



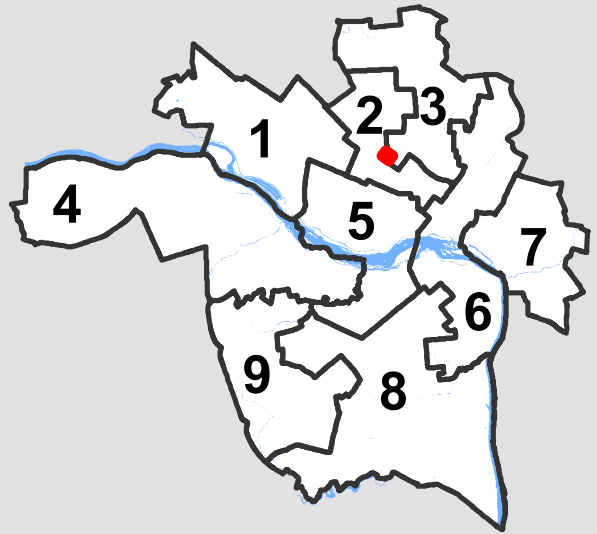
City of Richmond Department of Planning & Development Review

Encroachment

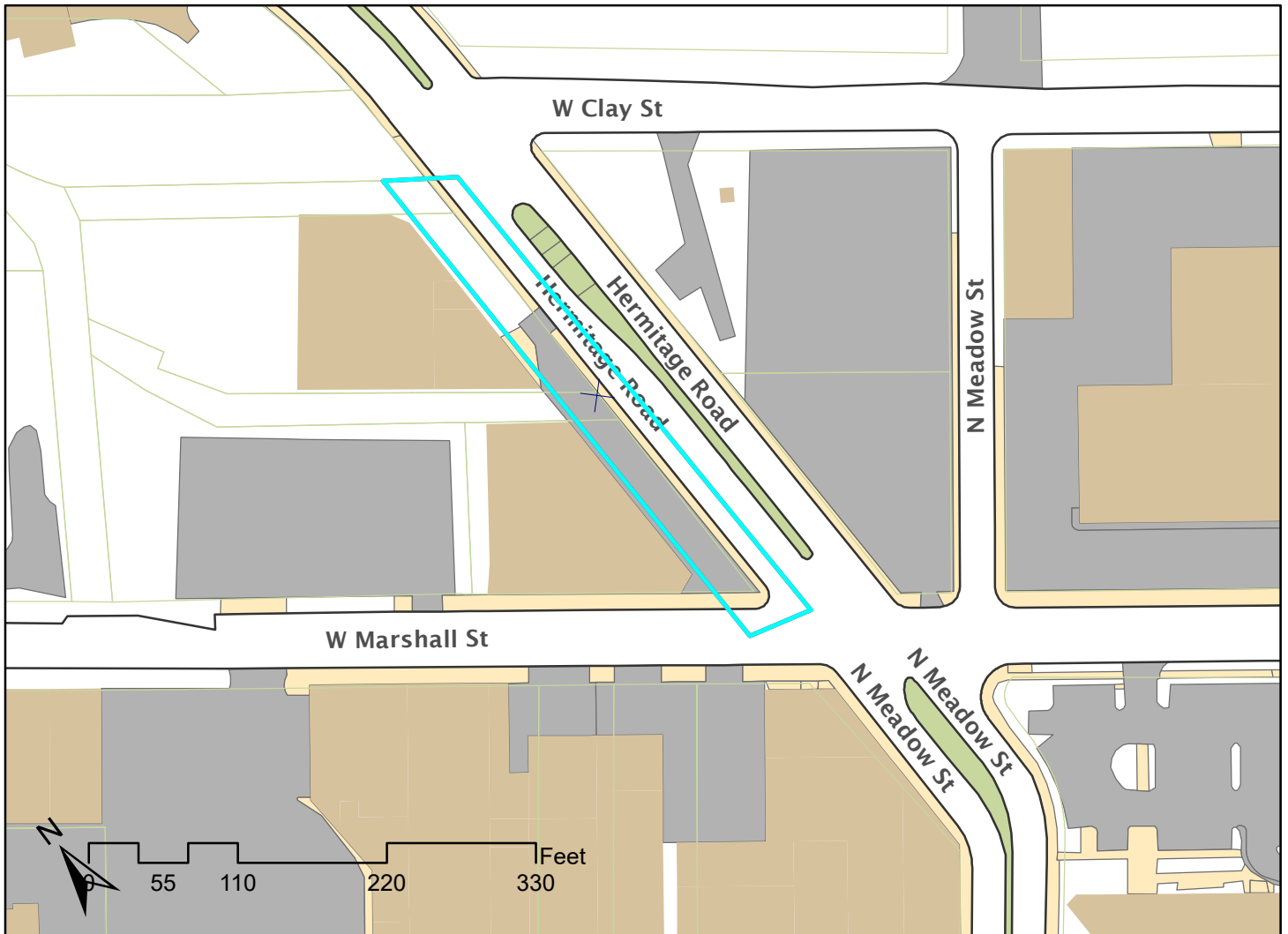
LOCATION: 2000 W. Marshall Street and 840 Hermitage Road

COUNCIL DISTRICT: 2

PROPOSAL: Review of encroachments and streetscape improvements for the Sauer Center



*For questions, please contact Josh Son
at 646-3741 or joshua.son@richmondgov.com*





Application for URBAN DESIGN COMMITTEE Review

Department of Planning and Development Review
Planning & Preservation Division
900 E. Broad Street, Room 510
Richmond, Virginia 23219
(804) 646-6335

<http://www.richmondgov.com/CommitteeUrbanDesign>

Application Type

- Addition/Alteration to Existing Structure
 New Construction
 Streetscape
 Site Amenity

- Encroachment
 Master Plan
 Sign
 Other

Review Type

- Conceptual
 Final

Project Name: _____

Project Address: _____

Brief Project Description (this is not a replacement for the required detailed narrative) : _____

Applicant Information

(on all applications other than encroachments, a City agency representative must be the applicant)

Name: _____ Email: _____

City Agency: _____ Phone: _____

Address: _____

Main Contact (if different from Applicant): _____

Company: _____ Phone: _____

Email: _____

Submittal Deadlines

All applications and support materials must be filed no later than 21 days prior to the scheduled meeting of the Urban Design Committee (UDC). Please see the schedule on page 3 as actual deadlines are adjusted due to City holidays. **Late or incomplete submissions will be deferred to the next meeting.**

Filing

Applications can be mailed or delivered to the attention of "Urban Design Committee" at the address listed at the top of this page. **It is important that the applicant discuss the proposal with appropriate City agencies, Zoning Administration staff, and area civic associations and residents prior to filing the application with the UDC.**

UDC Background

The UDC is a ten member committee created by City Council in 1968 whose purpose is to advise the City Planning Commission on the design of projects on City property or right-of-way. The UDC provides advice of an aesthetic nature in connection with the performance of the duties of the Commission under Sections 17.05, 17.06 and 17.07 of the City Charter. The UDC also advises the Department of Public Works in regards to private encroachments in the public right-of-way.

THE SAUER CENTER

HERMITAGE ROAD STREETScape NARRATIVE

September 13, 2018

PROJECT PURPOSE

With redevelopment of the 20-acre portion of The Sauer Center site, located on the north side of Hermitage Road between West Broad Street and City Fire Station No. 10, the sidewalk north of Hermitage Road needed a new functional design to encourage pedestrian activity and upgrade the streetscape appeal related to the development. With no street trees on the north side of the road, and many obsolete vehicular entrances running across the existing sidewalk, redesign of the streetscape was critical to reflect the first-class development intentions of The Sauer Center.

The streetscape design will be the front door to The Sauer Center for patrons coming from Richmond's north side community, creating the first visual impression of this special development. This development will also draw new pedestrian bicycling activity. For those reasons the design makes use of quality materials such as brick to important pedestrian intersections to this portion of the City sidewalk in combination with scored natural gray concrete to create visual interest.

Sustainable items incorporated into the streetscape design include larger than usual 6'x18' tree wells. The large tree wells are designed to provide more space for tree root development, hence providing for longevity of the street trees. Electric car charging stations and solar panels (extensively used on roof tops and carports) are planned within The Sauer Center site outside of the right of way.

LED In-ground up-lights in the concrete sidewalk are being used to light the building façade of The C.F. Sauer Company. Ground mounted bullet type Up-Lights hidden in shrub beds outside the right of way are being used to light the facades of the Virginia School Supply Building and the 840 Hermitage Building. The intent is to accentuate the development at night as will be done on the West Broad Street frontage of the development, in the same fashion as the buildings have been lit up on Main Street in the Fan district between Morris and Harvie Streets by the developer in the last part of the 20th century.

PROJECT BACKGROUND

The total Sauer Center development is comprised of approximately 40 acres of land north of Broad Street assembled over many years with 20 acres on each side of Hermitage Road. This application concerns the western side of Hermitage Road streetscape connected to the 20 acres west of Hermitage Road and north of West Broad Street. Sauer Properties, the real estate arm



land planning | civil engineering | landscape architecture
5701 grove avenue | richmond, virginia 23226
804.740.7500 | www.1hg.net

of The CF Sauer Company whose existing headquarters renovation is part of the project, is currently redeveloping the 20 acres west of Hermitage Road. The site has several historic buildings to be renovated and adapted to new office and retail uses, while the existing headquarters (in operation for over 100 years) will remain an office, warehouse, and manufacturing facility. A future high-rise apartment building with structured parking is proposed behind the Putney Building in a future phase of development. The site was designated a historic district with the intent of rehabilitating the historic buildings back to their original architectural character.

Along the western side of Hermitage Road, the site is comprised of three buildings, starting at the southern end with The C.F. Sauer Company historic headquarters building between West Broad Street and West Marshall Street, next the Virginia School Supply Building on the northwest corner of West Marshall Street and Hermitage Road, and last the historic 840 Hermitage Building.

The remaining 20 acres of land on the east side of Hermitage Road has future potential opportunities for new construction along Hermitage Road and West Leigh Street. The old Sears building on West Broad Street and its former automotive building (to the rear) was purchased by the CF Sauer Company in 1978 when Sears closed its doors and has been adapted into a manufacturing facility by The CF Sauer Company. It will continue to be used as a manufacturing facility.

SURROUNDING AREA CONTEXT

The surrounding area of The Sauer Center includes City Fire Station No. 10 to the north on the west side of Hermitage Road, a modern building built in the late 20th century. Crossing West Leigh Street are numerous apartment buildings and single-family row houses. The east side of Hermitage Road is comprised of two warehouse buildings owned by Sauer Properties and candidates for demolition and redevelopment. South of that is an oil storage facility owned by MWW Realty Corporation which is also a candidate for redevelopment. Between West Clay Street and West Marshall Street is The C.F. Sauer Company employee parking lot, another candidate for future redevelopment. Between West Marshall and West Broad Streets is the historic Atlantic Motors Building which was previously renovated in 2005 and won the national Palladio award for its sensitive rehabilitation. The remaining tracts of land east of Hermitage Road have future potential opportunities for new and rehabilitation construction. This three-block portion on the west side of Hermitage Road is expected to bring new development to the east side of Hermitage Road.

PROJECT BUDGET

The costs for implementing the new sidewalk design within the right of way are based on actual bid pricing as listed below.



In-Ground Up-Lights	\$ 17,000
Irrigation	11,000
Concrete Curb & Gutter	5,000
Concrete Sidewalk	39,000
Brick Pavers	15,000
Landscaping/Plantings	12,000
Median Concrete Flush Curb & Base	28,000
<u>Median Cobblestone Pavers</u>	<u>20,000</u>
Total	\$ 147,000

FUNDING SOURCES

Usually funding for City streetscape projects in the right of way come from the City of Richmond except in this situation. The CF Sauer Company has a long history, commitment, and civic minded philosophy to this location and City of Richmond. Because they would like it to be a special location, they are taking on the burden of paying for all costs involved in remaking and maintaining the sidewalk within the Hermitage Road right of way for approximately 875 linear feet.

DESCRIPTION OF CONSTRUCTION PROGRAM

The intent is to build the entire sidewalk to completion this year from City Fire Station No. 10 to the front face of The C.F. Sauer Company on the west side of Hermitage Road. Also included are the handicap ramps at pedestrian street crossings at West Clay Street on the east side of Hermitage Road.

ESTIMATED CONSTRUCTION START DATE

Anyone driving down Hermitage Road can see new construction activity taking place on the west side of Hermitage Road. The general contractor, LF Jennings, thought they had the proper work in right of way permits while not realizing they needed the Urban Design Committee approval first. There have been numerous unforeseen delays with permit acquisitions and deadlines missed, that it is imperative construction on the streetscape being as soon as possible to meet the Whole Foods deadlines and not jeopardize the development agreement between them and Sauer Properties. Upon UDC and DPR approval, the contractor intends to charge forward with construction.









A long, two-story brick building under renovation. The building features a row of ten windows on the second floor, with some boarded up with white panels. The ground floor has two large green roll-up doors, also partially boarded up. The brickwork is weathered and shows signs of demolition, with some areas of missing mortar and exposed brick. A utility pole with a yellow traffic light is positioned in front of the building.

Four blue portable toilets and one brown portable toilet are lined up on the sidewalk in front of the building.

Two large red COX brand dumpsters are parked on the sidewalk in front of the building. A wooden pallet is leaning against one of the dumpsters.

A small white forklift is parked on the sidewalk near the right side of the building.

A wide asphalt street with a white dashed line running down the center. The street is in the foreground, and the building is in the background.



LOUNGE-WEAR, Inc

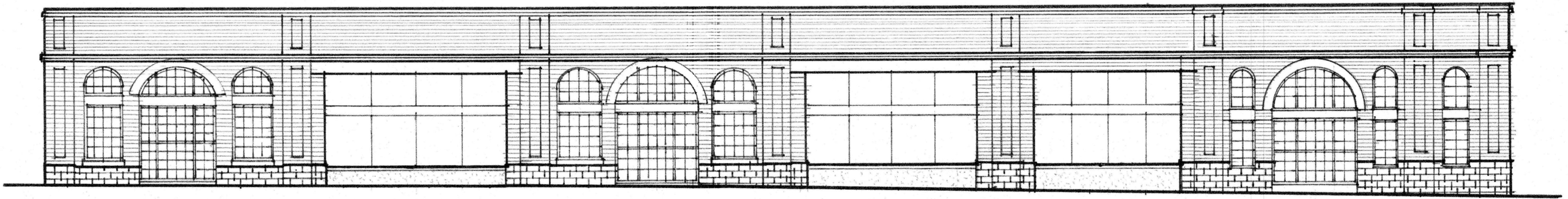
ALL CONSTRUCTION PERSONNEL MUST REPORT TO FIELD OFFICE DAILY FOR SIGN IN
TODO EL PERSONAL DE CONSTRUCCION DEBE PRESENTARSE A LA OFICINA DE CAMPO DIARIAMENTE PARA INICIAR SESION

2000 W. MARSHALL ST.
TRENT
FIELD OFFICE
FOR 2000 W. MARSHALL ST.
C.F. SAUER HO
RENOVATION PROJECT

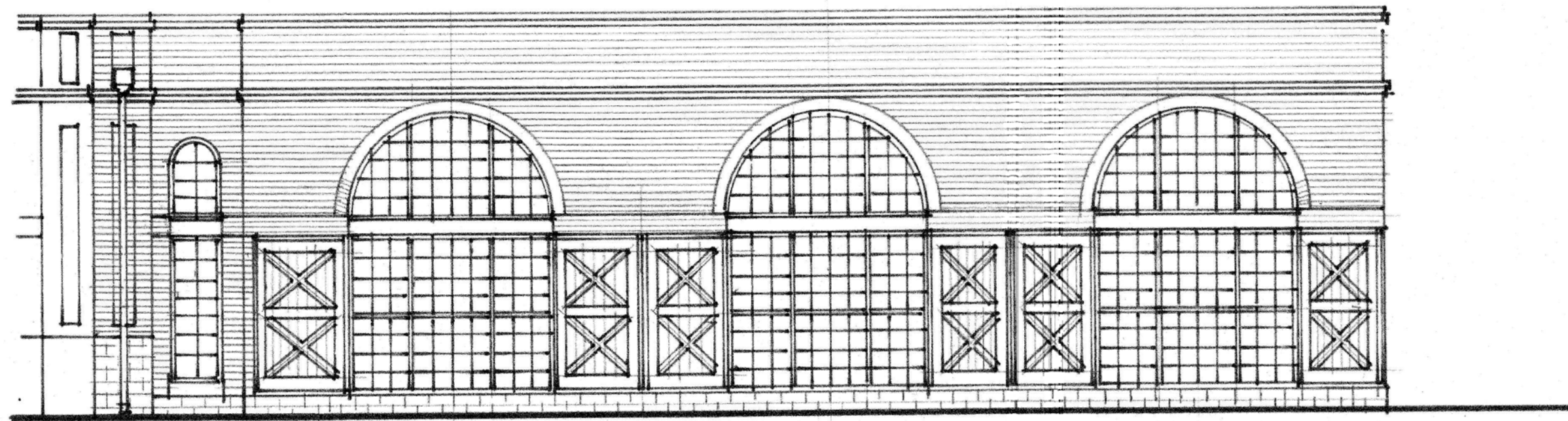
FOR LEASE

SIDEWALK CLOSED

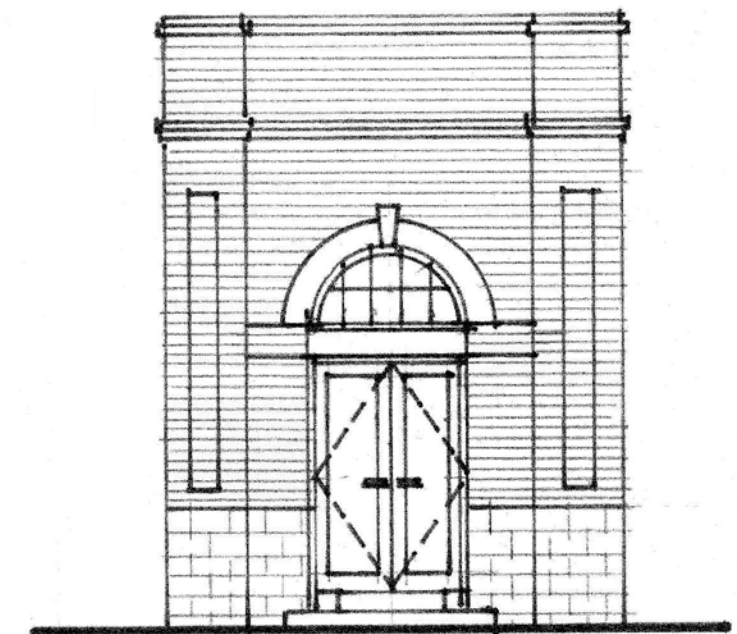




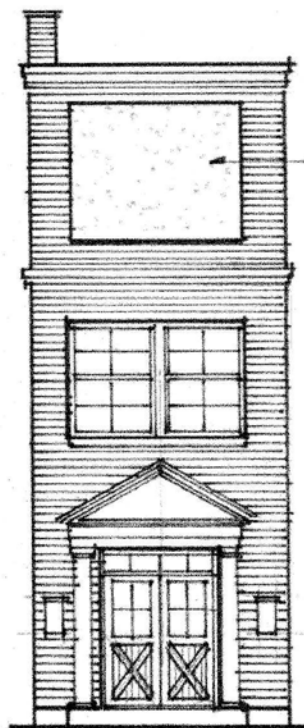
SCHEME 'A'
EAST ELEVATION
840 HERMITAGE ROAD
7.8.13
7.12.13 REV.#1
7.16.13 REV.#2



