



Commission for Architectural Review Application for Certificate of Appropriateness

900 E. Broad Street, Room 510
Richmond, VA 23219 | (804)-646-6569
www.rva.gov/planning-development-review/commission-architectural-review



Property (location of work)

Address: _____

Historic District: _____

Applicant Information

Billing Contact

Owner Information

Billing Contact

Name: _____

Same as Applicant

Email: _____

Name: _____

Phone: _____

Email: _____

Company: _____

Phone: _____

Mailing Address: _____

Company: _____

Mailing Address: _____

Applicant Type: Owner Agent Lessee

Architect Contractor

Other (specify): _____

****Owner must sign at the bottom of this page****

Project Information

Project Type: Alteration Demolition New Construction (Conceptual Review Required)

Project Description (attach additional sheets if needed):

Acknowledgement of Responsibility

Compliance: If granted, you agree to comply with all conditions of the certificate of appropriateness (COA). Revisions to approved work require staff review and may require a new application and approval from the Commission of Architectural Review (CAR). Failure to comply with the conditions of the COA may result in project delays or legal action. The COA is valid for one (1) year and may be extended for an additional year, upon written request and payment of associated fee.

Requirements: A complete application includes all applicable information requested on checklists available on the CAR website to provide a complete and accurate description of existing and proposed conditions, as well as payments of the application fee. Applications proposing major new construction, including additions, should meet with staff to review the application and requirements prior to submitting an application. Owner contact information and signature is required. Late or incomplete applications will not be considered.

Zoning Requirements: Prior to Commission review, it is the responsibility of the applicant to determine if zoning approval is required an application materials should be prepared in compliance with zoning.

Signature of Owner _____ Date _____

Certificate of Appropriateness Application Instructions

In advance of the application deadline, please contact staff to discuss your project, application requirements, and if necessary, to make an appointment to meet with staff for a project consultation. The CAR website has additional project guidance and required checklists: www.rva.gov/planning-development-review/commission-architectural-review

Staff Contact: (804)-646-6569 | alex.dandrige@rva.gov | alyson.oliver@rva.gov

Submission Instructions

Certain exterior work can be administratively approved by Staff. Please contact staff via email with the project address in the subject line. Submit the following items via email to staff:

- One (1) signed and completed application (PDF) – property owner's signature required
- One (1) copy of supporting documentation, as indicated on appropriate checklist (PDF)
- Application fee, if required, will be invoiced via the City's Online Permit Portal. Payment of the fee must be received before the application will be scheduled. Please see fee schedule brochure available on the CAR website for additional information.
- **Application deadlines are firm.** All materials must be submitted by the deadline to be considered at the following Commission meeting. Designs must be final at the time of application; revisions will not be accepted after the deadline. Incomplete and/or late applications will not be placed on that month's agenda.
- A complete application includes a signed application form, related checklist, legible plans, drawings, elevations, material specifications, and payment of the required fee as described in Sec. 30-930.6(b).
- The Commission will not accept new materials, revisions, or redesigns at the meeting. Deferral until the following month's meeting may be necessary in such cases to allow for adequate review by staff, Commissioners, and public notice, if required.

Meeting Schedule and Application Due Dates

- The CAR meets on the fourth Tuesday of each month, except for December when it meets on the third Tuesday.
- The hearing of applications starts at 4:00pm via Microsoft Teams. The owner and/or applicant is encouraged to attend the meeting.
- All applications are due at 12 noon the Friday after the monthly CAR meeting, except in December, when applications are due the following Monday. For a list of meeting dates and submission deadline dates for each meeting please visit www.rva.gov/planning-development-review/commission-architectural-review or contact staff.
- Exception: Revisions to applications that have been deferred or conceptually reviewed at a CAR meeting can be submitted nine (9) business days after that meeting in order to be reviewed at the following meeting. Please contact staff to confirm this date.

Fees

- **Full Demolition:** \$1,500
- **New construction/addition to a building other than for a single- or two-family dwelling or accessory building, including multi-family or mixed-use developments:** \$500
- **New construction/addition to a single- or two-family dwelling, or accessory building:** \$250
- **Amendments to previous certificates of appropriateness (COAs) concerning non-structural alterations, changes to signage, and changes to plans:** \$150
- **Extension of a certificate of appropriateness (COA):** \$25

CAR Write up for
611 N 26th St
Richmond Va 23223:

Current SF is 1,586SF

Proposed SF is 2,437 SF

Removal of the Laundry Room, first floor hall bath and kitchen: currently this section of the home is built into grade and sits about 8" above the ground under the bathroom....as you move towards the rear it shrinks to 6' or so. Getting under the home is nearly impossible and we have had freezing pipe issues as well as 2 joists are starting to sag down there. Its not a super sustainable way to have built an addition when the last renovation was done it was worked on from the top down. We think this is a 1920s addition but are not totally sure its certainly not original to the home. We are proposing removing this section of the home entirely and digging out a basement under it and expanding the foot print of the home by 10' on all 3 floors

Addition of Rear poches off of the basement (not visible from a public right of way as this will be under the ground level; 1st and 2nd floors. Railings will be Richmond rail and decking to be tongue and groove PVC

Addition of a garage in the rear as well as a 2nd floor office above the garage. We have found many garages with livable 2nd floors in the area (27th and Leigh; 27th and M St; 600 Block of N 25th; 300 Block of N 23rd; 300 Block of N 33rd; 700 Block of Chimborazo to name a few)



PROJECT CONTACTS:

