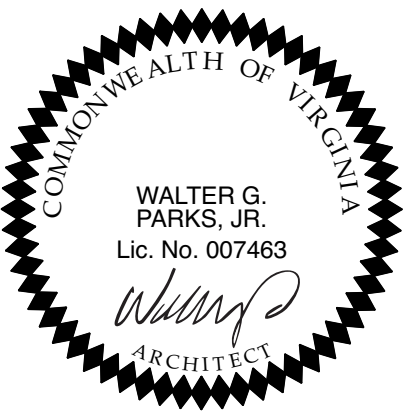




GENERIC PERSPECTIVE

SHEET LIST

SHEET	NAME	ISSUE NUMBER	ISSUE/REV. DATE
G.000	COVER SHEET		
G.001	GENERAL NOTES	01	01/20/22
G.002	COMMON AREAS ANSI ACCESS INFORMATION		
G.003	UNIT ANSI ACCESS INFORMATION		
G.004	FHA ACCESSIBILITY GUIDELINES		
G.005	FHA ACCESSIBILITY GUIDELINES		
G.006	SITE PLAN	01	01/20/22
G.007	GROSS BUILDING AREAS, OPEN SPACE CALCULATIONS, & UNIT COUNTS		
G.008	VERTICAL ASSEMBLIES		
G.009	1:4 INCLINED PLANE AND FENESTRATION CALCULATIONS		
A.101	LIFE SAFETY PLANS		
A.201	FIRST - 3RD FLOOR PLANS		
A.202	4TH AND ROOF PLANS		
A.211.3	FIRST FLOOR UNIT PLAN		
A.212.1.2	SECOND FLOOR UNIT PLAN		
A.212.3	SECOND FLOOR UNIT PLAN		
A.213.1.2	THIRD FLOOR UNIT PLAN		
A.213.3	THIRD FLOOR UNIT PLAN		
A.214.1.2	FOURTH FLOOR UNIT PLAN		
A.214.3	FOURTH FLOOR UNIT PLAN		
A.301	ELEVATIONS		
A.401	SECTIONS		
A.402	STAIRS PLANS & SECTIONS		
A.901	DOOR SCHEDULE		
A.902	WINDOW SCHEDULE		



**931-933 W Grace St**  
 RICHMOND VA 23220 USA

REVISIONS
TAG DATE

walter PARKS ARCHITECT

313 N. ADAMS STREET  
 RICHMOND, VIRGINIA 23220  
 t: 644-4761 / f: 644-4763

PROJECT #: 20.30  
 DATE: 1/21/22

COVER SHEET  
**G.000**

**GRACE PROJECT Analysis**

Property Address: 931, 933 W Grace Street  
 Zoning: B-4 - Business (Central Business)  
 Planning District: Near West  
 Traffic Zone: 1097  
 City Neighborhood Name: VCU  
 Parcel Area: 6378.53 sf (0.146 acres)  
 Parcel Area to midline of street & alley: 5,727sf

DIVISION 22. B-4 CENTRAL BUSINESS DISTRICT

SEC. 30-440.1. PERMITTED PRINCIPAL AND ACCESSORY USES.

The following uses of buildings and premises shall be permitted in the B-4 district.

A plan of development shall be required as specified in this section; construction of any new building of greater than 50,000 square feet of floor area; and construction of any new building or addition to any existing building where vehicular circulation, including driveways, parking areas or loading areas, is to be provided on the site; provided that a plan of development shall not be required for any use that is subject to location, character and extent approval by the city planning commission in accordance with section 17.07 of the City Charter.

(12) Dwelling units, provided that when such units are located within buildings fronting on streets designated as street oriented commercial frontage, a minimum of one-third or 1,000 square feet, whichever is greater, of the floor area of the ground floor of the building shall be devoted to other principal uses permitted in this district, and such uses shall have a depth of not less than 20 feet along the entire street oriented commercial frontage, except for ingress and egress. A plan of development shall be required as set forth in article X of this chapter for construction of any new building containing more than ten dwelling units (Ord. No. 2011-205-2012-1, 1-9-2012)

SEC. 30-440.3. YARDS.

(1) Front Yard.

(c) Where existing buildings are located on both adjacent lots along the same street frontage, the front yard shall be the same as the front yard provided for the existing building closest to the street, but in no case greater than ten feet.

(2) Side yards. No side yards shall be required.

(3) Rear yard. No rear yard shall be required except as provided in subsection (4) of this section, and except that where a rear lot line abuts or is situated across an alley from property in an R or RO district there shall be a rear yard of not less than 20 feet in depth.

(4) Side and rear yards adjacent to shelters. Side and rear yards adjacent to newly constructed buildings or portions thereof devoted to shelters shall be not less than 15 feet in depth.

Sec. 30-440.4. Screening.

(2) Where a use prohibited on a transitional site is situated across an alley from the side lot line of property in an R district, there shall be an opaque structural fence or wall not less than four feet in height erected along the alley line, but not within 15 feet of any street line.

SEC. 30-440.5. FLOOR AREA AND USABLE OPEN SPACE.

(See section 30-1220)

(1) Floor area ratio. The floor area ratio shall not exceed 6.0, provided that additional floor area for non dwelling uses shall be permitted as set forth in section 30-690.

(2) Usable open space ratio. A usable open space ratio of not less than 0.08 shall be provided for newly constructed buildings or portions thereof devoted to dwelling uses or shelters.

Floor area ratio (FAR) means the total square foot amount of floor area on a lot for each square foot of land area. Floor area ratio is determined by dividing the floor area on a lot by the land area attributed to the lot.

Usable open space means that portion of a lot or that portion of a development site which is not covered by building area or vehicular area and including usable roof area and exterior balconies, terraces or patios not covered by enclosed building space.

Usable open space ratio means the total square foot amount of usable open space on a lot for each square foot of floor area on the lot or on the development site. The usable open space ratio is determined by dividing the amount of usable open space by the amount of floor area (devoted to dwellings uses).

Floor Area: Lot area to midline of streets & alley is 5,727sf x 6.0 FAR = 34,362 sf

Usable Open Space: Building Area devoted to Dwelling Use (17,812.75 sf) x 0.08 = 1,425.02 sf

SEC. 30-440.6. HEIGHT.

There shall be no maximum height limit in the B-4 central business district, provided that no portion of a building shall penetrate an inclined plane originating at the centerline of each abutting street and extending over the lot at an inclination of one foot horizontal for each four feet vertical and provided, further, that such inclined plane may be penetrated by a building wall adjacent to a street for a horizontal distance not exceeding 50 percent of the length of the property line along such street.

Sec. 30-440.7. Building facade fenestration.

(1) Street level story.

a. Nondwelling uses. For nondwelling uses, a minimum of 60 percent of the building facade between two and eight feet in height along the street frontage shall be comprised of windows or glass doors or both that allow views into and out of the interior building space. Windows used to satisfy this requirement shall have a minimum height of four feet. In the case of a street level story having less than its full height above the mean grade level at the building facade along the street frontage of the lot, a minimum of 30 percent of the building facade above such mean grade level shall be comprised of windows or glass doors or both that allow views into and out of the interior building space, provided that in the case of any portion of a story having less than five feet of its height above the grade level at the building facade along the street frontage of the lot, the requirements of this subsection (1) "a" shall not apply.

b. Dwelling uses. For dwelling uses, windows or glass doors or both that allow views out of the interior of the building space shall comprise a minimum of 30 percent of the building facade between two and eight feet in height along the street frontage. In the case of a street level story having less than its full height above the mean grade level at the building facade along the street frontage of the lot, windows or glass doors or both that allow views out of the interior building space shall comprise a minimum of 15 percent of the building facade above such mean grade level, provided that in the case of any portion of a story having less than five feet of its height above the grade level at the building facade along the street frontage of the lot, the requirements of this subsection (1) "b" shall not apply. In all cases, windows shall be double-hung, single-hung, awning or casement type, and fixed windows shall be permitted only as a component of a system including operable windows within a single wall opening.

(2) Upper stories.

**GENERAL NOTES**

1. PERFORM ALL WORK IN ACCORDANCE WITH APPLICABLE BUILDING CODES.

2. VERIFY EXISTING CONDITIONS, DIMENSIONS AND VERTICAL ELEVATIONS THAT AFFECT THE WORK INDICATED IN THESE DOCUMENTS AND NOTIFY THE ARCHITECT IF THERE ARE ANY DISCREPANCIES. DISCREPANCIES AND CONDITIONS THAT REQUIRE ADDITIONAL DOCUMENTATION BEYOND THAT SHOWN IN THESE PROJECT DOCUMENTS IN ORDER FOR THE CONTRACTOR TO PERFORM HIS WORK SHALL BE PROVIDED AND INCLUDED IN THE CONTRACTOR'S BASE BID.

3. DO NOT SCALE DRAWINGS. DIMENSIONS SHOWN ON DRAWINGS SHALL GOVERN. ALL DIMENSIONS ARE TAKEN TO FACE OF STUDS OR EXISTING MASONRY/ CONCRETE OR OTHER EXISTING CONSTRUCTION, UNLESS OTHERWISE INDICATED.

4. OBTAIN AND PAY FOR ALL PERMITS, PROCESS AND COMPLETE ALL INSPECTIONS AND REPORTS, SECURE FINAL BUILDING CODE OFFICIAL SIGN-OFFS AND OBTAIN A CERTIFICATE OF OCCUPANCY. PROVIDE THE OWNER WITH A BONAFIDE RELEASE OF ALL LIENS WITH EACH SUBCONTRACTOR'S SIGNATURE.

5. INSTALL ARCHITECT'S SIGN WITHIN 30 DAYS OF NOTICE TO PROCEED, ADJACENT TO CONTRACTOR'S SIGN OR AS APPROVED BY THE OWNER. ARCHITECT'S SIGN SHALL BE FURNISHED BY THE ARCHITECT. THE CONTRACTOR SHALL MAINTAIN SIGN IN NEAT APPEARANCE THROUGH DURATION OF THE CONTRACT. REMOVE AND TURN OVER SIGN TO THE ARCHITECT AT PROJECT COMPLETION.

6. SCHEDULE A KICK OFF MEETING WITH ARCHITECT, CONTRACTOR AND MAJOR SUBCONTRACTORS TO COORDINATE ALL BUILDING SYSTEMS.

7. PROVIDE ALL TEMPORARY FACILITIES AND UTILITIES REQUIRED FOR COMPLETION OF THE PROJECT.

8. IF LEAD PAINT IS ENCOUNTERED, COMPLY WITH OSHA 29CFR 1926.62

9. PROTECT ALL EXISTING ELEMENTS AND FINISHES TO BE SALVAGED, REUSED OR MAINTAINED, FROM DAMAGE. REPAIR DAMAGE TO EXISTING BUILDING FROM CONSTRUCTION ACTIVITIES TO LIKE NEW OR ORIGINAL CONDITIONS WITHOUT ADDITIONAL COSTS TO THE OWNER.

10. ISOLATE CONSTRUCTION ACTIVITIES FROM OCCUPIED AREAS, PARKED VEHICLES, ADJACENT BUILDINGS OR PROPERTY FOR NOISE, DUST, HEAT LOSS AND GENERAL ACCESS.

11. KEEP CONSTRUCTION SITE CLEAN AND FREE OF DEBRIS AT ALL TIMES.

12. PROVIDE A SUBMITTAL/ SHOP DRAWING LOG WITHIN 30 DAYS OF NOTICE TO PROCEED TO THE ARCHITECT. LOG MUST INDICATE ANTICIPATED DATES FOR DESIGN PROFESSIONAL REVIEW. PROVIDE SHOP DRAWINGS AND/ OR SUBMITTALS FOR APPROVAL PRIOR TO PURCHASE AND INSTALLATION OF ALL ITEMS. PRIOR TO SUBMITTING SHOP DRAWINGS AND SUBMITTALS, REVIEW EACH ITEM FOR CONFORMANCE WITH THE MEANS, METHODS, TECHNIQUES, SEQUENCES AND OPERATIONS OF CONSTRUCTION, AND COMPLIANCE WITH THE CONSTRUCTION DOCUMENTS. ALL SUBMITTALS SHALL BE FOR PRODUCTS SPECIFIED OR INDICATED. SUBSTITUTIONS MUST BE SO IDENTIFIED AND MAY REQUIRE ADDITIONAL REVIEW TIME BY THE ARCHITECT OR ENGINEER.

13. ALL ITEMS FOR CONSTRUCTION SHALL BE NEW, UNUSED AND OF HIGHEST QUALITY. INSTALL ALL PRODUCTS IN ACCORDANCE WITH MANUFACTURER'S WRITTEN RECOMMENDATIONS.

14. ALL WOOD IN CONTACT WITH CONCRETE OR MASONRY OR IN ROOF APPLICATIONS (CURBS, BLOCKING ETC.) SHALL BE PRESSURE PRESERVATIVE TREATED.

15. ALL GLAZING SHALL COMPLY WITH HAZARDOUS LOCATION REQUIREMENTS AS INDICATED IN BUILDING CODE.

16. PROVIDE CAULKING BETWEEN DISSIMILAR MATERIALS IN ORDER TO INSURE WEATHER TIGHTNESS, FIRE RATINGS, AND/ OR CONTINUITY OF FINISHES. CAULKING AT ALL JOINTS WHERE FIRE RATINGS ARE REQUIRED SHALL BE FIRE RATED AND COMPATIBLE WITH INDEPENDENT LAB TESTED ASSEMBLY.

17. PROVIDE ADEQUATE FRAMING/ BLOCKING OR CONCEALED SUPPORTS AND FASTENING DEVICES FOR ALL ITEMS TO BE MOUNTED TO THE CEILINGS OR WALLS.

18. EXTEND ALL FLOOR, WALL, AND CEILING FINISHES UNDER OR BEHIND ANY ITEM OF EQUIPMENT, FURNITURE, ETC.

19. SIGNAGE: ALL SIGNAGE FOR FIRE EQUIPMENT SHALL BE PERMANENTLY INSTALLED AND BE READILY VISIBLE ON THE ENTRANCE DOOR. LETTERS MUST CONTRAST WITH THE SIGN BACKGROUND. SIGNAGE MUST BE 4" IN HEIGHT AND SHALL READ "SPRINKLER CONTROL VALVES". PROVIDE TACTILE WARNING SIGNAGE STATING "EXIT" AT DOORS TO ENCLOSED STAIRWAYS, ADJACENT TO THE LATCH SIDE OF THE DOOR, 60 INCHES ABOVE FINISHED FLOOR TO THE CENTERLINE OF THE SIGN.

20. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING THE INTEGRITY OF FIRE RATED ASSEMBLIES THAT ARE PENETRATED BY BUILDING SYSTEMS. REPAIR AND/OR FILL ALL VOIDS AND HOLES IN FLOORS, WALLS, CEILINGS, AND ROOFS WITH SOLID MATERIAL TO MATCH ADJACENT CONSTRUCTION, FIRE RATINGS AND PERFORMANCE.

21. PROVIDE 1/8" THICK, 4" TALL BRUSHED ALUMINUM NUMBERS AT EACH APARTMENT ENTRY DOOR, UNLESS OTHERWISE NOTED.

22. WHERE NEW ROOFING IS INDICATED, PROVIDE FLASHING AT ADJOINING STRUCTURES AND PENETRATIONS TO ENSURE THEY ARE WATERTIGHT AND MAINTAIN REQUIRED WARRANTY. UNLESS OTHERWISE INDICATED, EXTEND ROOF MEMBRANE UP THE BACK OF PARAPETS AND UNDER COPINGS TO BUILDING EXTERIOR.

23. BUILDING TO BE WATERTIGHT AGAINST ELEMENTS.

24. WHERE TUBS ARE LOCATED AGAINST FIRE RATED ASSEMBLIES, PROVIDE ADDITIONAL LAYER OF 1/2" GYPSUM TO COVER TUB FLANGE UP TO CEILING.

25. PROVIDE 4" MINIMUM BETWEEN HINGE SIDE OF DOOR OPENINGS AND NEAREST ADJOINING WALL OR PARTITION, UNLESS OTHERWISE NOTED.

26. PROVIDE 1/2" GYPSUM BOARD IN ATTICS ABOVE AND IN LINE WITH DWELLING UNIT SEPARATION WALLS.

27. EACH FINISH SUB-CONTRACTOR SHALL INSPECT THE SUBSTRATE AND DETERMINE THE SUITABILITY FOR THE TYPE OF MATERIAL TO BE INSTALLED. REPORT ALL UNSUITABLE CONDITIONS TO CONTRACTOR FOR CORRECTION. CARPET AND TILE CONTRACTORS SHALL PROVIDE FLASH PATCHING AS REQUIRED FOR A TRUE AND LEVEL FINISH. CLEAN ALL SURFACES TO RECEIVE NEW FINISHES OF FOREIGN MATERIAL THAT WOULD ADVERSELY AFFECT THE APPLICATION AND PERFORMANCE OF NEW FINISHES. COMMENCEMENT OF WORK IS ACKNOWLEDGEMENT OF THE CONTRACTOR'S ACCEPTANCE OF THE SUBSTRATE.

28. COMPLY WITH THE CITY OF RICHMOND CROSS CONNECTION AND BACKFLOW PROGRAM REQUIREMENTS. PROVIDE DETAIL DRAWINGS OF EXISTING UTILITIES AND NEW BACKFLOW AND SPRINKLER INSTALLATIONS TO THE DEPARTMENT OF UTILITIES FOR APPROVAL PRIOR TO INSTALLATION.

29. PROVIDE ALL HOOKUPS REQUIRED FOR INDICATED EQUIPMENT.

30. SPRINKLER SYSTEM SHALL BE PROVIDED ON A DESIGN-BUILD BASIS WITH SHOP DRAWINGS INCLUDING A PROFESSIONAL ENGINEER SEAL FOR APPROVAL BY BUILDING CODE OFFICIAL. SPRINKLER CONTRACTOR SHALL VERIFY THE OWNER'S SPRINKLER SUPERVISION METHOD SELECTION AND COORDINATE WITH THE FIRE ALARM SUB CONTRACTOR. COORDINATE ALL COMPONENTS WITH OTHER TRADES TO MINIMIZE CONFLICTS.

31. PROVIDE PORTABLE FIRE EXTINGUISHER ON EACH COMPLETED FLOOR DURING CONSTRUCTION IN ACCORDANCE WITH NFPA 10 (STANDARDS FOR PORTABLE FIRE EXTINGUISHERS).

32. GUARANTEE ALL WORK FOR A MINIMUM PERIOD OF ONE YEAR AFTER SUBSTANTIAL COMPLETION.

**GENERAL HAZARD NOTES**

1. UNDERGROUND STORAGE TANKS (UST), IF FOUND, ARE TO BE "CLOSED IN PLACE". ANALYZE A MINIMUM OF 8 SOIL SAMPLES ADJACENT TO THE BOTTOM OF THE USTS FOR TOTAL PETROLEUM HYDROCARBON VIA EPA METHOD 8015B.

2. REMOVE ALL ABOVE GROUND STORAGE TANKS FROM THE SITE IN ACCORDANCE WITH APPLICABLE LOCAL AND STATE REGULATIONS.

3. ASBESTOS-CONTAINING MATERIALS, IF FOUND, ARE TO BE MANAGED UNDER A SITE-SPECIFIC OPERATIONS AND MAINTENANCE PROGRAM DEVELOPED IN ACCORDANCE WITH STATE AND FEDERAL GUIDELINES BY A LICENSED ASBESTOS PROJECT DESIGNER.

4. LEAD-BASED PAINT, IF FOUND, SHALL BE ENCAPSULATED IN ACCORDANCE WITH LOCAL AND STATE REGULATIONS UNLESS OTHERWISE NOTED. AREAS IDENTIFIED WITH LEAD PAINT SUBJECT TO PAINT REMOVAL SHALL BE PERFORMED IN A CONTROLLED MANNER PER OSHA 29 CFR 1926.62.

5. POLYCHLORINATED BIPHENYLS - PCB CONTAINING LIGHT BALLASTS SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL STATE AND FEDERAL APPLICABLE REGULATIONS BY AN ELECTRICAL CONTRACTOR FAMILIAR WITH PCBs.

6. ALL AREAS CONTAINING PIGEON GUANO SHALL BE PROPERLY CLEANED IN ACCORDANCE WITH APPLICABLE REGULATIONS.

**SANITARY SEWER AND STORM SEWER NOTES**

1. BASED ON CITY GIS THE EXISTING BUILDING IS SERVED BY THE CSS FROM THE ALLEY OFF N. HARRISON STREET. THE SEWER MAIN IN N. HARRISON STREET IS A 20"x30" (EGIBR). THE PROPOSED 21 ONE BEDROOM UNITS WILL GENERATE 200 GPD EACH. THIS EQUATES TO A PEAK FLOW OF 0.014 MGD OR 0.064 CFS. THE EXISTING RESTAURANT WILL REMAIN AT ITS SAME FLOW RATE. PRIOR TO APPLYING FOR ANY PERMITS, ENGINEER TO CONFIRM SEWER SIZE, PIPE MATERIAL, AND PIPE CAPACITY DURING SITE CONSTRUCTION PLAN REVIEW.

2. A FULLY ENGINEERED SITE CONSTRUCTION PLAN SHALL BE SUBMITTED AND APPROVED PRIOR TO APPLYING FOR ANY PERMITS. THE CONSTRUCTION PLAN SHALL INCLUDE EXISTING AND POST DEVELOPMENT SANITARY SEWER AND STORMWATER FLOW RATES, EXISTING AND PROPOSED SANITARY SEWER QUANTITIES SHALL ALSO BE PROVIDED.

**PROJECT SCOPE**

THIS PROJECT IS THE ADDITION OF THREE NEW STORIES OF MULTI-FAMILY RESIDENTIAL SPACE ATOP AN EXISTING SINGLE-STORY COMMERCIAL BUILDING ON WEST GRACE STREET IN THE FAN DISTRICT. THE BUILDING WILL HAVE 21 UNITS. THE EXISTING COMMERCIAL TENANT SPACE(S) UPFITS ARE NOT PART OF THIS SCOPE.