SCHEME 'A'
NORTH ELEVATION
840 HERMITAGE RD.
7.16.13

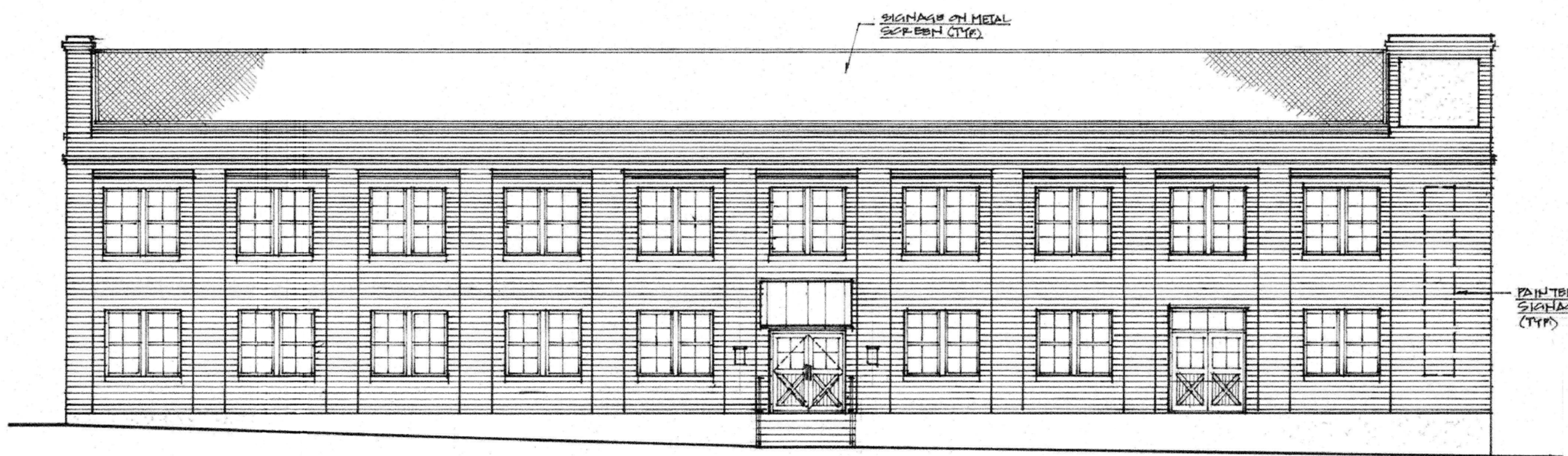


SCHEME 'A'
NORTHEAST
7.16.13



CE SAUCE
LESS HERE

SCHEME G'
CORNER ELEV.
1.29.16



SIGNAGE ON METAL
SFP-BEH (TYP)

PAINTED
SIGNAGE
(TYP)

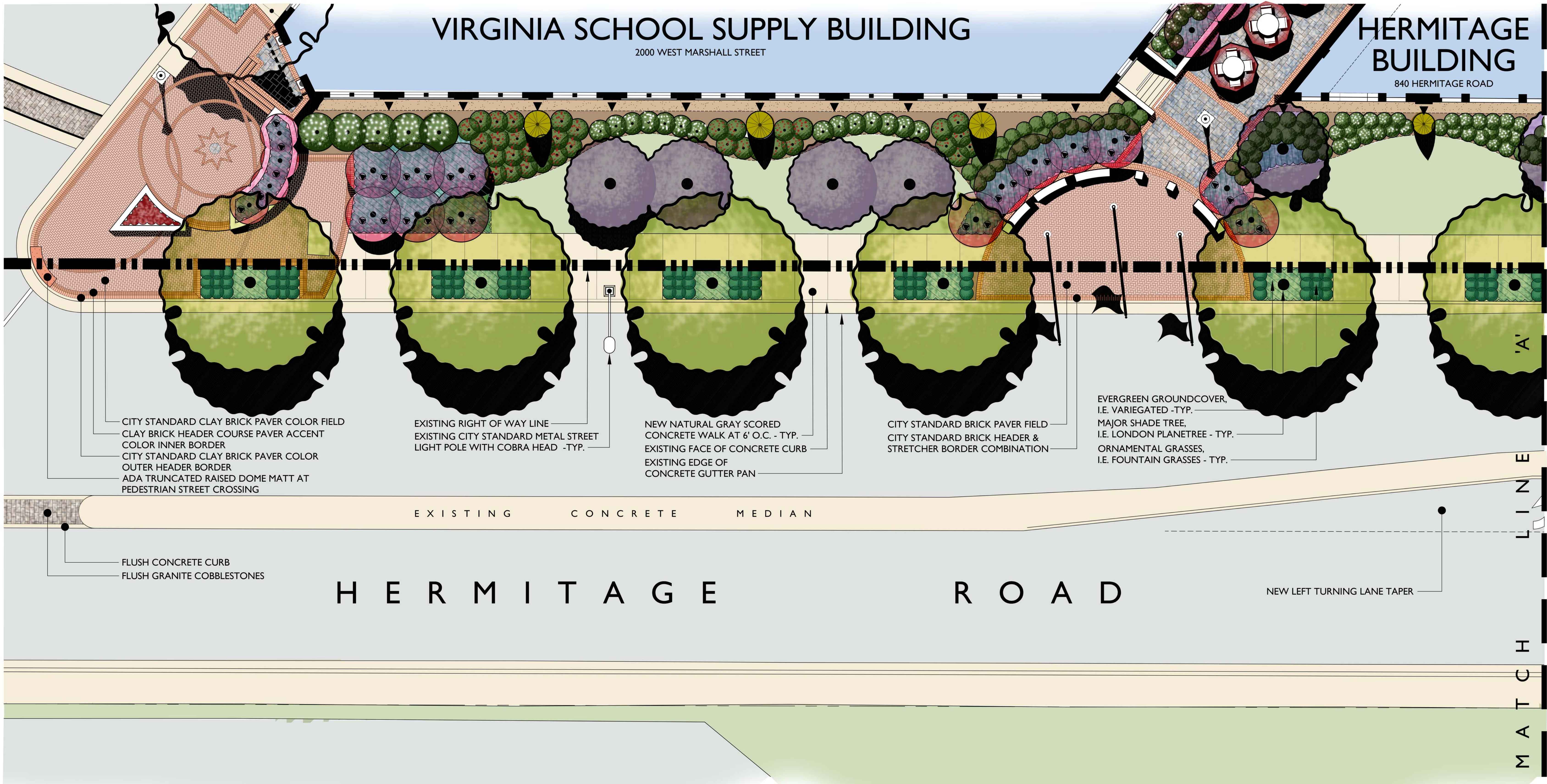
SCHEME G'
EAST ELEVATION
1.29.16

VIRGINIA SCHOOL SUPPLY BUILDING

2000 WEST MARSHALL STREET

HERMITAGE BUILDING

840 HERMITAGE ROAD



CITY STANDARD CLAY BRICK PAVER COLOR FIELD
CLAY BRICK HEADER COURSE PAVER ACCENT
COLOR INNER BORDER
CITY STANDARD CLAY BRICK PAVER COLOR
OUTER HEADER BORDER
ADA TRUNCATED RAISED DOME MATT AT
PEDESTRIAN STREET CROSSING

EXISTING RIGHT OF WAY LINE
EXISTING CITY STANDARD METAL STREET
LIGHT POLE WITH COBRA HEAD -TYP.

NEW NATURAL GRAY SCORED
CONCRETE WALK AT 6' O.C. - TYP.
EXISTING FACE OF CONCRETE CURB
EXISTING EDGE OF
CONCRETE GUTTER PAN

CITY STANDARD BRICK PAVER FIELD
CITY STANDARD BRICK HEADER &
STRETCHER BORDER COMBINATION

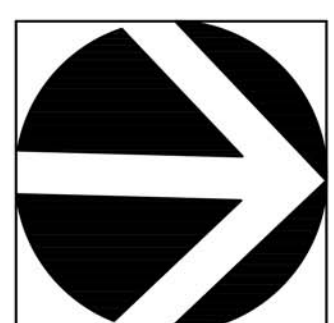
EVERGREEN GROUNDCOVER,
I.E. VARIEGATED -TYP.
MAJOR SHADE TREE,
I.E. LONDON PLANETREE - TYP.
ORNAMENTAL GRASSES,
I.E. FOUNTAIN GRASSES - TYP.

EXISTING CONCRETE MEDIAN

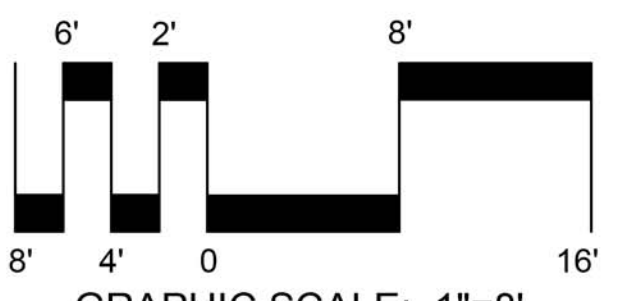
FLUSH CONCRETE CURB
FLUSH GRANITE COBBLESTONES

HERMITAGE ROAD

NEW LEFT TURNING LANE TAPER



NORTH



THE SAUER CENTER

hermitage road
illustrative streetscape plan

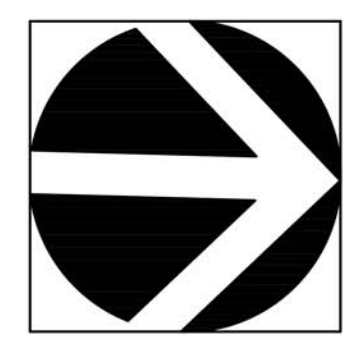
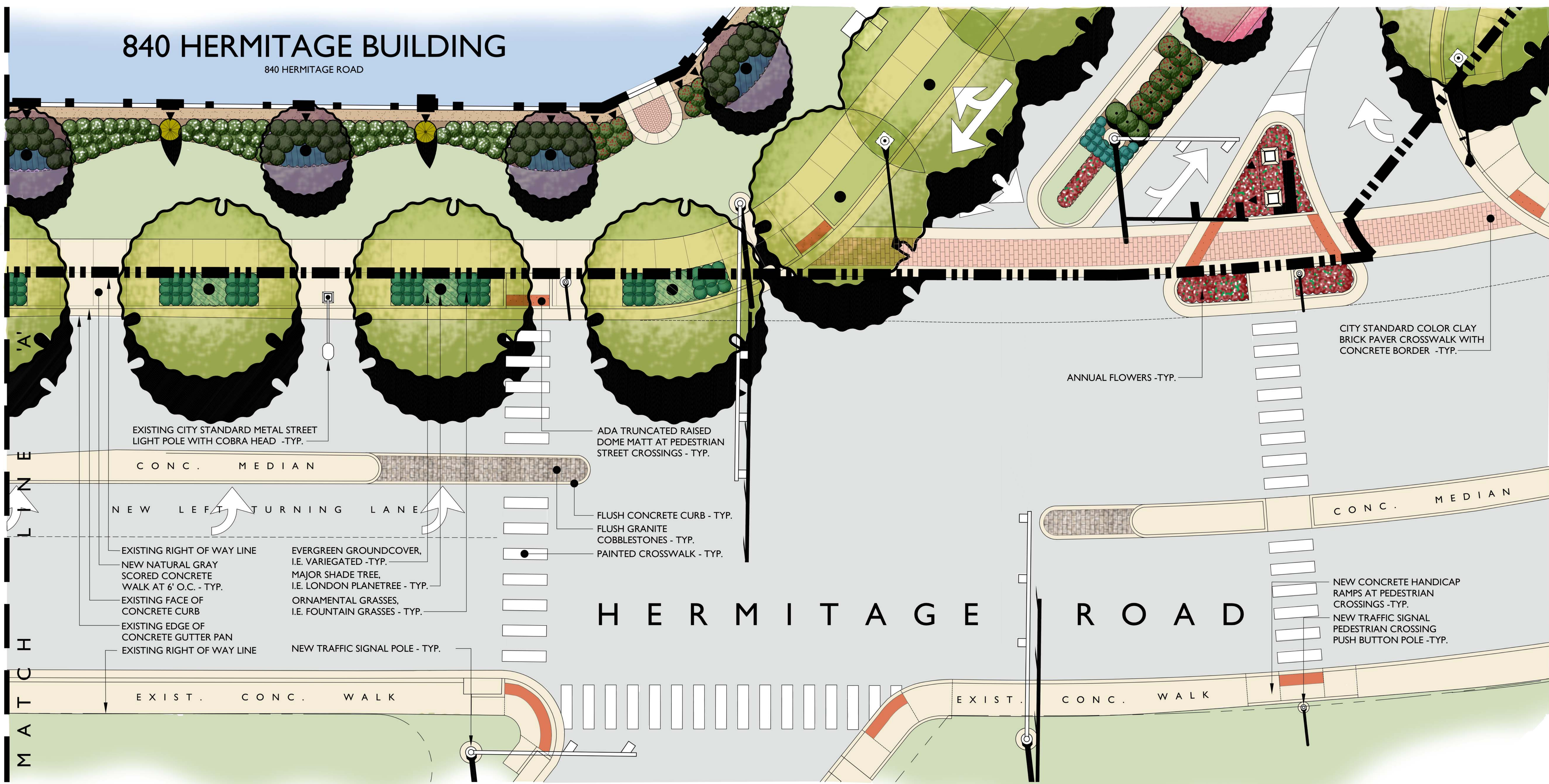
L · I south



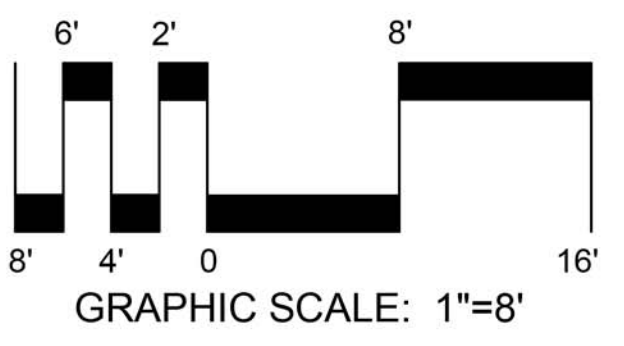
design studio
land planning • civil engineering • landscape architecture

840 HERMITAGE BUILDING

840 HERMITAGE ROAD



NORTH



THE SAUER CENTER

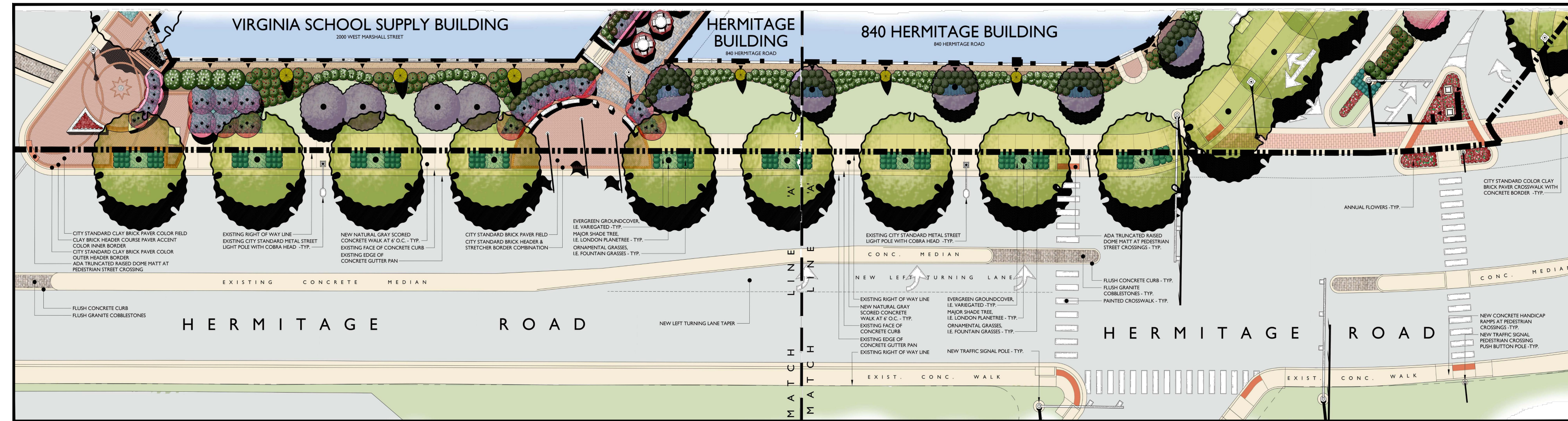
hermitage road illustrative streetscape plan

L · 2 north



Proposed Streetscape Plans for: HERMITAGE ROAD, RICHMOND, VIRGINIA

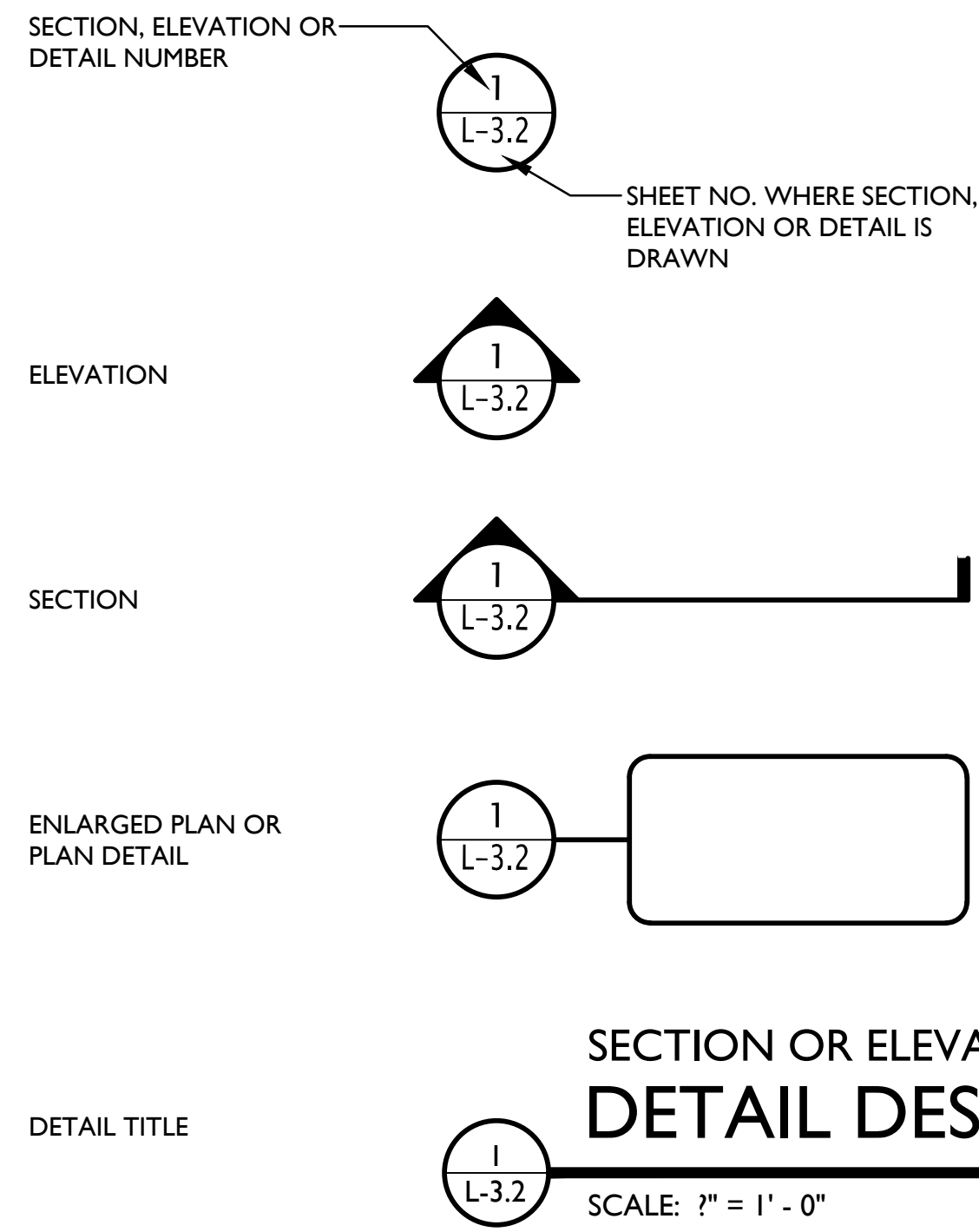
2000 WEST MARSHALL STREET & 840 HERMITAGE ROAD · CITY OF RICHMOND · VIRGINIA



Abbreviations:

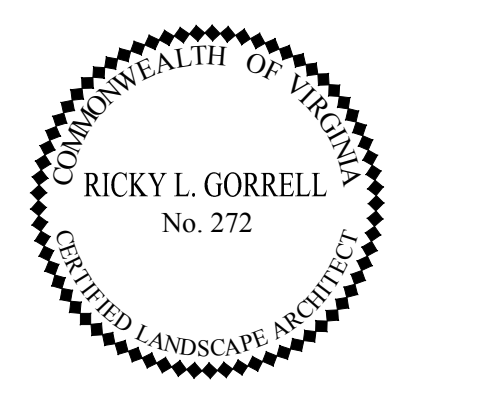
ABV. ABOVE	EXP. EXPANSION	P.O.B. POINT OF BEGINNING
ALUM. ALUMINUM	E.J. EXPANSION JOINT	PTD. PAINTED
APPROX. APPROXIMATE	FF. FEET OR FOOT	PWD. PLYWOOD
ASPH. ASPHALT	FF. FINISH FLOOR	PVC. POLYVINYL CHLORIDE
BD. BOARD	FIN. FINISH (ED)	PSF. POUNDS PER SQUARE FOOT
BEL. BELOW	FTG. FOOTING	PSI. POUNDS PER SQUARE INCH
BITUM. BITUMINOUS	F.O.C. FACE OF CURB	P.I.P.C. POURED IN PLACE CONCRETE
BLDG. BUILDING	GA. GAUGE	P.C.C. PRECAST CONCRETE
B.O.C. BACK OF CURB	GALV. GALVANIZED	PT. PRESSURE TREATED
BRK. BRICK	GC. GENERAL CONTRACTOR	PVMT. PAVEMENT
BS. BOTTOM OF STEP	HT. HEIGHT	RAD. RADIUS
B/T. BETWEEN	HP. HIGH POINT	RCP. REINFORCED CONCRETE PIPE
BW. BOTTOM OF WALL	HORIZ. HORIZONTAL	REF. REFERENCE
C.B. CATCH BASIN	HB. HOSE BIB	REINF. REINFORC. (ED) (ING)
C.E.J. CAULKED EXPANSION JOINT	INCL. INCLUDE (D) (ING)	RND. ROUND
CF. CUBIC FEET	I.D. INSIDE DIAMETER	SCH. SCHEDULE
C.I.P.C. CAST IN PLACE CONCRETE	INV. INVERT	SECT. SECTION
C.I. CAST IRON	JT. JOINT	SIM. SIMILAR
CO. CLEAN OUT	LF. LINEAR FOOT	SD. STORM DRAIN
COL. COLUMN	LP. LOW POINT	S. SOUTH
CONTR. CONTRACTOR	MH. MANHOLE	SFCMU. SPLIT FACE CONC. MASONRY UNIT
C.J. CONTROL JOINT	MFR. MANUFACTURE (R)	SPEC. SPECIFICATION (S)
CLR. CLEAR	MAS. MASONRY	SQ. SQUARE
CONC. CONCRETE	MTL. METAL	S.S. STAINLESS STEEL
CMU. CONC. MASONRY UNIT	MAX. MAXIMUM	STD. STANDARD
CONSTR. CONSTRUCTION	MED. MEDIUM	ST. STEEL
CONT. CONTINUOUS	MTL. METAL	THK. THICK
CTR. CENTER	MIN. MINIMUM	T&G. TONGUE AND GROOVE
CY. CUBIC YARD	MISC. MISCELLANEOUS	TC. TOP OF CURB
DET. DETAIL	NO. NUMBER	TS. TOP OF STEP
DIA. DIAMETER	NOM. NOMINAL	T.O.W. TOP OF WALL
DIM. DIMENSION	N. NORTH	TYP. TYPICAL
DWG. DRAWING	N.I.C. NOT IN CONTRACT	U.O.N. UNLESS OTHERWISE NOTED
EA. EACH	N.T.S. NOT TO SCALE	V.I.F. VERIFY IN FIELD
EP. EDGE OF PAVEMENT	O/C. ON CENTER	VERT. VERTICAL
ELEC. ELECTRICAL	O.D. OUTSIDE DIAMETER	W. WITH
EL. ELEVATION	OA. OVERALL	W/O. WITHOUT
EQ. EQUAL	OPP. OPPOSITE	W/D. WOOD
EX. EXISTING		W/W. WELDED WIRE FABRIC

Symbol Legend:



Drawing Index:

- L1.0 OVERALL STREETSCAPE KEY PLAN, ABBREVIATIONS, LEGEND, AND DRAWING INDEX
- L2.1 HARDSCAPE & PLANTING PLAN: VA SCHOOL SUPPLY & HERMITAGE BLDGS
- L2.2 HARDSCAPE & PLANTING PLAN: HERMITAGE BLDG
- L3.1 IRRIGATION PLAN: VA SCHOOL SUPPLY & HERMITAGE BLDGS
- L3.2 IRRIGATION PLAN: HERMITAGE BLDG
- L4.0 PLANTING DETAILS, SCHEDULE, & HARDSCAPE DETAILS



THE SAUER CENTER

Hermitage Road Streetscape
2000 West Marshall Street & 840 Hermitage Road
Richmond, Virginia

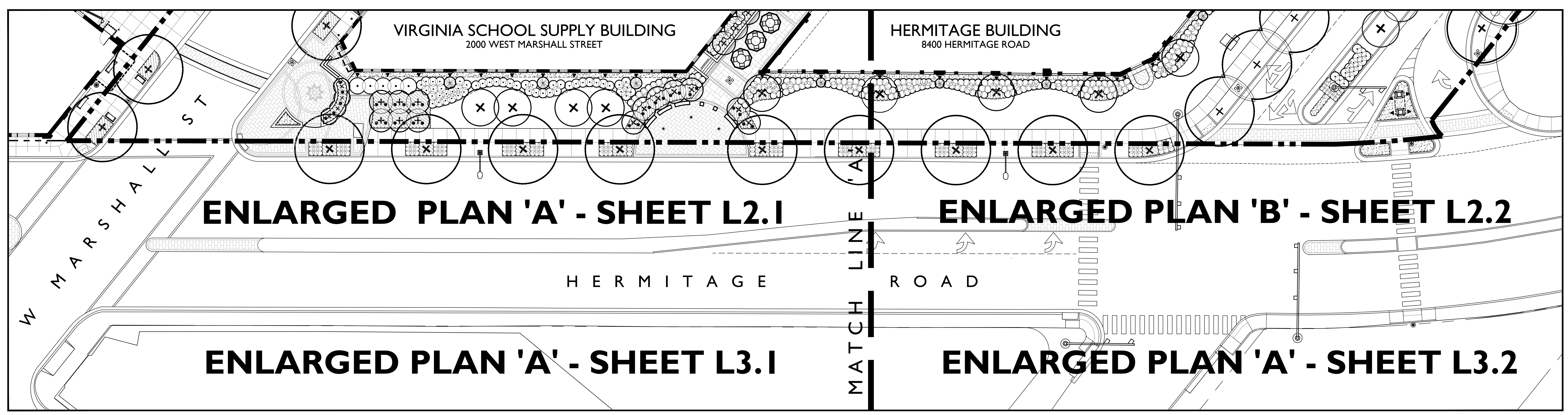
REVISIONS:

No.	Description	Date

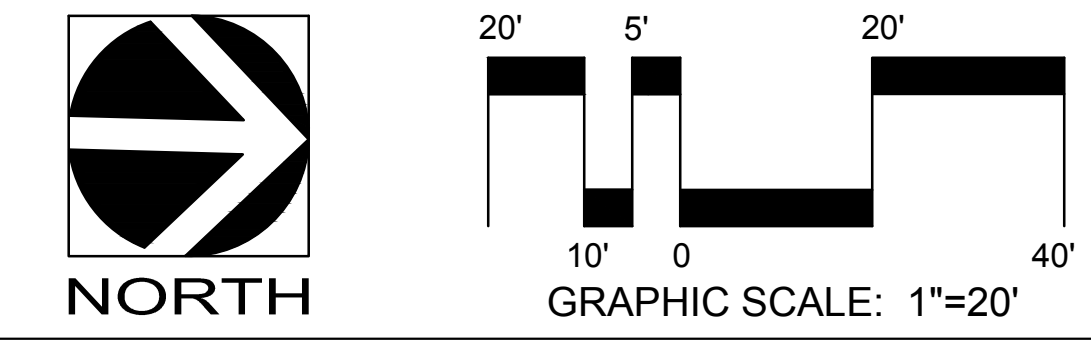
OVERALL SHEET KEY PLAN

Designed By:	RLG
Drawn By:	RLG
Checked By:	RLG
Date:	09.13.2018
Project Number:	M15026
Sheet Number	

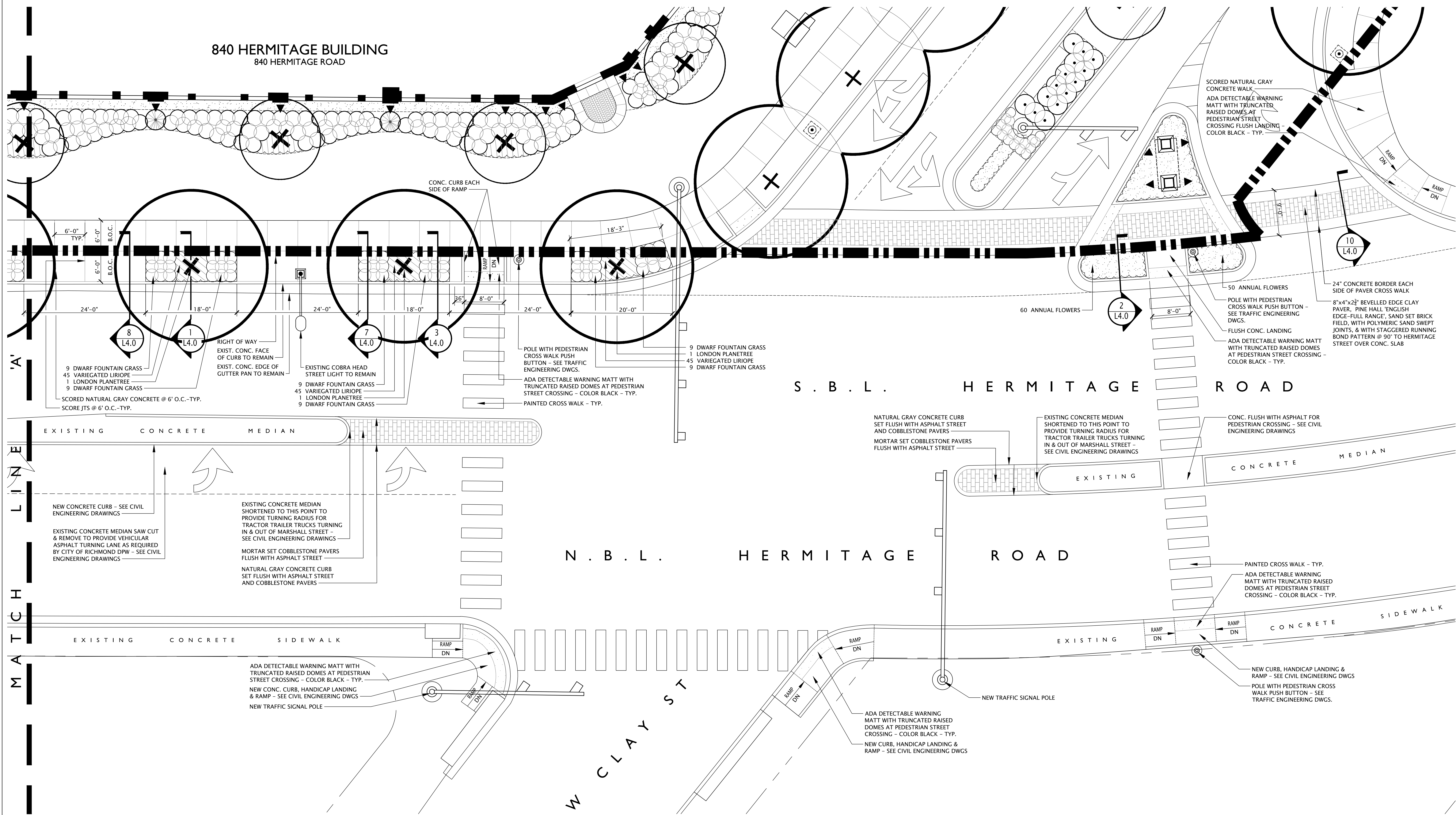
L1.0



PLAN VIEW
THE SAUER CENTER OVERALL HERMITAGE ROAD STREETScape KEY PLAN
2000 WEST MARSHALL STREET & 840 HERMITAGE ROAD · CITY OF RICHMOND · VIRGINIA



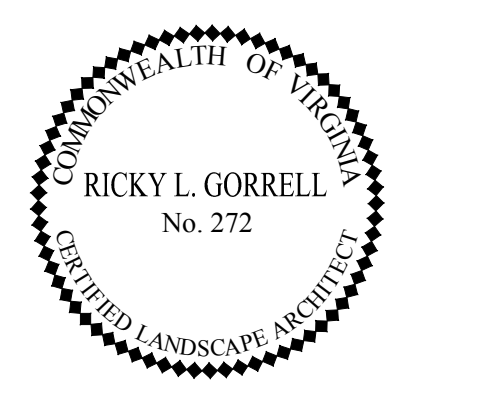
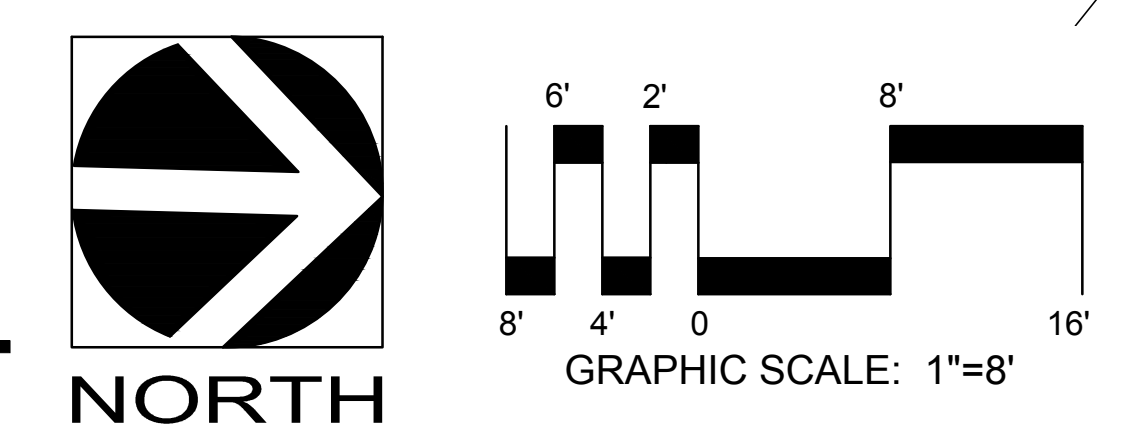
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PLAN VIEW
THE HERMITAGE BUILDING · streetscape plan

840 HERMITAGE ROAD · CITY OF RICHMOND · VIRGINIA



THE SAUER CENTER

Hermitage Road Streetscape
2000 West Marshall Street
&
840 Hermitage Road
Richmond, Virginia

REVISIONS:

No.	Description	Date

HARDSCAPE & PLANTING PLAN

840 Hermitage Bldg

Designed By:	RLG
Drawn By:	RLG
Checked By:	RLG
Date:	09.13.2018
Project Number:	M15026
Sheet Number	

IRRIGATION NOTES & LEGEND

HEADS

- ◆ TORO SERIES 570Z-12HP - 12" HIGH POP SPRINKLER HEAD FITTED WITH FIXED SPRAY 570 SERIES 12" SERIES (MAXIMUM 13' RADIUS) PRECISION SPRAY NOZZLE.
- ◆ TORO SERIES 570Z-12HP - 12" HIGH POP SPRINKLER HEAD FITTED WITH FIXED SPRAY 570 SERIES 15" SERIES (MAXIMUM 16' RADIUS) PRECISION SPRAY NOZZLE.
- ◆ TORO SERIES 570Z-12HP - 12" HIGH POP SPRINKLER HEAD FITTED WITH FIXED SPRAY 570 SERIES 10" SERIES (MAXIMUM 11' RADIUS) PRECISION SPRAY NOZZLE.
- ◆ TORO SERIES 570Z-12HP - 12" HIGH POP SPRINKLER HEAD FITTED WITH FIXED SPRAY 570 SERIES 8" SERIES (MAXIMUM 9' RADIUS) PRECISION SPRAY NOZZLE.
- ◆ TORO SERIES 570Z-12HP HIGH POP UP SPRINKLER WITH 12" POP UP STROKE AND FITTED WITH FIXED SPRAY 570 SERIES SPECIAL PATTERN (4'X 15' RECTANGULAR END MOUNT STRIP) PRECISION SPRAY NOZZLE.
- ◆ TORO SERIES 570Z-12HP HIGH POP UP SPRINKLER WITH 12" POP UP STROKE AND FITTED WITH FIXED SPRAY 570 SERIES FLOOD BUBBLER (FB50PC).
- ◆ TORO SERIES 570Z-6P POP UP - 6" POP UP SPRINKLER HEAD FITTED WITH FIXED SPRAY 570 SERIES SPECIAL PATTERN (4'X 30' RECTANGULAR SIDE MOUNT STRIP) PRECISION SPRAY NOZZLE.
- ◆ TORO SERIES 570Z-6P POP UP - 6" POP UP SPRINKLER HEAD FITTED WITH FIXED SPRAY 570 SERIES SPECIAL PATTERN (4'X 15' RECTANGULAR END MOUNT STRIP) PRECISION SPRAY NOZZLE.
- ◆ TORO SERIES 570Z-6P POP UP SPRINKLER WITH 6" POP-UP STROKE AND FITTED WITH FIXED SPRAY 570 SERIES 8" SERIES (MAXIMUM 9' RADIUS) PRECISION SPRAY NOZZLE.
- ◆ TORO SERIES 570Z-6P POP UP SPRINKLER WITH 6" POP-UP STROKE AND FITTED WITH FIXED SPRAY 570 SERIES 12" SERIES (MAXIMUM 13' RADIUS) PRECISION SPRAY NOZZLE.
- ◆ TORO SERIES 570Z-6P POP UP SPRINKLER WITH 6" POP-UP STROKE AND FITTED WITH FIXED SPRAY 570 SERIES 15" SERIES (MAXIMUM 16' RADIUS) PRECISION SPRAY NOZZLE.
- ◆ RAINBIRD ROOT WATERING SYSTEM W/ CHECK VALVE, .25 GPM (RWS-M-B-C-1401)

PIPE

- DENOTES ROUTE OF PR 200 PVC LATERAL PIPING.
- LATERAL PIPE SIZING SCHEDULE
 - ZERO TO FIFTEEN GPM ACCUMULATED FLOW USE 1" PR 200 PVC PIPE
 - GREATER THAN FIFTEEN UP TO THIRTY-FIVE GPM USE 1.5" PR 200 PVC PIPE
- DENOTES ROUTE OF 1.5" PR 200 MAIN LINE PIPING.

VALVES

- ⊗ LOCATION OF ELECTRIC 24 V.A.C. REMOTE CONTROL VALVE WITH FLOW CONTROL FEATURE, TORO TRV.
- ⊗ LOCATION OF LINE SIZED ISOLATION VALVE.

CONTROLLERS

- LOCATION OF THE IRRIGATION CONTROLLERS. THE CONTROLLERS SHALL BE TORO CUSTOM COMMAND SERIES SOLID STATE UNITS WHICH SHALL BE OF THE WALL MOUNT STYLE. THE CONTROLLERS SHALL BE AS LISTED:
 - A. CC-M36
 - B. CC-M12
 - C. CC-M12
 - D. CC-M12
- THE CONTROLLERS SHALL BE MOUNTED IN THE APPROXIMATE LOCATIONS SHOWN ON THE PLAN.
- ALL ELECTRICAL CONNECTIONS AND INSTALLATIONS SHALL BE PERFORMED IN ACCORDANCE WITH LOCAL CODE REQUIREMENTS. ALL 120 VAC WIRING SHALL BE INSTALLED IN ACCORDANCE WITH ALL APPLICABLE ELECTRICAL CODE REQUIREMENTS.
- THE OWNER SHALL BE RESPONSIBLE FOR PROVIDING A 120 VAC POWER CIRCUIT AT THE CONTROLLER LOCATION. THE POWER SOURCE SHALL BE CAPABLE OF SUPPORTING A 10 AMPERE LOAD AT 120 VAC.