DEVELOPER:
MATT JARREAU
804-306-9019

ARCHITECT:
CHRISTOPHER WOLF
CHRIS WOLF ARCHITECTURE, PLLC
804-514-7644

ADDITION TO SINGLE-FAMILY DETACHED HOUSE & NEW DETACHED GARAGE
IN RICHMOND'S HISTORIC CHURCH HILL NEIGHBORHOOD

JARREAU HOUSE

611 N 26TH STREET
RICHMOND, VIRGINIA 23223

ADDITION TO SINGLE-FAMILY DETACHED HOUSE & NEW DETACHED GARAGE
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DRAWING INDEX

DRAWINGS

NO.	SHEET TITLE
CS	COVER SHEET
CI.1	ARCHITECTURAL SITE PLAN
DI.1	SCHEMATIC AS-BUILT / DEMOLITION PLANS
AI.0	BASEMENT PLAN
AI.1	FIRST FLOOR PLAN
AI.2	SECOND FLOOR PLAN
A2.1	FRONT EXTERIOR ELEVATION & EXTERIOR FINISH SCHEDULE
A2.2	REAR & SIDE EXTERIOR ELEVATIONS
G1.1	FRONT EXTERIOR ELEVATION & EXTERIOR FINISH SCHEDULE
G2.1	REAR & SIDE EXTERIOR ELEVATIONS

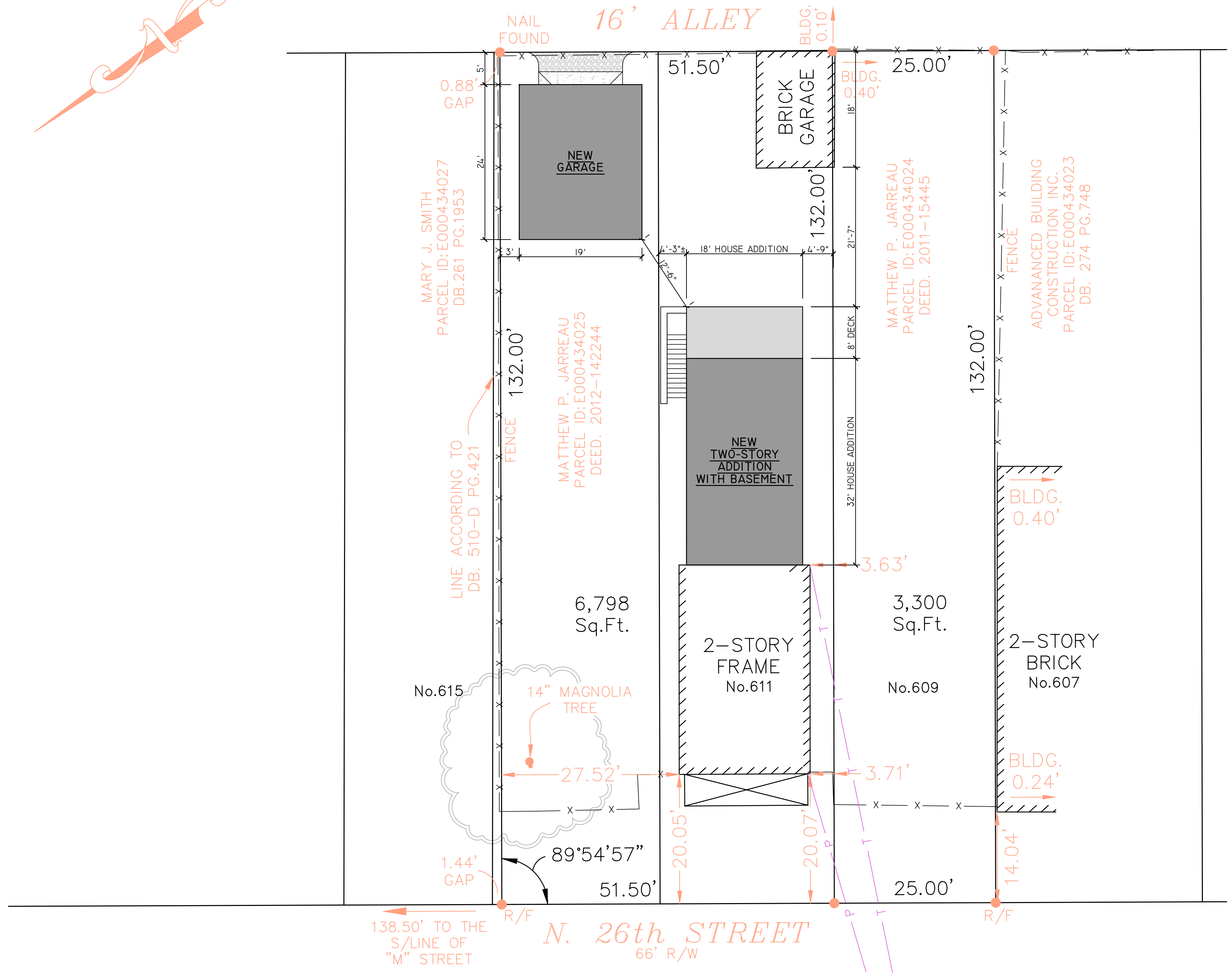
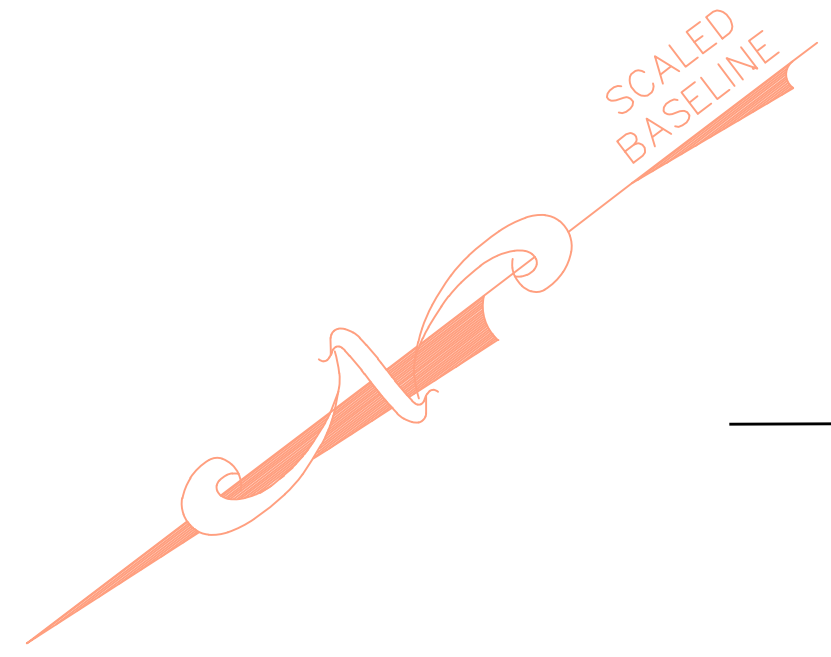


