Capacity	Ship Weight	Pieces per Pallet**
4" x 8'0"	D8248A	3	N/A	1,000	16	120
4" x 9'0"	D8249A	3	N/A	1,000	17	120
4" x 10'0"	D8370A	3	N/A	1,000	19	120
5" x 8'0"	D8258A	3	N/A	3,000	21	80
5" x 9'0"	D8259A	3	N/A	3,000	25	80
5" x 10'0"	D8375A	3	N/A	3,000	29	80
6" x 8'0"	D8268A	3	N/A	5,800	30	56
6" x 9'0"	D8269A	3	N/A	5,800	34	56
6" x 10'0"	D8380A	3	N/A	5,800	38	56

*Net width is 3/4" less than nominal. Inside width of 5" post is 1-3/4", inside width of 6" post is 2-3/8".



CITY OF RICHMOND

DEPARTMENT OF
PLANNING AND DEVELOPMENT REVIEW
ZONING ADMINISTRATION

August 8, 2014

Alan Watkins
March Forth Properties
P.O. Box 9866
Henrico, Virginia 23228

Re: 2109 & 2111 M Street
Tax Map: E000-0253/002

Dear Mr. Watkins:

Thank you for your request for a *Zoning Confirmation Letter* regarding the above referenced property. In response to your letter, be advised of the following:

The property is located within an R-63 (Multi-Family Urban Residential) zoning district. The current R-63 District requires a minimum lot area of not less than two thousand two hundred square feet (2,200 SF) and the minimum lot width shall be not less than sixteen feet (16'), except that the width of any lot at the end of a series (3 or more) of attached units shall be not less than nineteen feet (19') for single-family attached dwellings. According to City Assessor's records and deeds, the subject property has an irregular shape with a road frontage of forty-four feet (44') along M Street and a lot depth of one hundred thirty feet (130'), which results in an approximate lot area of 5,284 square feet. The lot is deeded as an independent lot of record and has been since, at least 1942. The property previously contained a two-family dwelling (side by side) that was demolished in 1997.

As proposed, your intent is to split the subject property and create two (2) independent lots for the construction of a new single-family attached dwelling on each newly created lot. Without a more definitive proposal from you (i.e. survey showing the proposed division line with the proposed lot areas and lot widths), this Office cannot determine compliance with the R-63 District regulations. However, based on City records, the possibility exists that the minimum lot area and minimum lot width would be met for a proposed lot split. No subdivision would be necessary for this lot split.

Zoning requirements that would affect the potential development of the site (s) for single-family attached development are as follows:

1. Front yard – no front yard shall be required. In no case shall a front yard with a depth of greater than fifteen feet (15') be permitted for a main building.
2. Side yards – not less than three feet (3'), except where buildings are attached.

Alan Watkins
RE: 2109 & 2111 M Street
August 8, 2014
Page 2

3. Rear yard – not less than five feet (5').
4. Lot coverage – not to exceed sixty-five percent (65%) of the area of the lot.
5. Building height – no building or structure shall exceed three (3) stories in height. Every main building hereinafter constructed shall have a minimum height of not less than two (2) stories, except that porches, porticos and similar structures attached to a main building may be of lesser height. No accessory building shall exceed twenty feet (20') in height.
6. Parking – minimum of one (1) on-site parking space for each lot. **Be advised, since there is not a public alley behind the subject property, the proposed lots would both need access to the existing alley that currently runs along the eastern property line or provide an improved access easement to the proposed lot that would not have public alley access.

This property is located within a City Old and Historic District (Union Hill). Any new construction will require approval by the Commission of Architectural Review. For information concerning the Commission of Architectural Review, please contact James Hill, Planner III, Planning and Preservation at 646-6335.

Please be advised, that the Department of Finance records is showing delinquent real estate taxes on this property. Be advised that until you provide this office with documentation indicating the real estate taxes have been paid-in-full, any future permit applications will not be processed. Be advised that this figure will increase due to the accruing of additional interest and penalties for each day the taxes due are not paid.