SENSORS

- Ⓡ - DENOTES THE LOCATION OF WIRELESS RAIN SENSOR.

BACKFLOW PREVENTION

- ⊠ DENOTES THE LOCATION OF REDUCED PRESSURE BACKFLOW PREVENTER ASSEMBLY WHICH SHALL BE THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR. THE BFP FOR SYSTEM "A" SHALL BE 1" IN SIZE. THE BFP FOR SYSTEMS "B,C,& D" SHALL BE 3/4" IN SIZE.

WATER SUPPLY

- Ⓜ - DENOTES THE LOCATION OF THE PROPOSED IRRIGATION METER. THE METER SHALL BE THE OWNER'S RESPONSIBILITY. THE METER FOR SYSTEM "A" SHALL BE 1" IN SIZE. THE METERS FOR ALL OTHER SYSTEMS SHALL BE 5/8" IN SIZE.
- IRRIGATION SYSTEM "A" SHALL BE CAPABLE OF DELIVERING 30 GPM AT 70 PSI MAXIMUM WITH ONE STATION OPERATING WITH 40 PSI AT THE BASE OF THE HEAD FOR OPTIMUM PERFORMANCE OF THE IRRIGATION SYSTEM AS DESIGNED AND SPECIFIED.
- ALL OTHER IRRIGATION SYSTEMS SHALL BE CAPABLE OF DELIVERING 15 GPM AT 70 PSI MAXIMUM WITH ONE STATION OPERATING WITH 40 PSI AT THE BASE OF THE HEAD FOR OPTIMUM PERFORMANCE OF THE IRRIGATION SYSTEM AS DESIGNED AND SPECIFIED.

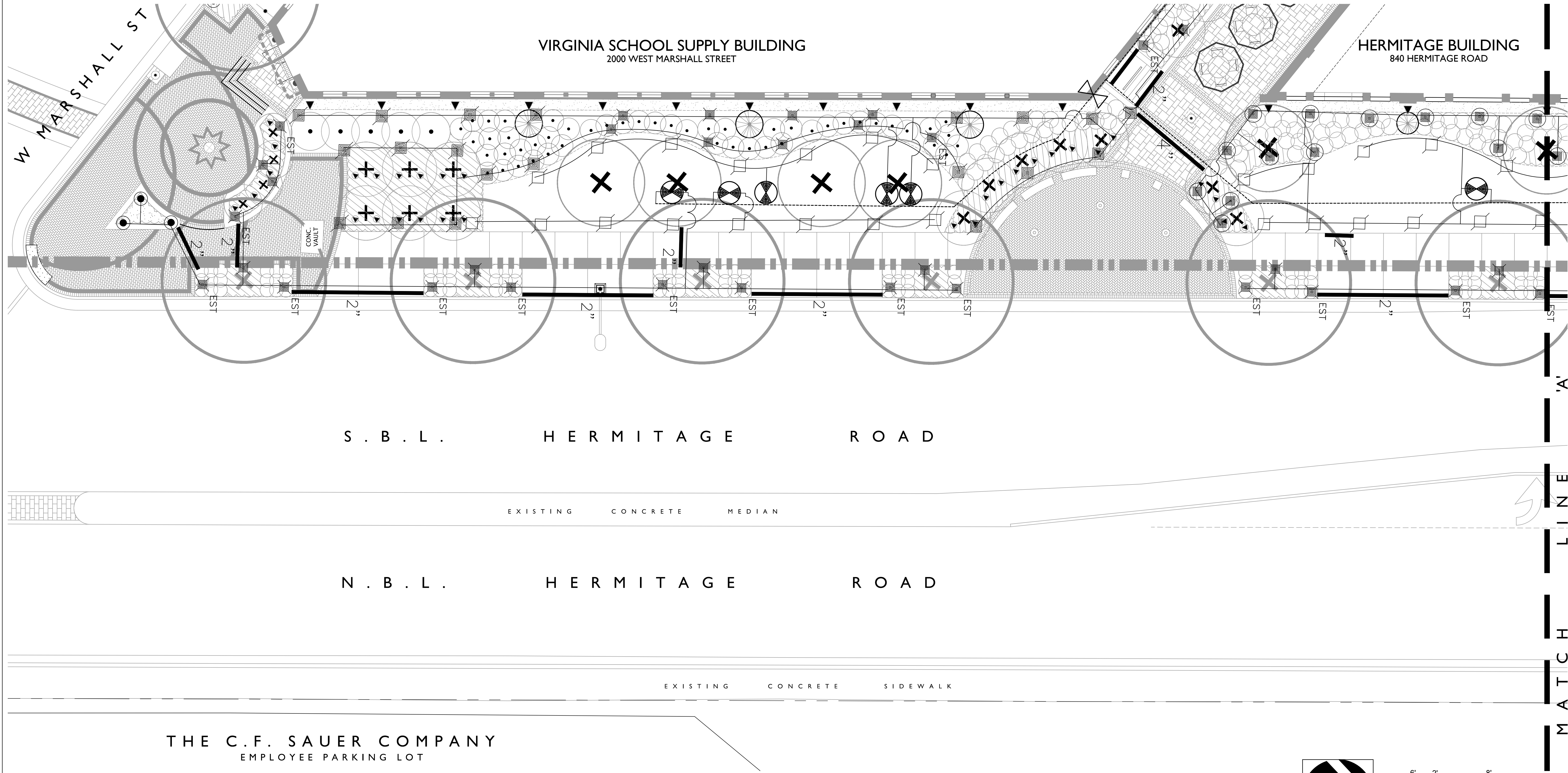
- NOTE: IF THE WATER SUPPLY IS NOT CAPABLE OF THE DESIGNED CAPACITY (FLOW AND/OR PRESSURE), THE IRRIGATION SYSTEM WILL NEED TO BE REDESIGNED, WHICH MAY ALTER THE IRRIGATION MATERIAL ESTIMATE.

SLEEVING

- DENOTES LOCATION OF PVC SLEEVES FOR IRRIGATION PIPING. SIZE AS LABELED.
- WHERE WIRE RUNS OCCUR, A SEPARATE 2" PVC ELECTRICAL CONDUIT SLEEVE SHALL BE USED FOR 24 VAC WIRING PER ELECTRICAL CODE.
- WHERE IRRIGATION PIPING CROSSES SIDEWALKS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR PLACING A SLEEVE 2 SIZES LARGER THAN THE PIPE THAT IS CROSSING THROUGH IT.

NOTE: THE IRRIGATION SYSTEMS ARE DISPLAYED SCHEMATIC IN NATURE. THE IRRIGATION CONTRACTOR MAY BE REQUIRED TO MAKE MINOR ADJUSTMENTS IN THE FIELD. THESE MINOR ADJUSTMENTS SHALL BE MADE AT NO ADDITIONAL COST TO THE OWNER BUT SHALL BE MADE ONLY AFTER NOTIFICATION IS MADE TO THE OWNER OR HIS REPRESENTATIVE.

THIS DESIGN IS BASED ON THE SITE INFORMATION AND/OR DRAWINGS SUPPLIED BY THE CLIENT OF RECORD WITH DESIGN CRITERIA BEING SET BY THE CLIENT AND/OR PROJECT OWNER (I.E. AREA TO BE IRRIGATED, MANUFACTURER'S EQUIPMENT TO BE EMPLOYED, WATER SOURCE (LOCATION, FLOW & PRESSURE) CAPACITIES, ELECTRICAL POWER AVAILABILITY FOR IRRIGATION SYSTEM USE, ETC.). SMITH TURF & IRRIGATION BEARS NO RESPONSIBILITY OR LIABILITY FOR ANY ERRORS IN DESIGN OR APPLICATION WHICH MIGHT ARISE DUE TO INACCURACIES IN THE ABOVE REFERENCED INFORMATION SUPPLIED TO SMITH TURF & IRRIGATION IN RELATION TO THIS SPECIFIC PROJECT UNLESS OTHERWISE NOTED.



THE SAUER CENTER

Hermitage Road Streetscape
2000 West Marshall Street & 840 Hermitage Road
Richmond, Virginia

REVISIONS:

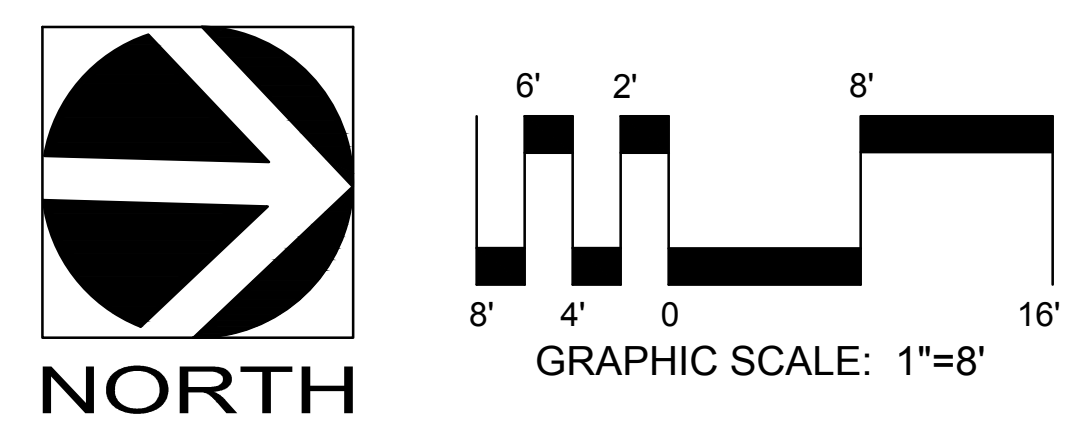
No.	Description	Date

IRRIGATION PLAN
VA School Supply Bldg
840 Hermitage Bldg

Designed By:	RLG
Drawn By:	RLG
Checked By:	RLG
Date:	09.13.2018
Project Number:	M15026
Sheet Number	L3.1

THE C.F. SAUER COMPANY
EMPLOYEE PARKING LOT

PLAN VIEW
VIRGINIA SCHOOL SUPPLY BUILDING · streetscape plan
2000 WEST MARSHALL STREET · CITY OF RICHMOND · VIRGINIA



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THE SAUER CENTER

Hermitage Road Streetscape
 2000 West Marshall Street &
 840 Hermitage Road
 Richmond, Virginia

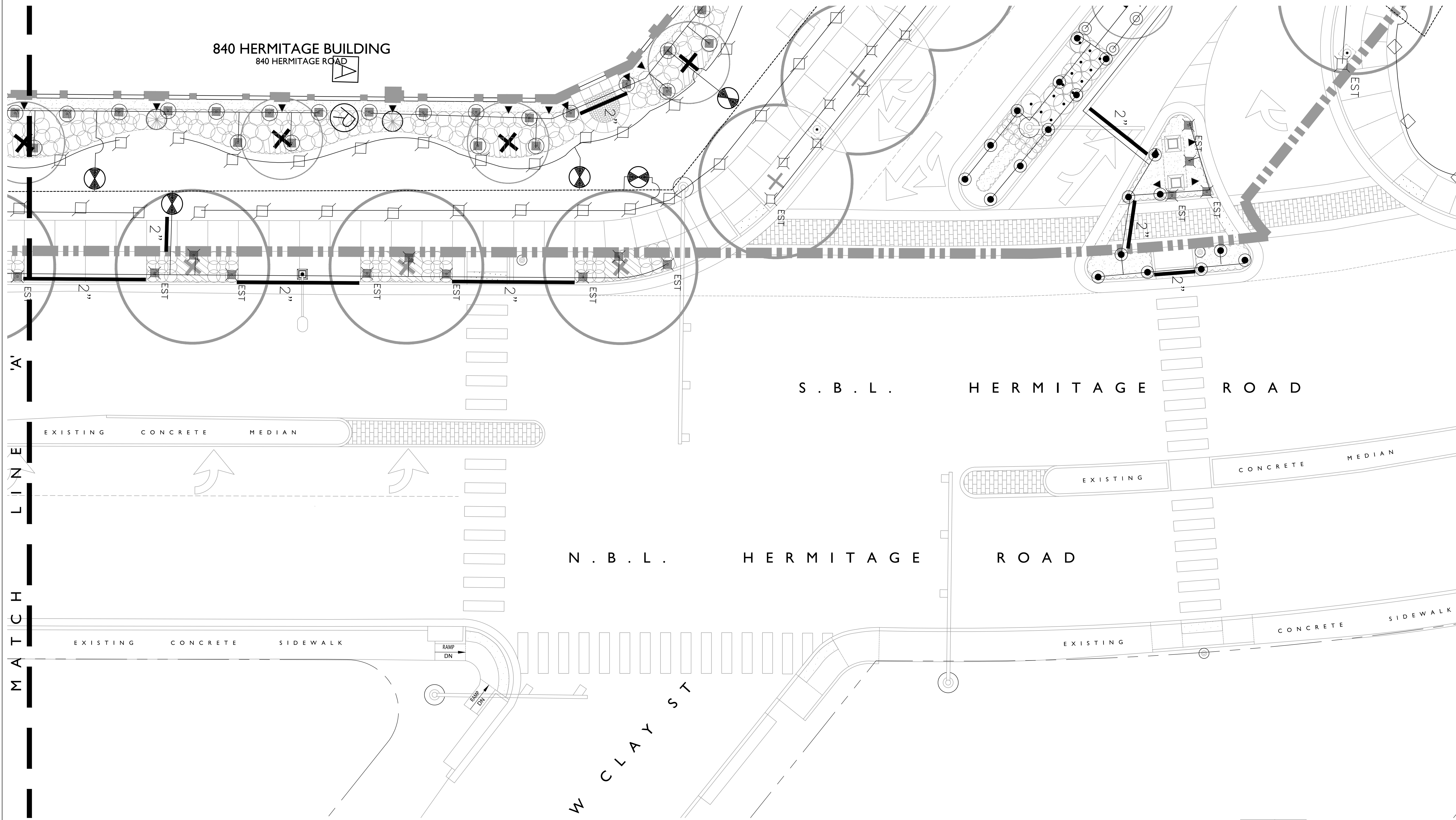
REVISIONS:

No.	Description	Date

IRRIGATION PLAN

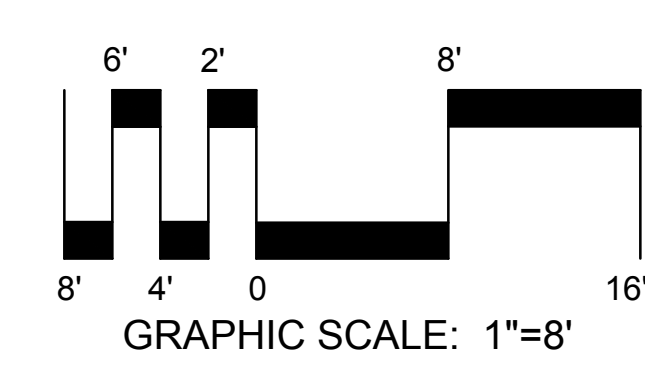
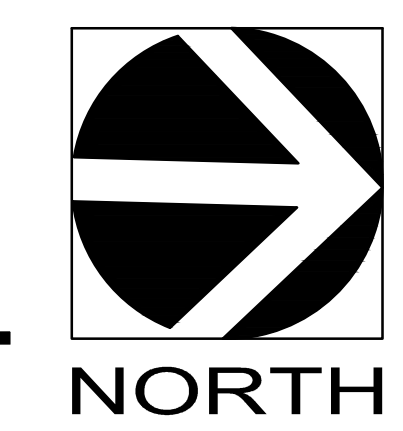
840 Hermitage Bldg

Designed By:	RLG
Drawn By:	RLG
Checked By:	RLG
Date:	09.13.2018
Project Number:	M15026
Sheet Number	