SET/REVISION:
C.A.R. CONCEPTUAL REVIEW

DATE/MARK:
02.25.2022

COVER SHEET

CS



PROJECT CONTACTS:
 DEVELOPER:
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 804-306-9019
 ARCHITECT:
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 804-514-7644

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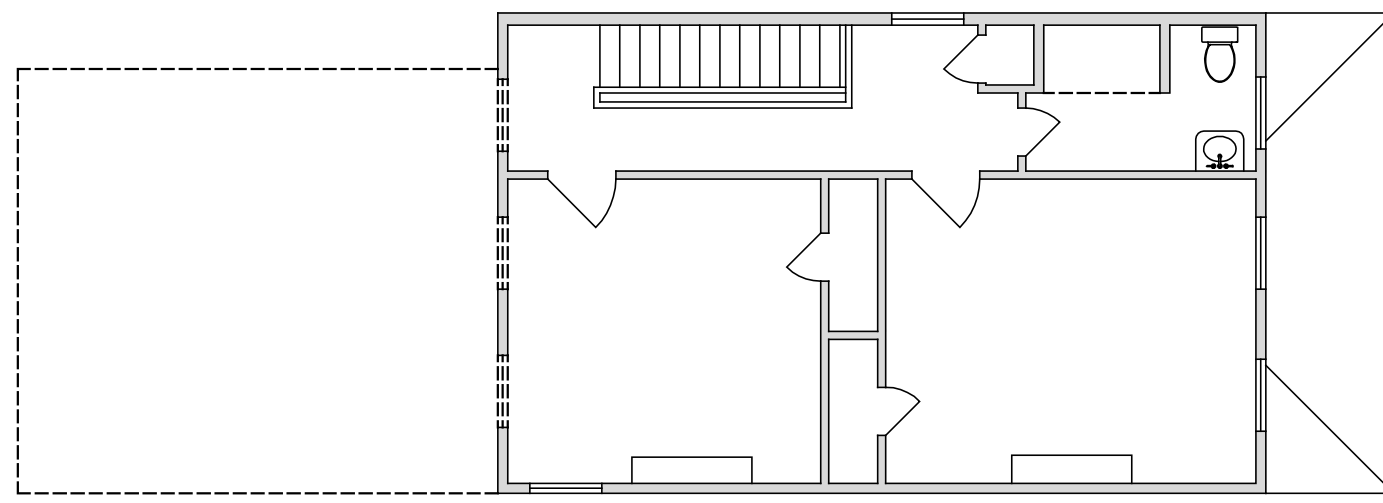


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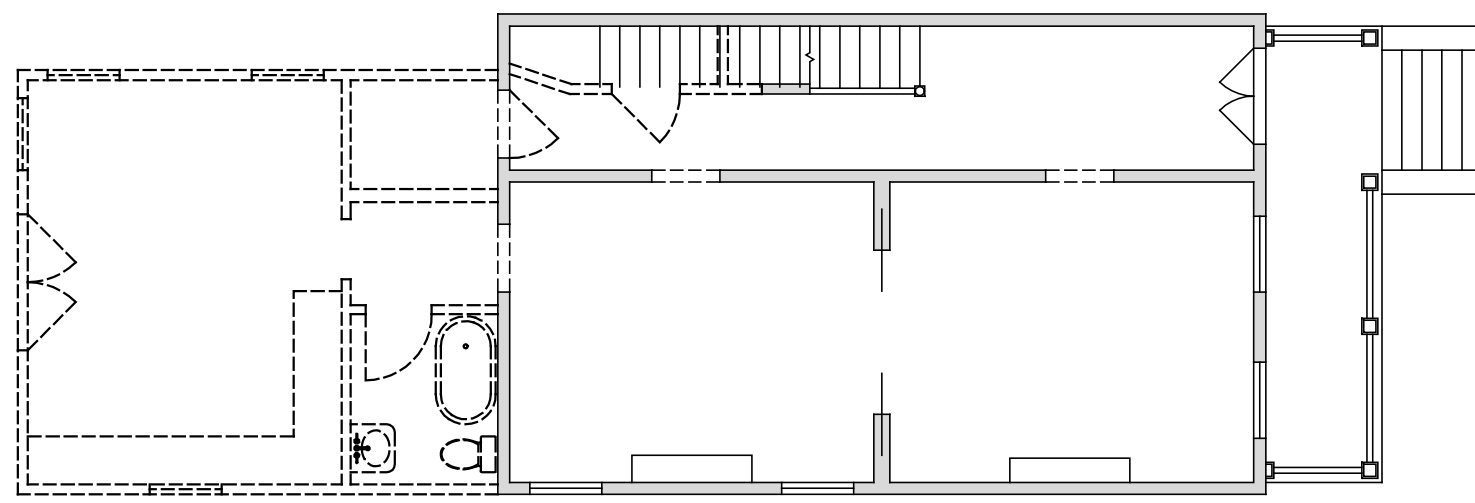
ARCHITECTURAL
 SITE PLAN