**PROJECT DIRECTORY**

**Owner**  
Switzerland Town LLC

**Architect**  
Walter Parks Architect  
Contact: Walter Parks  
313 North Adams Street  
Richmond, VA 23220  
804.644.4761

**Civil Engineer**  
HG Design Studio  
Contact: Edward Glass  
5701 Grove Avenue  
Richmond, VA 23228  
804.740.7500

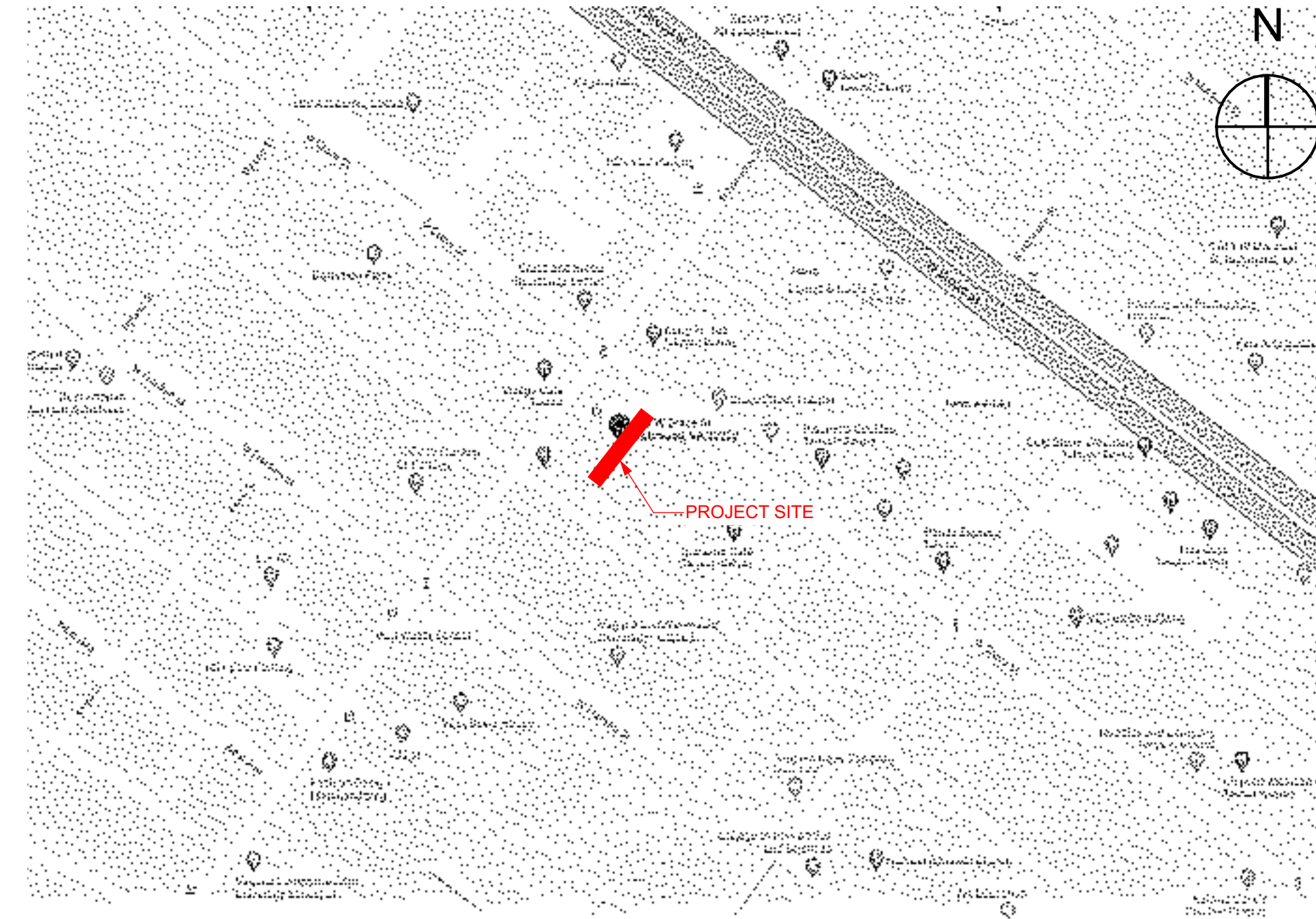
**Structural Engineer**  
Balzer & Associates  
Contact: Randy Tritt  
15871 City View Drive, Suite 200  
Midlothian, VA 23113\*  
804.794.0571

**MEP Engineer**  
O'Neil Engineering Services  
Contact: Patrick O'Neil  
2420 New Dorset Terrace  
Powhatan, VA 23139  
804.921.3569

**ZONING MAP**



**VICINITY MAP**



**SEWER UTILITY MAP**

**Legend**

- Manhole
- Locked
- Gravity Pipe
- Active
- Proposed
- Under Construction
- Sewer System Chamber
- Sewer System Clean Out
- Sewer System Drop Inlet
- Filling
- Sewer System Outfall
- Sewer System Pump
- Sewer System Pump Station
- Sewer System Monument
- Sewer System Force Main
- Sewer System Lateral
- Sewer System Casing
- Abandoned Structure
- Abandoned Pipe
- Sewer System Miscellaneous Point
- Miscellaneous Line
- Sewer System Easement

**Map Information: Sewer Utility Map**

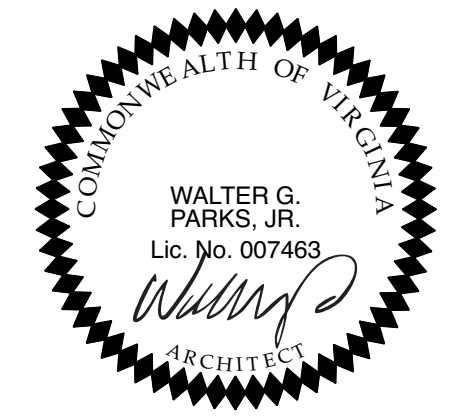
Notice: As the recipient of this information it is your responsibility to protect it and also your obligation to destroy it when it is no longer needed.

To Report Mapping Errors  
Please Call 804-646-8533

To Report: Emergency Conditions  
CALL 804-646-7000

City of Richmond  
Department of Public Utilities  
GIS

1 inch = 100 feet



**931-933 W Grace St**  
RICHMOND VA 23220 USA

REVISIONS TAG	DATE
01	01/20/2022

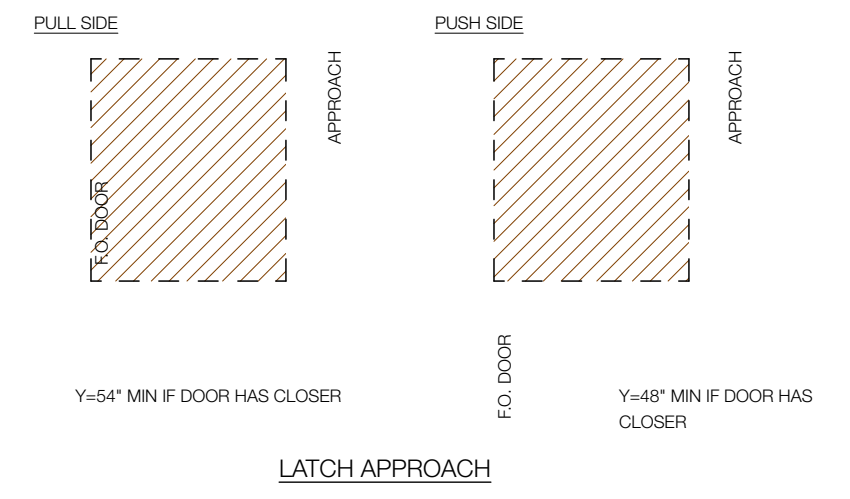
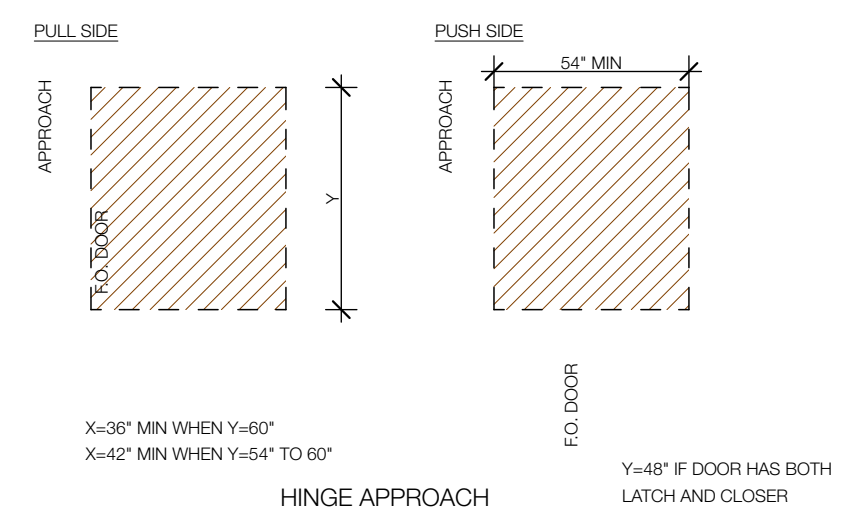
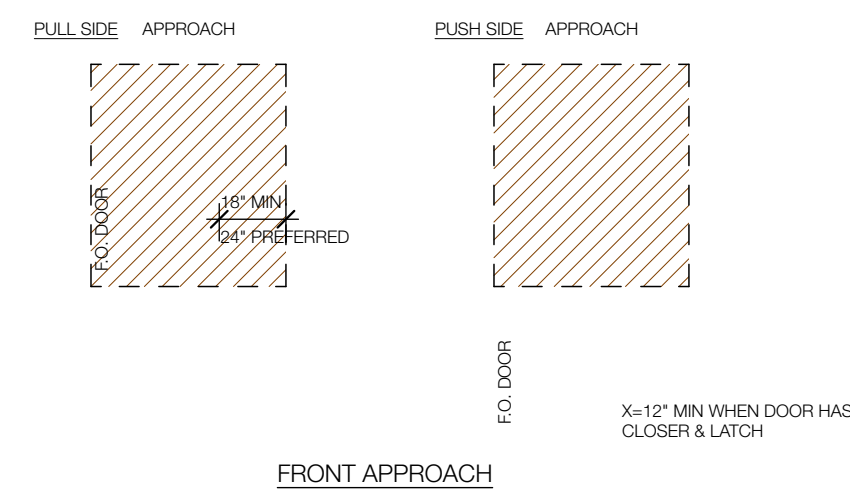
**walter PARKS ARCHITECT**

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RICHMOND, VIRGINIA 23220  
t: 644-4761 / f: 644-4763

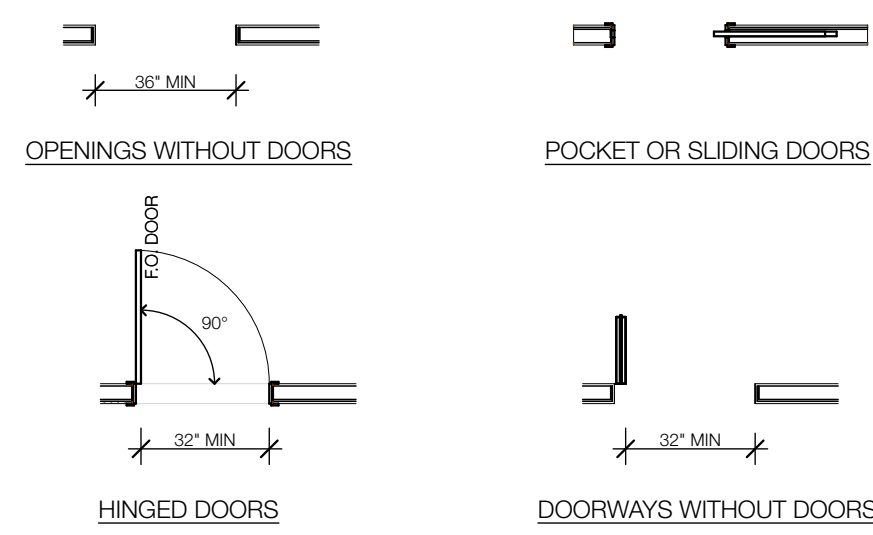
PROJECT #: 20.30  
DATE: 1/21/22

GENERAL NOTES  
**G.001**

MANEUVERING CLEARANCES AT SWINGING DOORS ANSI SECTION 404.2.3



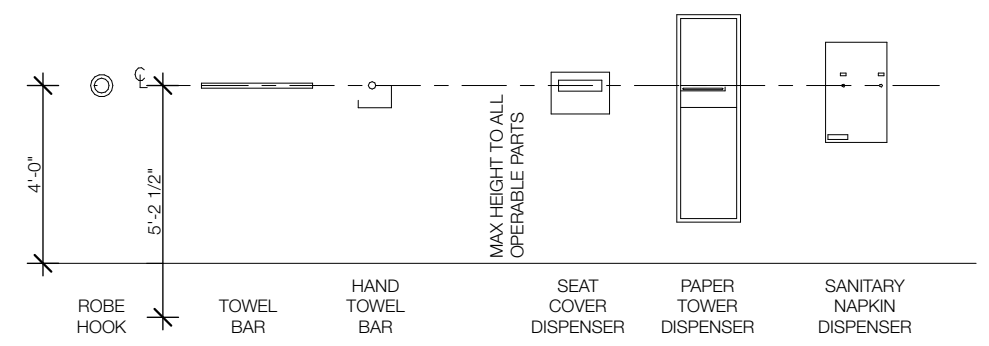
CLEAR WIDTH OF DOORWAYS ANSI SECTION 404.2.2



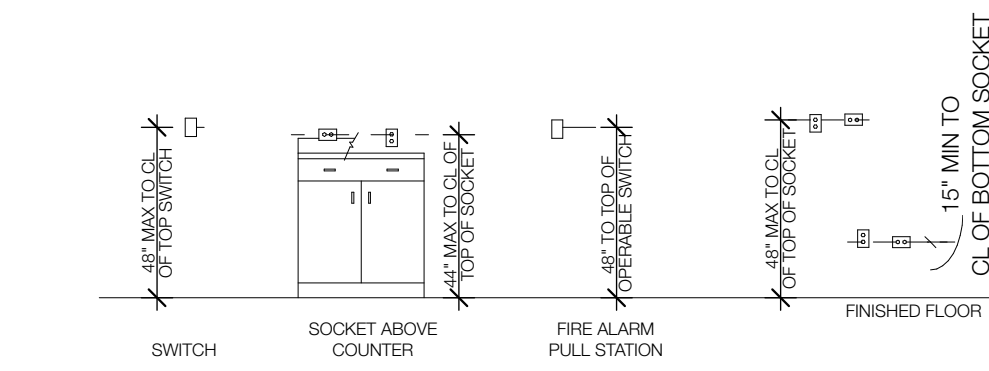
MOUNTING HEIGHTS

MOUNTING HEIGHTS ANSI SECTION 309

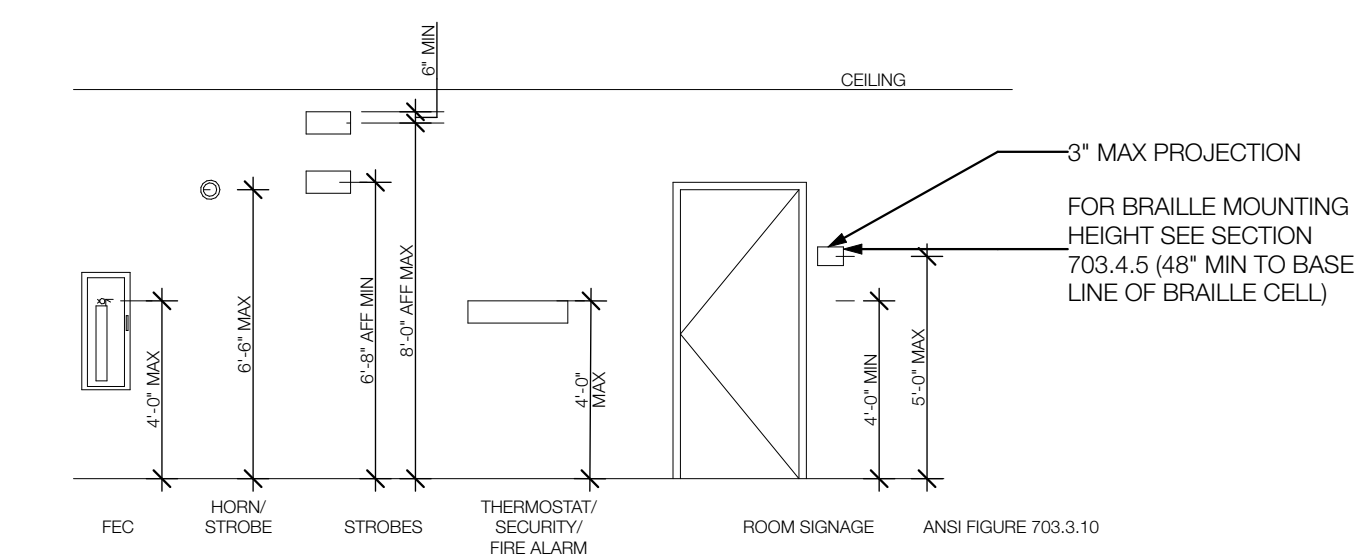
NOTE: 1. WALL MOUNTED DEVICES SHALL NOT EXTEND MORE THAN 4" BEYOND WALL SURFACE WHEN LOCATED BELOW 6'-8"



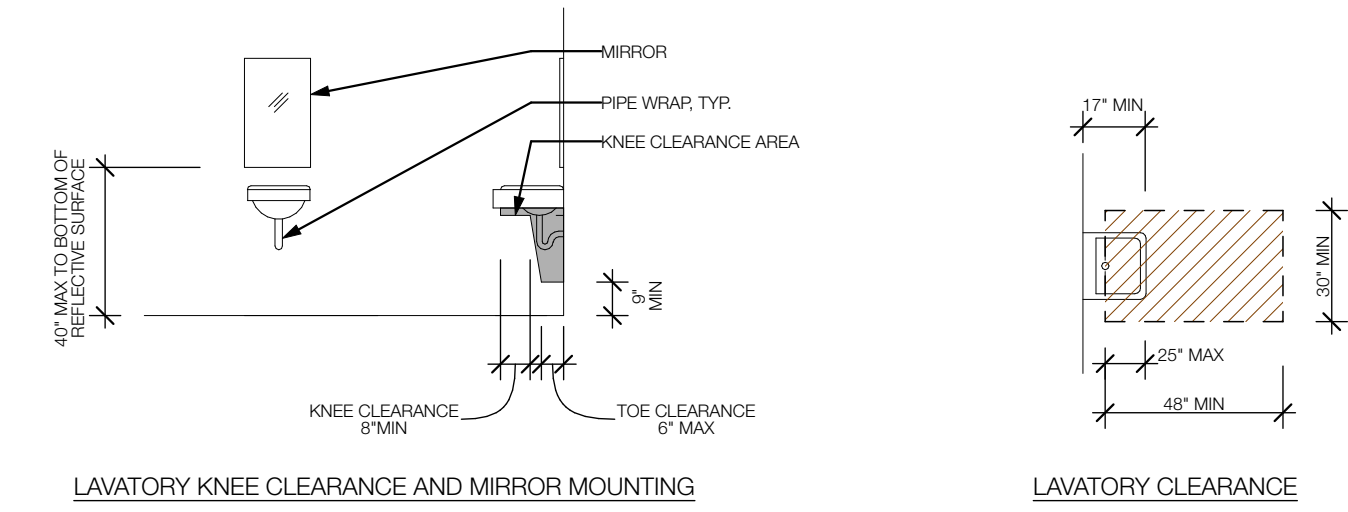
TOILET ROOM ACCESSORY MOUNTING HEIGHTS



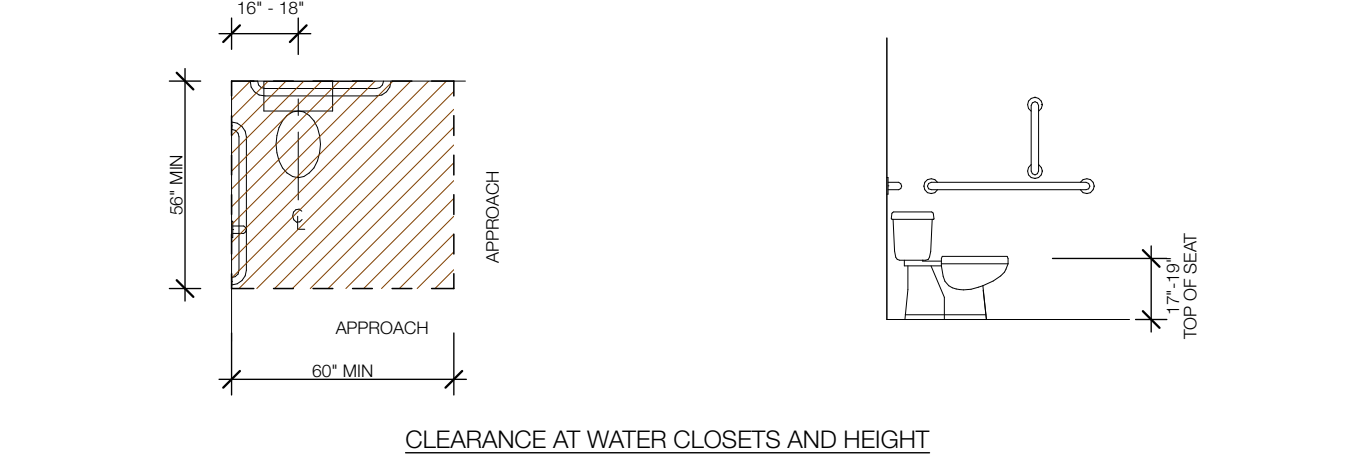
WALL MOUNTED DEVICES AND APPLIANCES ANSI SECTION 309



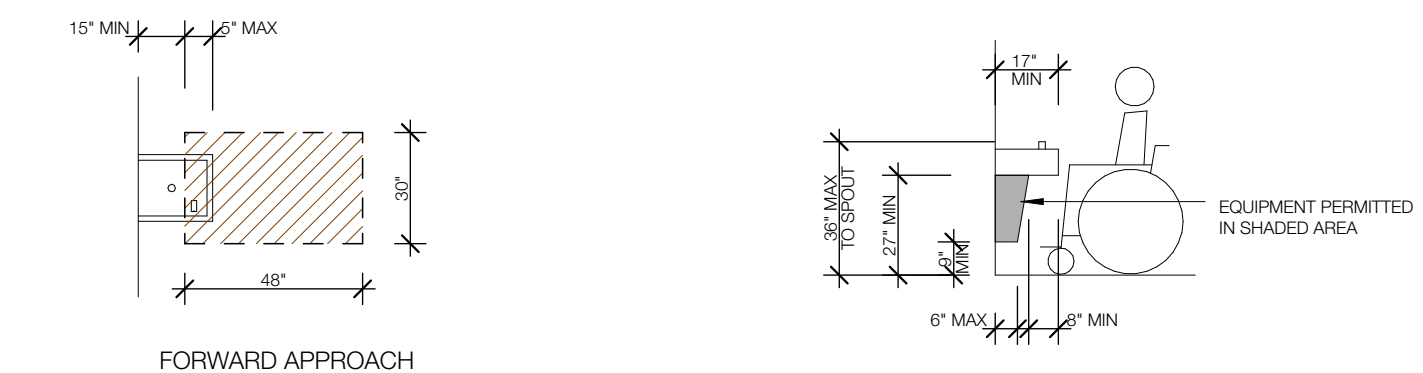
CLEARANCE AT LAVATORIES AND SINKS ANSI FIGURE C606.2(a) AND FIGURE 306.2



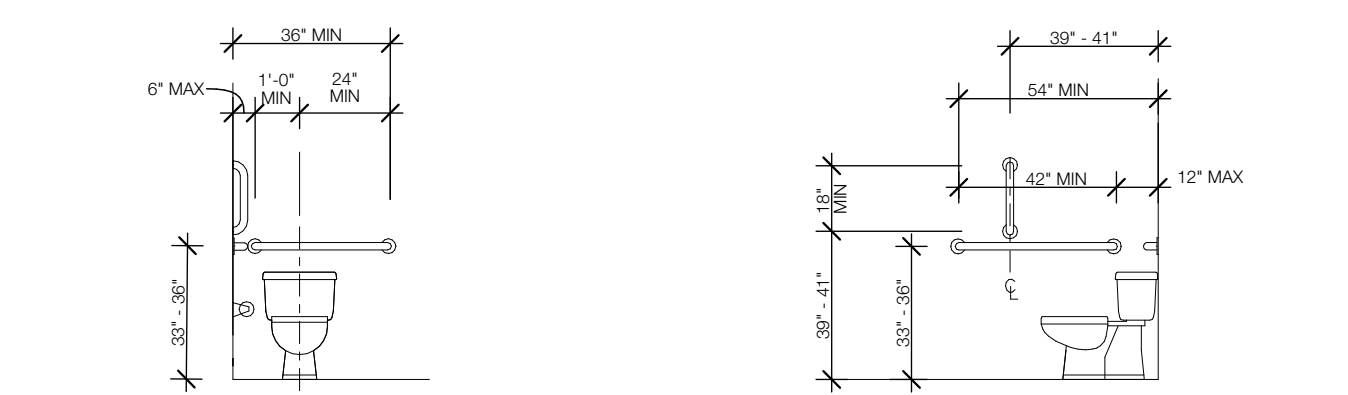
CLEARANCE AT WATER CLOSETS AND HEIGHT ANSI FIGURE 604.3 AND FIGURE 604.4