PLAN VIEW
THE HERMITAGE BUILDING · streetscape plan

840 HERMITAGE ROAD · CITY OF RICHMOND · VIRGINIA



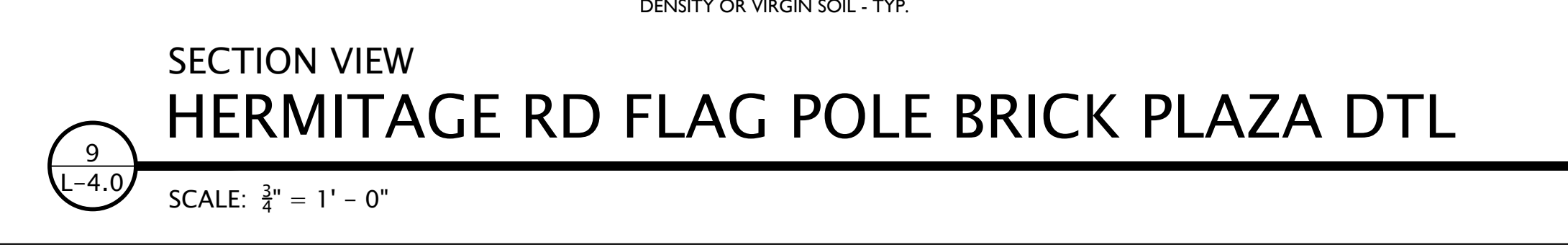
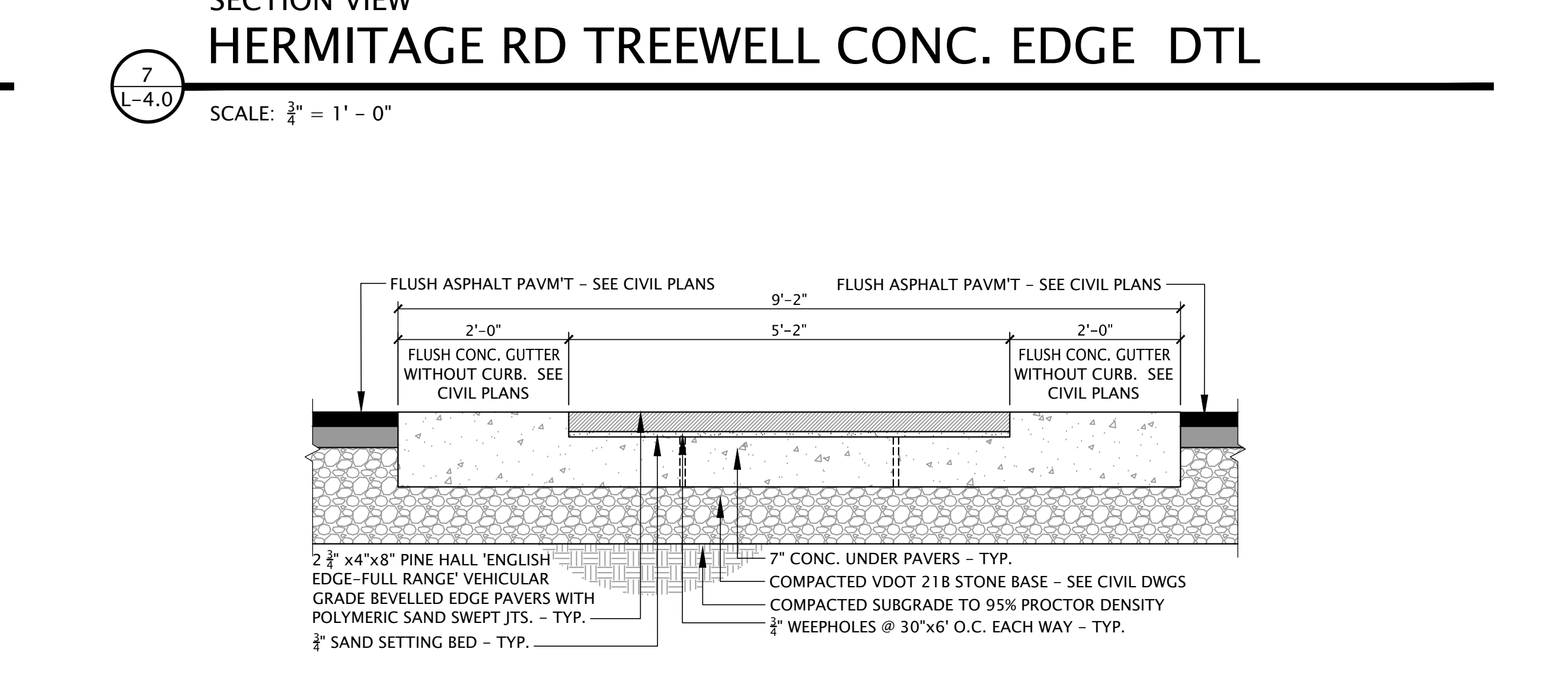
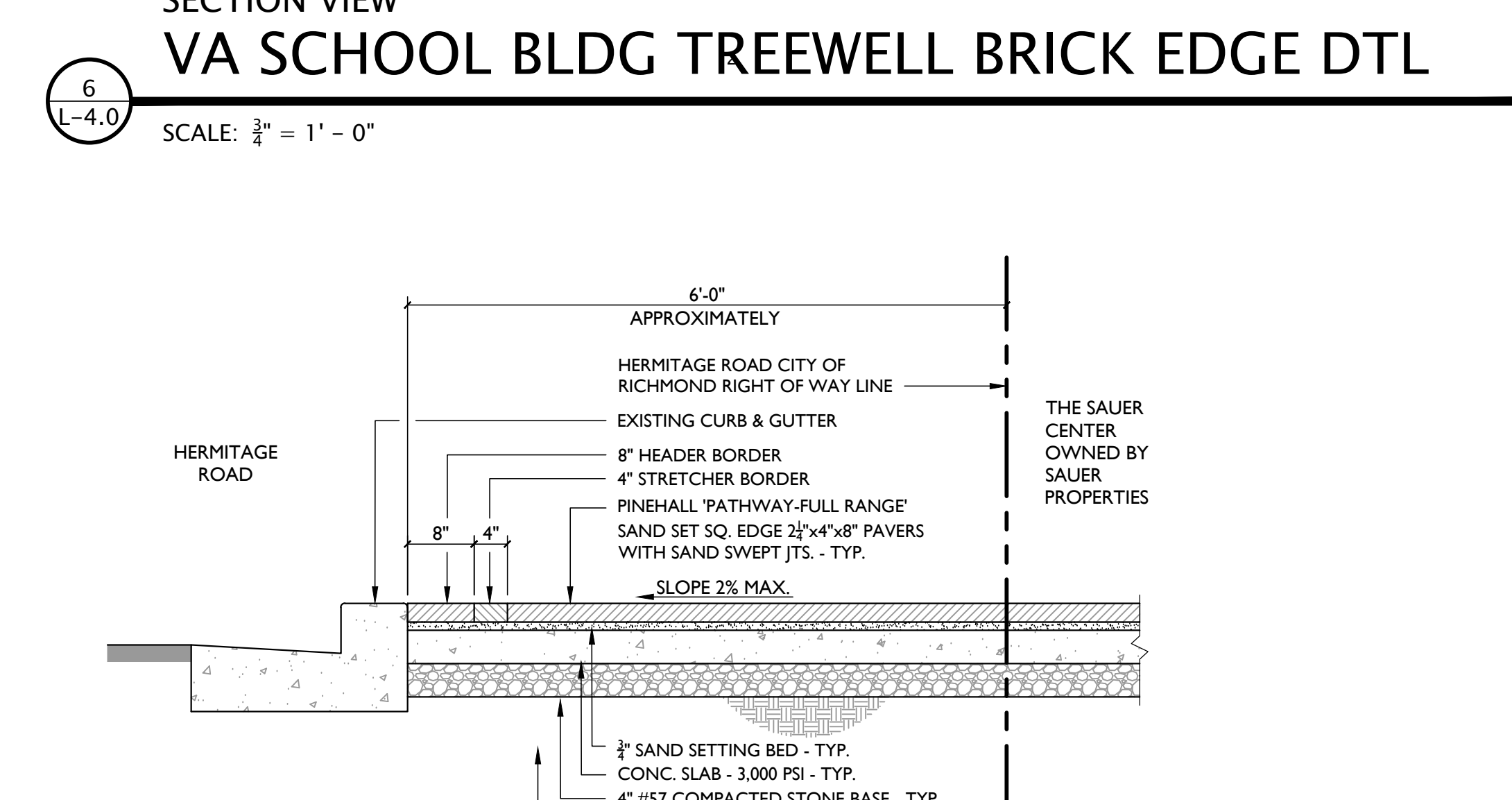
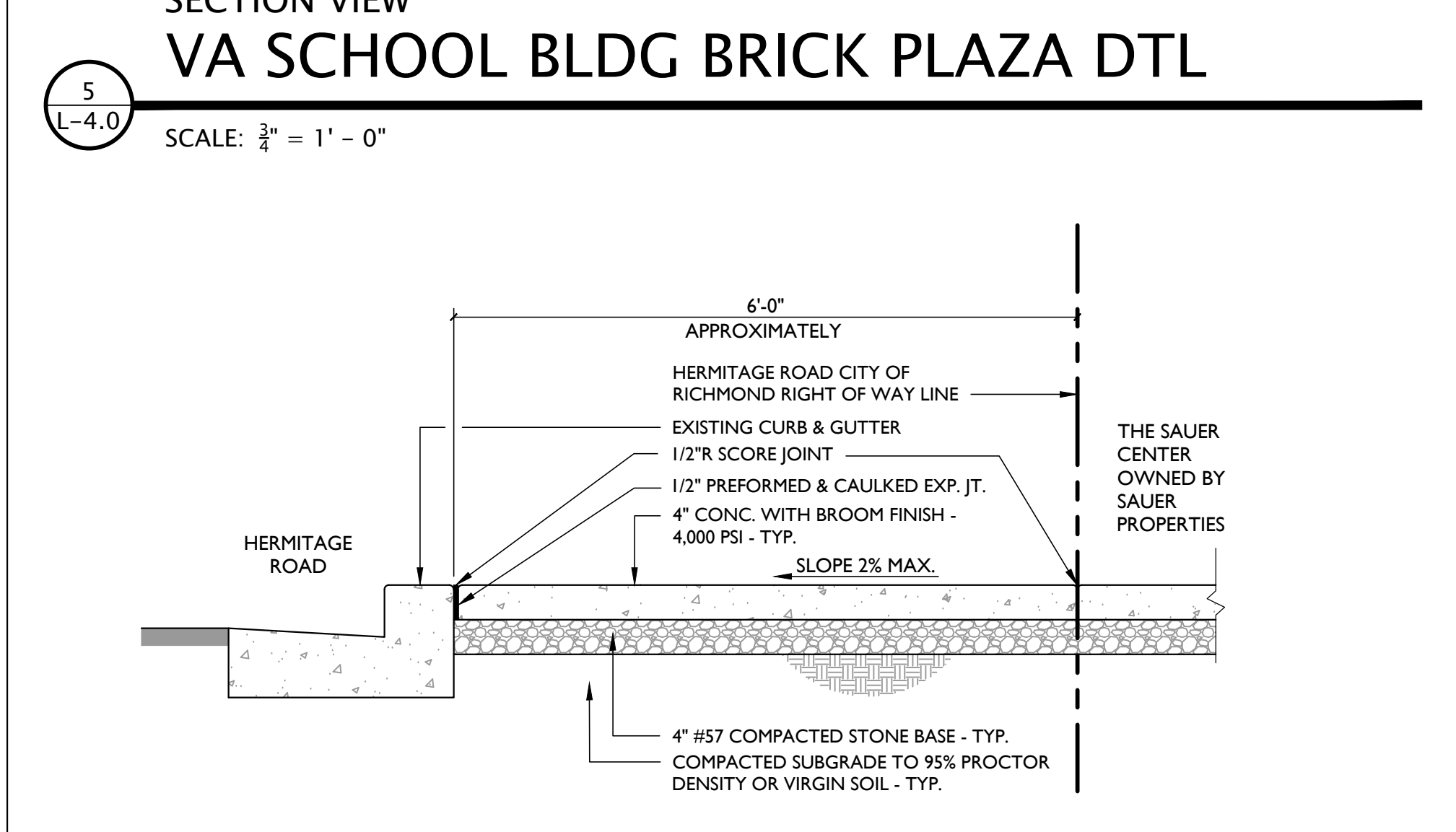
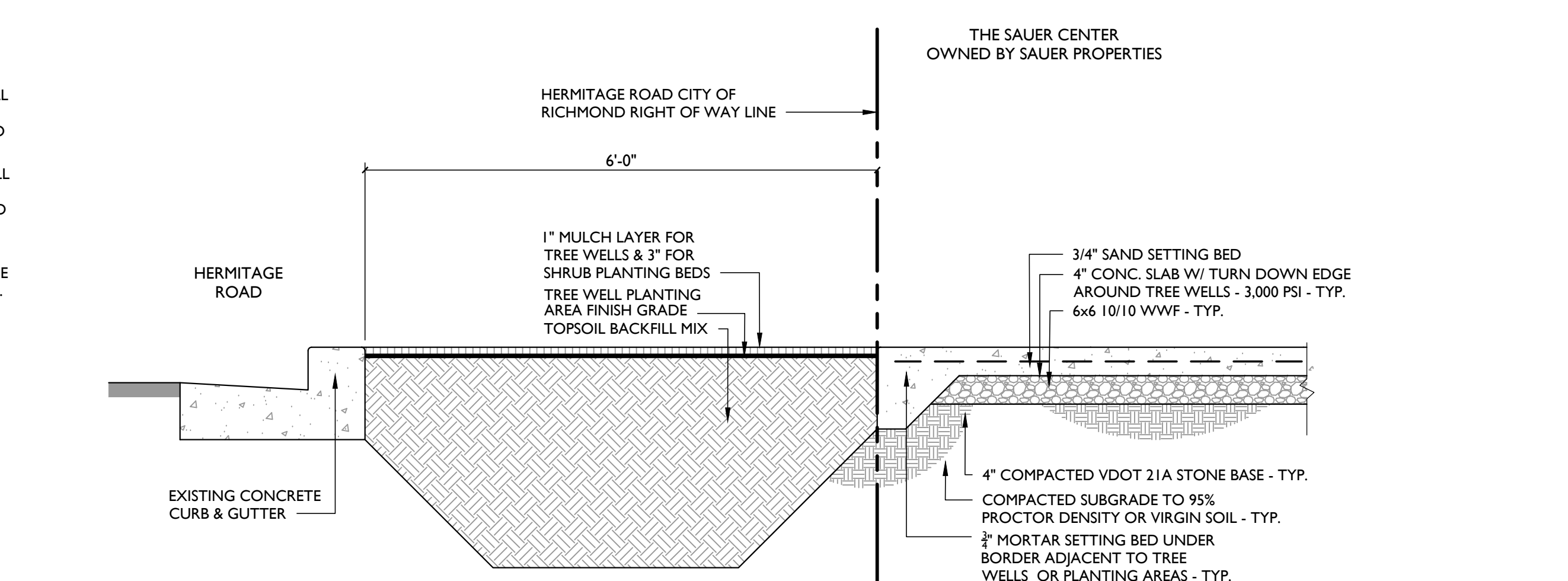
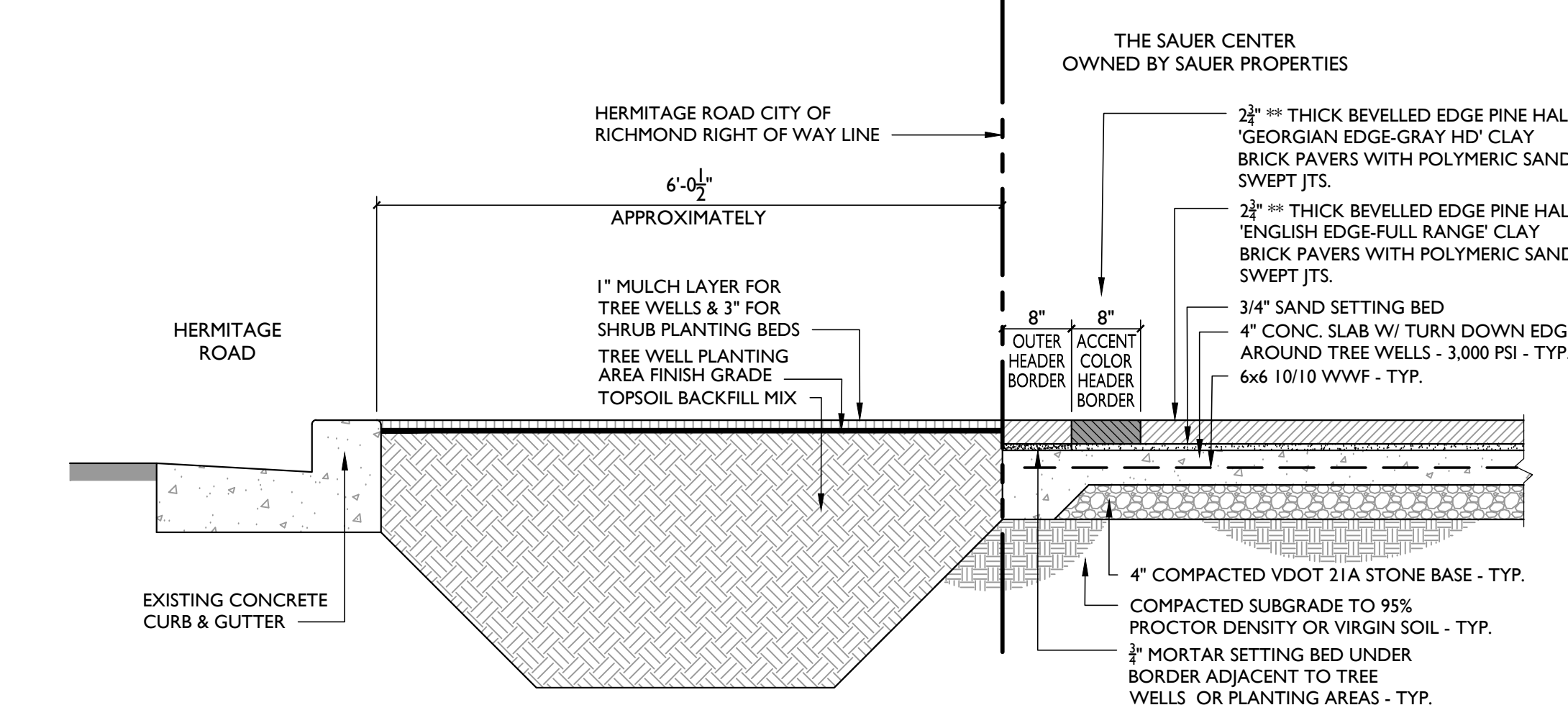
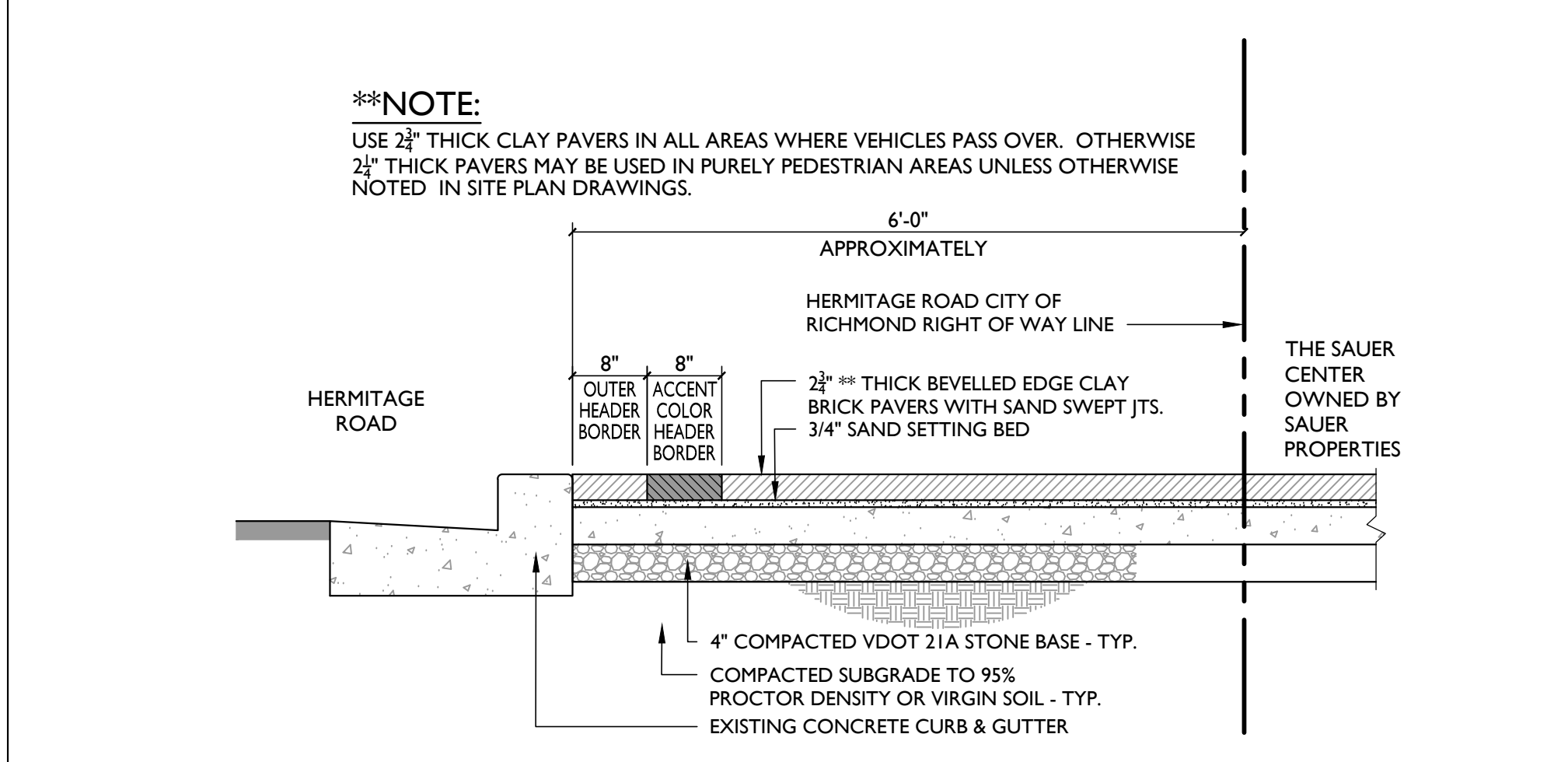
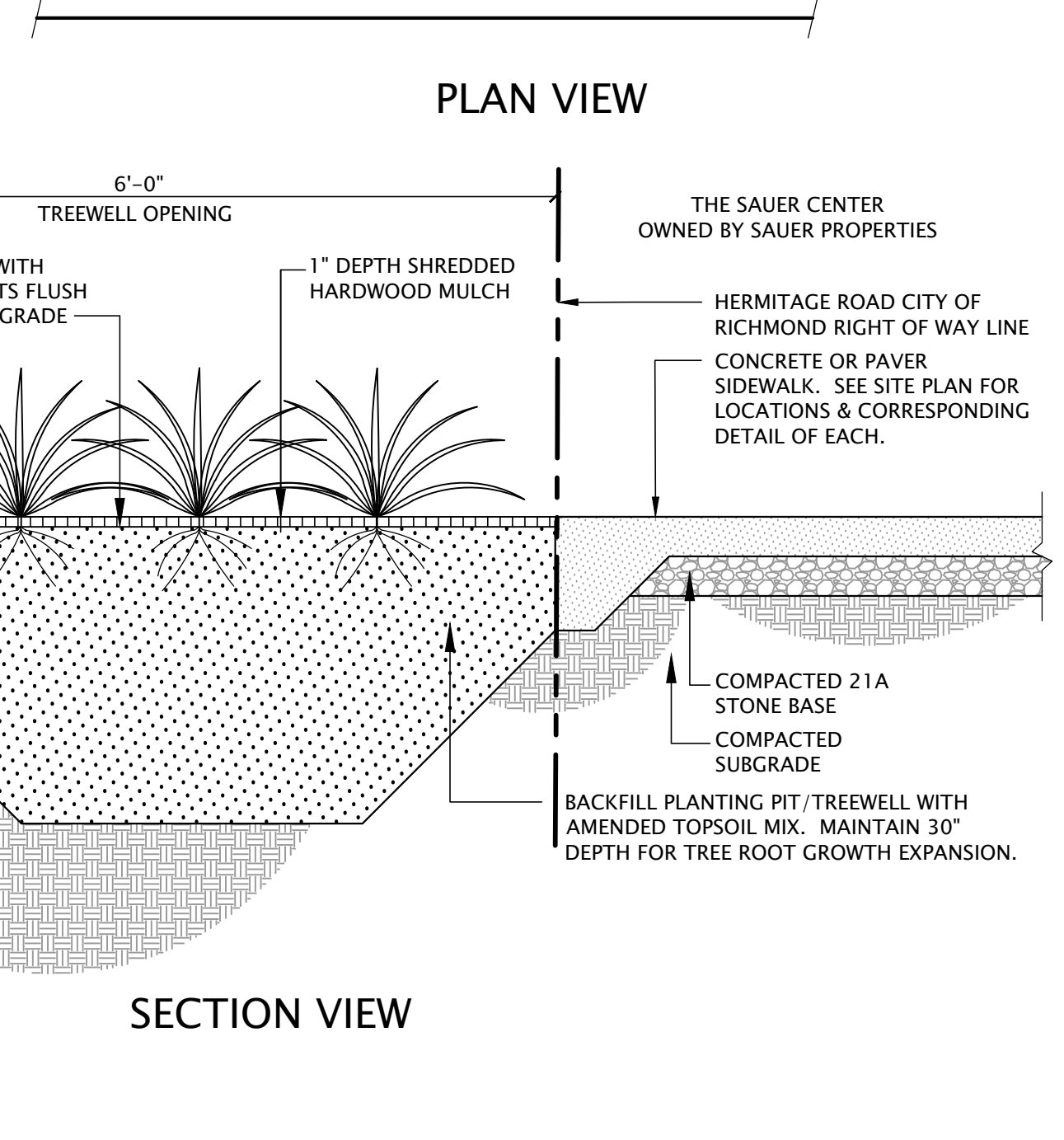
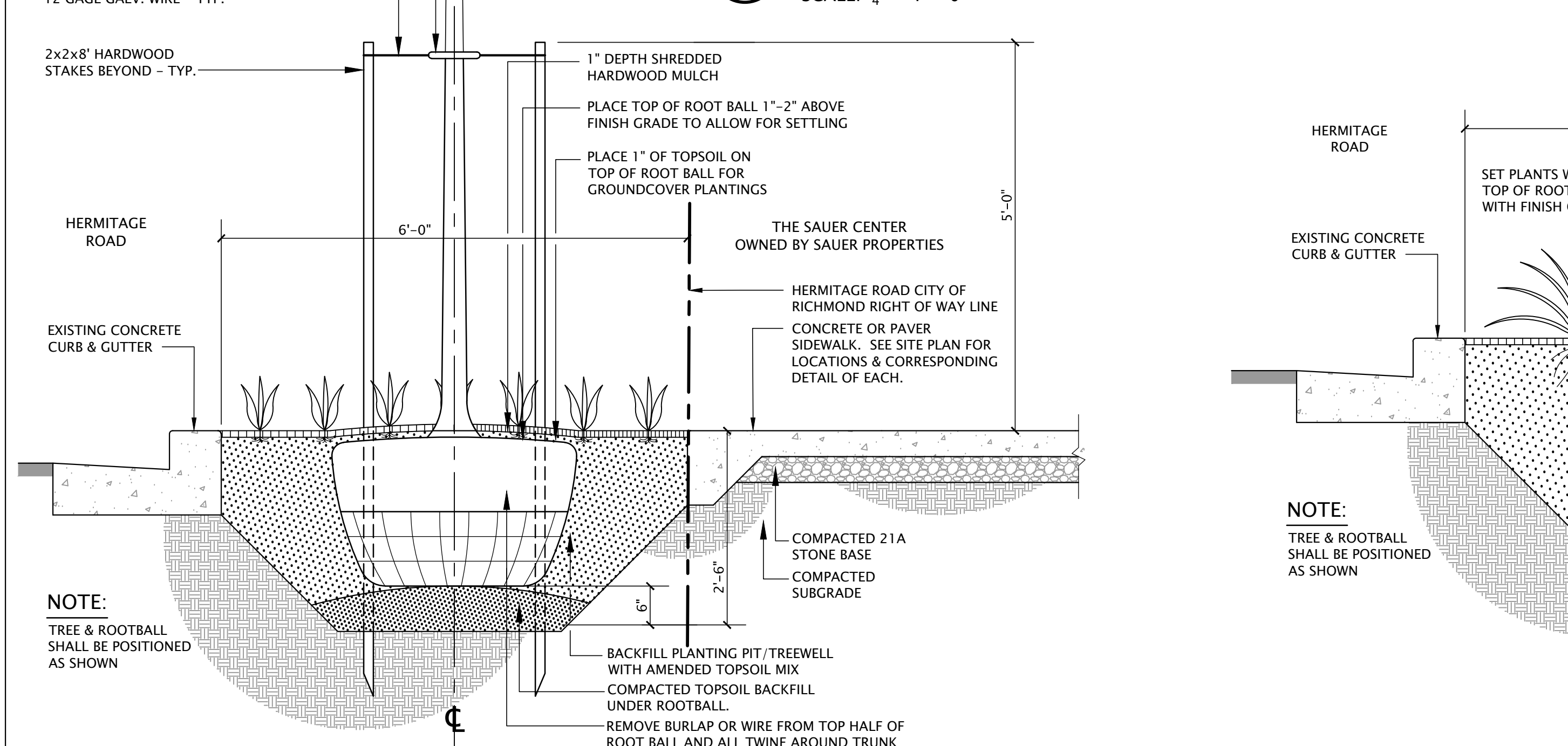
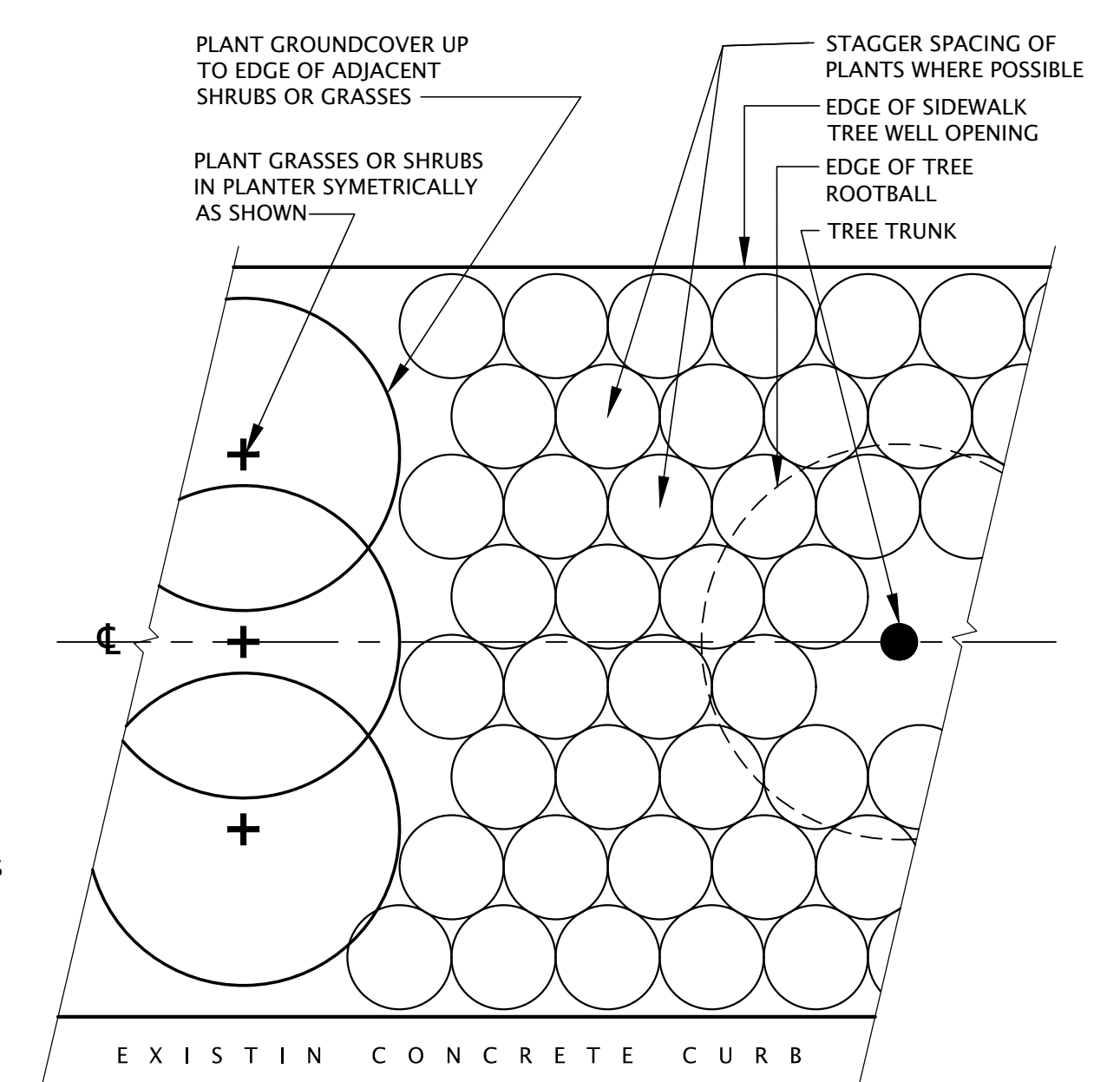
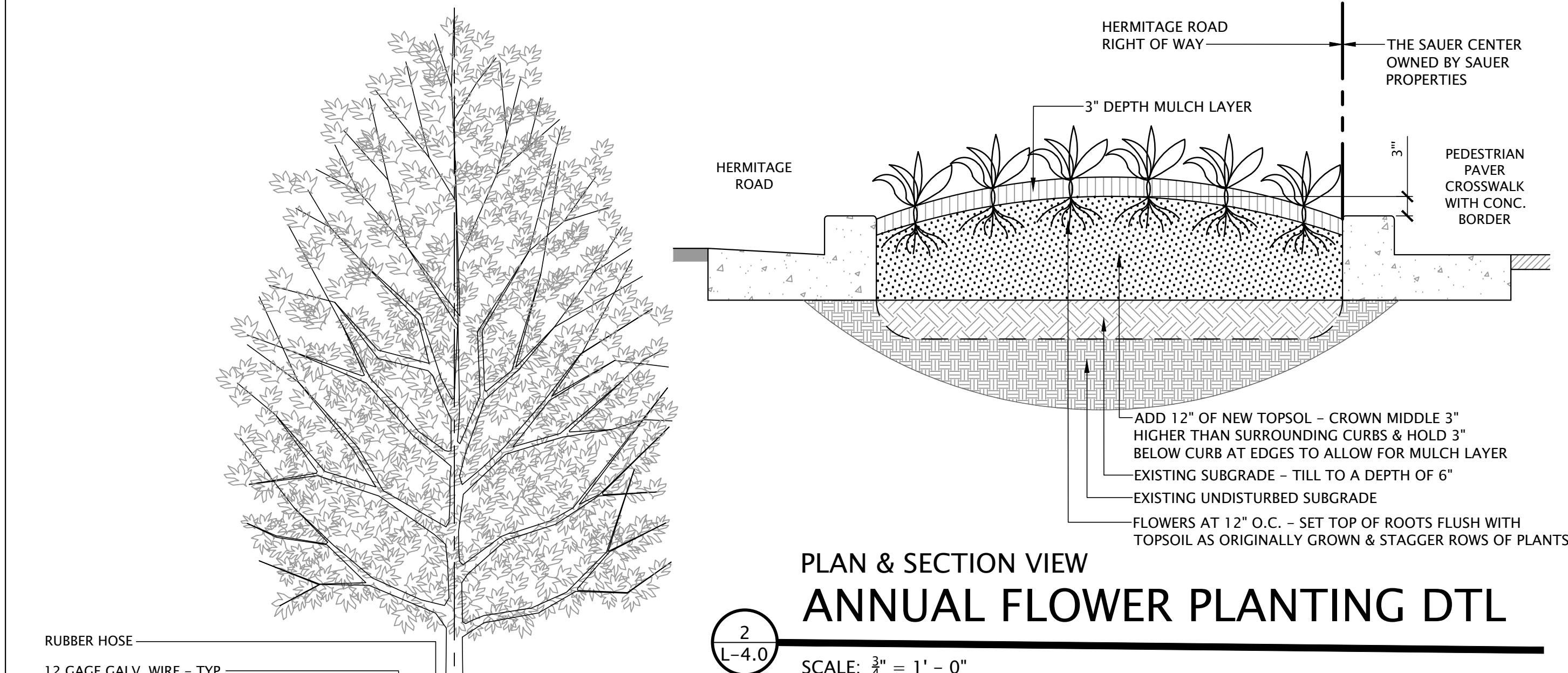
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PLANT MATERIAL SCHEDULE