You are hereby advised that you have thirty (30) days from this notice in which to appeal this decision to the Board of Zoning Appeals, in accordance with §15.2-2311 of the Code of Virginia and §17.19 of the Richmond City Charter, or this decision shall be final and unappealable. Such appeal must be in writing and must be filed with the Secretary to the Board of Zoning Appeals. Said appeal shall indicate in specific terms the grounds for the appeal and must be accompanied by a filing fee of two hundred fifty dollars (\$250.00).

I hope this information is sufficient. Should you have any additional questions, please contact Senior Planner David Duckhardt at 646-6917.

Sincerely,

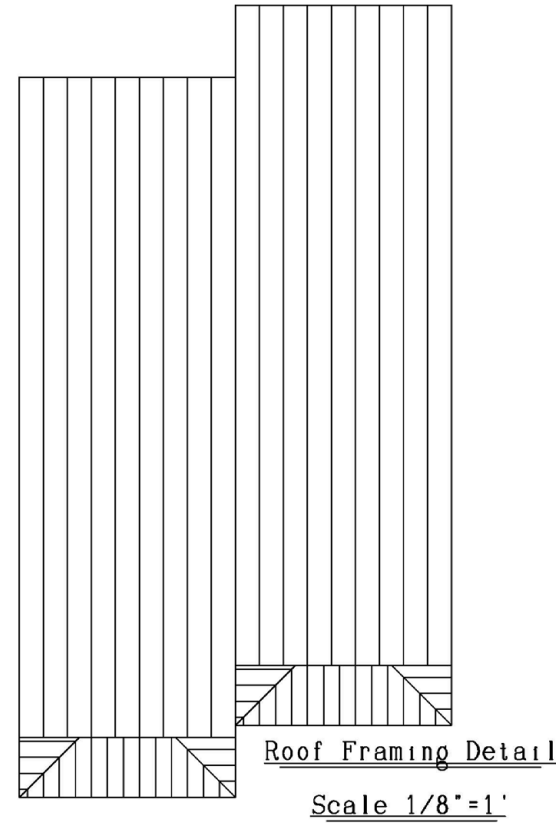


William C. Davidson
Zoning Administrator

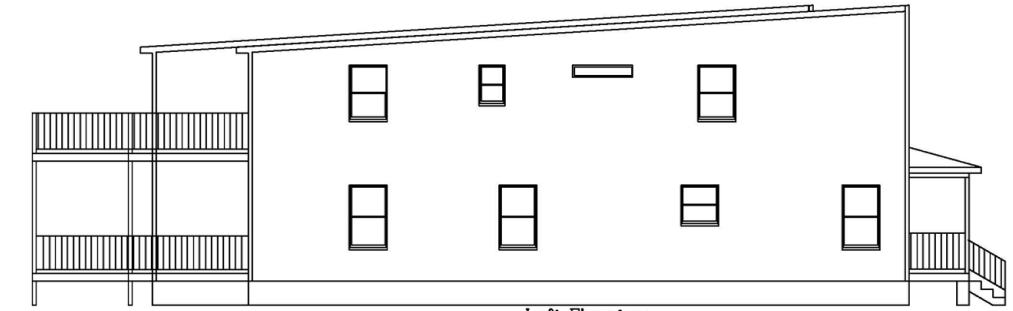


FOUNDATION HEIGHT
NEEDS TO BE EQUAL OR LOWER THAN
NEIGHBOR TO RIGHT

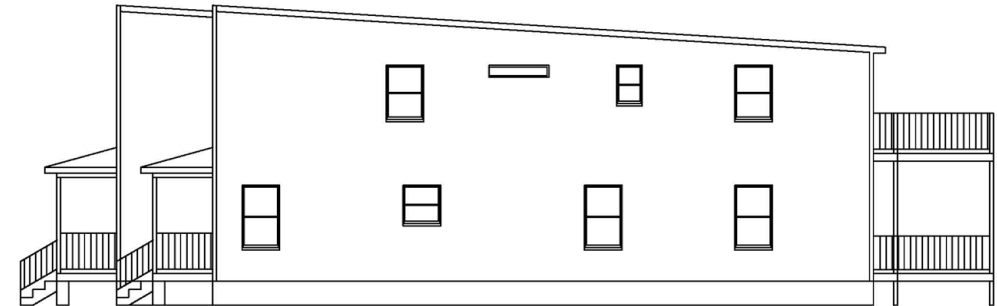
Front Elevation
Scale 1/4"=1'