CI.I



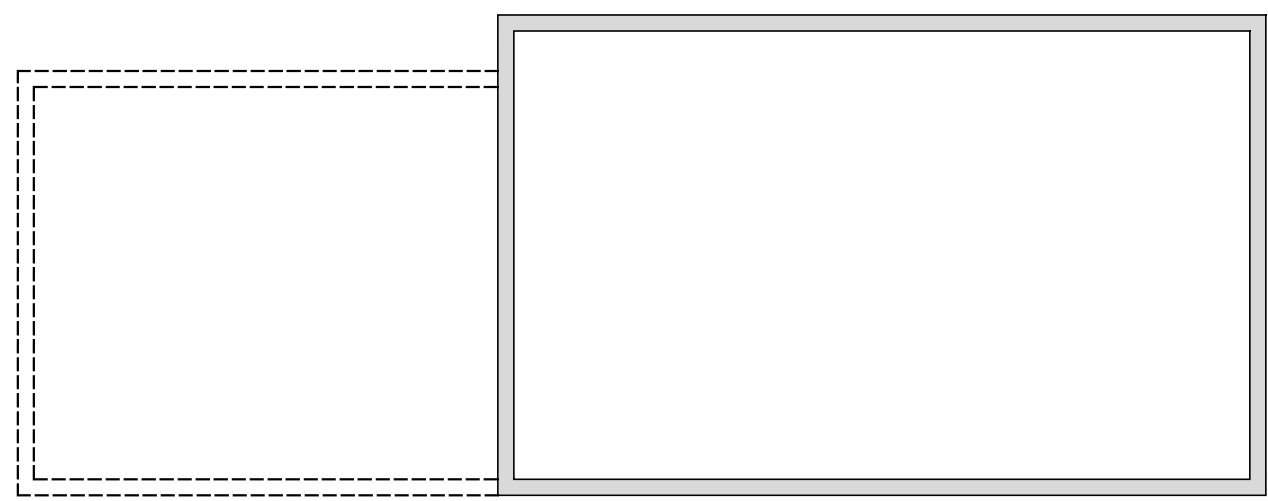
HOUSE ADDITION BELOW TO BE DEMOLISHED ORIGINAL HOUSE TO REMAIN

02 AS-BUILT/DEMO SECOND FLOOR PLAN
1/8" = 1'



HOUSE ADDITION & DECK TO BE DEMOLISHED ORIGINAL HOUSE TO REMAIN

01 AS-BUILT/DEMO FIRST FLOOR PLAN
1/8" = 1'



HOUSE ADDITION FOUNDATION TO BE DEMOLISHED ORIGINAL CRAWLSPACE FOUNDATION TO REMAIN

00 AS-BUILT/DEMO BASEMENT PLAN
1/8" = 1'

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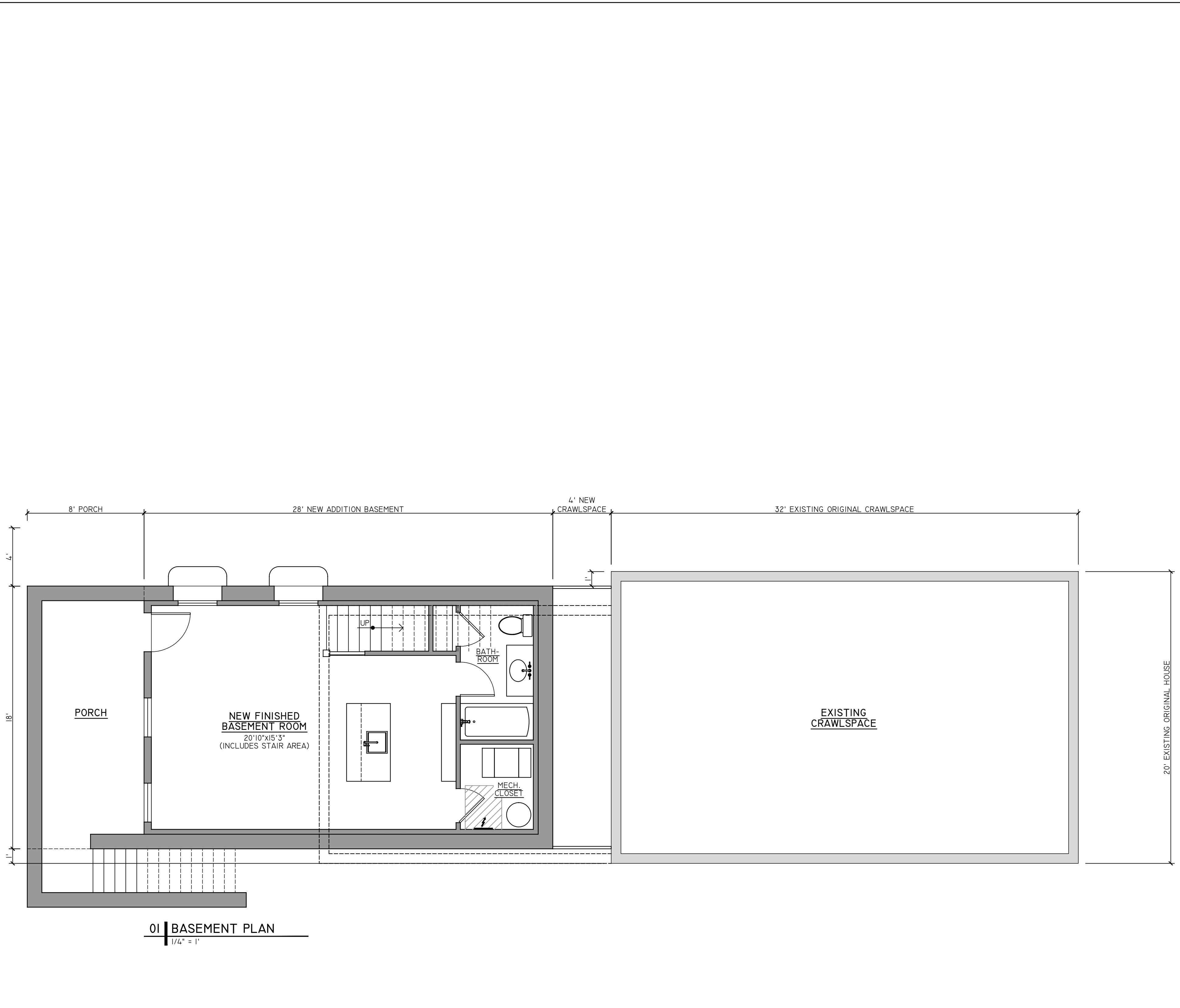
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SCHEMATIC AS-BUILT/
DEMO PLANS