QUANTITY	BOTANICAL NAME	COMMON NAME	SPACING	CALIPER	HEIGHT	ROOT TYPE	DETAIL	REMARKS
9	PLATANUS x ACERIFOLIA	LONDON PLANE-TREE	42' O.C.	3.5-4"	14-16'	B&B	1	STRAIGHT CENTRAL LEADER
150	PENNISETUM ALOPECUROIDES 'HAEMEL'	DWARF FOUNTAIN GRASS	18" O.C.	-	-	GAL. POTS		MULCH ENTIRE BED
405	LIRIOPE MUSCARI 'VARIEGATA'	VARIEGATED LIRIOPE	10" O.C.	-	-	2.25' POTS	1 & 2	MULCH ENTIRE BED
110	ANNUAL FLOWERS		12" O.C.	-	-	GAL. POTS	D	MULCH ENTIRE BED
	SPRING & SUMMER PLANTINGS:	RED VINCA OR RED BEGONIAS						
	FALL & WINTER PLANTINGS:	YELLOW PANSIES W/ PURPLE CENTERS						

PLANT MATERIAL SCHEDULE

- CONTRACTOR SHALL VERIFY PLANT MATERIAL QUANTITIES SHOWN ON PLAN WITH TOTALS IN PLANTING SCHEDULE. NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES PRIOR TO FINAL BIDDING. UNIT PRICES SHALL BE SUBMITTED AS PART OF FINAL BID.
- ALL PLANT MATERIALS SHALL BE GUARANTEED FOR ONE FULL YEAR TO BE IN A HEALTHY GROWING CONDITION. PLANT MATERIALS WHICH DO NOT FULFILL THIS GUARANTEE SHALL BE REPLACED AT NO COST TO THE OWNER. REPLACEMENT SHALL BE GUARANTEED THROUGHOUT THE ORIGINAL GUARANTEE PERIOD. PLANTS THAT DIE SHALL BE REPLACED IMMEDIATELY.
- CONTRACTOR IS RESPONSIBLE FOR WATERING ALL PLANT MATERIAL DURING INSTALLATION AND UNTIL FINAL INSPECTION AND ACCEPTANCE BY OWNER. CONTRACTOR SHALL NOT ASSUME IRRIGATION SYSTEM IS FULLY OPERATIONAL AT COMPLETION OF PLANTING INSTALLATION.
- CONTRACTOR RESPONSIBLE FOR CONTACTING MISS UTILITY PRIOR TO BEGINNING OF CONSTRUCTION FOR LOCATION OF ALL UTILITY LINES. TREES SHALL BE LOCATED A MINIMUM OF 5 FEET FROM SEWER/WATER CONNECTIONS. NOTIFY LANDSCAPE ARCHITECT IF ANY CONFLICTS OCCUR.
- THE LANDSCAPE ARCHITECT IS THE OWNER'S REPRESENTATIVE AND SHALL BE THE APPROVING AUTHORITY FOR INFORMATION PROVIDED IN THESE PLANS AND SPECIFICATIONS.
- ALL PLANT MATERIALS, TOPSOIL, MULCH, FERTILIZERS, SOIL AMENITIES, PLANTING SUPPLIES AND METHODS SHALL BE SUBJECT TO LANDSCAPE ARCHITECTS APPROVAL. REJECTED MATERIALS SHALL BE REMOVED FROM THE SITE WITHOUT DELAY.
- ALL PLANT MATERIALS AND PLANTING METHODS SHALL CONFORM TO A.A.N. STANDARDS.
- CONTRACTOR SHALL LAYOUT AND MARK LOCATION FOR ALL PLANT MATERIAL, PLANTING, AND IMPROVEMENTS SHOWN AND REQUEST IN FIELD APPROVAL FROM LANDSCAPE ARCHITECT.
- BEDS TO CONTAIN SHRUBS OR GROUND COVER SHALL BE TILLED TO A DEPTH OF 6" AND THE SOIL CONDITIONED BY ADDING CLEAN, WELL ROTTED MANURE. IF EXISTING SOIL IS CONSIDERED TO BE UNUSABLE BY OWNER, BEDS SHALL BE TREATED TO ELIMINATE WEEDS AND WEED SEEDS.
- ALL PLANTING BED AREAS SHALL BE COVERED WITH A 3" MINIMUM LAYER OF MEDIUM TEXTURE SHREDDED HARDWOOD MULCH UNLESS OTHERWISE NOTED.
- ALL SUBSTITUTIONS OF PLANT MATERIAL SHALL BE REQUESTED IN WRITING TO THE LANDSCAPE ARCHITECT AND APPROVED IN WRITING BY THE OWNER.
- ALL PLANTING OPERATIONS SHALL BE UNDER THE SUPERVISION OF AN EXPERIENCED PLANTSMAN.
- LANDSCAPE ARCHITECT RESERVES THE RIGHT TO SELECT PLANT MATERIALS IN THE NURSERY.
- FOR TREES BALLED IN WIRE BASKETS, CUT AND REMOVE TOP AND SIDES OF BASKET AFTER INSTALLATION.
- LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REJECT ANY PLANTS AND MATERIALS THAT ARE IN AN UNHEALTHY OR UNSUITABLE CONDITION, AS WELL AS PLANTS AND MATERIALS THAT DO NOT CONFORM TO A.A.N. STANDARDS. SEE AMERICAN STANDARD FOR NURSERY STOCK, ANSI Z60.1-(CURRENT EDITION).
- SOIL SHALL BE FREE OF ALL WEEDS.
- PLANT SIZES, QUANTITIES, AND SPECIES WILL BE CHECKED BY COUNTY OR CITY INSPECTION FOR COMPLIANCE WITH PLANT SCHEDULE AS APPROVED BY THE COUNTY. CONTRACTOR SHALL BE HELD RESPONSIBLE FOR DELAY IN ISSUANCE OF CERTIFICATE OF OCCUPANCY BY THE COUNTY RESULTING FROM UNAUTHORIZED SUBSTITUTIONS OR DOWN SIZING.
- UPON COMPLETION OF LANDSCAPE INSTALLATION, THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE GENERAL CONTRACTOR WHO WILL VERIFY COMPLETENESS, INCLUDING THE REPLACEMENT OF ALL DEAD PLANT MATERIAL, AND SCHEDULE A FINAL INSPECTION FOR ACCEPTANCE BY OWNER.
- THE ONE YEAR GUARANTEE PERIOD SHALL BEGIN UPON THE OWNER'S APPROVAL AND ACCEPTANCE OF THE PLANTING INSTALLATION. THE OWNER SHALL ASSUME RESPONSIBILITY FOR MAINTENANCE INCLUDING WATERING, WEEDING, PEST CONTROL, AND FERTILIZATION.
- CONTRACTOR SHALL REMOVE STAKING FROM TREES AT THE END OF THE ONE YEAR WARRANTY PERIOD.