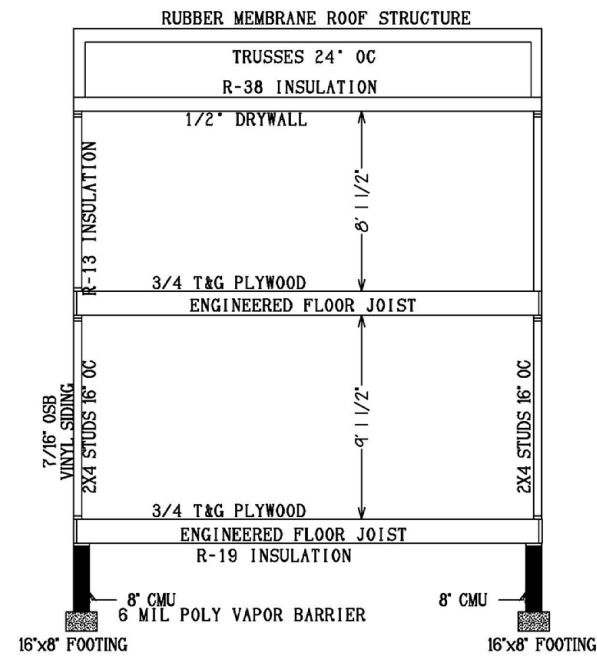
Roof Framing Detail
Scale 1/8"=1'



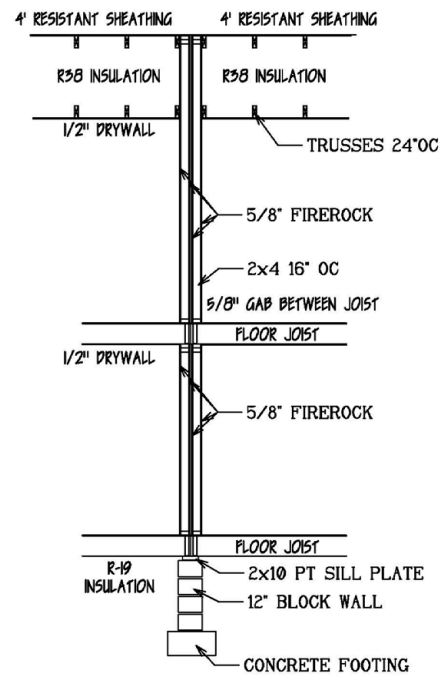
Left Elevation
Scale 1/8"=1'



Right Elevation
Scale 1/8"=1'



THRU WALL SECTION
SCALE 1/4"=1'



FIREWALL DETAIL
SCALE 1/4"=1'



Rear Elevation
Scale 1/8"=1'