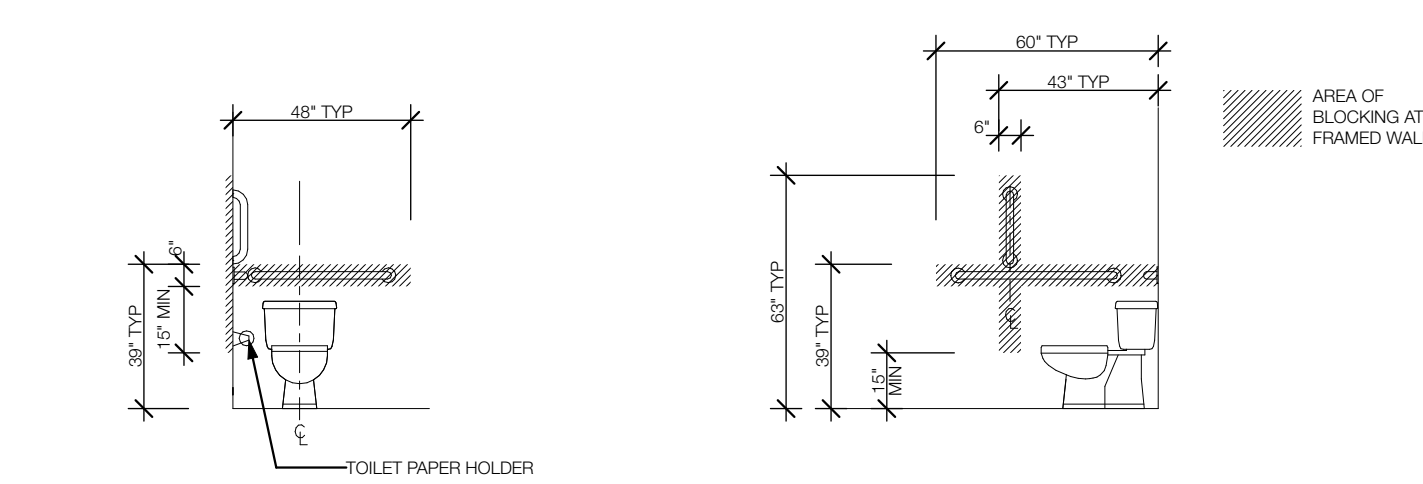
DRINKING FOUNTAIN WITH FORWARD APPROACH ANSI FIGURE C602.2 (a) AND FIGURE 602.5 (a)



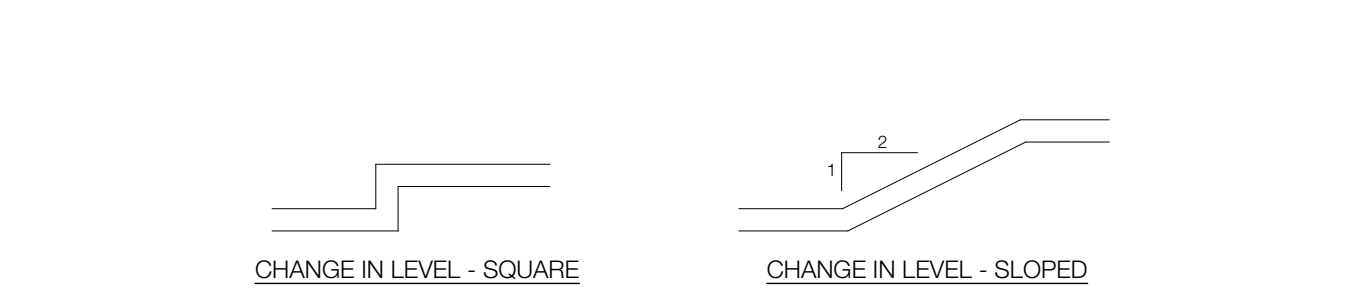
GRAB BARS AT WATER CLOSETS ANSI FIGURE 604.5.1 AND FIGURE 604.5.2



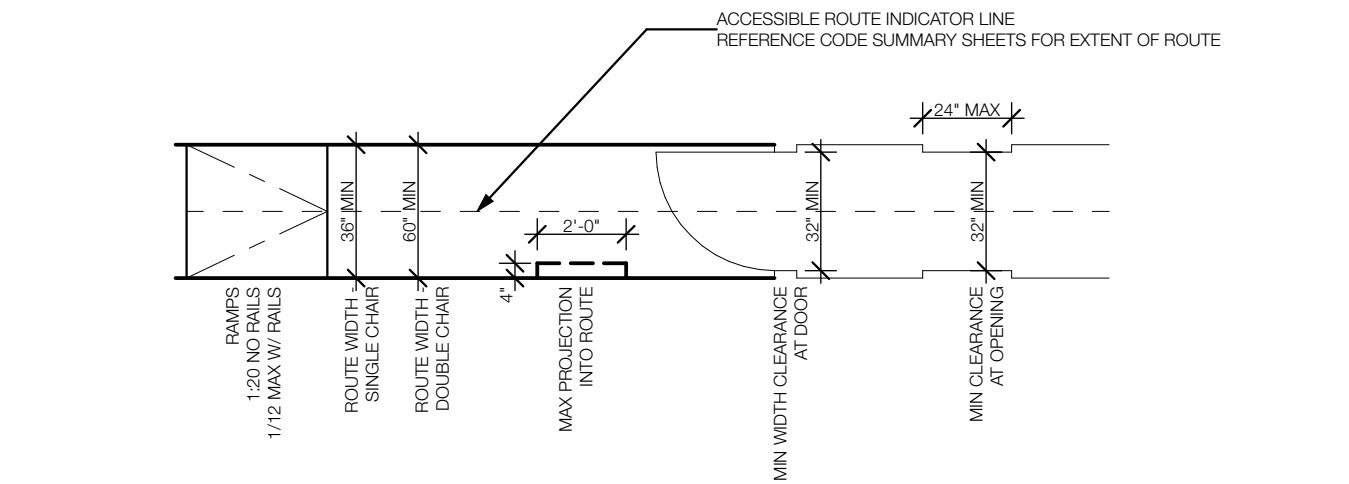
BLOCKING AT WATER CLOSET GRAB BARS



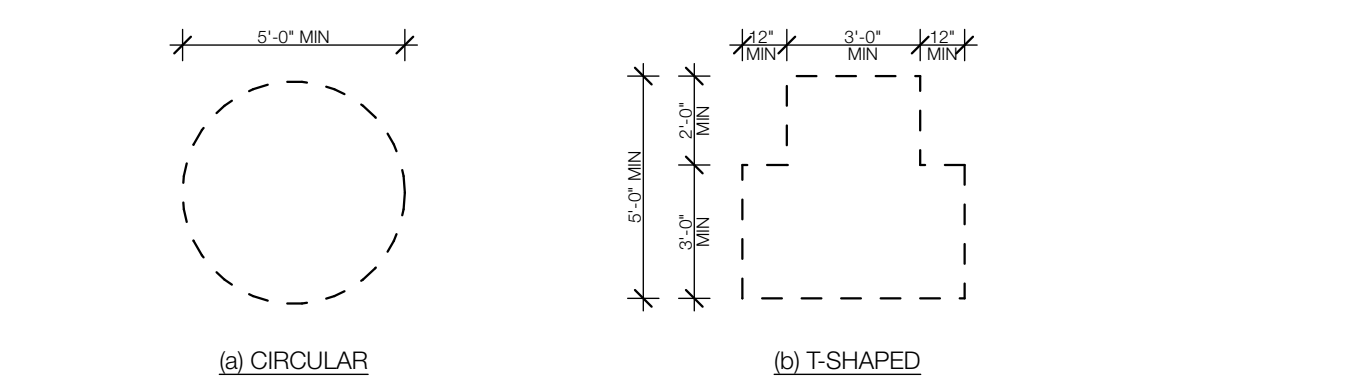
LEVEL CHANGE ON ACCESSIBLE ROUTE ANSI FIGURE 303.2 AND FIGURE 303.3



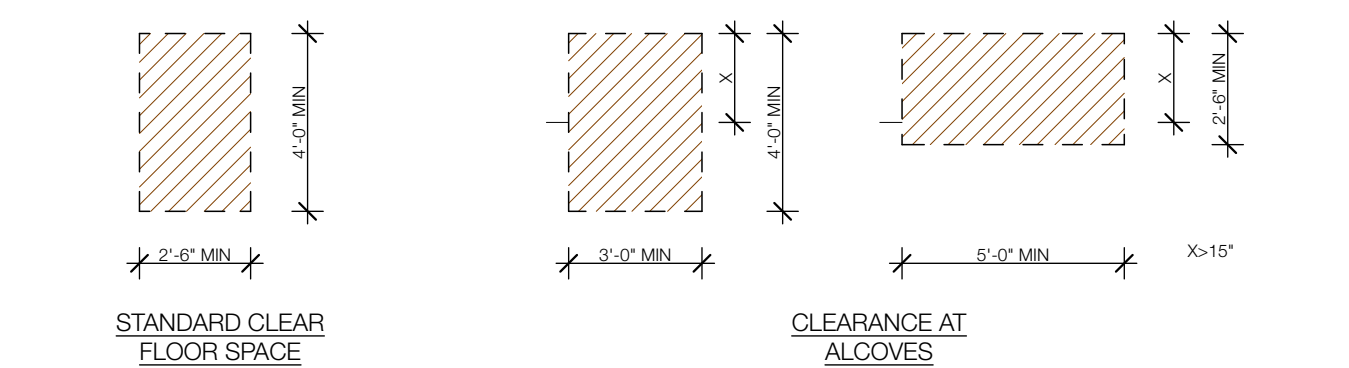
CLEAR WIDTH OF ACCESSIBLE ROUTE ANSI FIGURE 403.5 AND FIGURE C403.5



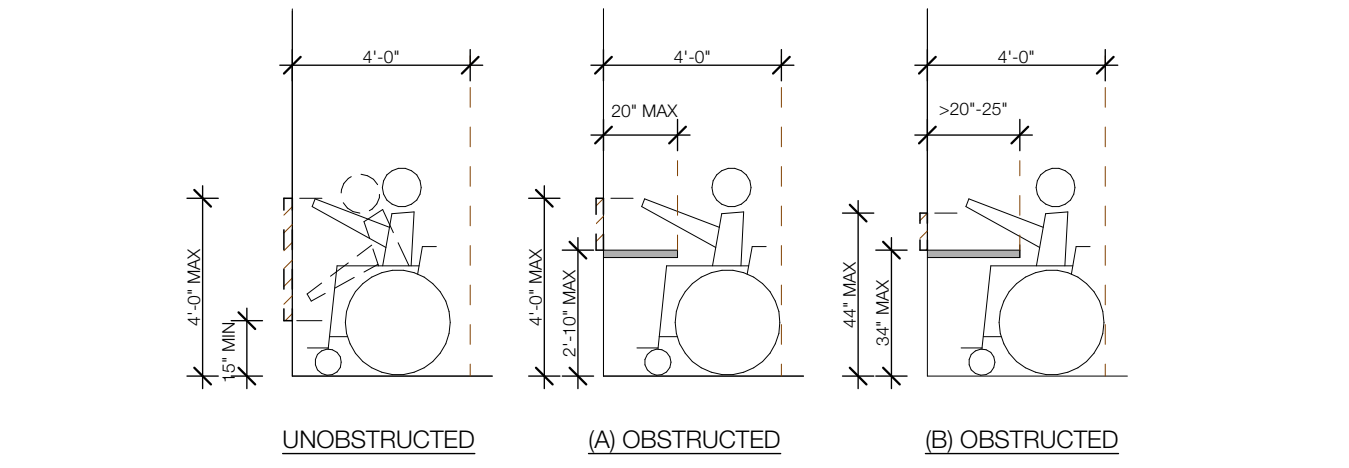
SIZE OF TURNING SPACE FIGURE 304.3



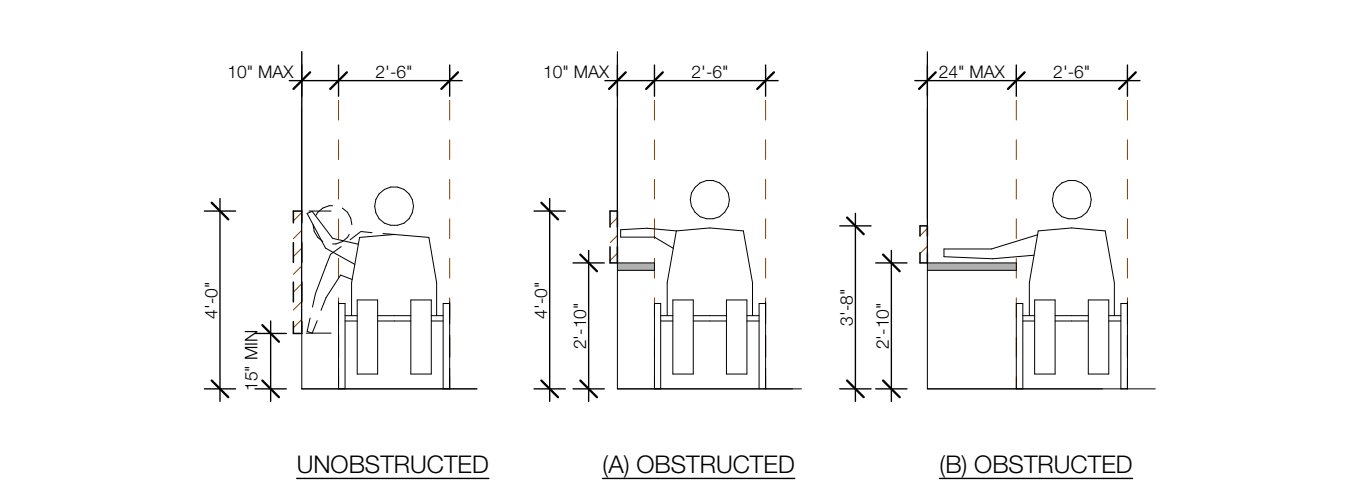
CLEAR FLOOR SPACES ANSI FIGURE 305.3 AND FIGURE 305.7



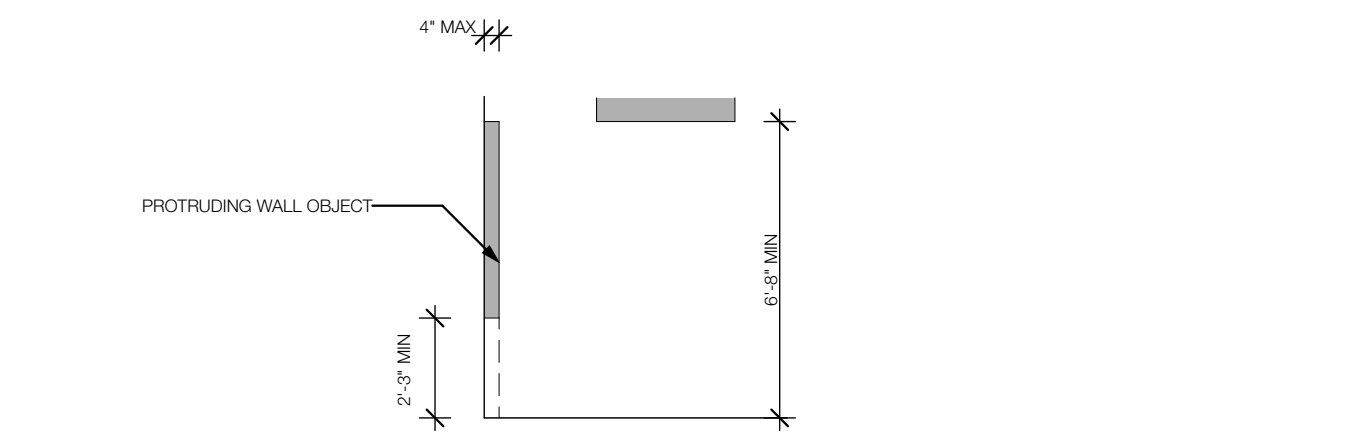
FORWARD REACH REQUIREMENTS ANSI FIGURE 308.2.1 AND FIGURE 308.2.2



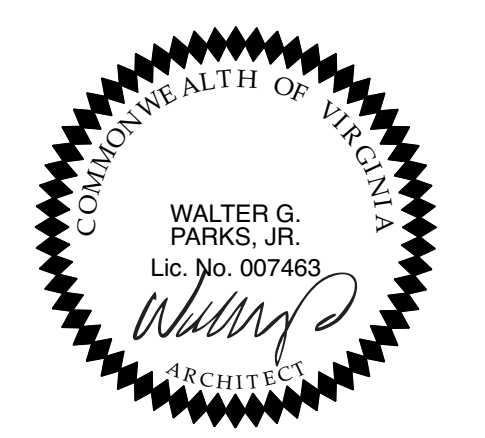
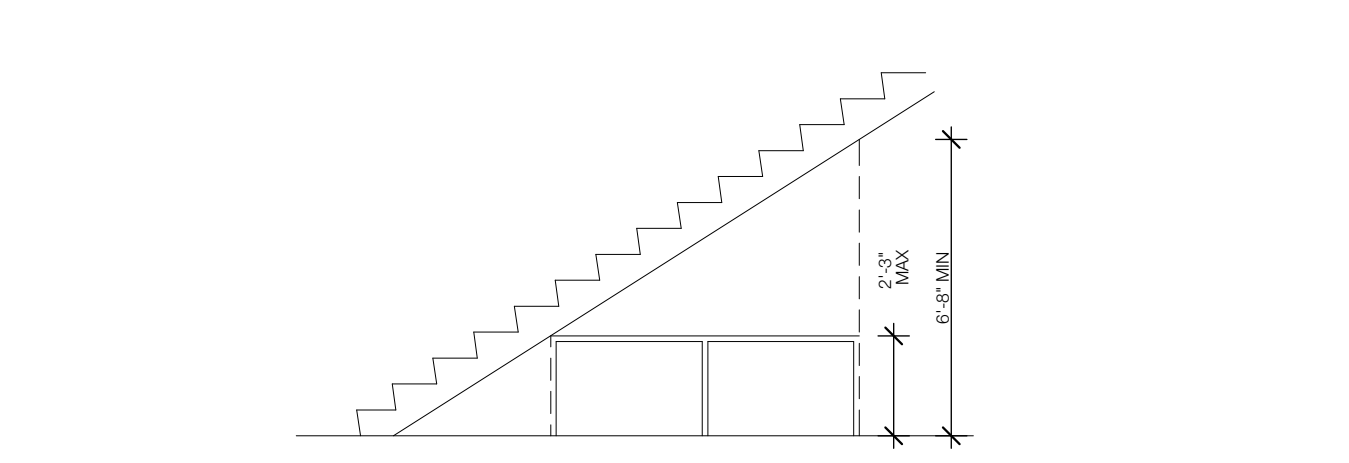
SIDE REACH REQUIREMENTS ANSI FIGURE 308.3.1 AND FIGURE 308.3.2



LIMIT OF PROTRUDING OBJECTS ANSI FIGURE 307.2



REDUCED VERTICAL CLEARANCE ANSI FIGURE 307.4



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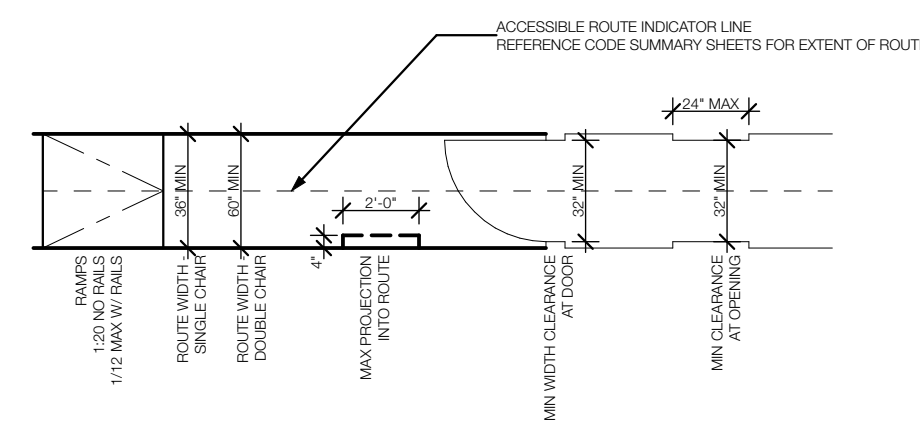
**walter PARKS ARCHITECT**

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RICHMOND, VIRGINIA 23220  
t: 644-4761 / f: 644-4763

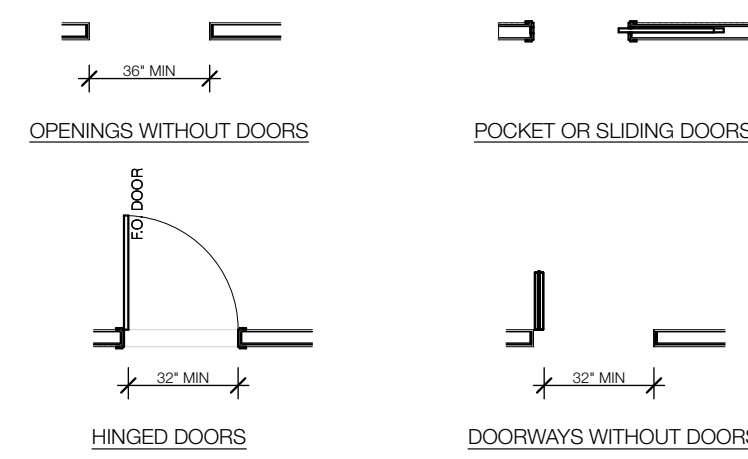
PROJECT #: 20.30  
DATE: 1/21/22

COMMON AREA ANSI  
ACCESS INFORMATION  
**G.002**

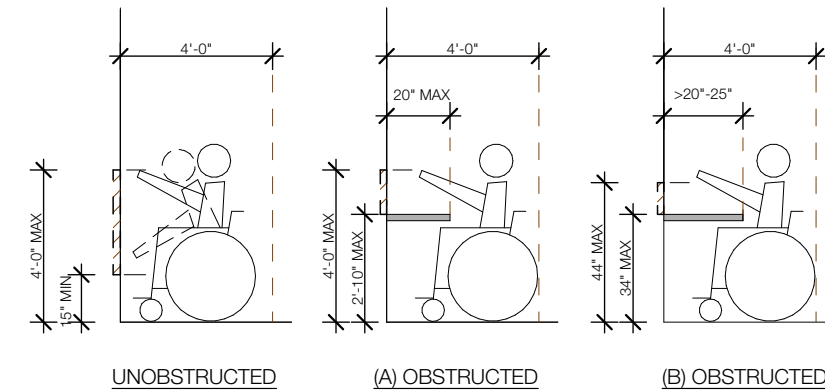
CLEAR WIDTH OF ACCESSIBLE ROUTE ANSI FIGURE 403.5 AND FIGURE C403.5



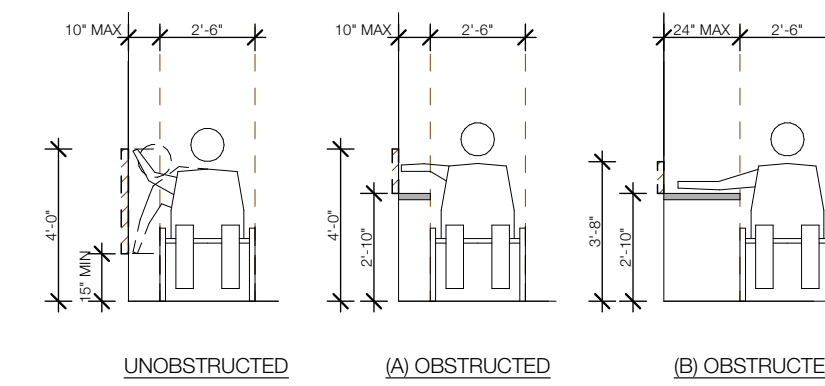
CLEAR WIDTH OF DOORWAYS ANSI SECTION 404.2.2



