

SOURCE OF TITLE

THE PROPERTY EMBRACED WITHIN THE LIMITS OF THIS SUBDIVISION IS THAT PROPERTY CONVEYED TO FOUNTAINHEAD ASSETS, A LIMITED LIABILITY COMPANY FROM SHIELD EXIT RAMP, A LIMITED LIABILITY COMPANY BY DEED DATED AUGUST 30, 2013 AND RECORDED AT THE CLERK'S OFFICE IN THE CIRCUIT COURT OF THE CITY OF RICHMOND, VIRGINIA ON THE 5TH DAY OF SEPTEMBER 2013 IN INSTRUMENT 130020332.

SURVEYOR'S CERTIFICATE

TO THE BEST OF MY KNOWLEDGE AND BELIEF ALL OF THE REQUIREMENTS AS SET FORTH IN THE ORDINANCE FOR APPROVING PLATS OF SUBDIVISION IN THE CITY OF RICHMOND, VIRGINIA HAVE BEEN COMPLIED WITH. ALL MONUMENTS HAVE BEEN PREVIOUSLY SET OR WILL BE SET BY MAY 5, 2015.


BRIAN LONG, L.S.

SUBDIVISION CERTIFICATE

THE SUBDIVISION OF LAND SHOWN HERON, DESIGNATED AS "MILLER PARKING" IS WITH FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNERS THEREOF. THERE IS A DEED OF TRUST OR MORTGAGES ON THE PROPERTY. ALL STREETS, ALLEYS AND EASEMENTS ARE OF THE WIDTH AND EXTEND SHOWN HEREON AND ARE DEDICATED TO THE CITY OF RICHMOND, VIRGINIA FREE AND UNRESTRICTED BY ANY PREVIOUS AGREEMENTS OR EASEMENTS, EXCEPT AS NOTED ON THIS PLAT AT THE TIME OF RECORDATION. ALL EASEMENTS ARE FOR SURFACE AND UNDERGROUND DRAINAGE AND FOR UNDERGROUND UTILITIES, UNLESS NOTED OTHERWISE. ALL UNRESTRICTED EASEMENTS ARE SUBJECT TO THE RIGHT OF THE CITY OF RICHMOND, VIRGINIA TO ESTABLISH ALLEYS ON SAID EASEMENTS AT A FUTURE TIME WITHOUT COST OF THE PROPERTY INVOLVED. THE DEDICATION OF EASEMENTS TO THE CITY INCULDES THE RIGHT TO MAKE REASONABLE USE OF THE ADJOINING LAND FOR CONSTRUCTION AND MAINTENANCE OF PUBLIC FACILITIES WITHIN THE BOUNDARIES OF EASEMENT SHOWN HERON. ALL DEDICATIONS OF LAND ARE SUBJECT TO THE RIGHT OF THE CITY OF RICHMOND, VIRGINIA TO ESTABLISH STREETS, ALLEYS, OR EASEMENTS ON SUCH PROPERTY AT A FUTURE TIME WITHOUT COST OF THE PROPERTY INVOLVED.

IN WITNESS WHEREOF, THE OWNERS AFFIXED THEIR SIGNATURE AND SEAL AS OF THIS DAY OF _____, 2014.