THE SAUER CENTER

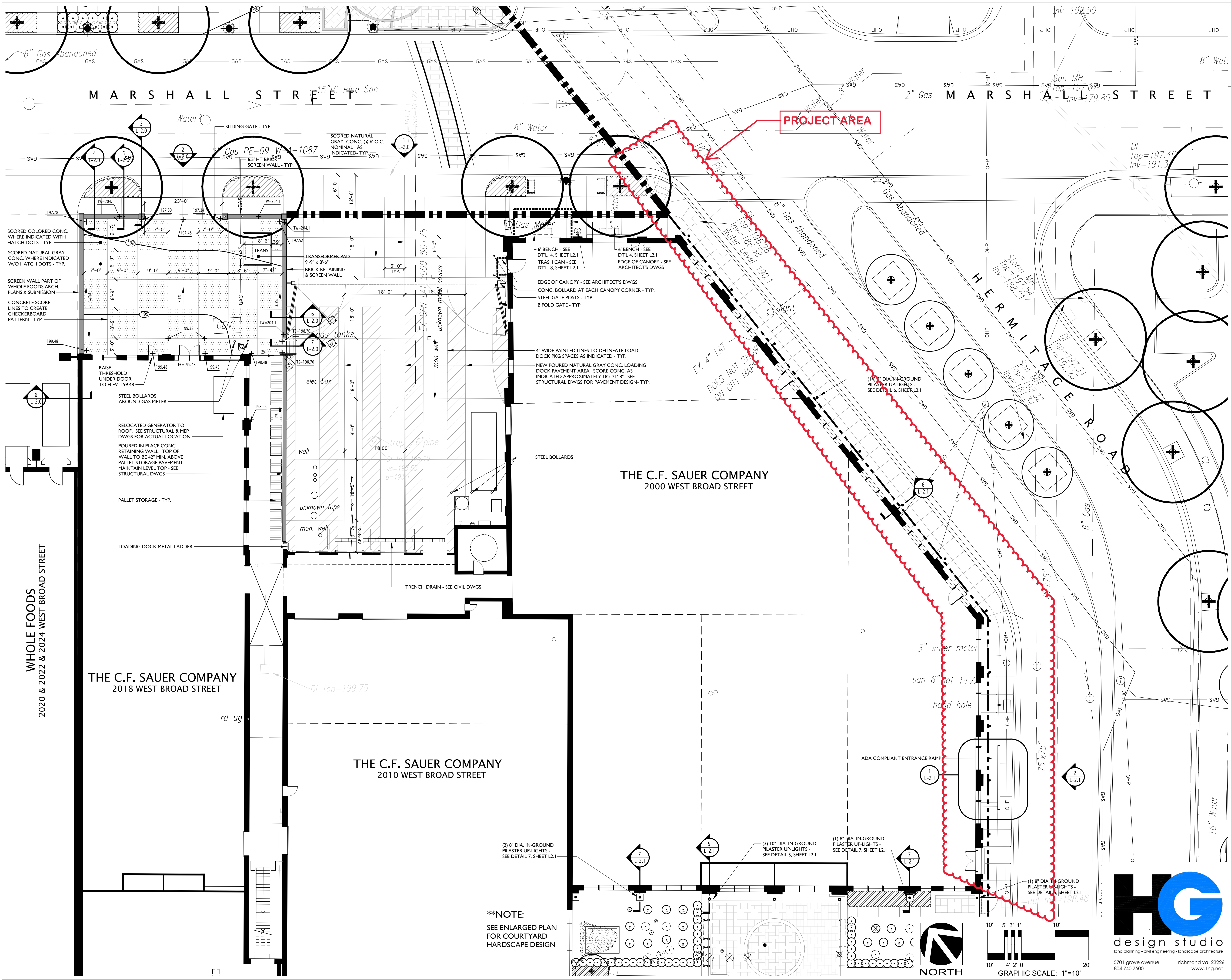
Hermitage Road Streetscape
2000 West Marshall Street & 840 Hermitage Road
Richmond, Virginia

REVISIONS:

No.	Description	Date

PLANTING DETAILS & SCHEDULE

Designed By: RLG
Drawn By: RLG
Checked By: RLG
Date: 09.13.2018
Project Number: M15026
Sheet Number



RM
ARCHITECT

30 Lexington Road
Richmond, Virginia 23226
804.355.8745
bob@roberrtm.com
www.roberrtm.com

YR
YELLOW ROOM
INCORPORATED

2731 WEST GRACE STREET RICHMOND, VA 23220 888.501.9528

**THE C.F. SAUER COMPANY
HEADQUARTERS RENOVATION**
2000 W. BROAD STREET
RICHMOND, VIRGINIA

RECORD:	DATE:
PART 8 REVIEW SET	02-20-17
FOR PRICING	05-31-17
FOR REVIEW	09-13-2016
FOR REVIEW	10-27-2016
FOR REVIEW	12-21-2016
FOR PERMIT	10-11-2017
1 ADA ENTRANCE REVISED PER CITY	01-11-2018
1 WALL & STAIR DTLS	01-24-2018
1 CITY REVIEW COMMENTS	01-31-2018
SEAL:	
2 PILASTER UP-LIGHTS ADDED	11-11-2018

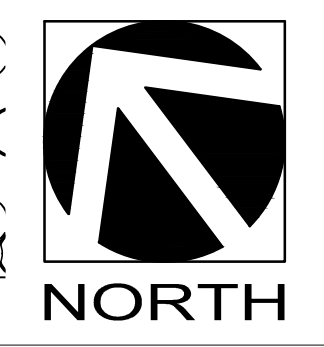
DRAWING TITLE:
**HEADQUARTERS
SITE PLAN**

PROJECT:
CITY OF RICHMOND
PERMIT DOCUMENTS

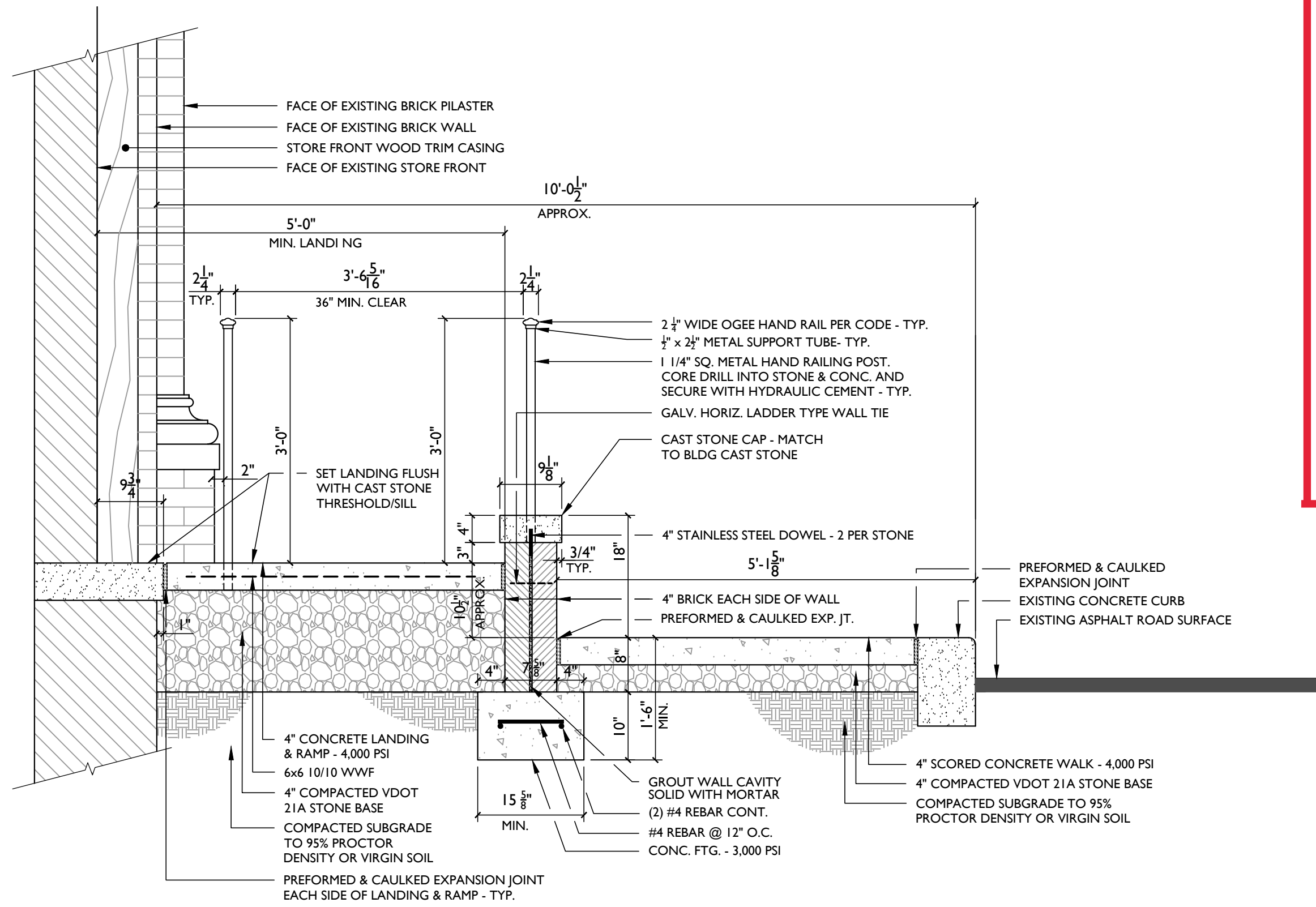
SHEET:
L-1.0
PROJECT NUMBER: 0906
DATE: MAY 31, 2017
FILE NAME:



GRAPHIC SCALE: 1"=10'

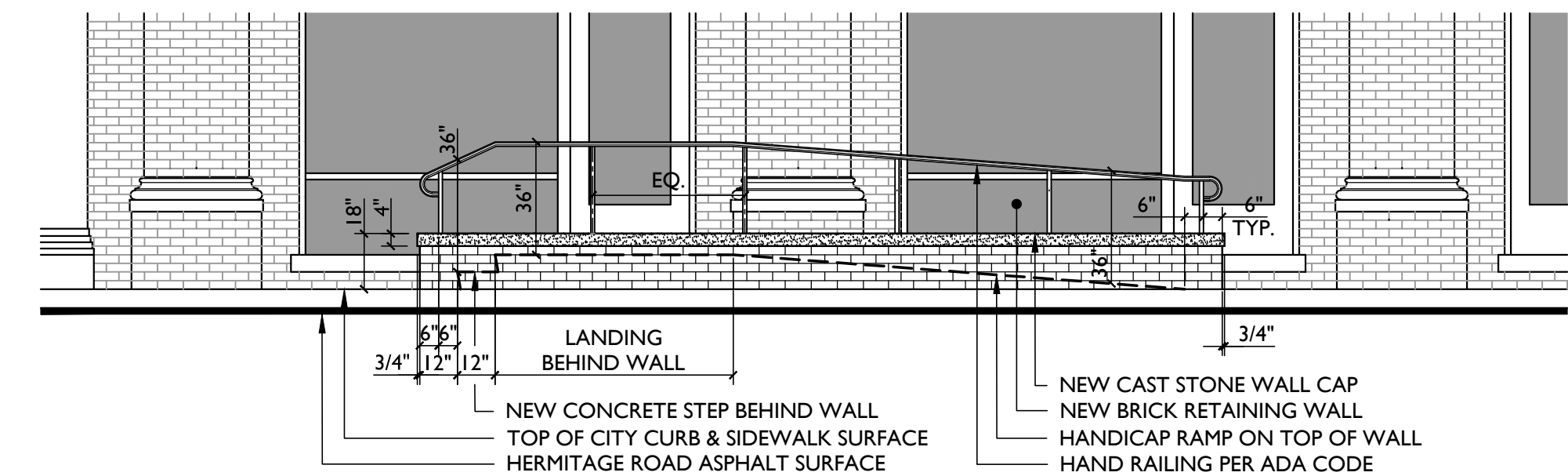


****NOTE:**
SEE ENLARGED PLAN FOR COURTYARD HARDSCAPE DESIGN



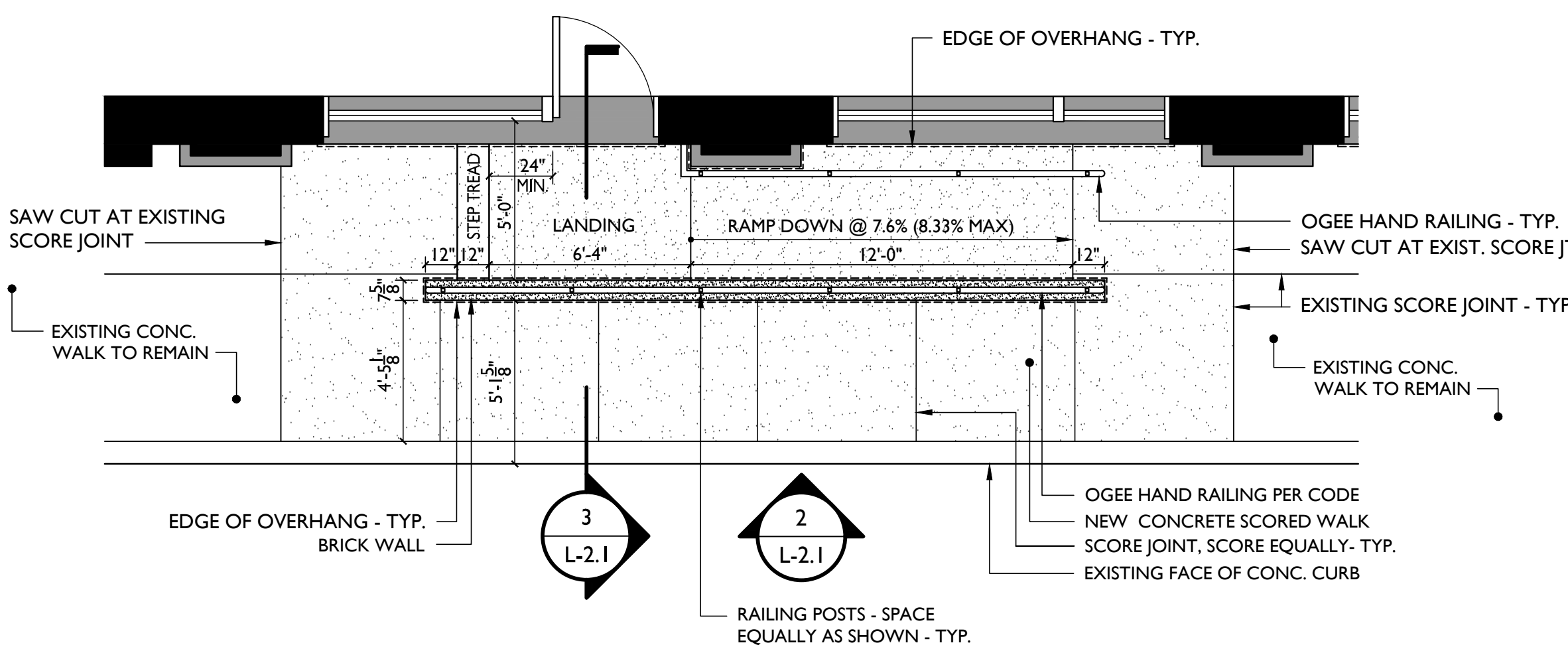
SECTION VIEW
THE C.F. SAUER CO. HEADQUARTER
HERMITAGE RD & N MEADOW ST ADA ENTRANCE

SCALE: 3/4" = 1' - 0"



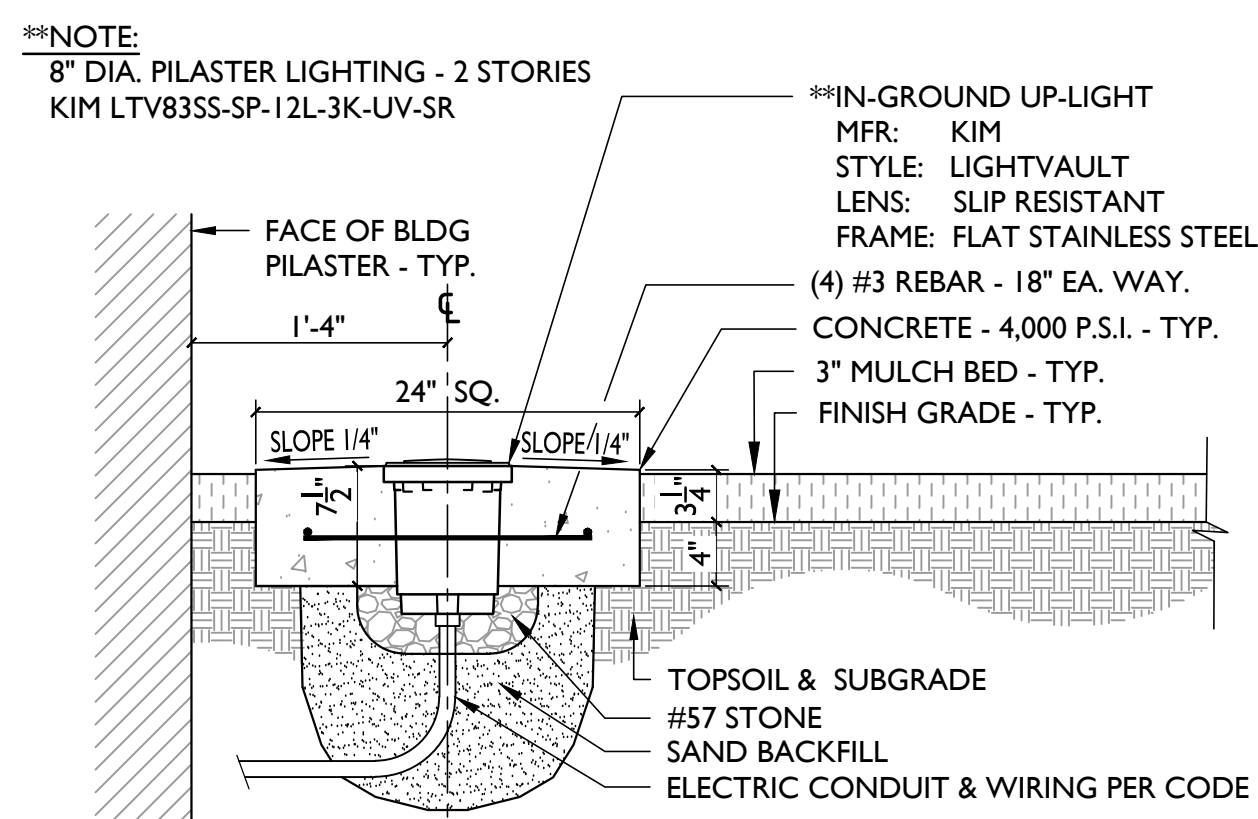
ELEVATION VIEW
THE C.F. SAUER CO. HEADQUARTER
HERMITAGE RD & N MEADOW ST ADA ENTRANCE

SCALE: 1/4" = 1' - 0"