FORWARD REACH REQUIREMENTS ANSI FIGURE 308.2.1 AND FIGURE 308.2.2

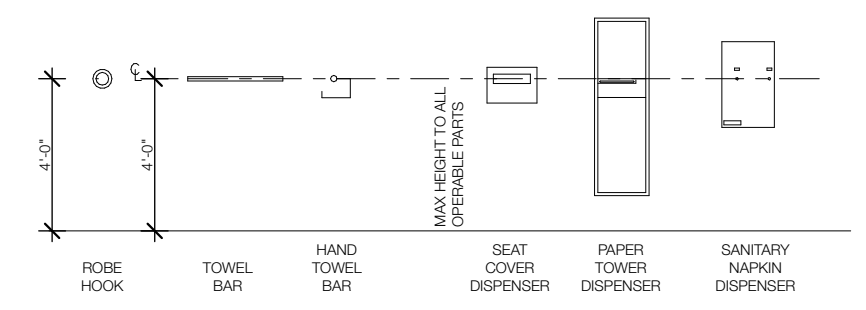


SIDE REACH REQUIREMENTS ANSI FIGURE 308.3.1 AND FIGURE 308.3.2

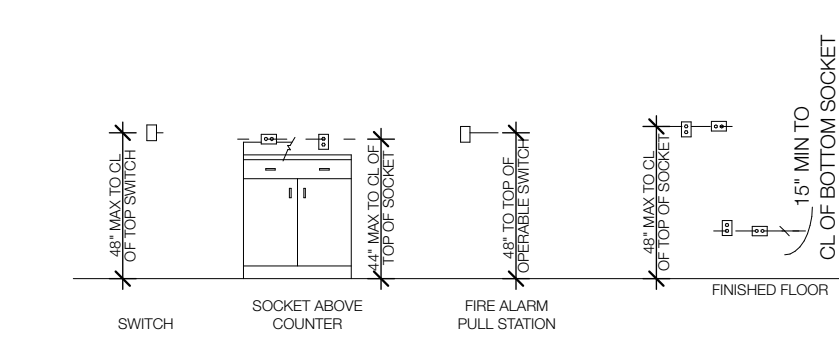


MOUNTING HEIGHTS ANSI SECTION 309

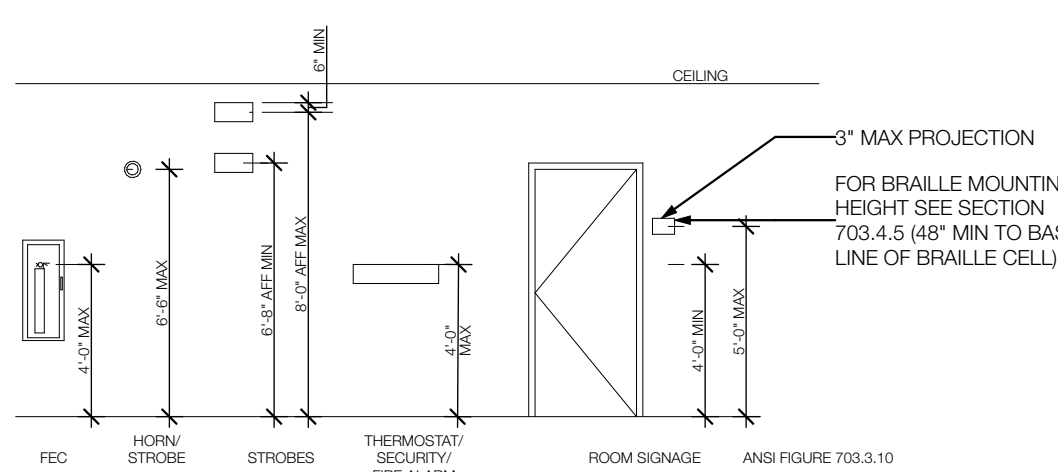
NOTE: 1. WALL MOUNTED DEVICES SHALL NOT EXTEND MORE THAN 4" BEYOND WALL SURFACE WHEN LOCATED BELOW 6" 4"



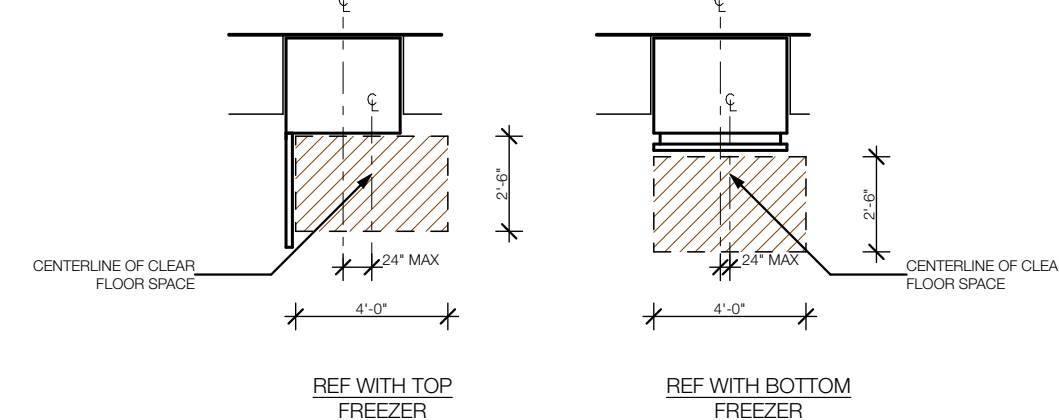
TOILET ROOM ACCESSORY MOUNTING HEIGHTS



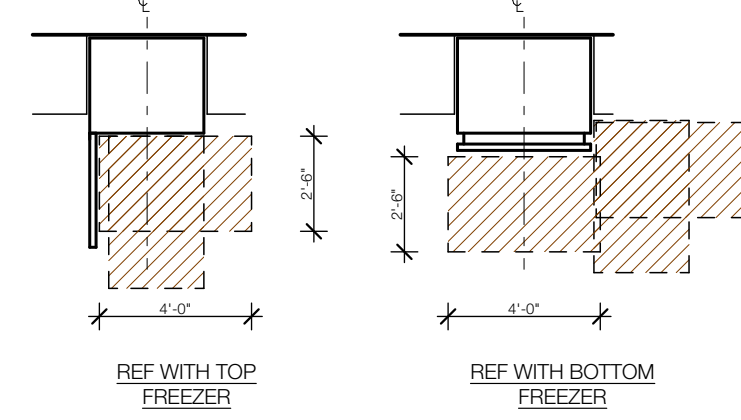
WALL MOUNTED DEVICES AND APPLIANCES ANSI SECTION 309



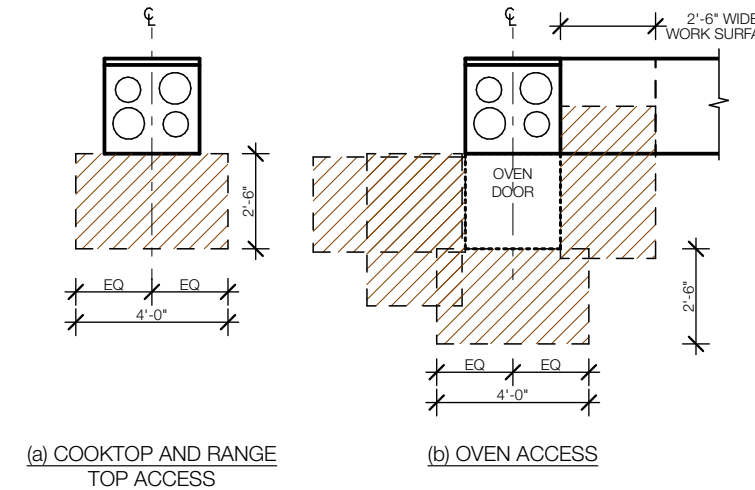
TYPE A UNITS - CLEAR FLOOR SPACE AT REFRIGERATOR/FREEZER ANSI FIGURE C1003.12.6.6(b)



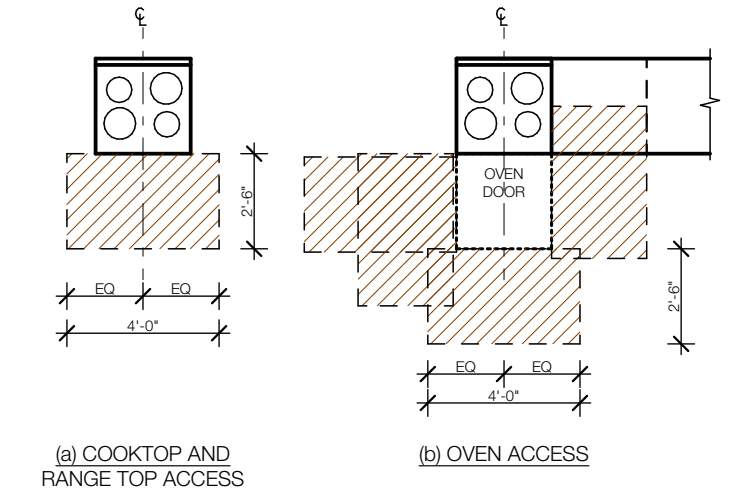
TYPE B UNITS - CLEAR FLOOR SPACE AT REFRIGERATOR/FREEZER ANSI FIGURE C1004.12.2.5



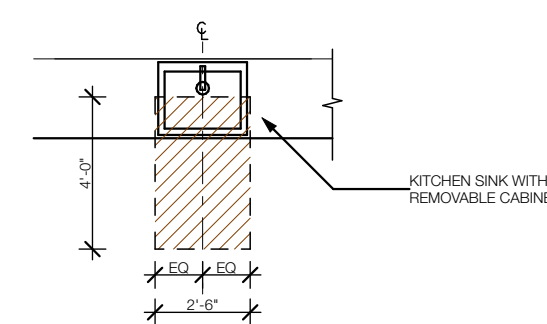
TYPE A UNITS - CLEAR FLOOR SPACE AT RANGE AND OVEN ANSI FIGURE C1003.12.6.4



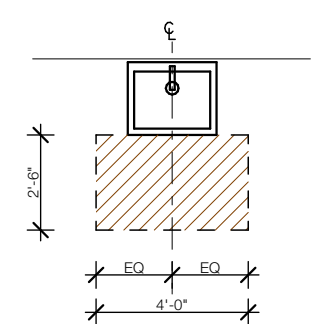
TYPE B UNITS - CLEAR FLOOR SPACE AT RANGE AND OVEN ANSI FIGURE C1004.12.2.3



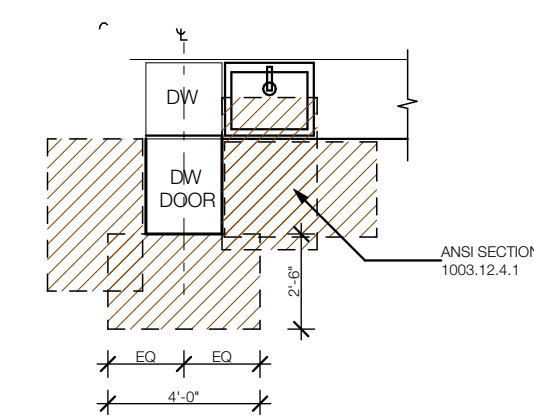
TYPE A UNITS - CLEAR FLOOR SPACE AT SINK ANSI SECTION 1003.12.4



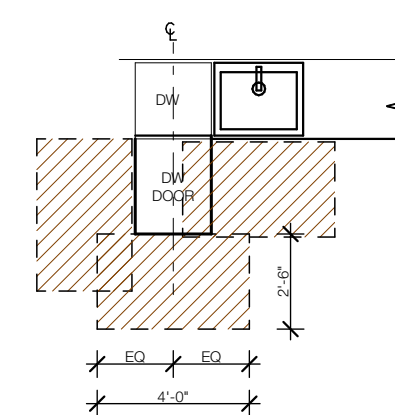
TYPE B UNITS - CLEAR FLOOR SPACE AT SINK ANSI SECTION 1004.12.2.1



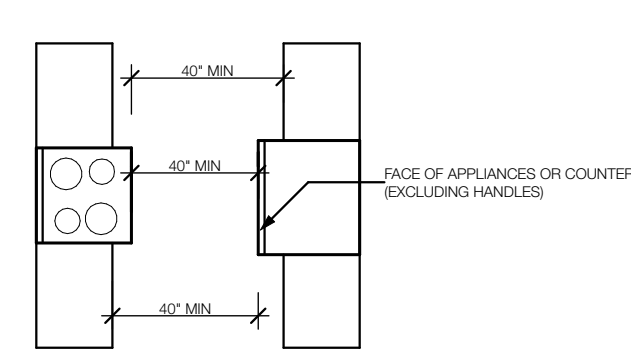
TYPE A UNITS - CLEAR FLOOR SPACE AT DISHWASHER ANSI FIGURE C1003.12.6.3(b)



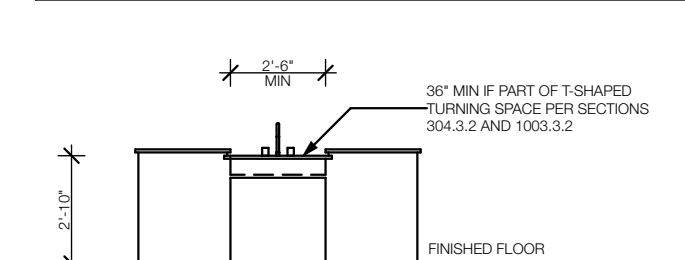
TYPE B UNITS - CLEAR FLOOR SPACE AT DISHWASHER ANSI FIGURE 1004.12.2.2



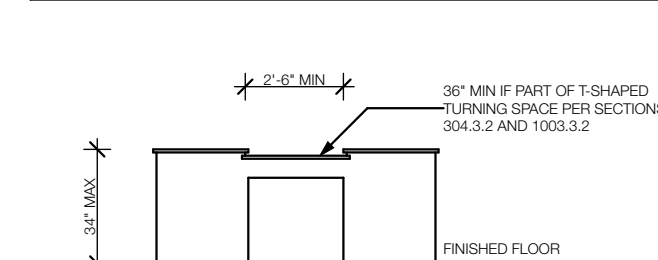
TYPE A AND TYPE B UNITS - MINIMUM KITCHEN CLEARANCES ANSI SECTION 1003.12 AND SECTION 1004.12



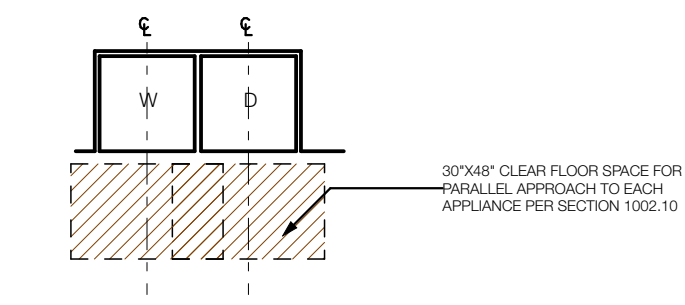
TYPE A AND TYPE B UNITS - KITCHEN SINK ANSI FIGURE 1003.12.4



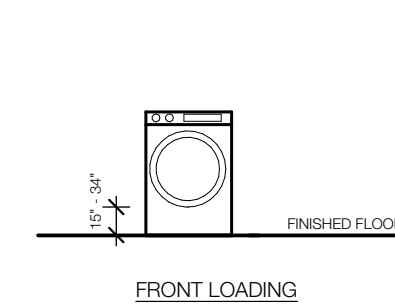
TYPE A AND TYPE B UNITS - WORK SURFACE IN KITCHEN ANSI FIGURE 1003.12.3



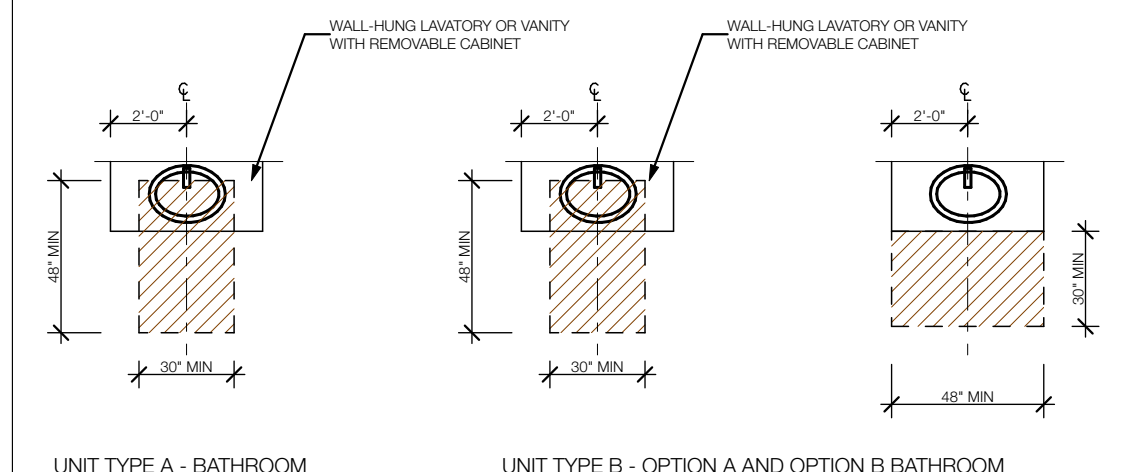
TYPE A AND TYPE B UNITS - LAUNDRY CLOSET ANSI FIGURE C1002.10(b)



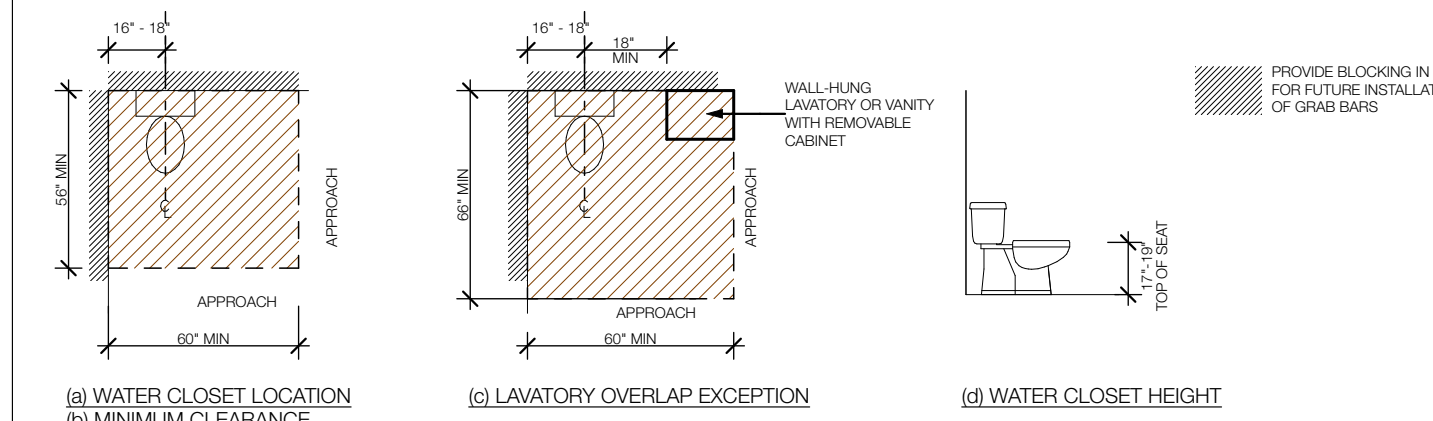
TYPE A AND TYPE B UNITS - HEIGHT OF LAUNDRY EQUIPMENT ANSI FIGURE 611.4.6)



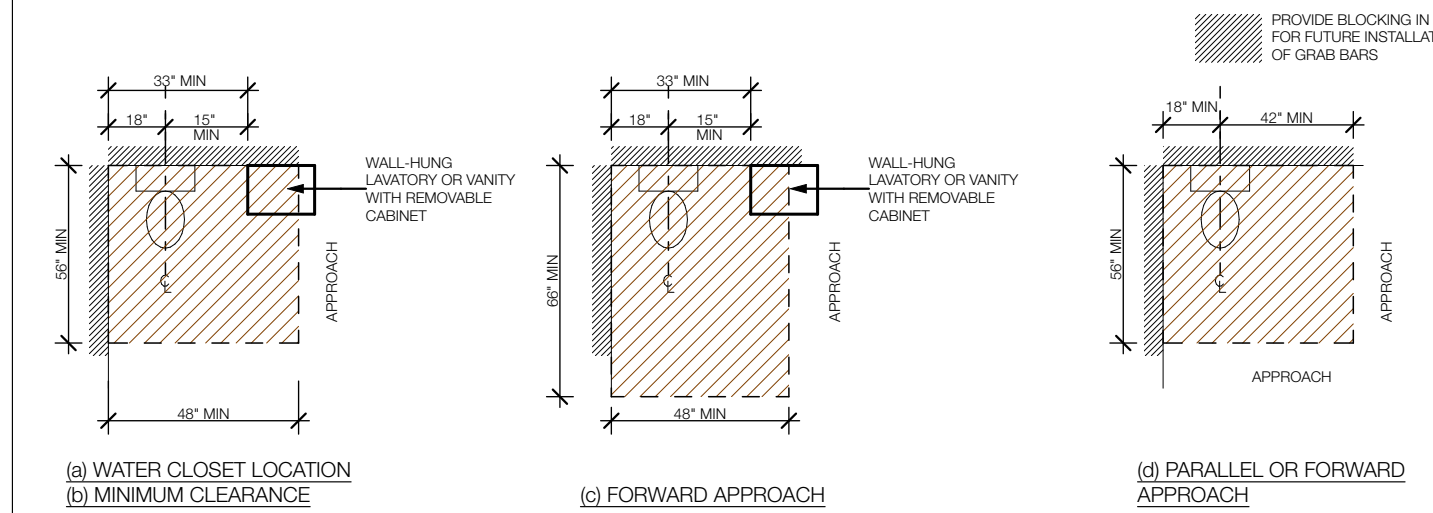
CLEARANCE AT LAVATORIES AND SINKS ANSI SECTION 1003.11.5 AND SECTION 1004.11.3.1.1



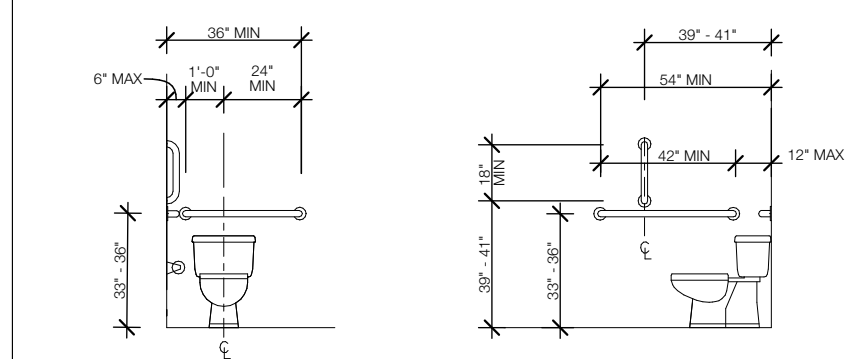
TYPE A UNITS - CLEARANCE AT WATER CLOSETS ANSI FIGURE 1003.11.7



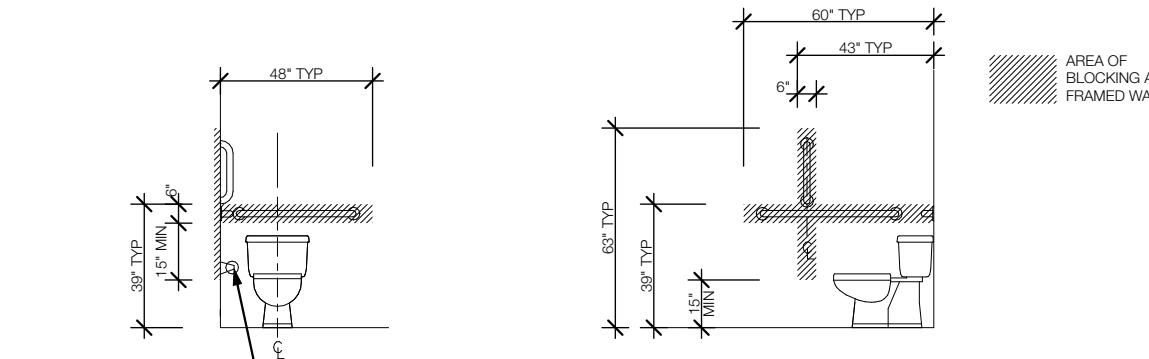
TYPE B UNITS CLEARANCE AT WATER CLOSETS - OPTION A AND OPTION B BATHROOMS ANSI FIGURE 1004.11.3.1.2