FOUNTAINHEAD ASSETS, LLC _____ FIRST CAPITAL BANL

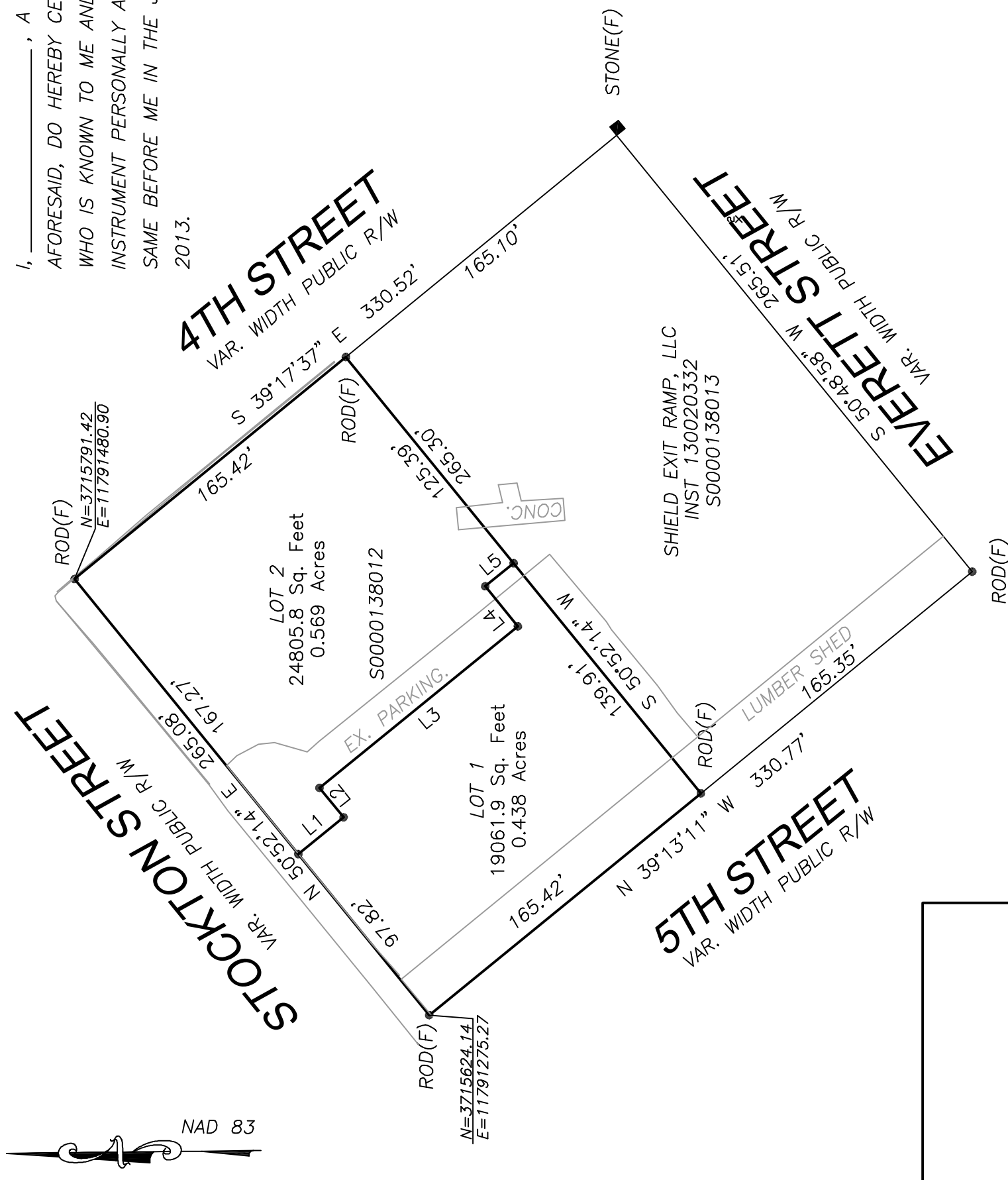
COMMONWEALTH OF VIRGINIA _____
CITY/COUNTY OF _____, TO-WIT:

I, _____, A NOTARY PUBLIC IN AND FOR THE JURISDICTION AFORESAID, DO HEREBY CERTIFY THAT _____, WHO IS KNOWN TO ME AND WHOSE NAME IS SIGNED TO THE FOREGOING INSTRUMENT PERSONALLY APPEARED BEFORE ME AND HAS ACKNOWLEDGED THE SAME BEFORE ME IN THE JURISDICTION AFORESAID THIS _____ DAY OF _____, 2013.

COMMONWEALTH OF VIRGINIA _____
CITY/COUNTY OF _____, TO-WIT:

I, _____, A NOTARY PUBLIC IN AND FOR THE JURISDICTION AFORESAID, DO HEREBY CERTIFY THAT _____, WHO IS KNOWN TO ME AND WHOSE NAME IS SIGNED TO THE FOREGOING INSTRUMENT PERSONALLY APPEARED BEFORE ME AND HAS ACKNOWLEDGED THE SAME BEFORE ME IN THE JURISDICTION AFORESAID THIS _____ DAY OF _____, 2013.