DI.1



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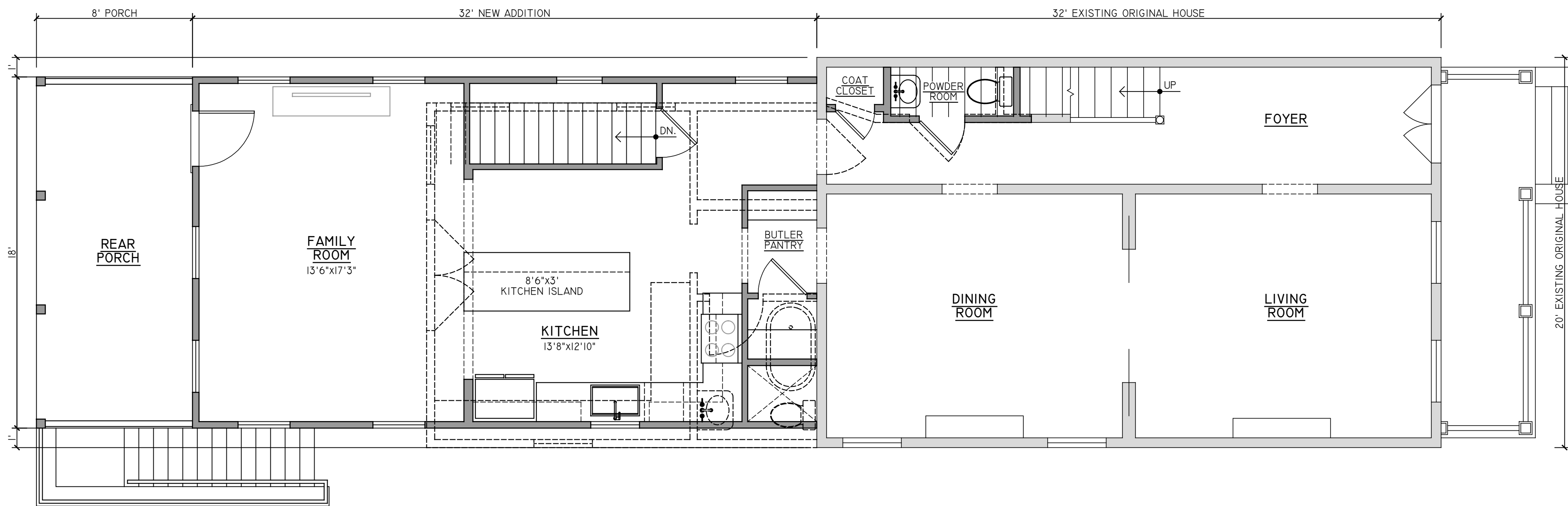
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BASEMENT PLAN
AI.0



01 | FIRST FLOOR PLAN
1/4" = 1'