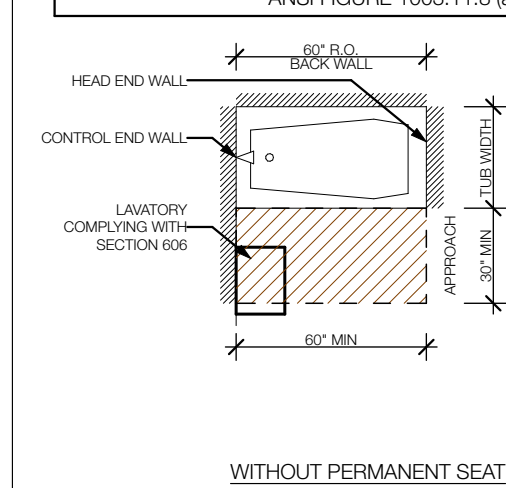
GRAB BARS AT WATER CLOSETS ANSI FIGURE 604.5.1 AND FIGURE 604.5.2



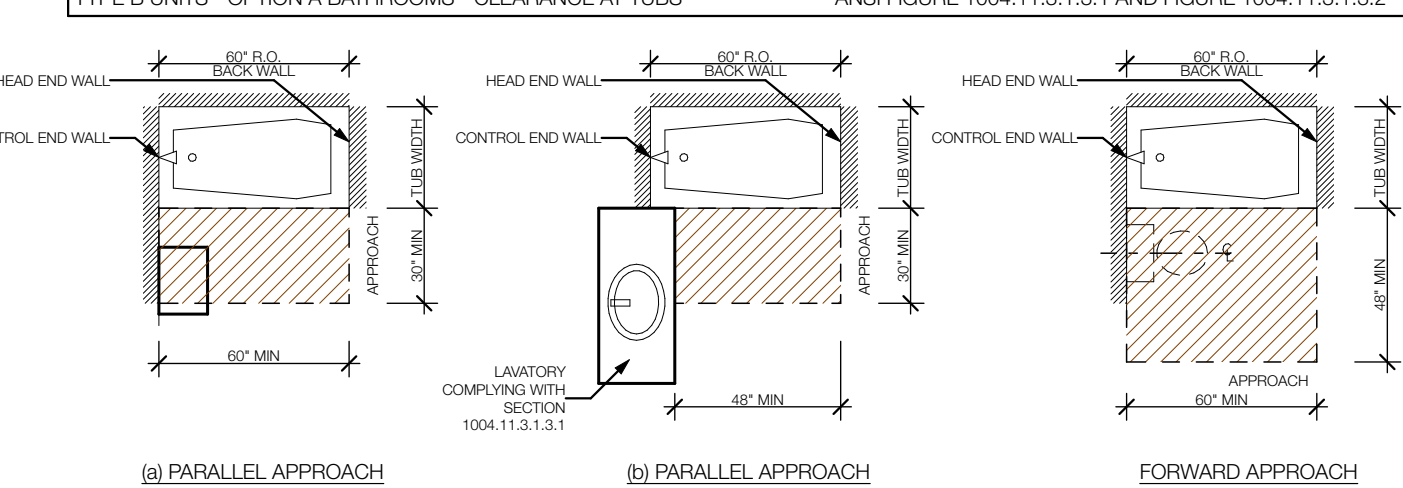
TYPE A AND TYPE B UNITS - OPTION A AND OPTION B BATHROOMS - BLOCKING AT WATER CLOSET GRAB BARS



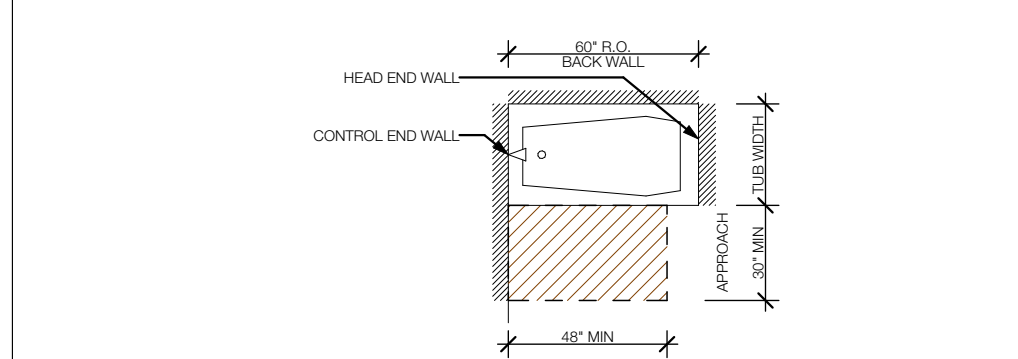
TYPE A UNITS - CLEARANCE AT TUBS ANSI FIGURE 1003.11.8 (b)



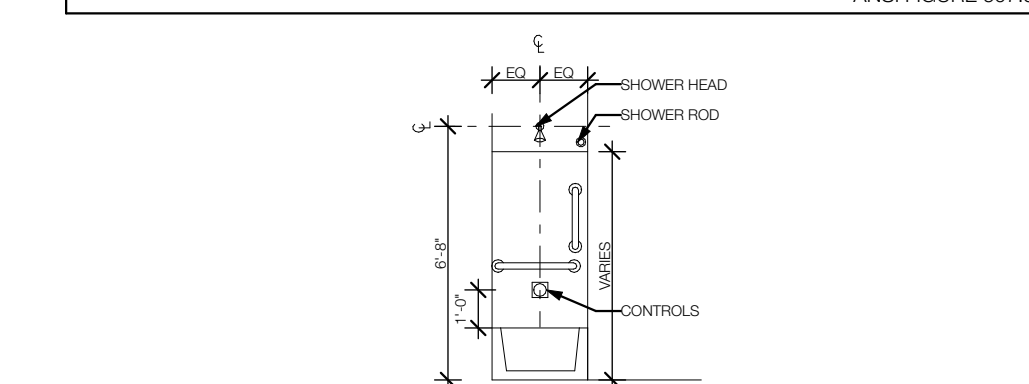
TYPE B UNITS - OPTION A BATHROOMS - CLEARANCE AT TUBS ANSI FIGURE 1004.11.3.1.3.1 AND FIGURE 1004.11.3.1.3.2



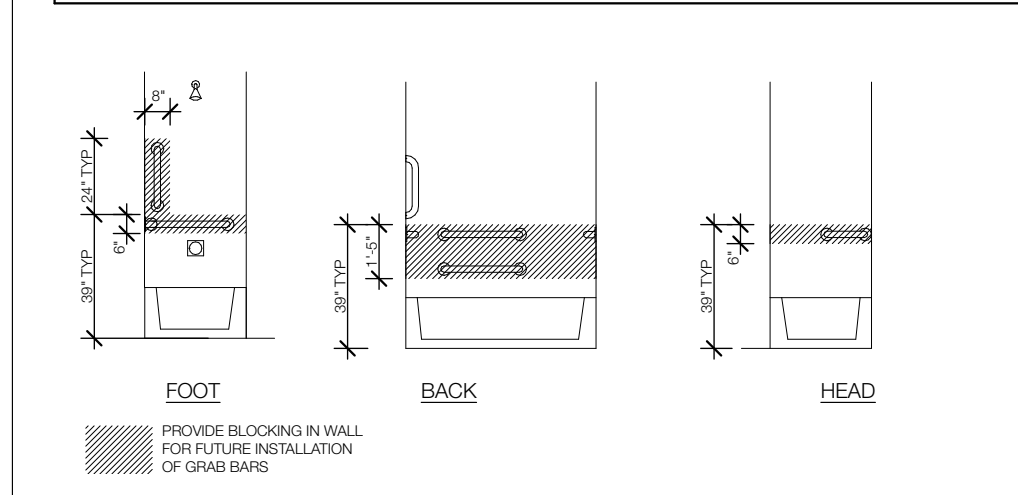
TYPE B UNITS - OPTION B BATHROOMS - CLEARANCE AT TUBS ANSI FIGURE 1004.11.3.2.3.1



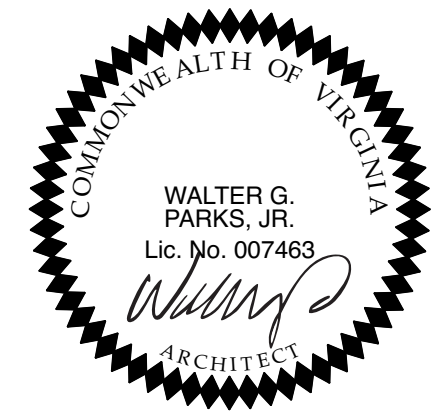
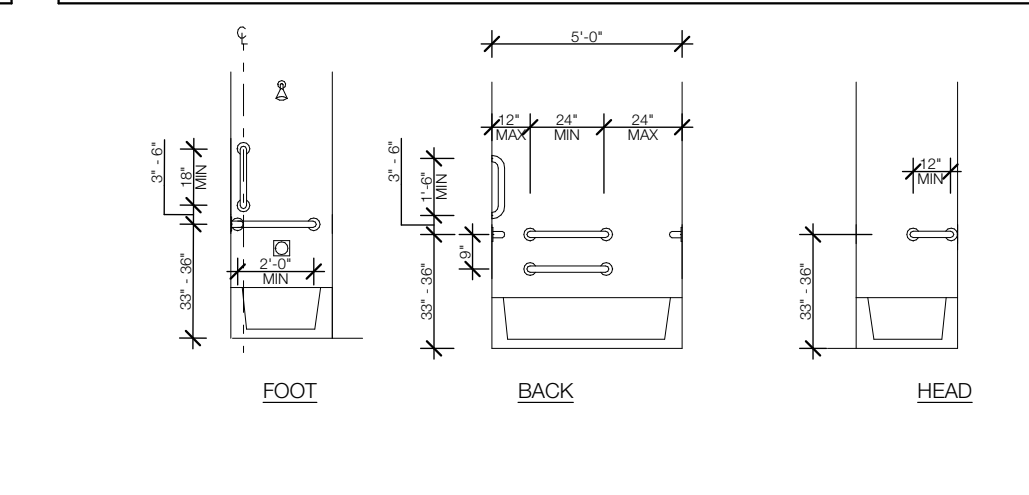
TYPE A AND B UNITS - OPTION A AND OPTION B BATHROOMS - LOCATION OF BATHTUB CONTROLS ANSI FIGURE 607.5



TYPE A AND TYPE B UNITS - OPTION A AND OPTION B BATHROOMS - BLOCKING FOR TUB GRAB BARS



GRAB BARS FOR BATHTUBS WITHOUT PERMANENT SEATS ANSI FIGURE 607.4.1 AND FIGURE 607.4.2



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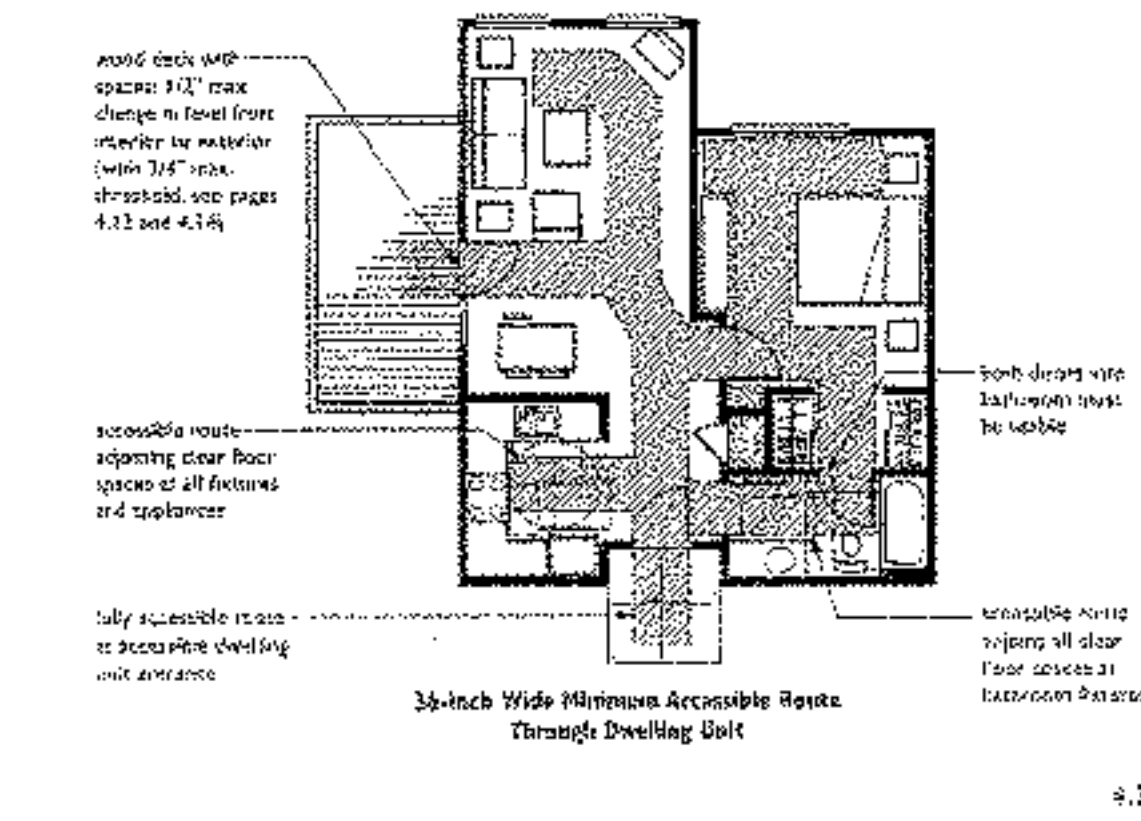
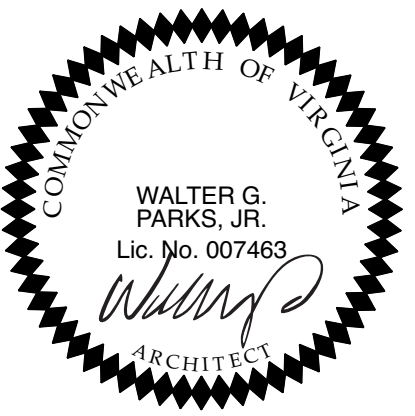
PROJECT #: 20.30  
DATE: 1/21/22

UNIT ANSI ACCESS  
INFORMATION  
**G.003**



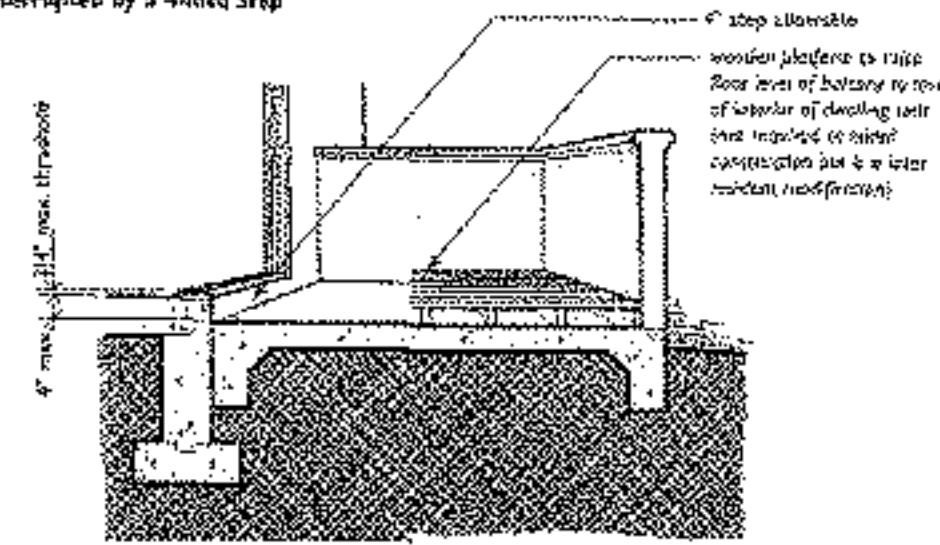
## REQUIREMENT #4 - Accessible Route Into and Through the Covered Dwelling Unit.

## FHA ACCESSIBILITY GUIDELINES

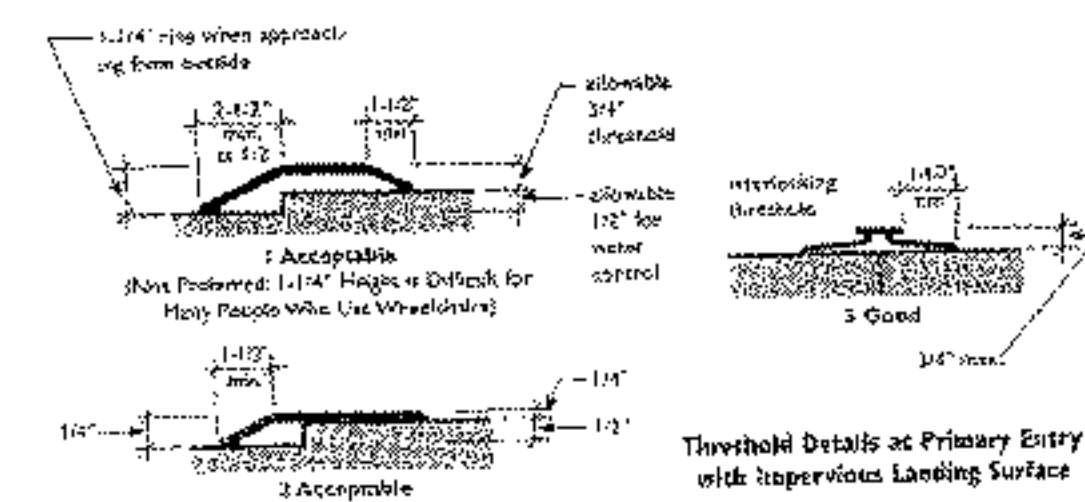


### ACCESSIBLE ROUTE INTO AND THROUGH THE COVERED UNIT

Accessible Route into Balcony Constructed of Concrete, Brick, or Flagstone May Be Interrupted by a 4-Inch Step

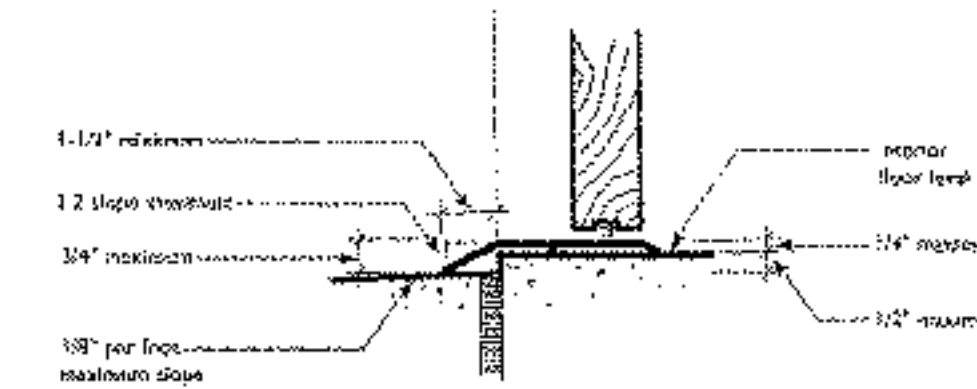


Accessible Route into Balcony Created with the Addition of a Raised Platform (Added by the Resident)

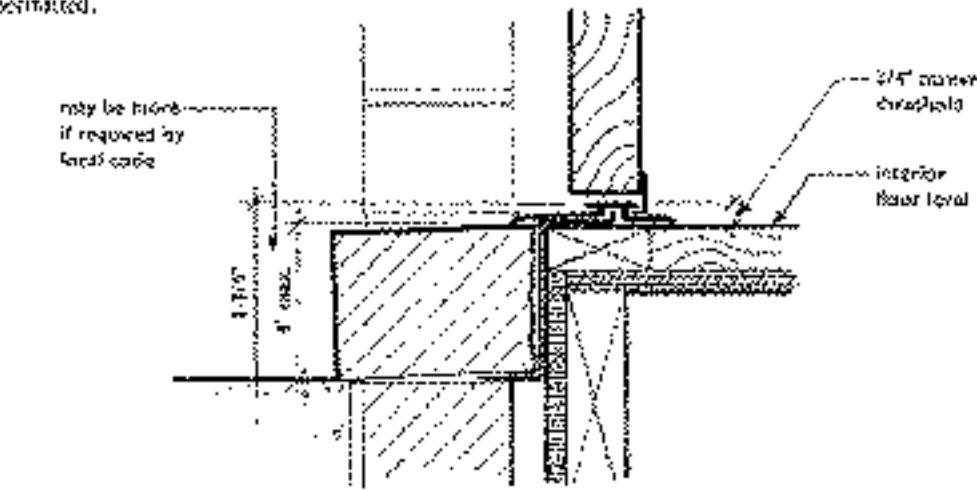


### ACCESSIBLE ROUTE INTO AND THROUGH THE COVERED UNIT

Swinging Primary Entry Door at Concrete Landing Showing Allowable Changes in Level at Exterior Doors with Direct Exterior Access onto Concrete or Other Impervious Landing Surface where 1/2-Inch Maximum Changes in Level are Permitted.

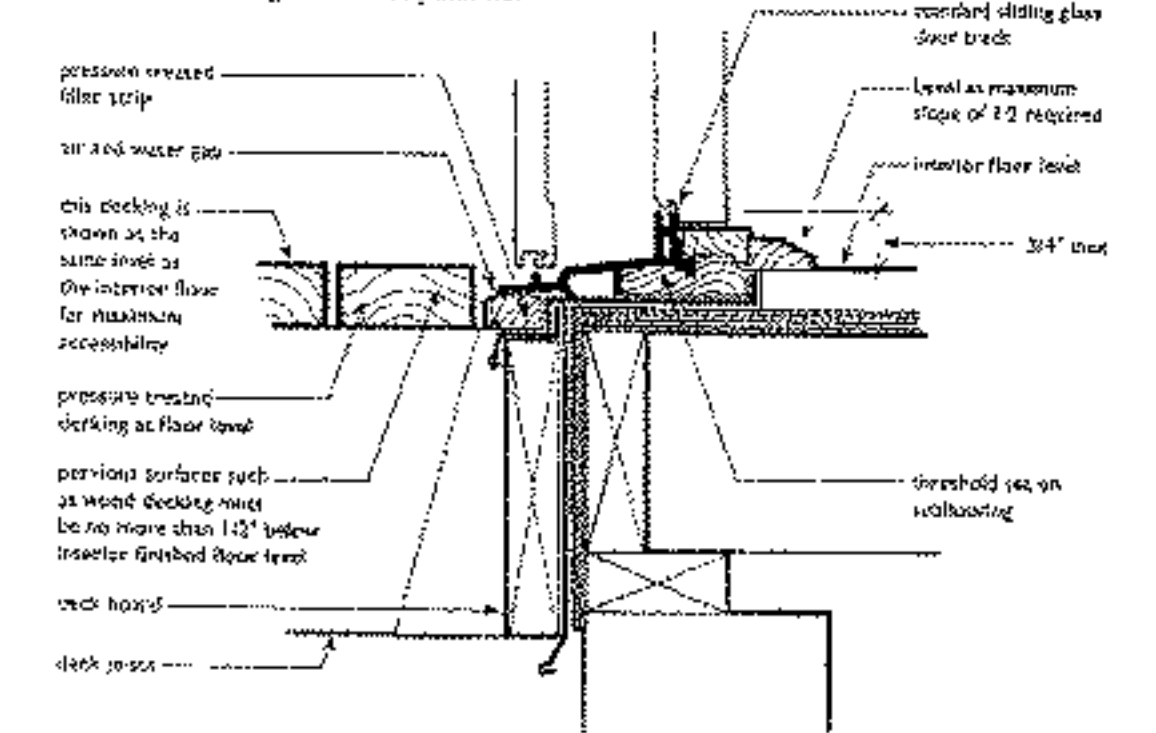


Swinging Secondary Door at Concrete Landing Showing Allowable Changes in Level at Exterior Swinging Doors onto Concrete or Other Impervious Landing Surface where 4-Inch Changes in Level are Permitted.