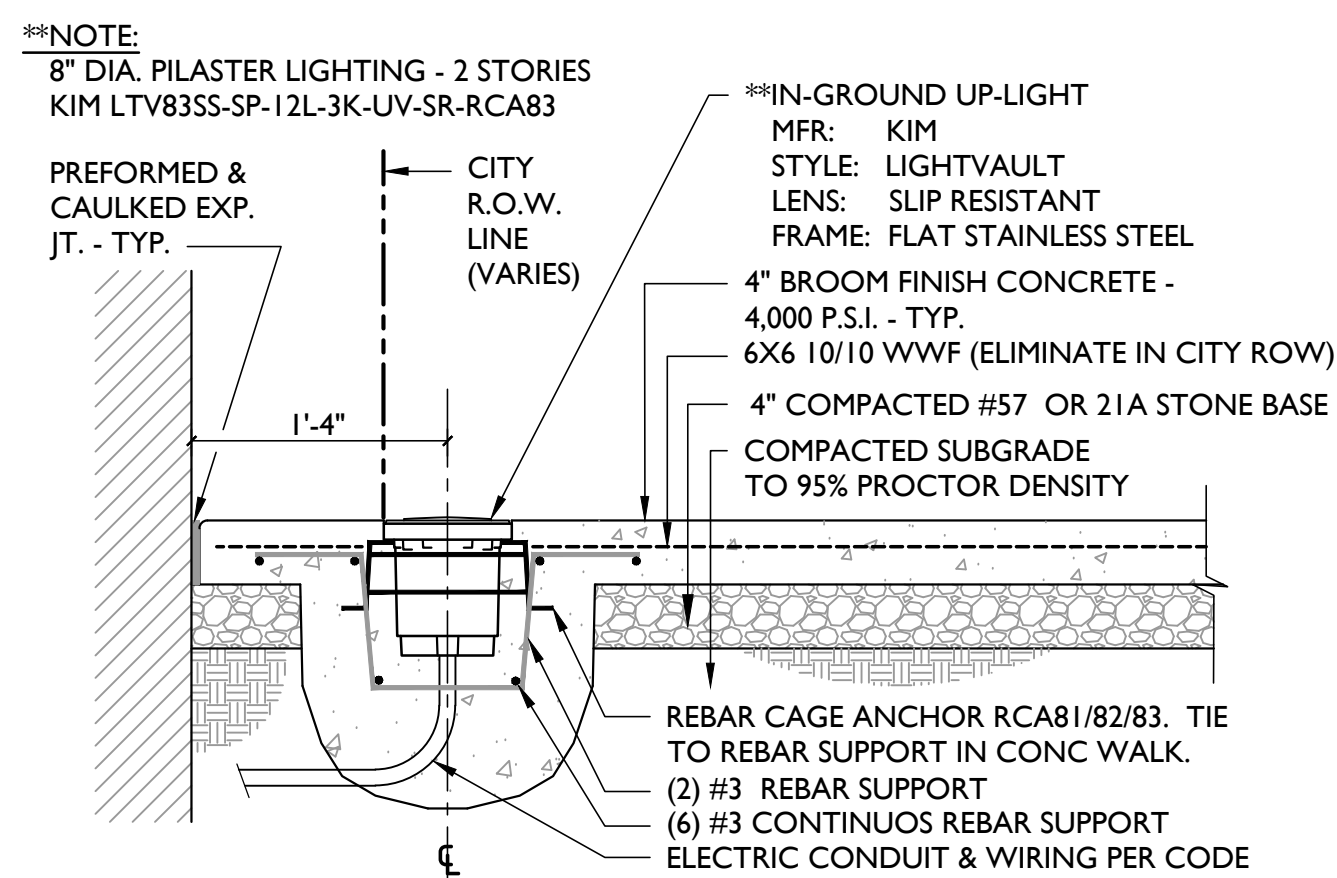
PLAN VIEW
THE C.F. SAUER CO. HEADQUARTER
HERMITAGE RD & N MEADOW ST ADA ENTRANCE

SCALE: 1/4" = 1' - 0"



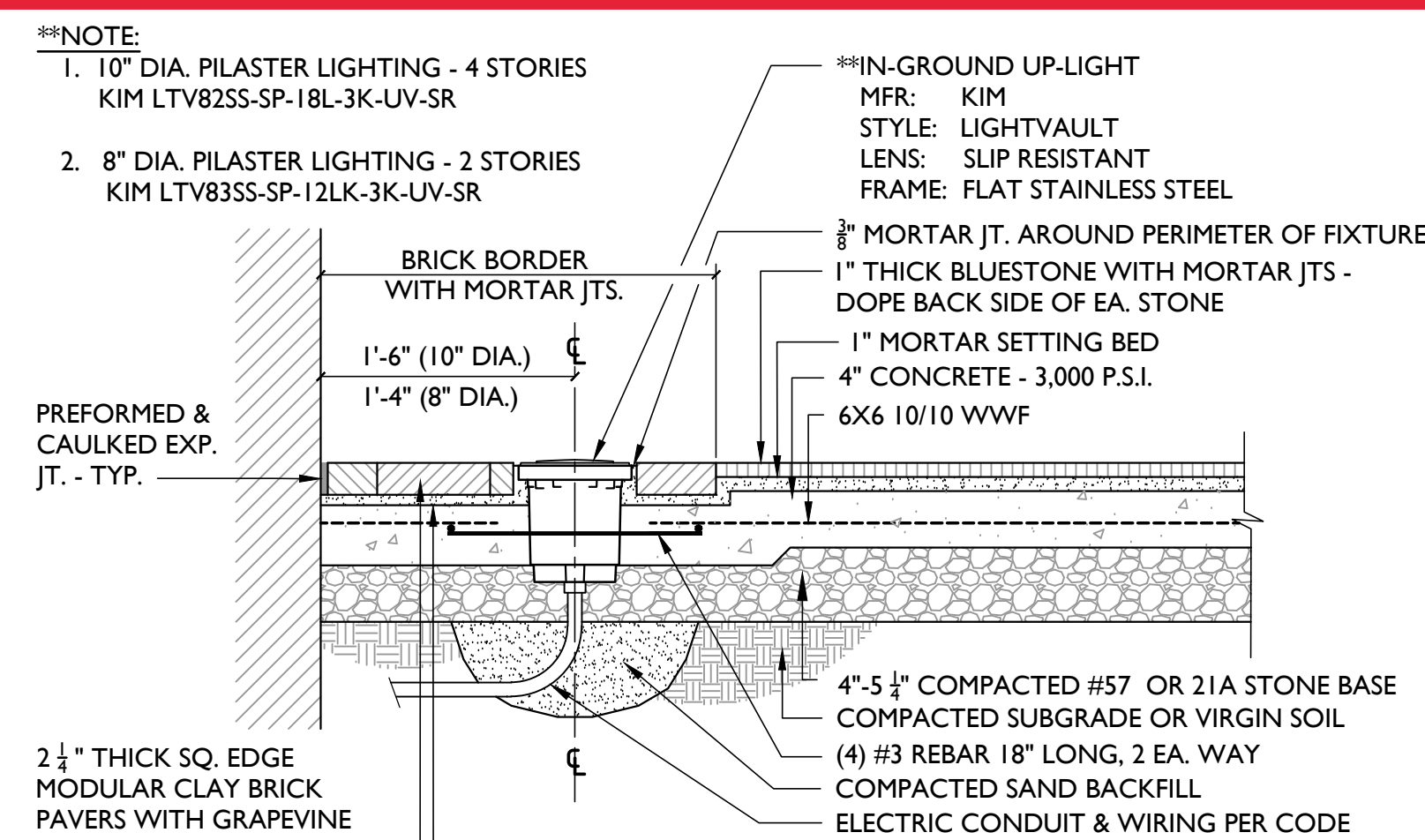
SECTIONAL/ELEVATION VIEW
8" UP-LIGHT IN PLANT BED DT'L

SCALE: 1" = 1' - 0"



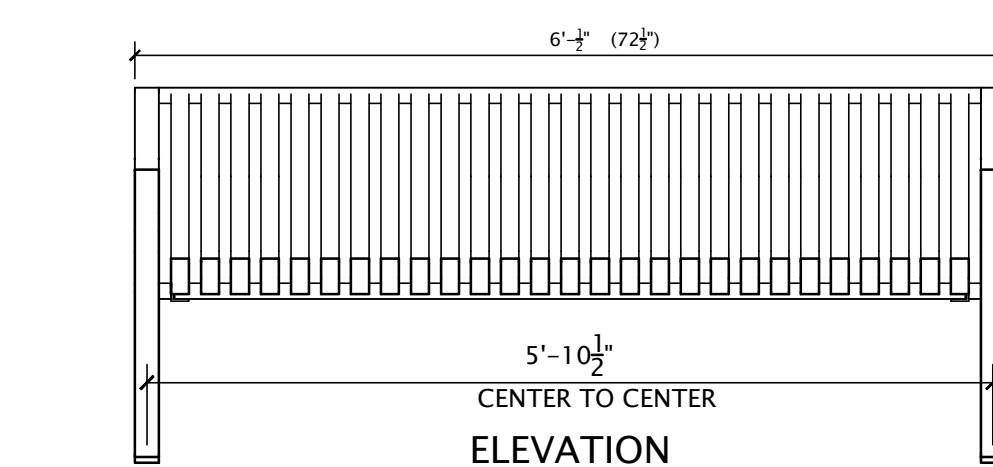
SECTIONAL/ELEVATION VIEW
8" UP-LIGHT IN CONC. WALK DT'L

SCALE: 1" = 1' - 0"



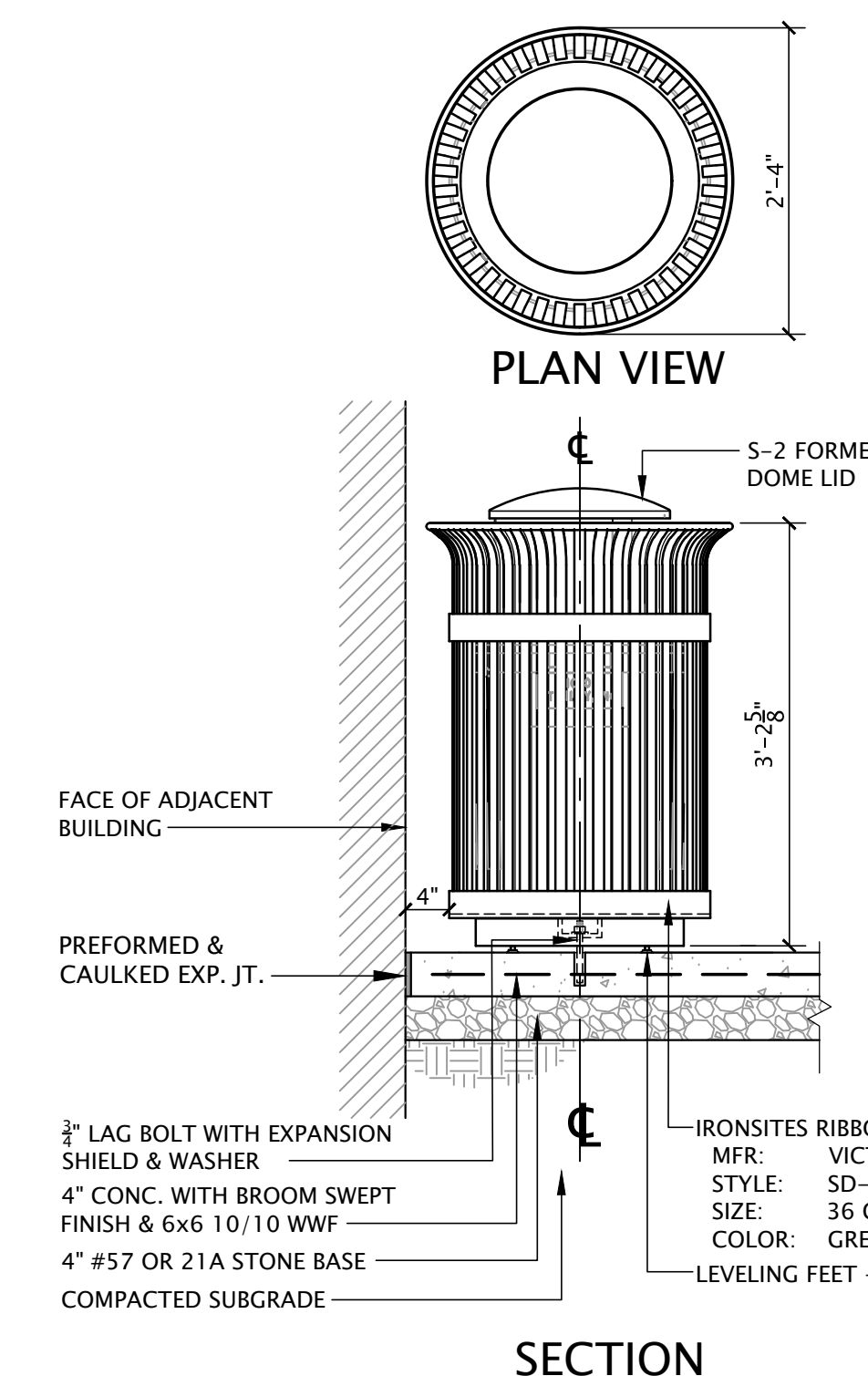
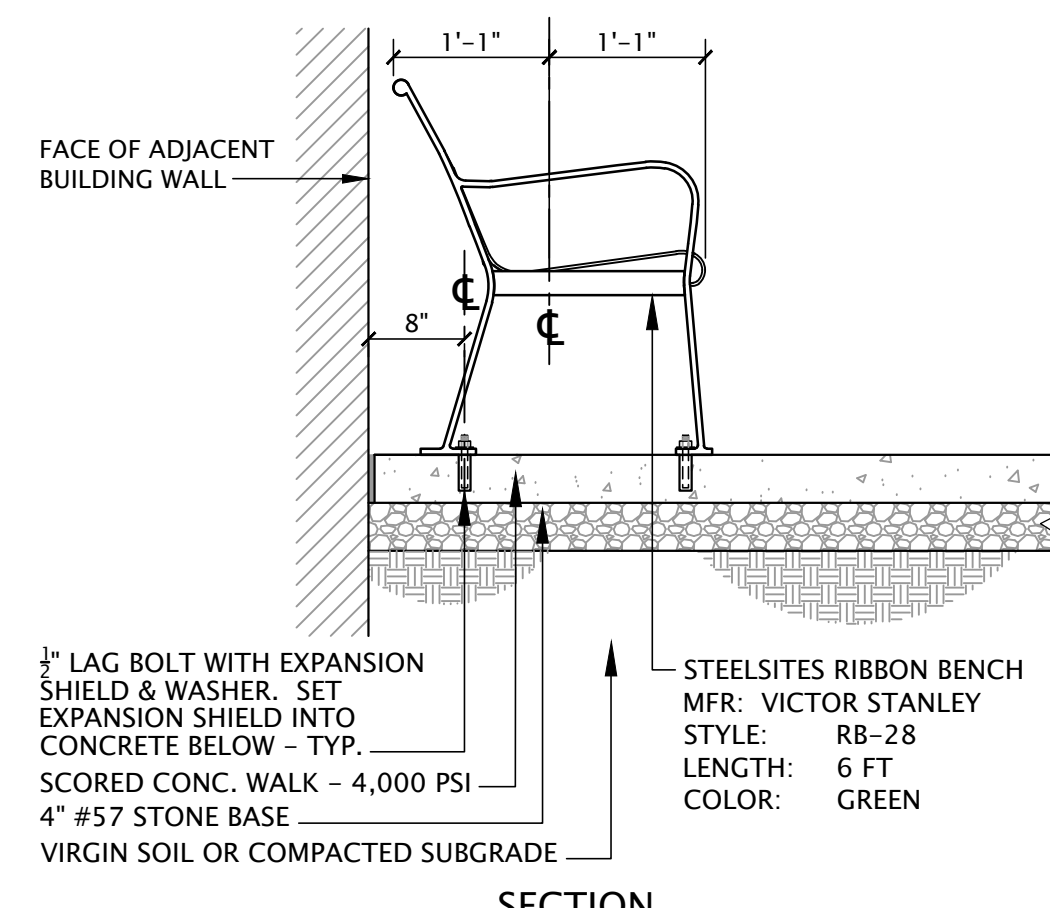
SECTIONAL/ELEVATION VIEW
8" & 10" UP-LIGHT IN BRICK PAVING DT'L

SCALE: 1" = 1' - 0"



SECTION VIEW
THE C.F. SAUER CO. HEADQUARTER
W. MARSHALL ST. BENCH INSTALLATION DT'L.

SCALE: 3/4" = 1' - 0"



SECTIONAL/ELEVATION VIEW
TRASH CAN INSTALLATION DETAIL

SCALE: 3/4" = 1' - 0"

ITEMS FOR HERMITAGE ROAD
STREETScape REVIEW

RECORD:	DATE:
PART B REVIEW SET	02-20-17
FOR PRICING	05-31-17
FOR REVIEW	09-13-2016
FOR REVIEW	10-27-2016
FOR REVIEW	12-21-2016
FOR PERMIT	10-11-2017
1 ADA ENTRANCE REVISED PER CITY	01-11-2018
1 CITY REVIEW COMMENTS	01-31-2018
2 UP-LIGHTS & TRASH CAN ADDED & BENCH REV.	04-26-2018

DRAWING TITLE:
HEADQUARTERS
ADA ENTRANCE
&
SITE FURNISHINGS
DETAILS

PROJECT:
CITY OF RICHMOND
PERMIT DOCUMENTS

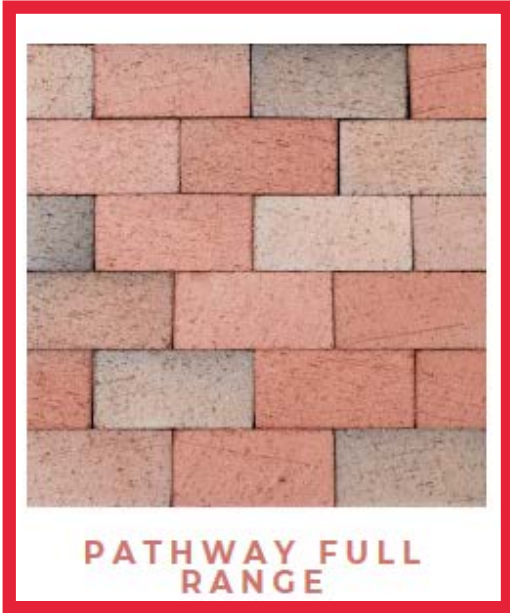
CONSTRUCTION SET 6-4-2018
SHEET:

L2.1

PROJECT NUMBER: 0006
DATE: MAY 31, 2017
FILE NAME:



Showing 1-12 of 14 results



PATHWAY RED



PATHWAY COCOA FULL RANGE



PATHWAY AUTUMN



COURTYARD BEALE STREET



PATHWAY ROSE



PINE HALL BRICK

BUILD YOUR DREAMS.

August 16, 2018

Riverside Brick & Supply
1200 Maury Street
Richmond, VA 23224
Attn: Regina Henderson

Project: Suaer Center Painting, Richmond VA
Architect: H G Design Center
Mason: James River Industries

We certify that the **Pine Hall 2 1/4" x 4" x 8" Pathway Red pavers** meet ASTM C-902, Class SX, Type 1, Application PX and C-67 for freeze & thaw and efflorescence testing for the above-mentioned project.

Sincerely,

PINE HALL BRICK CO., INC.

Walt Steele
Paver Business Manager

WS/sc

Subscribed and sworn to before me,
Tara E Reifsnider, Notary Public, this
the 16th day of August 18.

Notary Public

TARA E REIFSNIDER
NOTARY PUBLIC
FORSYTH COUNTY, NC
MY COMMISSION EXPIRES Nov. 7, 2020

JOB _____

TYPE _____

NOTES _____

APPROVALS _____

FEATURES

- Sealed IP68 LED light engine
- Easy to install and pair devices
- Bluetooth connectivity for remote control aiming and dimming
- Advanced thermal management provides long life in excess of 100,000+ hours
- Free Mobile App for Android and iOS
- Runs cool to the touch - less than 40°C

CERTIFICATIONS



SPECIFICATIONS

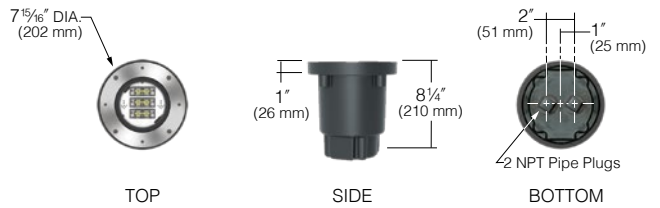
Pour Box rough-in housing ships separately and as a quick-ship if requested.



LTV81SS



LTV83SS

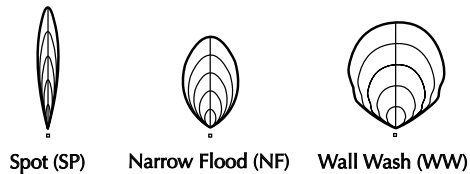


LTV82SS



LIGHT DISTRIBUTIONS:

LTV81SS, LTV82SS, LTV83SS



DEBRIS SHIELDS



ORDERING CODE

Fixture Size	Distribution*	Source	Electrical Module	Lens Options ¹	Rebar Cage Anchor
LTV81SS	13" Dia.	SP, NF, WW	36L 36 LEDs	SR Slip-Resistant Lens	RCA81 for LTV81
LTV82SS	10-3/8" Dia.	SP, NF, WW	18L 18 LEDs	PL Prismatic Lens	RCA82 for LTV82
LTV83SS	7-15/16" Dia.	SP, NF, WW	12L 12 LEDs		RCA83 for LTV83

* SP = Spot, NF = Narrow Flood, WW = Wall Wash

Kim Lighting reserves the right to change specifications without notice.