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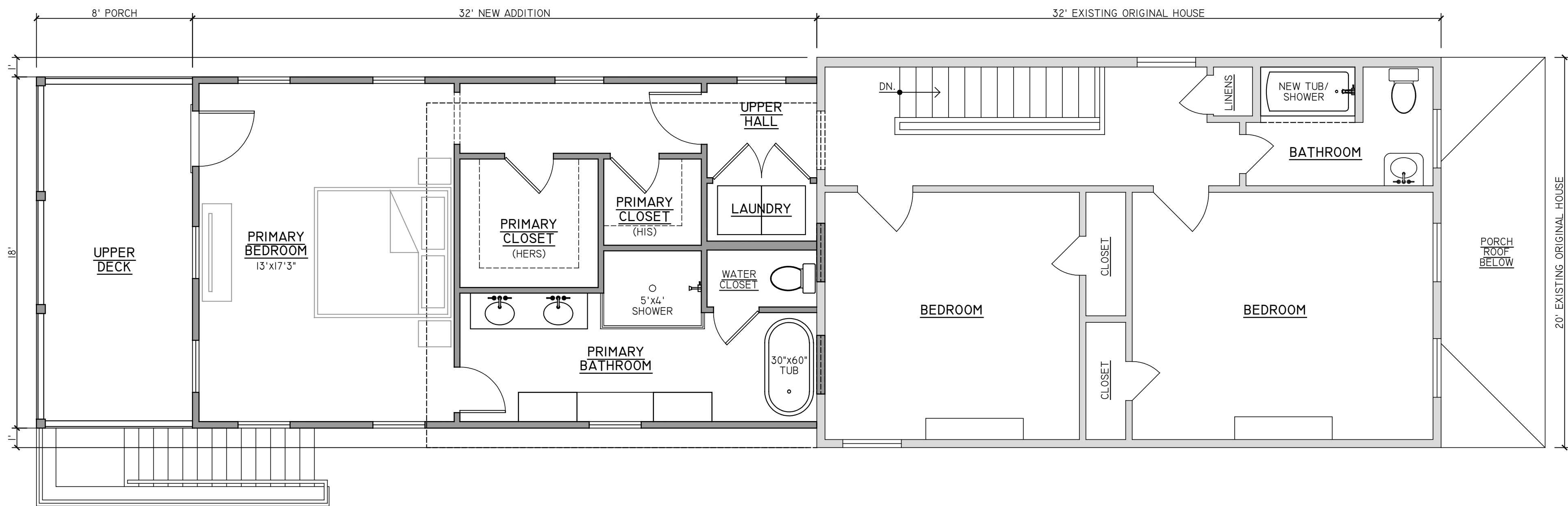
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FIRST FLOOR PLAN

AI.1



01 | SECOND FLOOR PLAN
1/4" = 1'

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SECOND FLOOR PLAN

AI.2

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REAR ELEV.,
EXT. FINISH SCHEDULE

A2.1

EXTERIOR FINISH SCHEDULE		
EXISTING HOUSE		
NO.	COMPONENT/MATERIAL	COLOR/FINISH
01	-	-
02	-	-
NEW ADDITION		
NO.	COMPONENT/MATERIAL	COLOR/FINISH
01	PARGED FOUNDATION	THRU-COLOR GRAY
02	HARDIE 7" EXPOSURE LAP SIDING	PAINTED TO MATCH EXISTING
03	COMPOSITE/HARDIE TRIM	PAINTED ARCTIC WHITE
04	COMPOSITE/HARDIE VENTED SOFFITS	PAINTED ARCTIC WHITE
05	NEW DOORS	PAINTED - COLOR T.B.D.
06	WINDOWS (SEE NOTES BELOW)	PREFINISHED WHITE
07	MAIN ROOF - TPO	FACTORY WHITE
08	ALUMINUM GUTTER & DOWNSPOUTS	PREFINISHED WHITE
09	WALL-MOUNTED LANTERNS AT DOORS	BLACK
10	REAR DECK - FRAMING	PAINTED ARCTIC WHITE
11	REAR DECK - WOOD DECKING	OPAQUE STAINED DARK GRAY
12	REAR DECK - "RICHMOND" RAILING	PAINTED ARCTIC WHITE
13	BASEMENT STAIR RAILING - "WROUGHT IRON"	BLACK

1. ALL MATERIALS & COLORS MUST MEET GENERAL C.A.R. REQUIREMENTS.
2. EXTERIOR ELEVATION NOTES ARE TYPICAL ACROSS ALL EXTERIOR ELEVATIONS UNLESS NOTED OTHERWISE.
3. GRADES SHOWN APPROXIMATE. V.I.F.
4. NEW WINDOWS C.A.R.-COMPLIANT CLAD WOOD WINDOWS. NEW WINDOWS DOUBLE HUNG OR FIXED (INOPERABLE).



01 | REAR ELEVATION
1/4" = 1'



← EXISTING HOUSE NEW ADDITION →

01 | RIGHT SIDE ELEVATION
1/4" = 1'



← NEW ADDITION EXISTING HOUSE →

01 | LEFT SIDE ELEVATION
1/4" = 1'

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LEFT SIDE
EXTERIOR ELEVATION