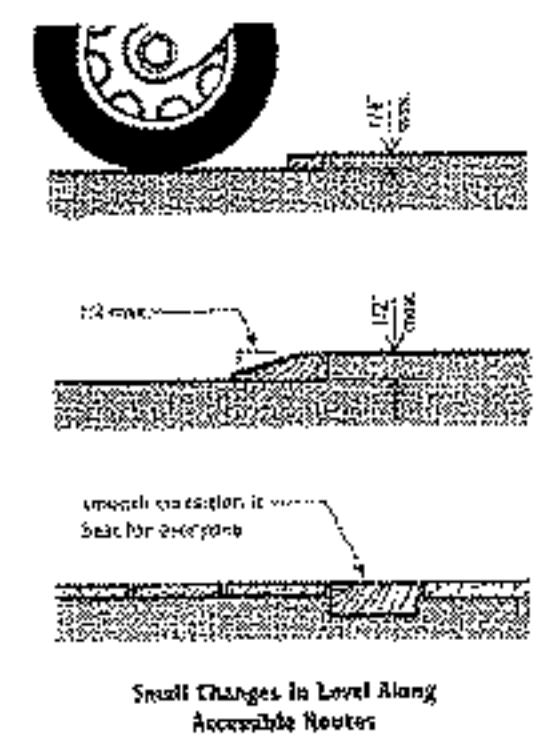
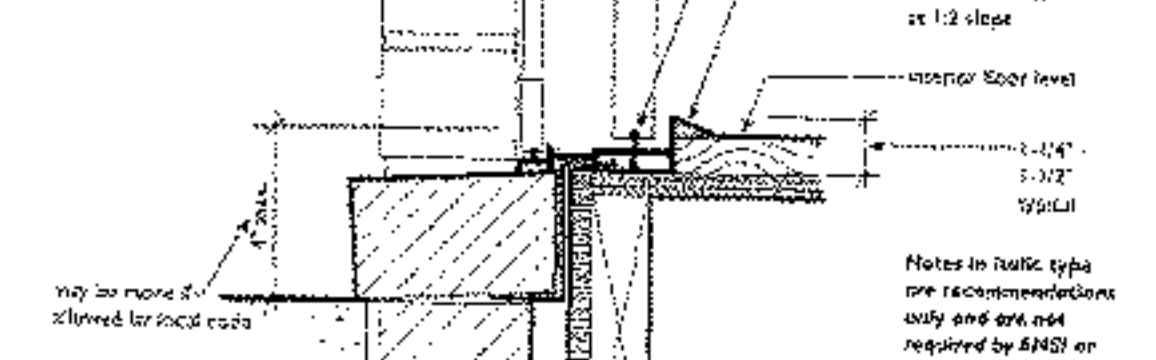


### PART TWO, CHAPTER 4 FAIR HOUSING ACT DESIGN MANUAL

Sliding Secondary Door at Wood Deck Showing Allowable Changes in Level at Exterior Sliding Glass Doors to Balcony or Patio where 1/2-Inch Maximum Changes in Level are Permitted.



Sliding Secondary Door at Concrete Landing Showing Allowable Changes in Level at Exterior Sliding Glass Doors to Balcony or Patio where 4-Inch Changes in Level are Permitted.

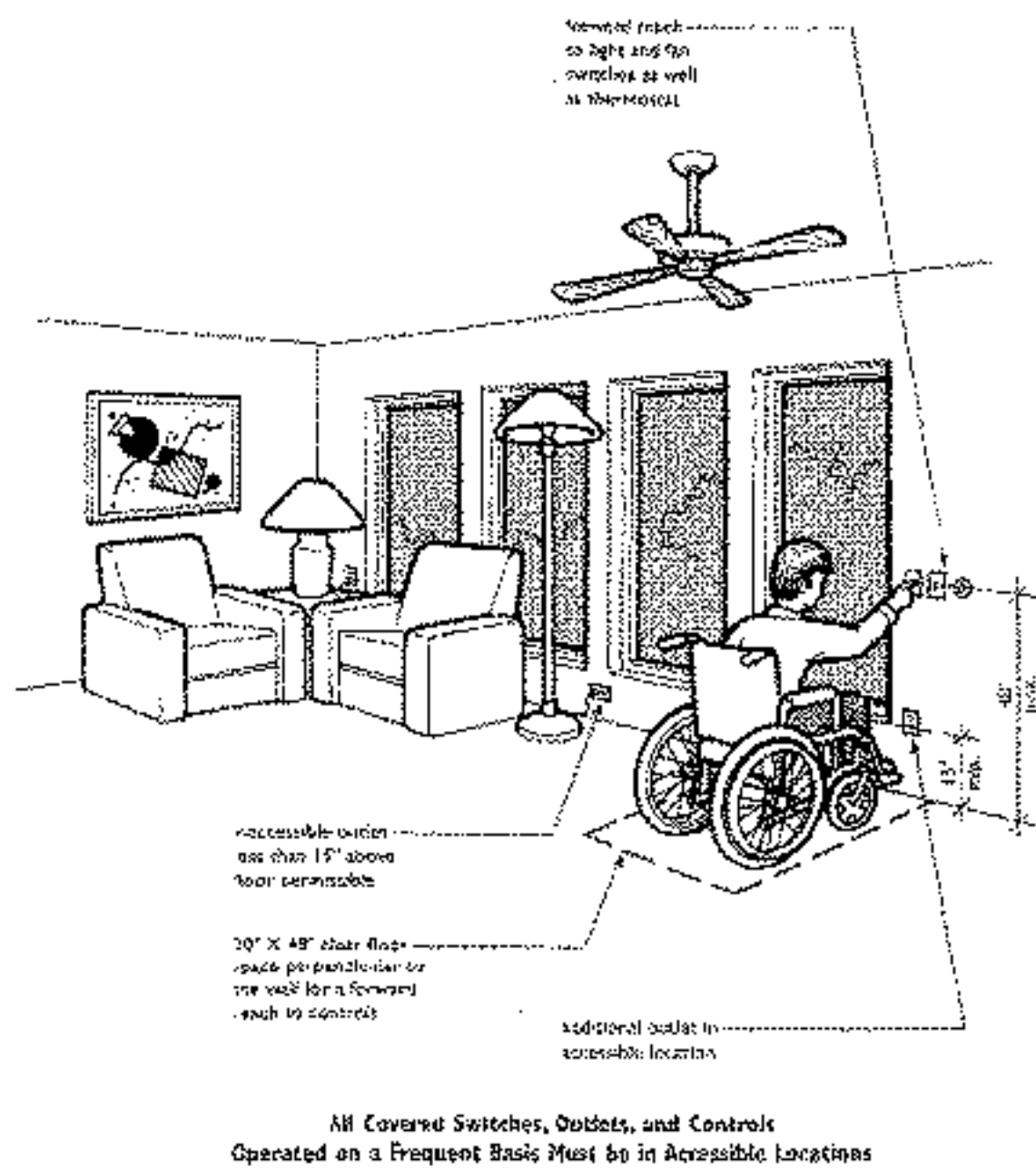


### THRESHOLDS AND ACCESSIBLE ROUTES AT EXTERIOR DOORS

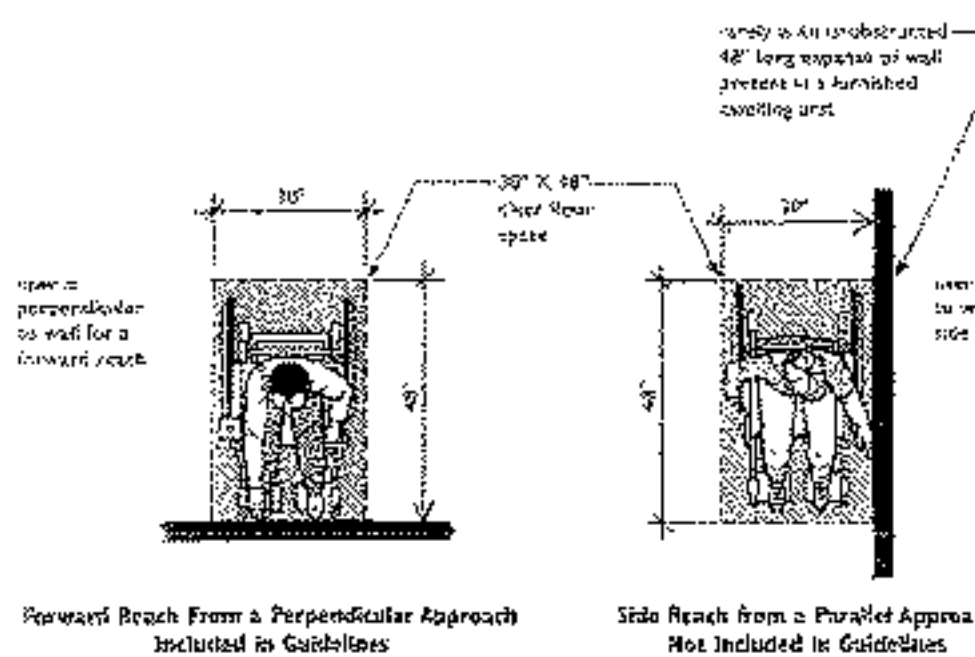
Maximum Allowable Height Difference Between Interior Floor Level and Exterior Floor Level	
level difference	at primary entry door
0"	permitted construction (e.g., wood decking with spacers)
1/2"	impervious construction (e.g., concrete, brick, or flagstone)
level difference	at secondary door
1/2"	permitted construction
4"	impervious construction

## REQUIREMENT #5 - Light Switches, Electrical Outlets, Thermostats and Other Environmental Controls in Accessible Locations.

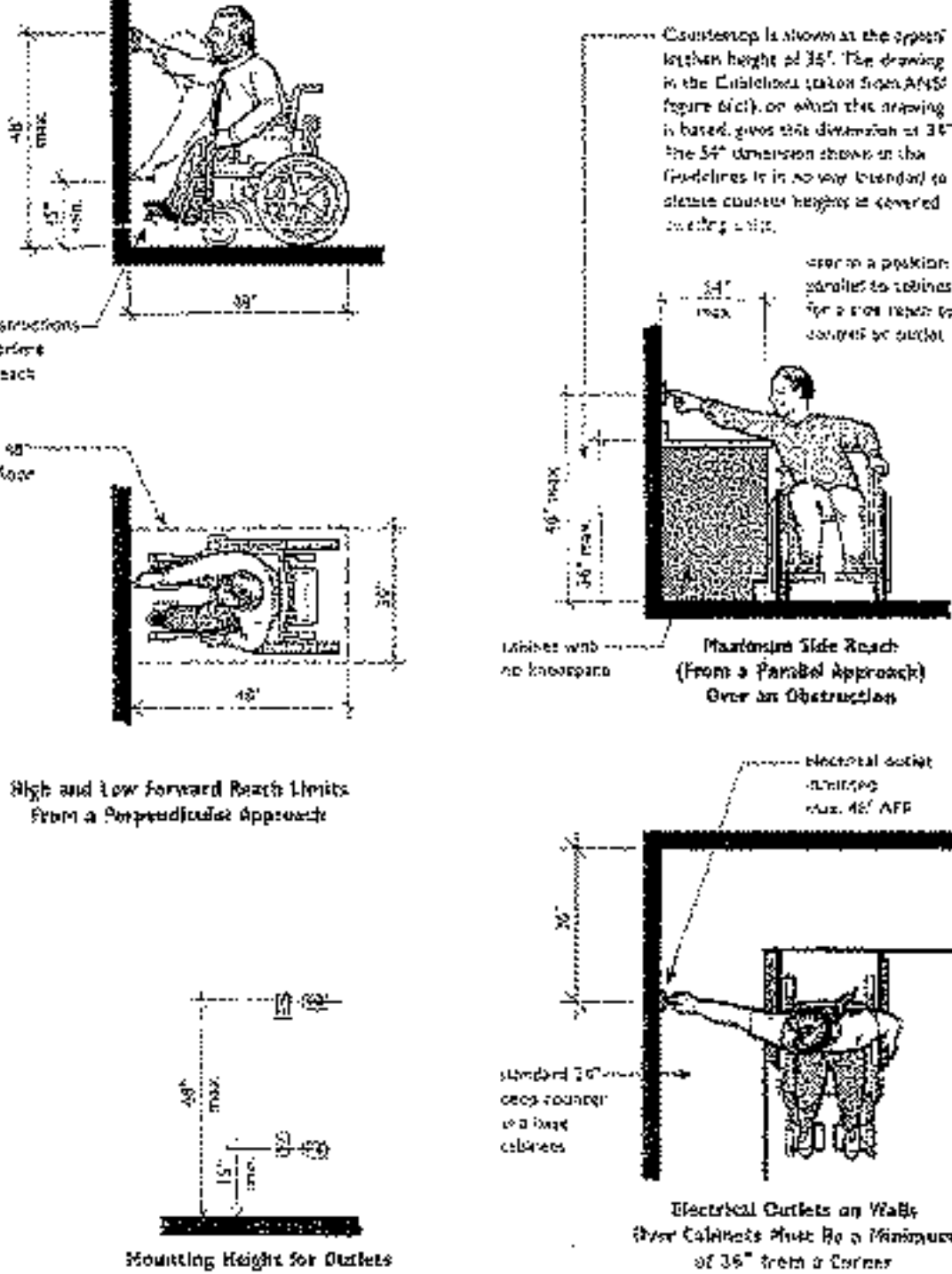
### PART TWO, CHAPTER 5 FAIR HOUSING ACT DESIGN MANUAL



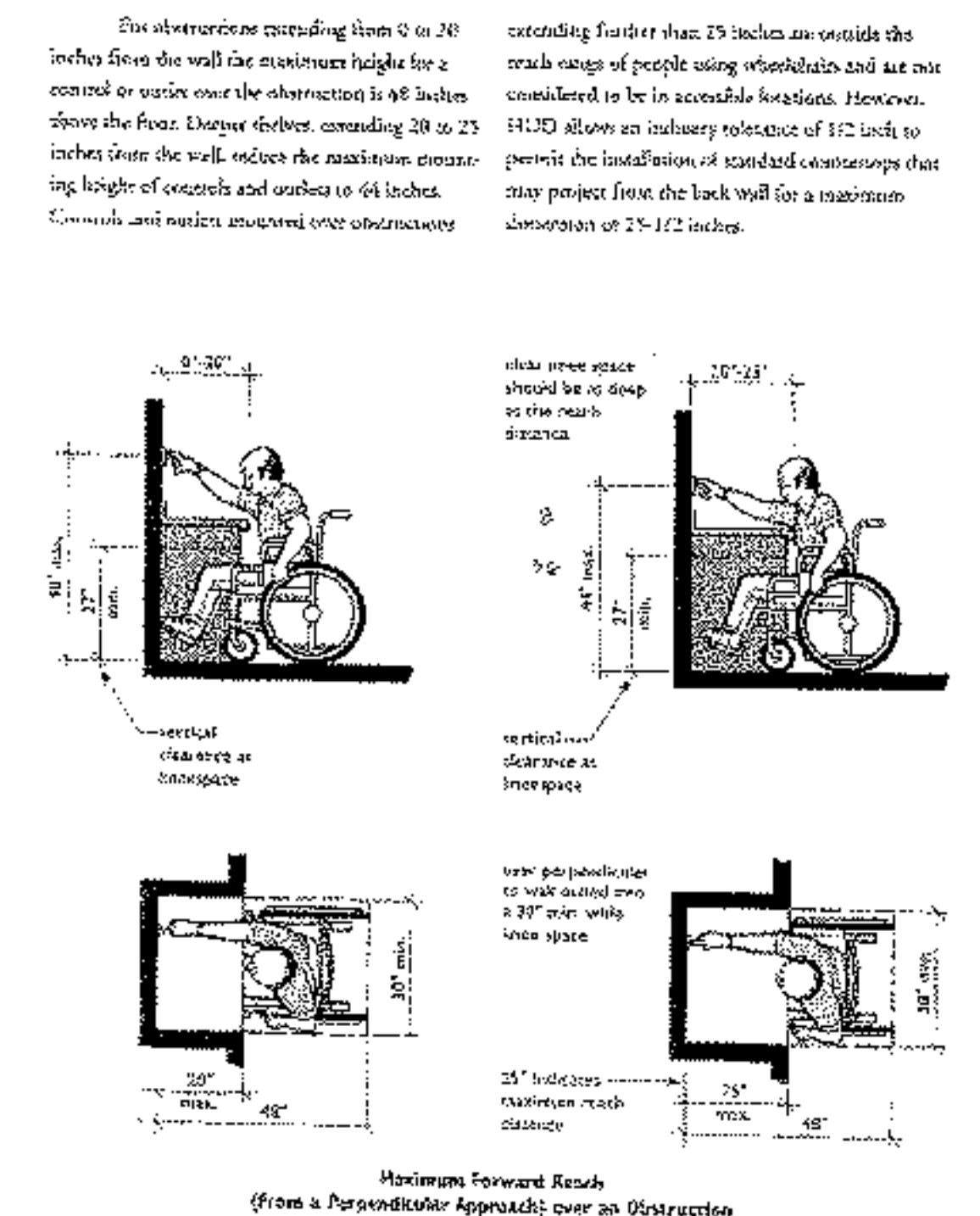
SWITCHES, OUTLETS, AND CONTROLS COVERED BY THE GUIDELINES	
<b>Covered</b>	<b>Not Covered</b>
<ul style="list-style-type: none"> <li>light switches for controlling all room lights</li> <li>electrical outlets</li> <li>environmental controls (thermostats and controls for other heating, air conditioning, and ventilation systems)</li> </ul>	<ul style="list-style-type: none"> <li>staircase controls</li> <li>appliance controls</li> <li>controls for special appliances</li> </ul>



### PART TWO, CHAPTER 5 FAIR HOUSING ACT DESIGN MANUAL



### SWITCHES, OUTLETS, AND CONTROLS IN ACCESSIBLE LOCATIONS



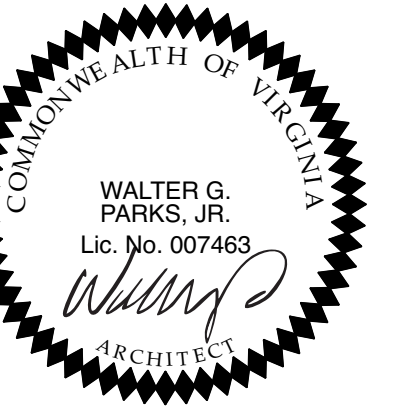
REVISIONS	TAG	DATE

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FHA ACCESSIBILITY GUIDELINES  
G.005



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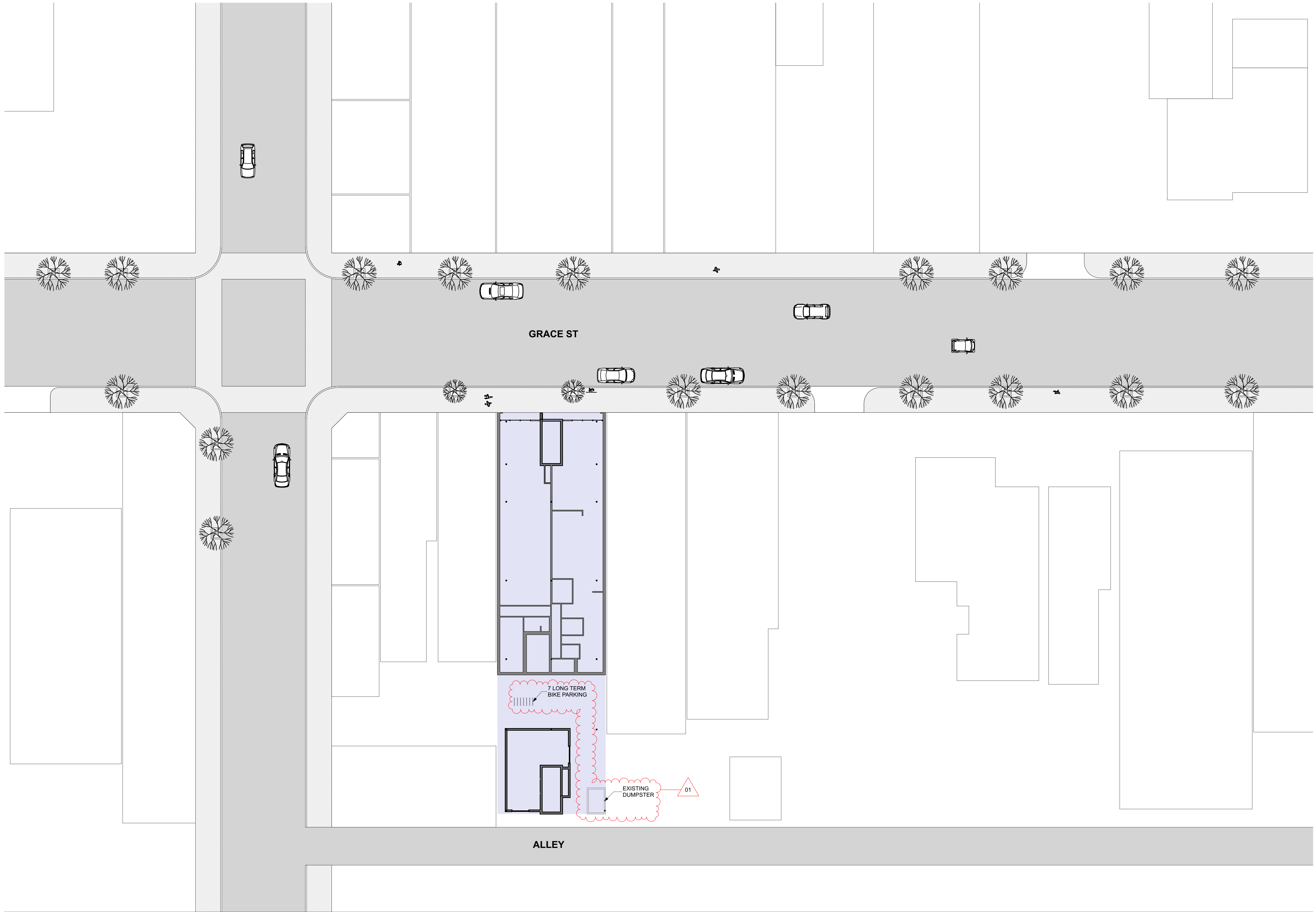
REVISIONS	
TAG	DATE
01	01/20/2022

**walter PARKS**  
ARCHITECT

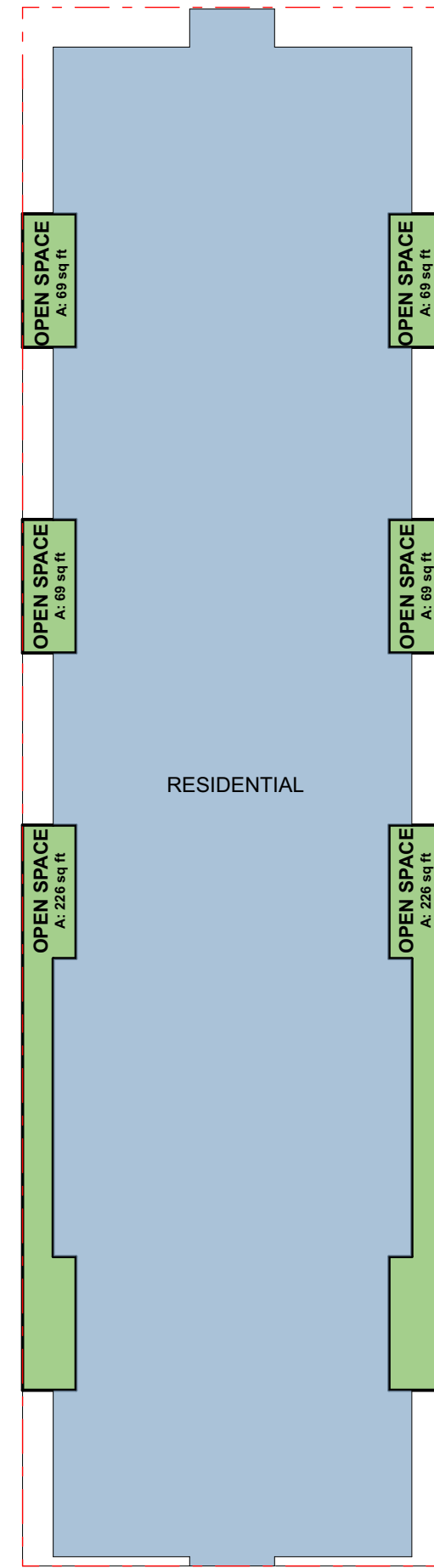
313 N. ADAMS STREET  
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PROJECT #: 20.30  
DATE: 1/21/22