THIS PLAN IS DRAWN TO MEET
IRC 2009 & VRC 2009
BRACED WALL LINES USING
CLASSIC METHOD

THIS PLAN WAS DESIGNED FOR
HISTORIC UNION HILL LLC

THIS PLAN DESIGNED BY
NetCadDrafting
804-640-0791
www.netcadrafting.com

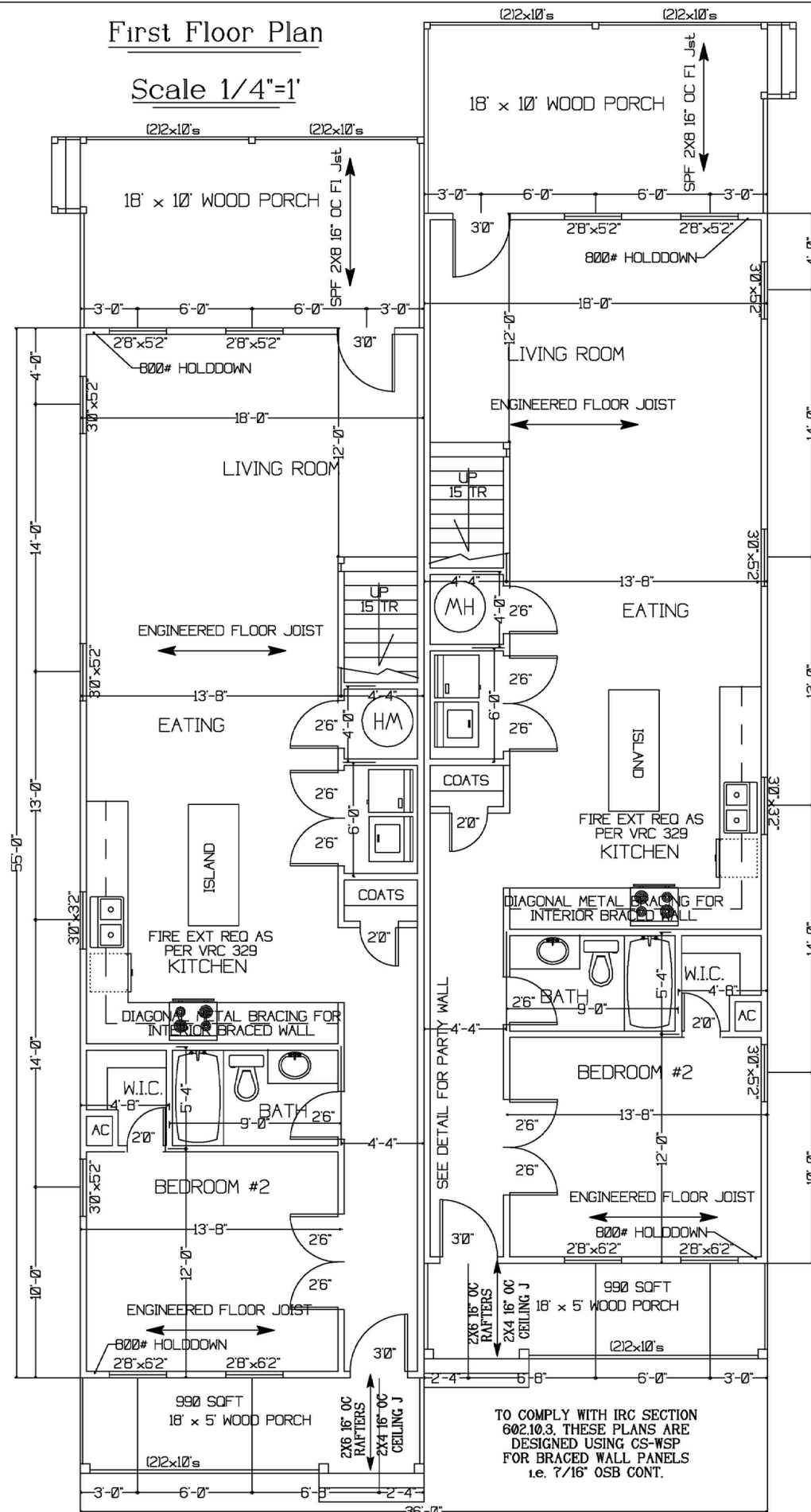
TWO FAMILY
ELEVATIONS

DATE OF PLANS
11/3/14
PLANS DRAWN BY
BRAD PRICE

1 OF 2

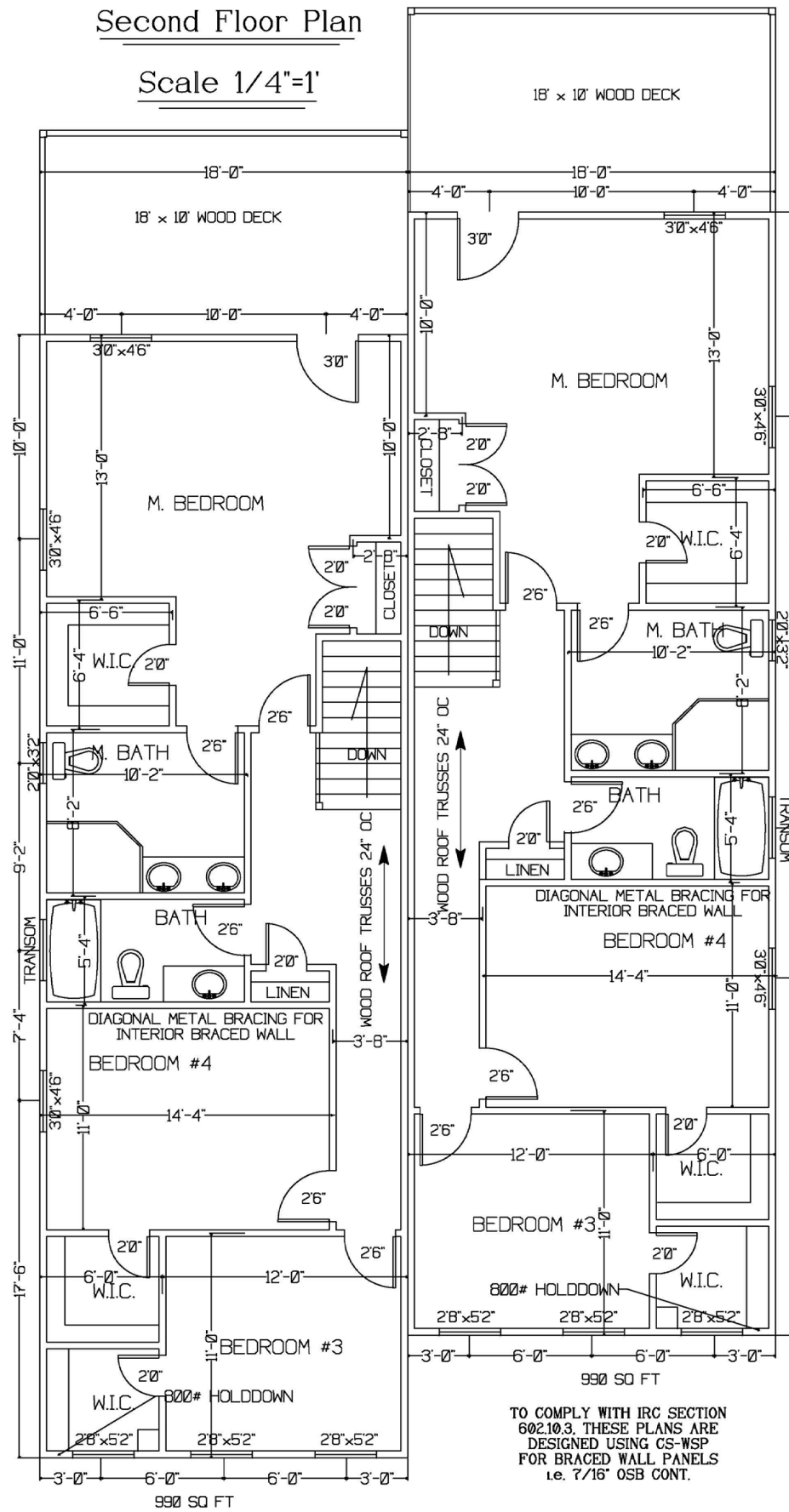
First Floor Plan

Scale 1/4"=1'