A2.2

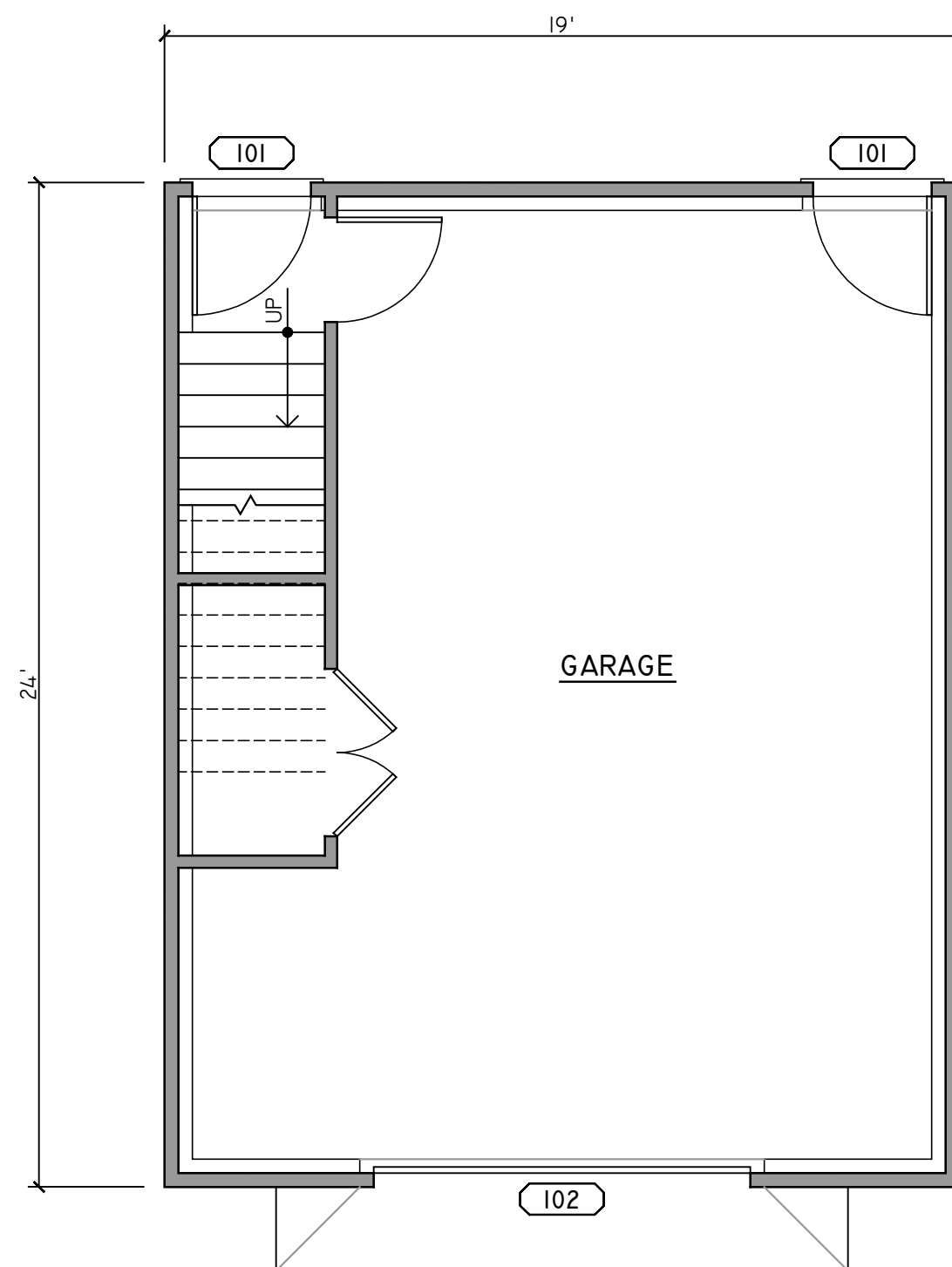
GARAGE EXTERIOR FINISH SCHEDULE

NO.	COMPONENT/MATERIAL	COLOR/FINISH
01	PARGED FOUNDATION	DARK GRAY OR CONCRETE
02	HARDIE 7" EXPOSURE LAP SIDING	COLOR T.B.D.
03	COMPOSITE/HARDIE TRIM	"ARCTIC WHITE"
04	COMPOSITE/HARDIE SOFFITS	"ARCTIC WHITE"
05	DOORS	PER DEVELOPER
06	WINDOWS	MATCH C.A.R. APPROVED HOUSE WINDOWS
07	MAIN ROOF - STANDING SEAM METAL ROOF	GRAY/BLACK
08	ALUMINUM GUTTER & DOWNSPOUTS	PREFINISHED WHITE
09	WALL-MOUNTED LANTERNS & SECURITY LIGHTS	BLACK

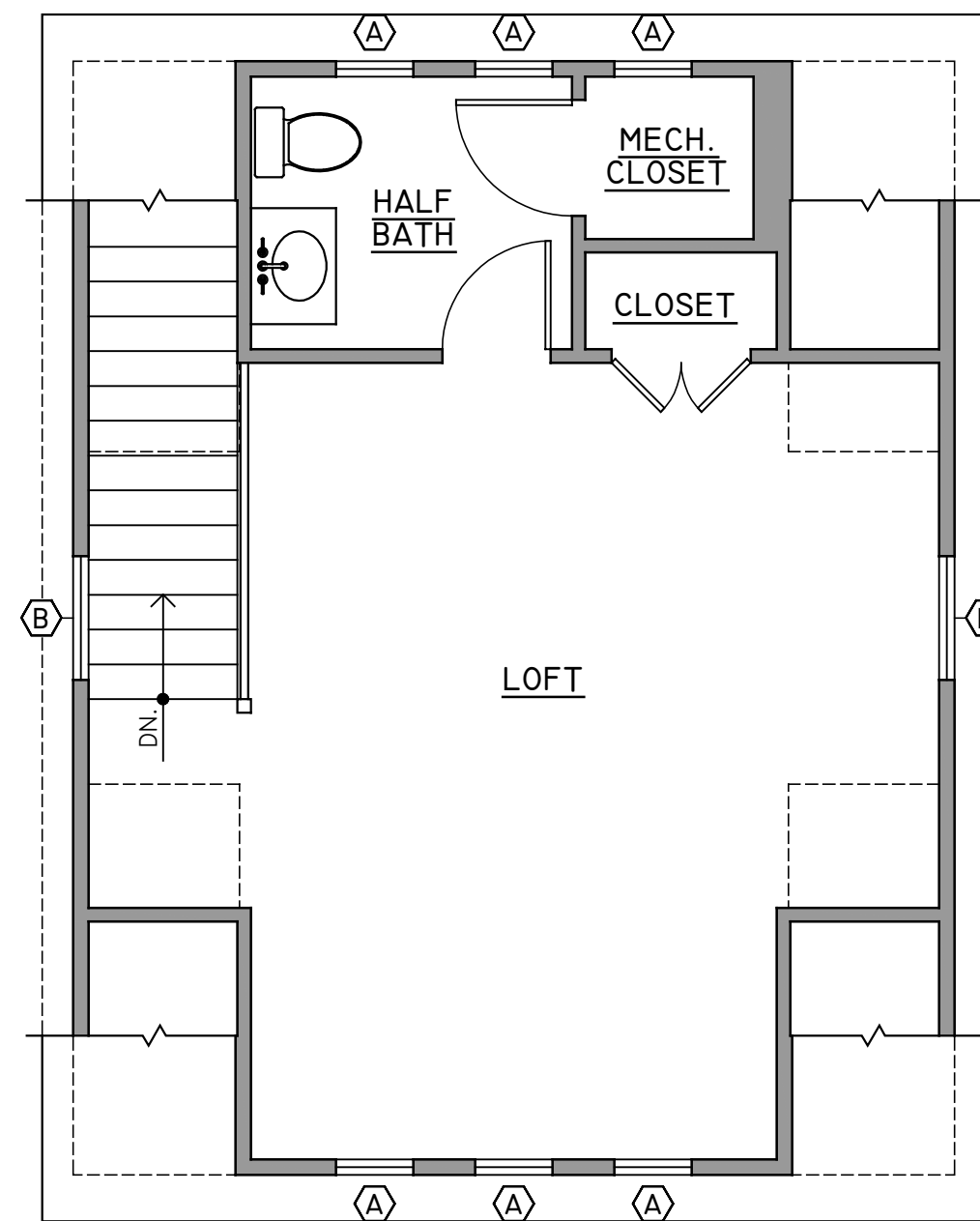
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3. GRADES SHOWN APPROXIMATE. V.I.F.