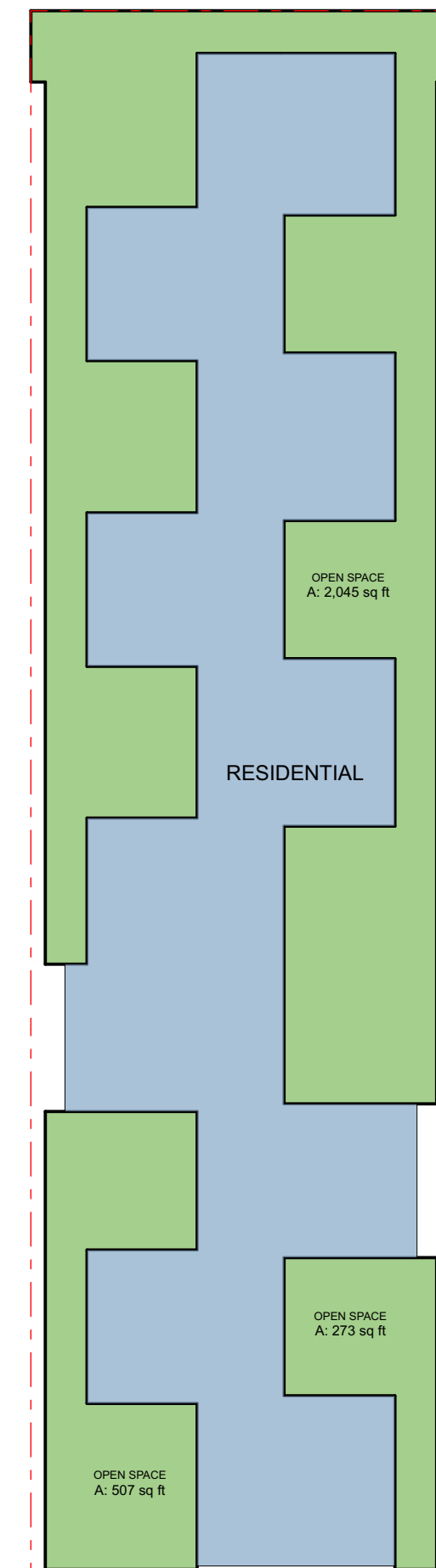
SITE PLAN  
**G.006**



# OPEN SPACE AREA



5  
G.007 2ND FLOOR  
SCALE: 1/16" = 1'-0"



6  
G.007 4TH FLOOR  
SCALE: 1/16" = 1'-0"

OPEN SPACE AREA	
HOME STORY	AREA
2ND FLOOR	726.48
4TH FLOOR	2,823.77
	<b>3,550.25 sq ft</b>

UNIT SUMMARY PER FLOOR		
HOME STORY	ZONE CATEGORY	QUANTITY
FIRST FLOOR	1 Bed/1 Bath	1
		1
2ND FLOOR	1 Bed/1 Bath	10
		10
3RD FLOOR	1 Bed/1.5 Bath loft	10
		10
		21

UNIT MATRIX		
UNIT TYPE	QUANTITY	AREA
1 Bed/1 Bath	12	5,547.31
1 Bed/1.5 Bath loft	9	4,066.50
	<b>21</b>	<b>9,613.81 sq ft</b>

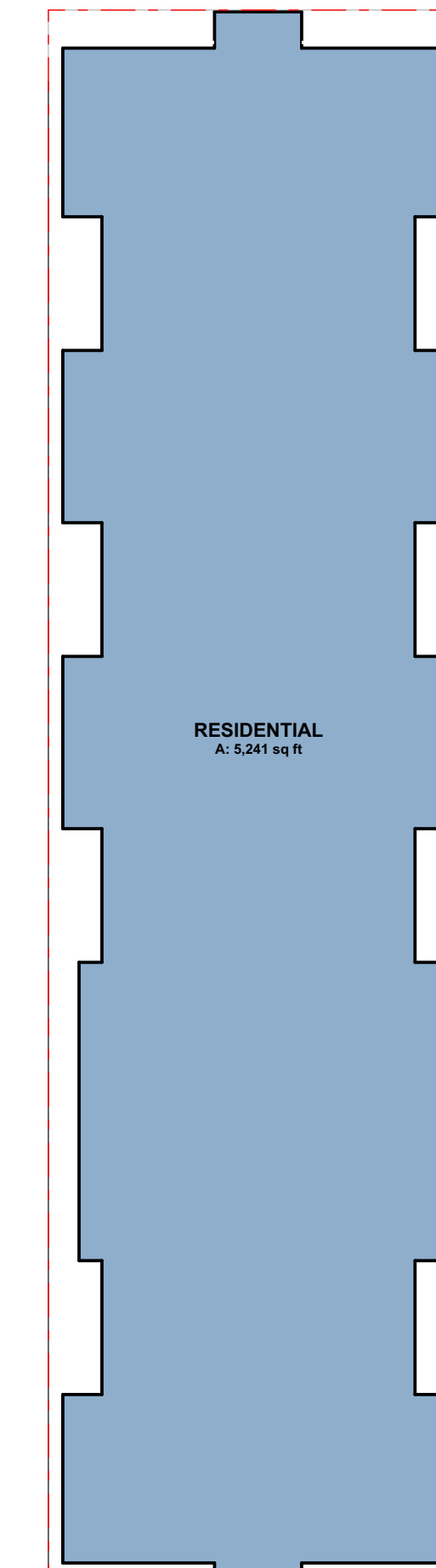
UNIT TYPE SUMMARY PER FLOOR						
Home Story Name	Zone Category	Element ID	Quantity	Measured Area		
FIRST FLOOR	1 Bed/1 Bath	TYPE A	1	604.94		
			1	604.94 sq ft		
2ND FLOOR	1 Bed/1 Bath	TYPE 1A	1	439.12		
		TYPE 1B	1	444.57		
		TYPE 1C	1	474.24		
		TYPE 1D	1	456.74		
		TYPE 1E	1	456.93		
		TYPE 1F	1	474.24		
		TYPE 1G	1	437.28		
		TYPE 1H	1	442.42		
		TYPE 2A	1	447.94		
		TYPE 2B	1	431.61		
			10	4,505.09 sq ft		
		3RD FLOOR	1 Bed/1 Bath	TYPE A	1	437.28
				TYPE 3A	1	439.06
TYPE 3B	1			474.05		
TYPE 3C	1			456.74		
TYPE 4A	1			444.57		
TYPE 4B	1			456.75		
TYPE 4C	1			474.05		
TYPE 4D	1			442.42		
TYPE 5A	1			447.60		
TYPE 5B	1			431.26		
	10	4,503.78 sq ft				
	21	9,613.81 sq ft				

UNIT TYPE SUMMARY			
ZONE CATEGORY	UNIT TYPE	QUANTITY	MEASURED AREA
1 Bed/1 Bath	TYPE 1A	1	439.12
	TYPE 1B	1	444.57
	TYPE 1C	1	474.24
	TYPE 1D	1	456.74
	TYPE 1E	1	456.93
	TYPE 1F	1	474.24
	TYPE 1G	1	437.28
	TYPE 1H	1	442.42
	TYPE 2A	1	447.94
	TYPE 2B	1	431.61
	TYPE A	2	1,042.22
		<b>12</b>	<b>5,547.31 sq ft</b>
	1 Bed/1.5 Bath loft	TYPE 3A	1
TYPE 3B		1	474.05
TYPE 3C		1	456.74
TYPE 4A		1	444.57
TYPE 4B		1	456.75
TYPE 4C		1	474.05
	9	4,066.50 sq ft	
	<b>21</b>	<b>9,613.81 sq ft</b>	

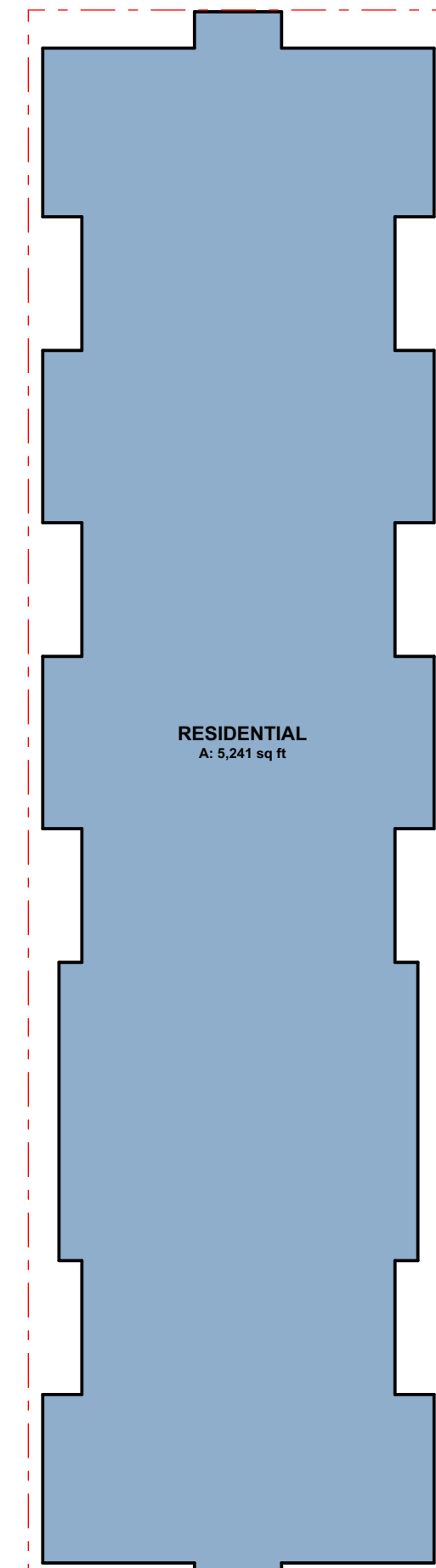
# GROSS AREA



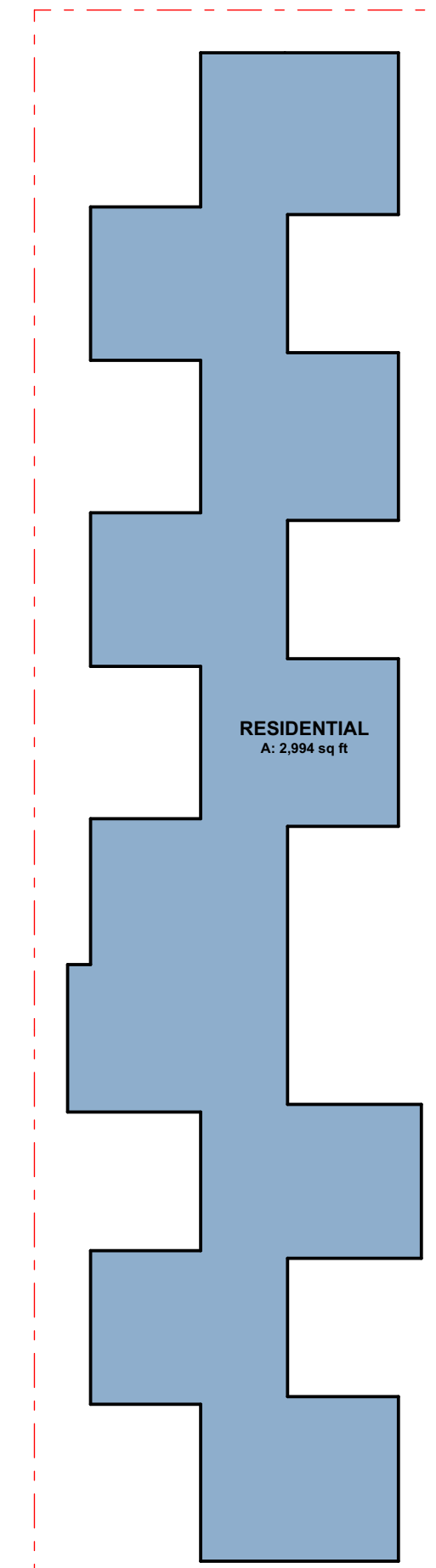
1  
G.007 FIRST FLOOR  
SCALE: 1/16" = 1'-0"



2  
G.007 2ND FLOOR  
SCALE: 1/16" = 1'-0"



3  
G.007 3RD FLOOR  
SCALE: 1/16" = 1'-0"

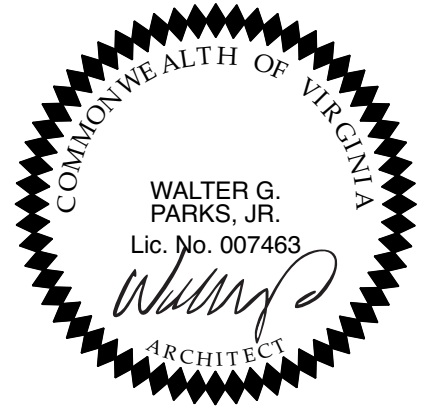


4  
G.007 4TH FLOOR  
SCALE: 1/16" = 1'-0"

GBA SUMMARY		
FLOOR	NAME	AREA
FIRST FLOOR	COMMERCIAL	3,881.82
	RESIDENTIAL	907.93
		<b>4,789.75 sq ft</b>
2ND FLOOR	RESIDENTIAL	5,240.98
		<b>5,240.98 sq ft</b>
3RD FLOOR	RESIDENTIAL	5,240.98
		<b>5,240.98 sq ft</b>
4TH FLOOR	RESIDENTIAL	2,994.33
		<b>2,994.33 sq ft</b>
		<b>18,266.04 sq ft</b>

GBA TOTALS	
ZONE NAME	AREA
COMMERCIAL	3,881.82
RESIDENTIAL	14,384.22
	<b>18,266.04 sq ft</b>

RESIDENTIAL FLOOR AREA	
HOME STORY	AREA
FIRST FLOOR	907.93
2ND FLOOR	5,240.98
3RD FLOOR	5,240.98
4TH FLOOR	2,994.33
	<b>14,384.22 sq ft</b>



**931-933 W Grace St**  
RICHMOND VA 23220 USA



REVISIONS	
TAG	DATE

**walter PARKS**  
ARCHITECT

313 N. ADAMS STREET  
RICHMOND, VIRGINIA 23220  
t: 644-4761 / f: 644-4763

PROJECT #: 20.30  
DATE: 1/21/22

GROSS BUILDING  
AREAS, OPEN SPACE  
CALCULATIONS, & UNIT  
COUNTS  
**G.007**

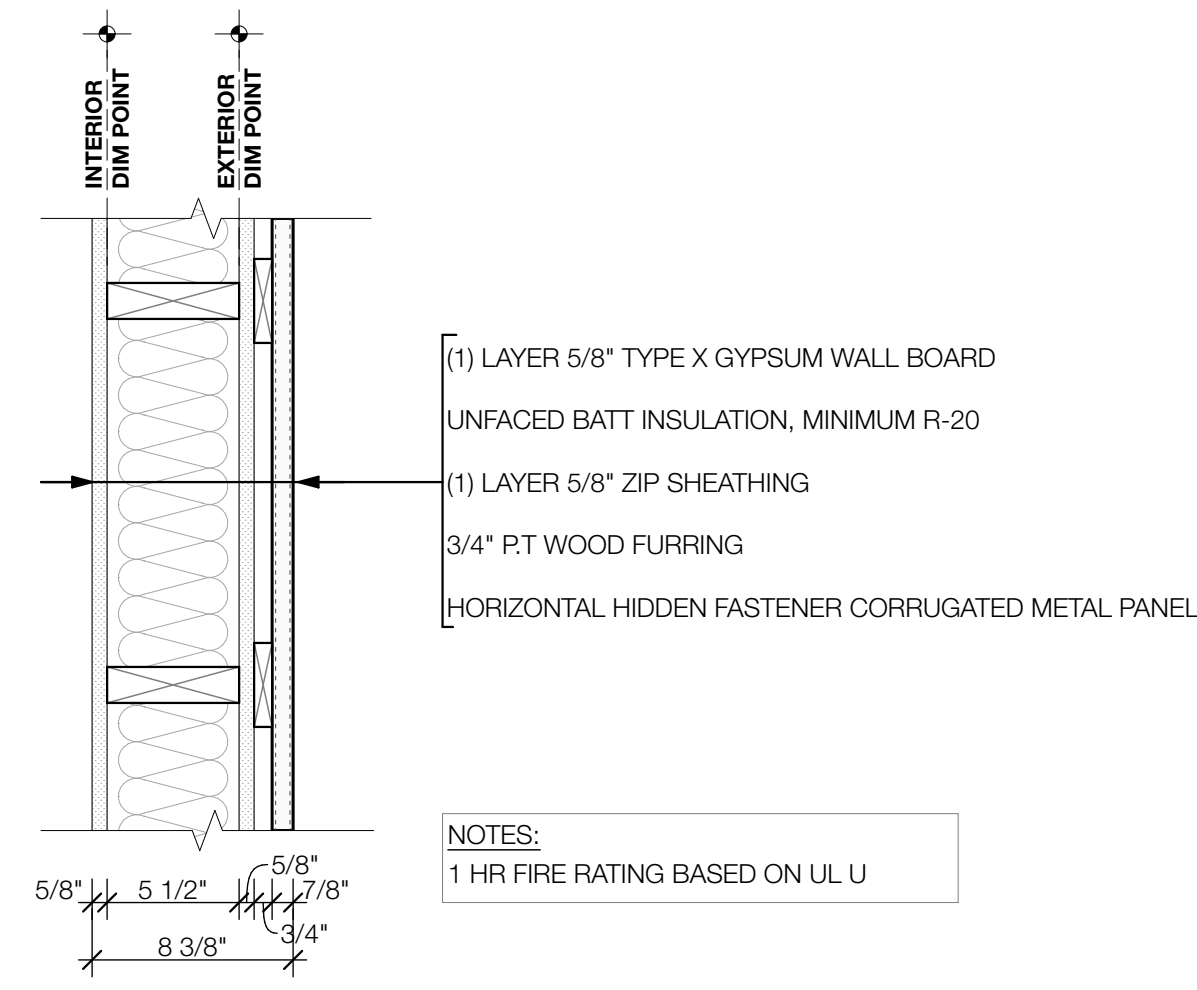


TYPE VA CONSTRUCTION ( NON - COMBUSTIBLE )

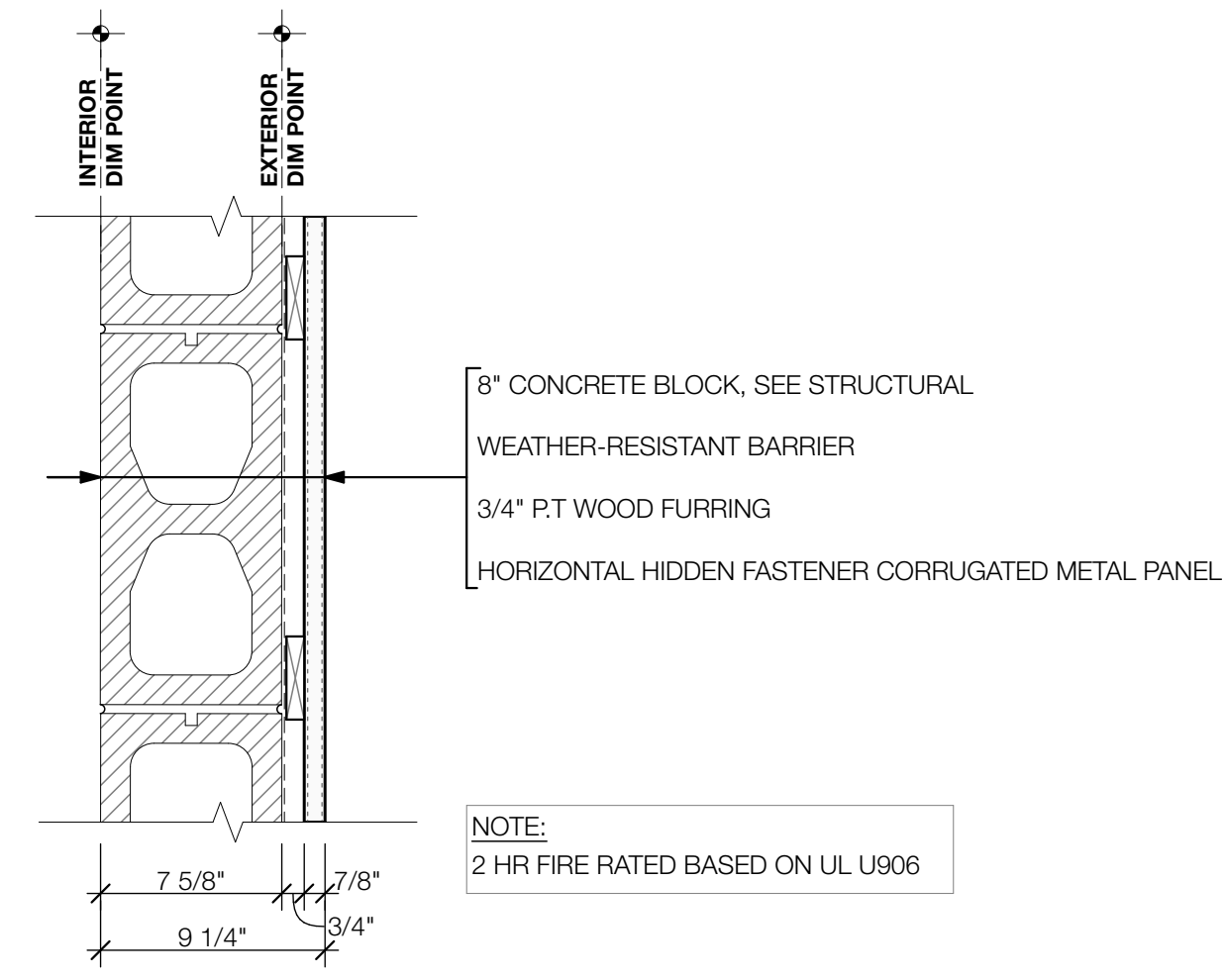
LEVELS 1ST - 4TH

TYPE VA CONSTRUCTION ( COMBUSTIBLE )