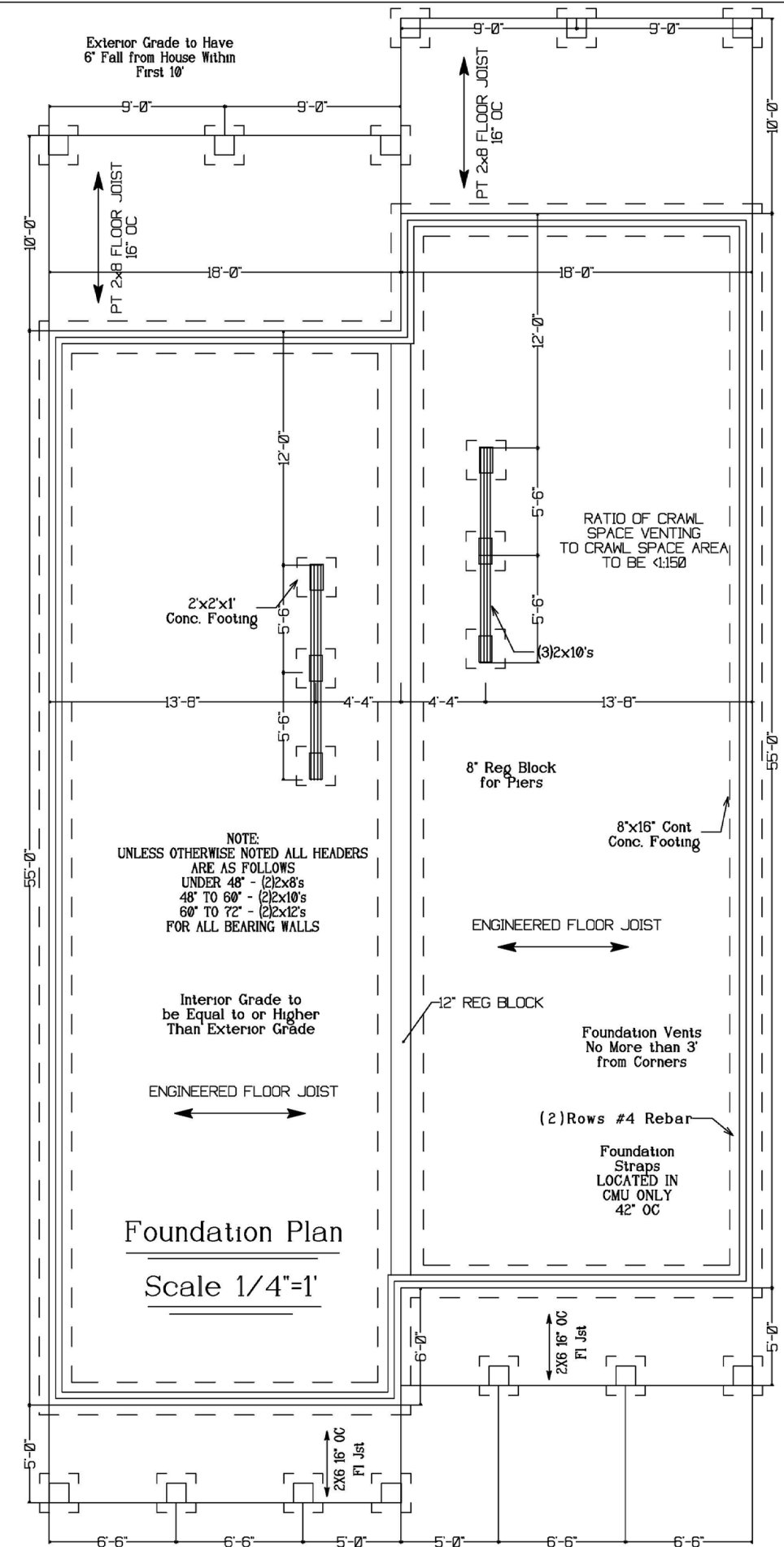


Second Floor Plan

Scale 1/4"=1'



Exterior Grade to Have 6\"/>



Foundation Plan

Scale 1/4"=1'

TO COMPLY WITH IRC SECTION 602.10.3, THESE PLANS ARE DESIGNED USING CS-WSP FOR BRACED WALL PANELS i.e. 7/16\"/>

THIS PLAN WAS DESIGNED FOR

THIS PLAN DESIGNED BY

HISTORIC UNION HILL LLC

NetCadDrafting

804-640-0791
www.netcad.com

TWO FAMILY
FLOOR PLANS

DATE OF PLANS
11/3/14
PLANS DRAWN BY
BRAD PRICE

2 OF 2