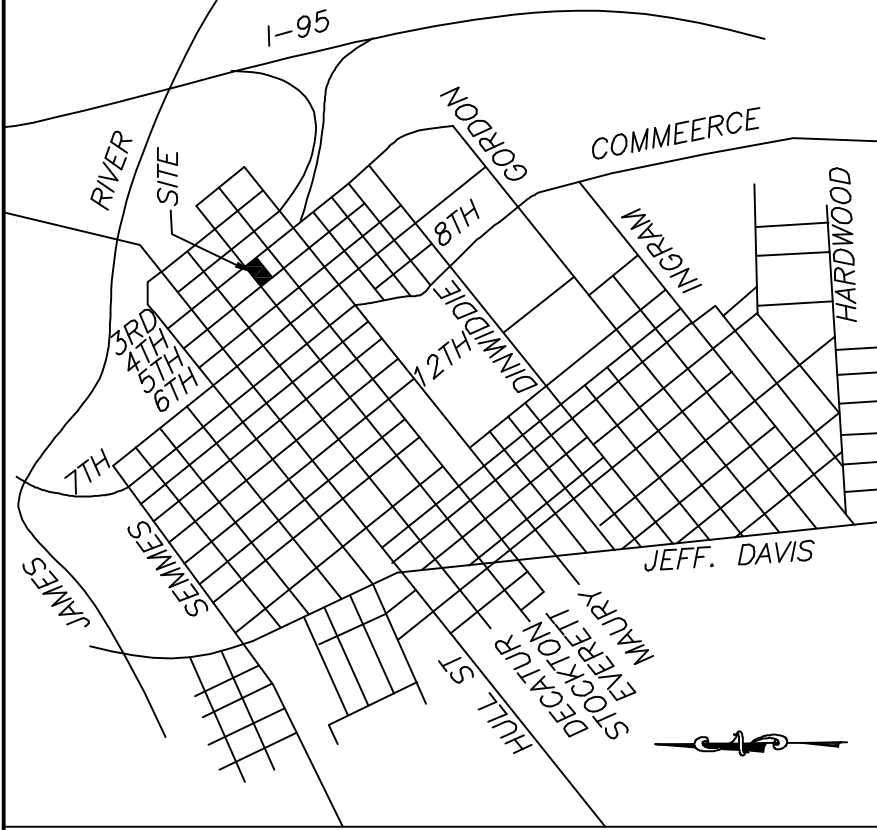
EXISTING PARKING LOT TO REMAIN
EXISTING LUMBER SHED TO REMAIN
EXISTING CONCRETE PAD TO BE REMOVED



LINE	BEARING	DISTANCE
L1	S 39°07'46\"	27.50'
L2	N 50°52'14\"	18.00'
L3	S 39°07'46\"	120.67'
L4	N 50°52'14\"	24.35'
L5	S 39°07'46\"	17.25'



LONG SURVEYING, LLC
3408 SHERWOOD BLUFF WAY
POWHAITAN, VA 23219



VICINITY STETCH ~ 1"=2000'

NOTES:

- 1) USE: PARKING LOT
- 2) ZONED: B-7 (MIXED USE BUSINESS) (FRONT 0, SIDE 0, REAR 0)
- 3) ADDRESS: 400 STOCKTON
- 4) TAX REFERENCE NUMBER: S0000138012
- 5) WATER: N/A
- 6) SEWER: N/A
- 7) DRAINAGE: CURB & GUTTER
- 8) PUBLIC UTILITIES: UNDERGROUND
- 9) OWNER: FOUNTAINHEAD ASSETS, LLC
- 10) DEVELOPER: FOUNTAINHEAD ASSETS, LLC
- 11) TOTAL AREA:
AREA IN ROADS: 0
AREA IN LOTS: 43867.7 SQ. FT.
AREA DEDICATED FOR PUBLIC PURPOSES: 0
- 12) NUMBER OF LOTS: 2
MINIMUM LOT SIZE: 19061.9 SQ. FT.
MAXIMUM LOT SIZE: 24805.8 SQ. FT.
AVERAGE LOT SIZE: 21933.8 SQ. FT.
- 13) PROPERTY WITHIN THE LIMITS OF THIS SUBDIVISION IS LOCATED IN FLOOD ZONE X, AS SHOWN ON FLOOD INSURANCE RATE MAP 5101290043 D, DATED 4/2/09.
- 14) PROPERTY WITHIN THE LIMITS OF THIS SUBDIVISION DOES NOT CONTAIN WETLANDS IDENTIFIED ON THE NATIONAL WETLANDS INVENTORY MAP WEB SITE (<http://www.fws.gov/wetlands/Wetlands-Mapper.html>).



MILLER PARKING
SUBDIVISION
CITY OF RICHMOND, VIRGINIA
MAY 5, 2014