GARAGE DOOR/WINDOW SCHEDULE (PER UNIT)

NO.	QTY.	SIZE (NOM.)	TYPE	REMARKS
I01	02	2'10"x6'8"	PART. GLASS	PAINTED PER DEVELOPER
I02	01	9'x7' OVERHEAD	INSUL. STEEL	COLOR T.B.D.
A	06	1'8"x4'6"	DOUBLE HUNG	PREFINISHED WHITE
B	02	2'8"x5'	DOUBLE HUNG	PREFINISHED WHITE



01 | GARAGE 1ST FLOOR PLAN
1/4" = 1'



02 | GARAGE 2ND FLOOR PLAN
1/4" = 1'

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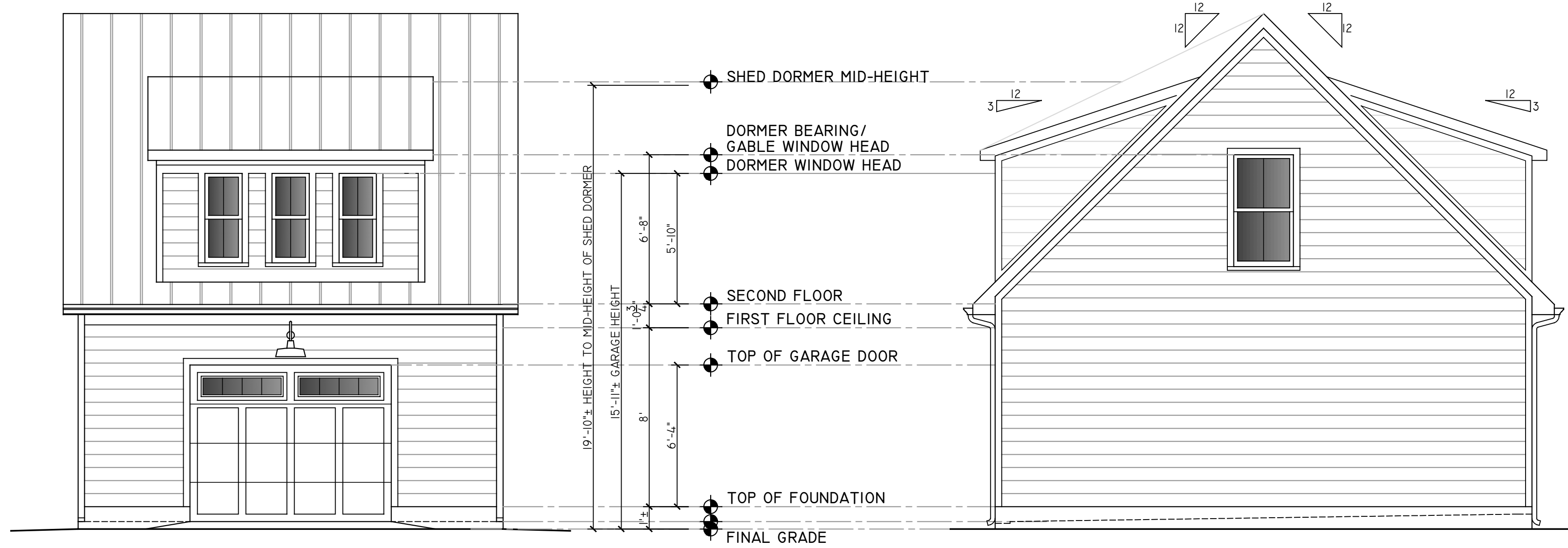
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GARAGE FLOOR PLANS

GI.1



01 ALLEY ELEVATION
1/4" = 1'

02 LEFT SIDE ELEVATION
1/4" = 1'



03 FRONT ELEVATION
1/4" = 1'



04 RIGHT SIDE ELEVATION
1/4" = 1'

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GARAGE
EXTERIOR ELEVATIONS

G2.1