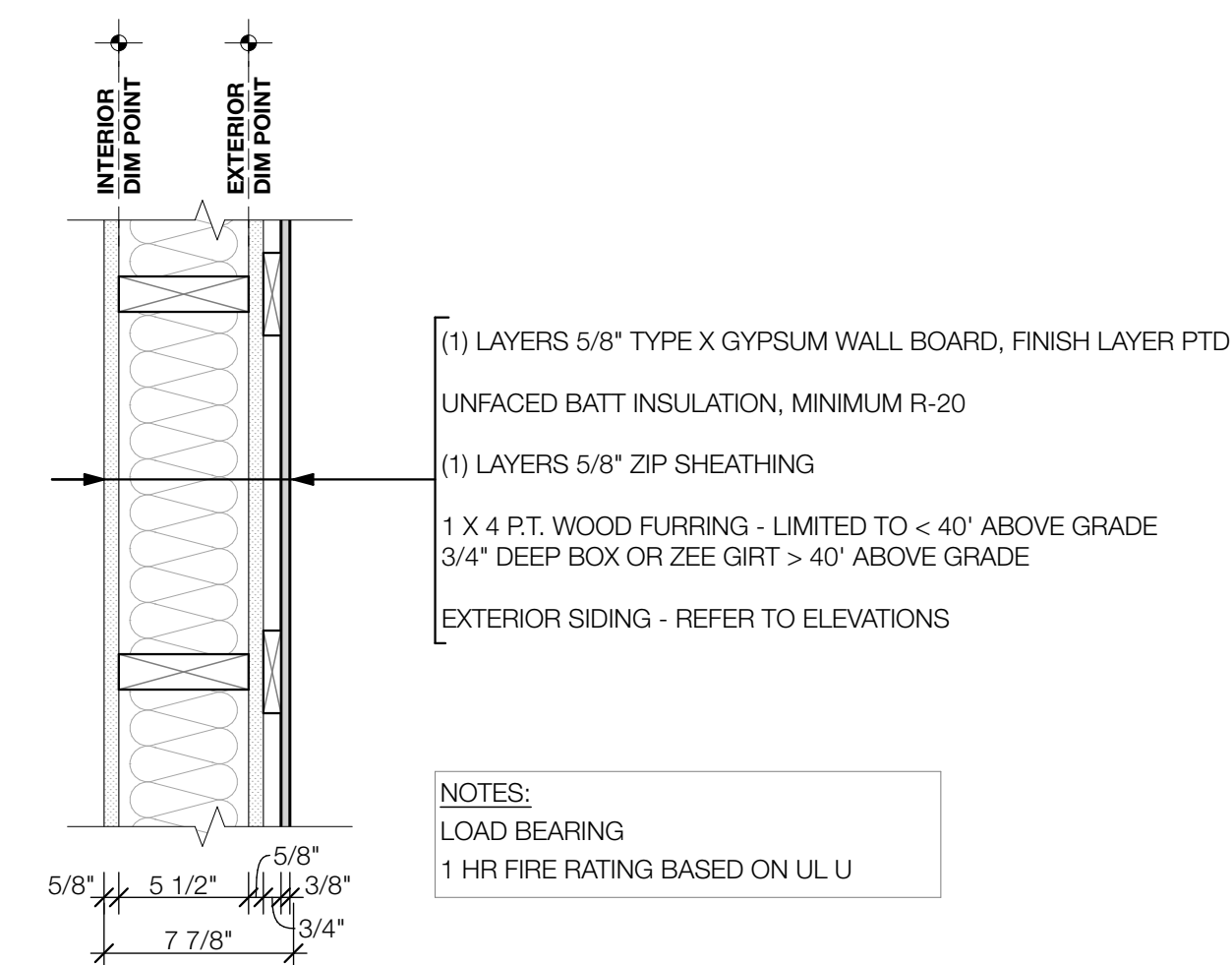
LEVELS 1ST - 4TH



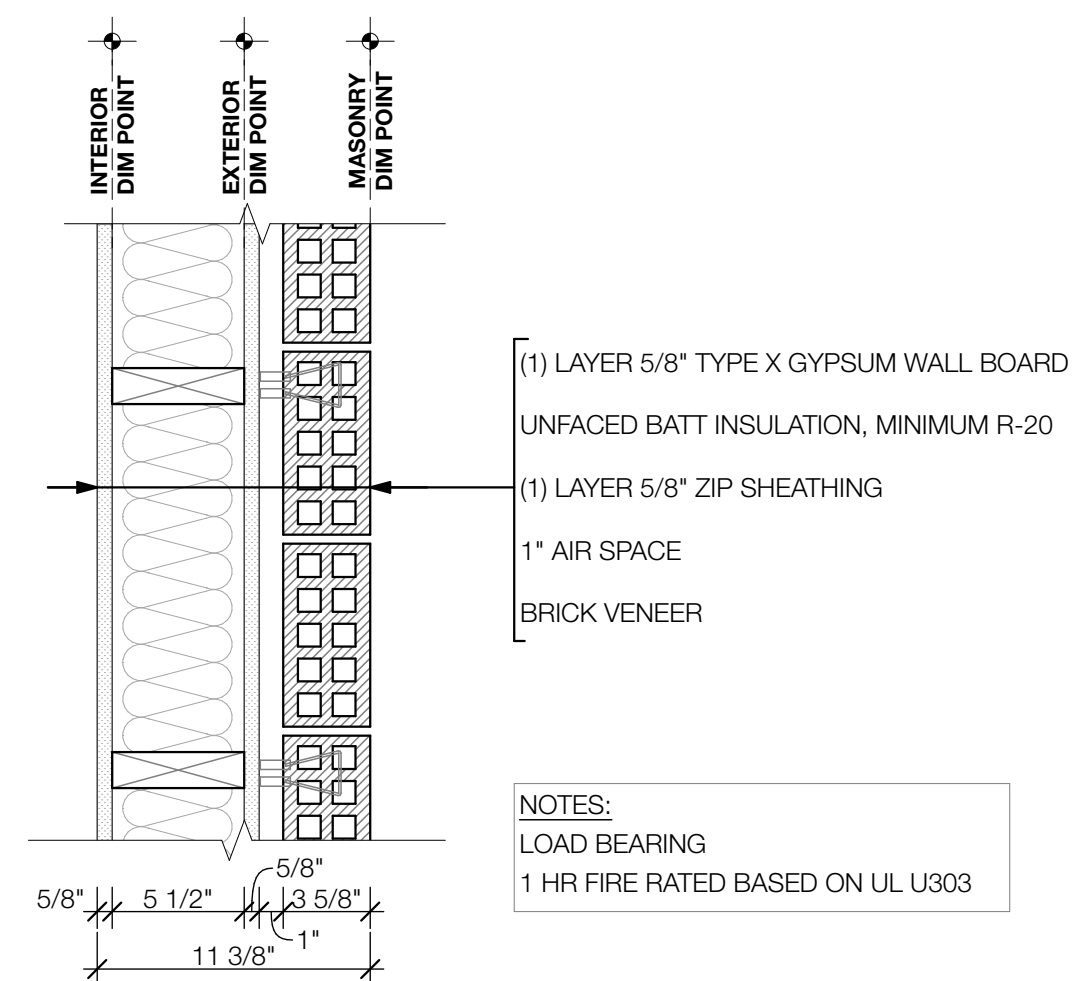
CORRUGATED METAL PANEL ON WOOD FRAMING W4



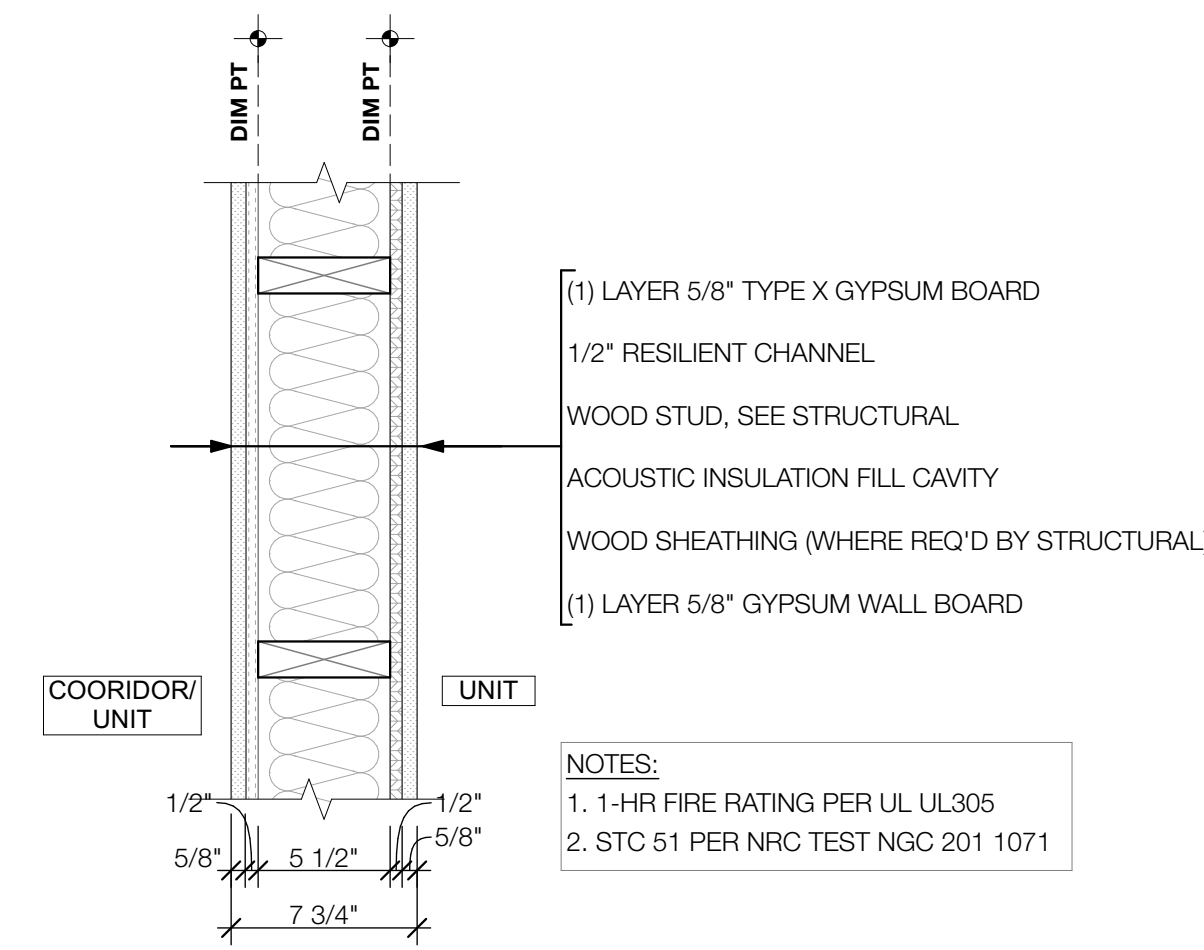
CORRUGATED METAL PANEL ON CMU W3



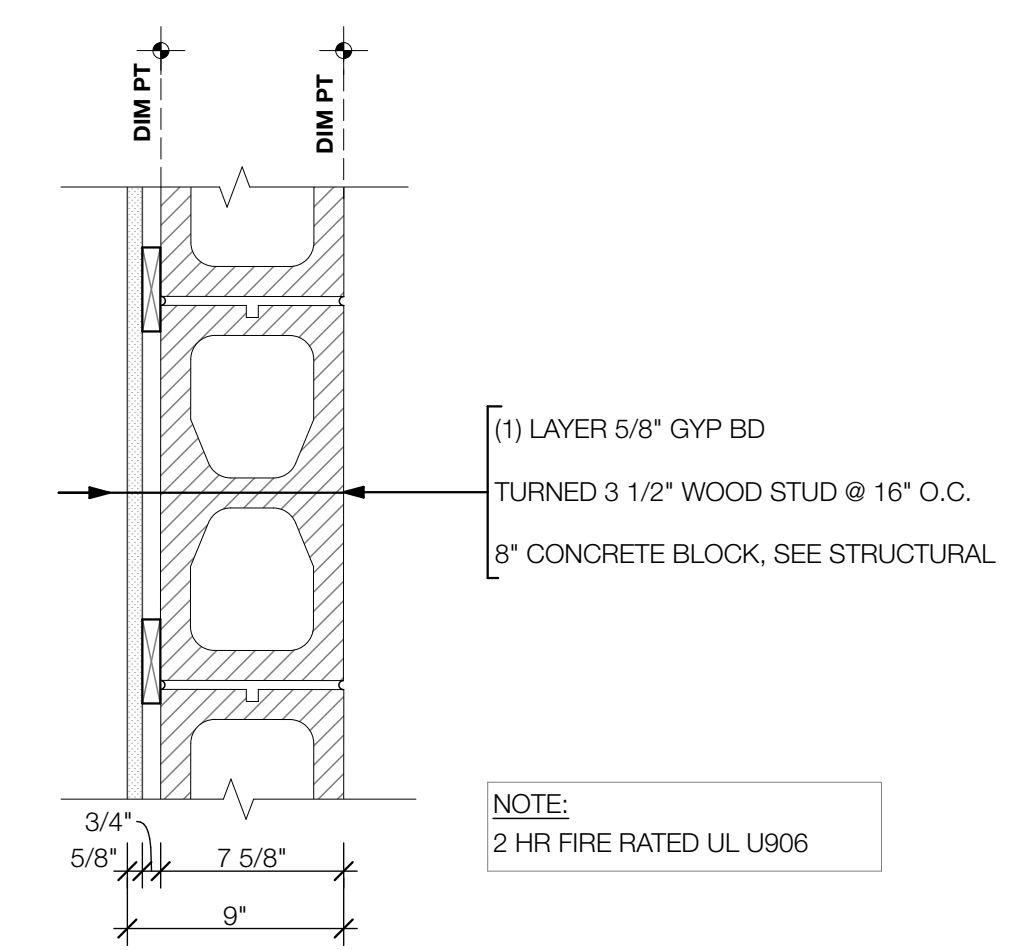
FIBER CEMENT PANEL ON WOOD FRAMING W2



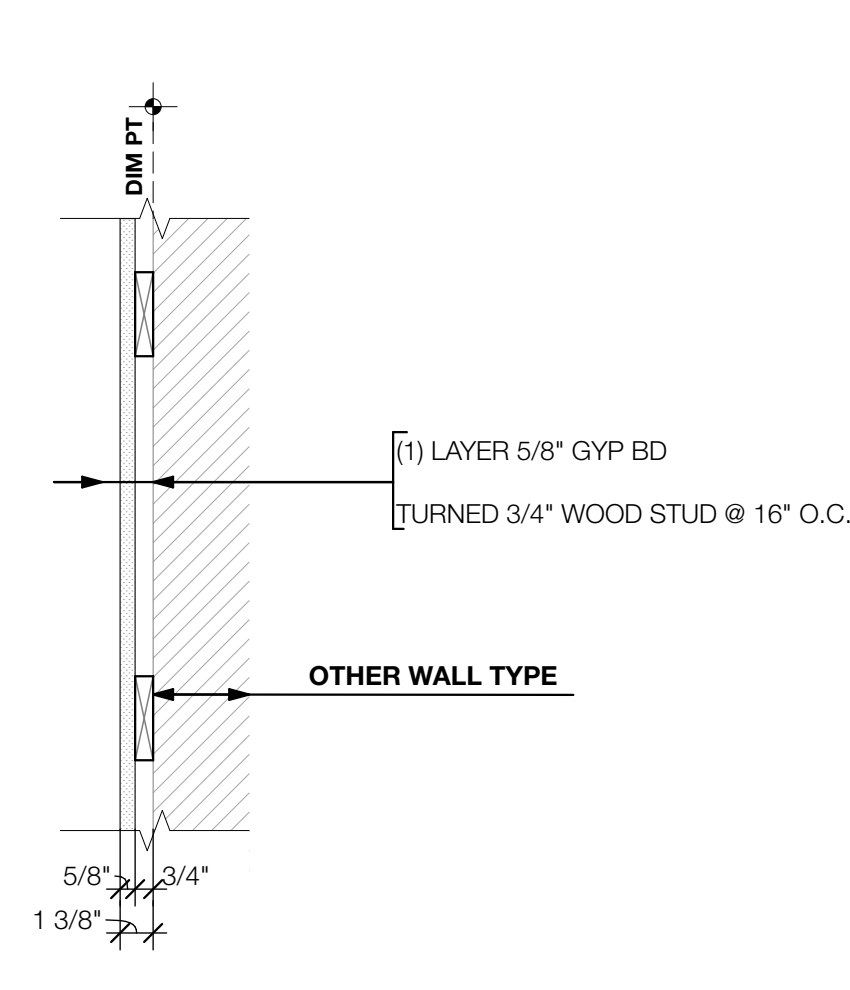
BRICK VENEER ON WOOD FRAMING W1



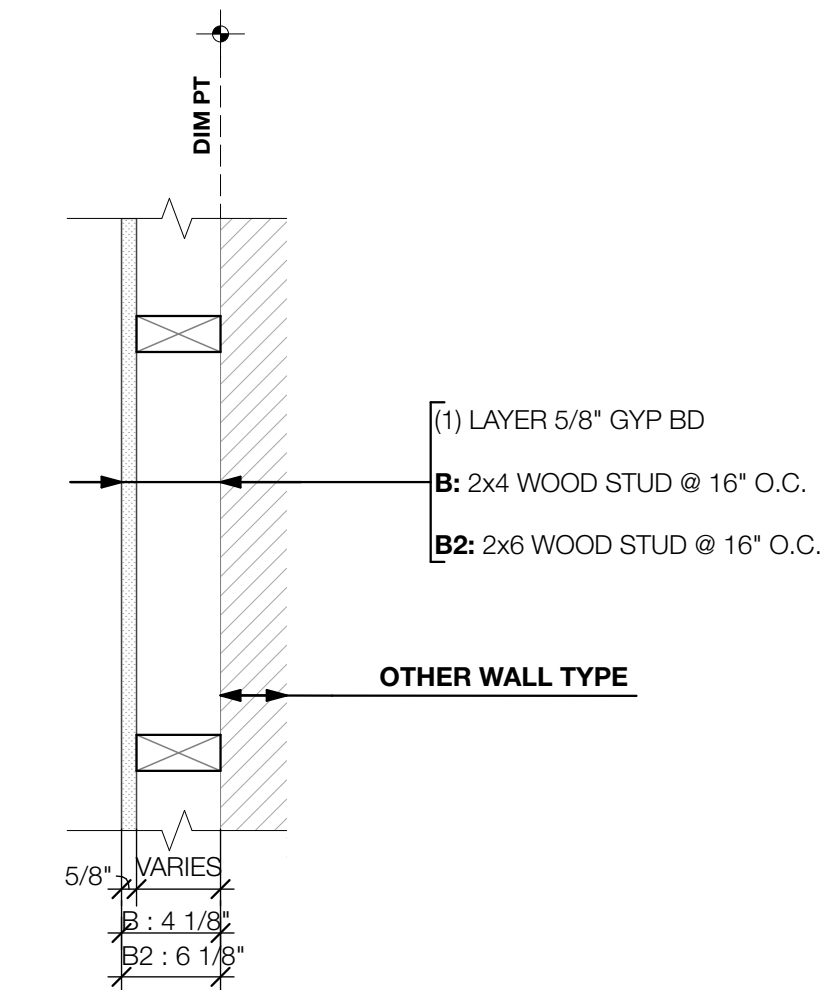
CORRIDOR & DEMISING WALL O



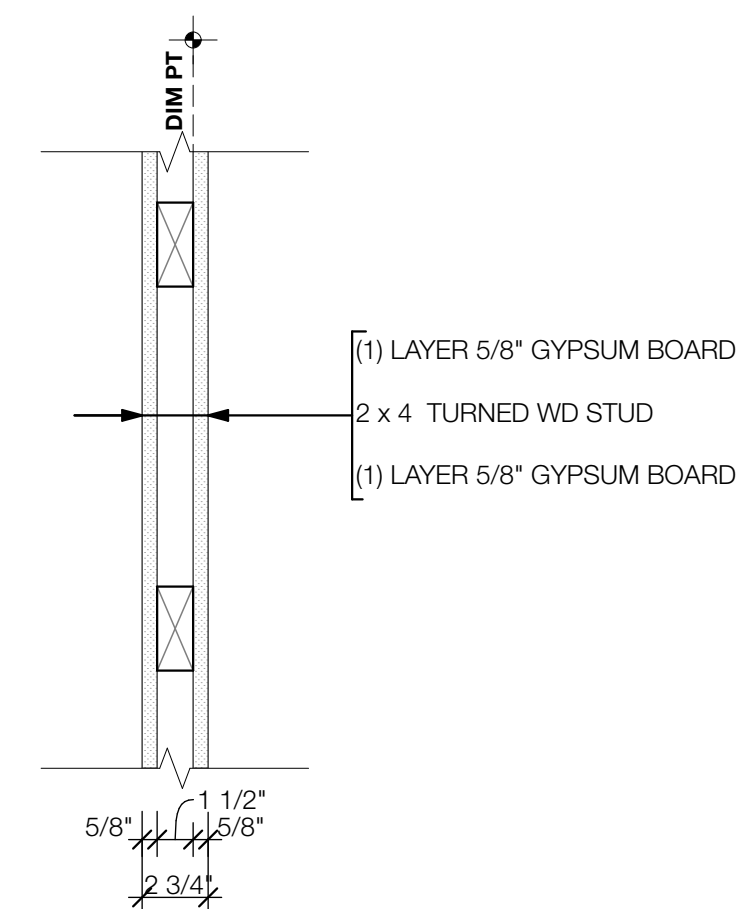
CMU WALL W/ FURRING K



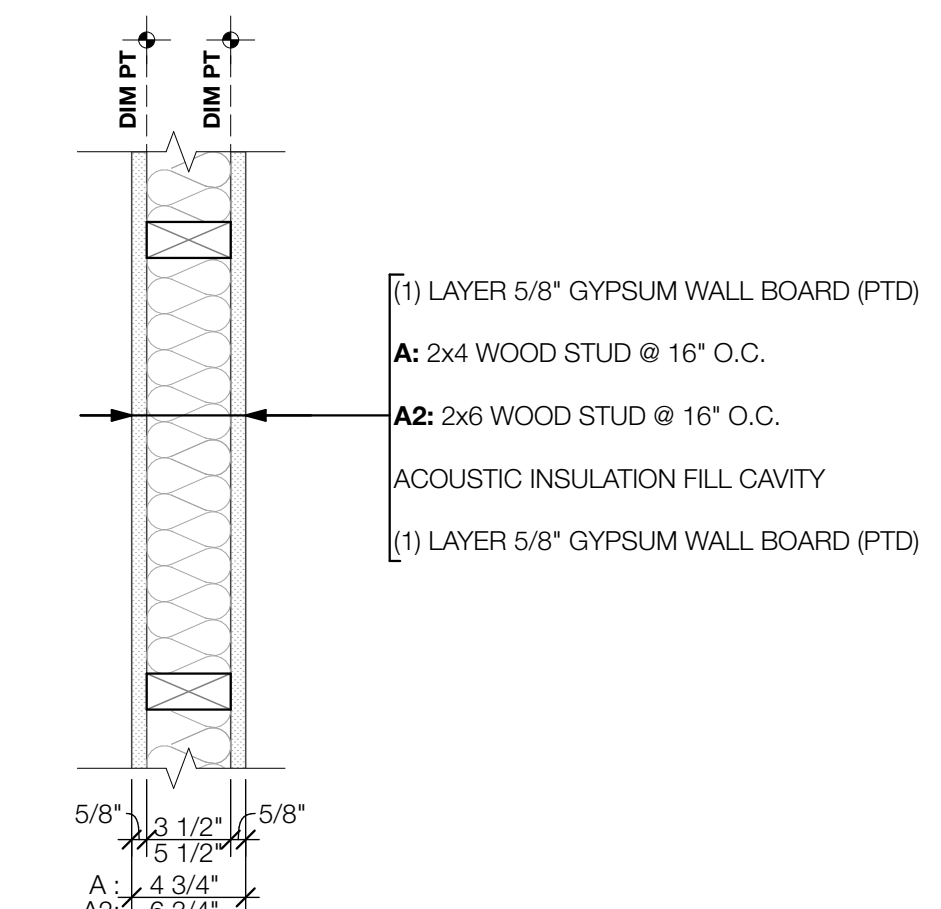
FURRING WALL (TURNED STUD) E



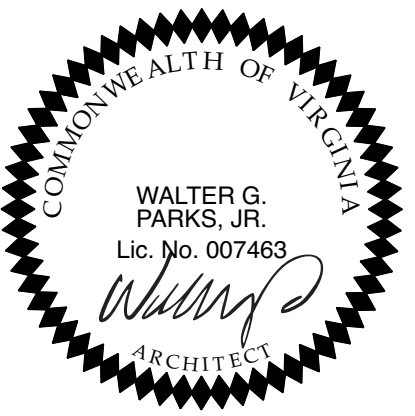
FURRING WALL B



TURNED STUD WALL A4



TYPICAL UNIT WALL A



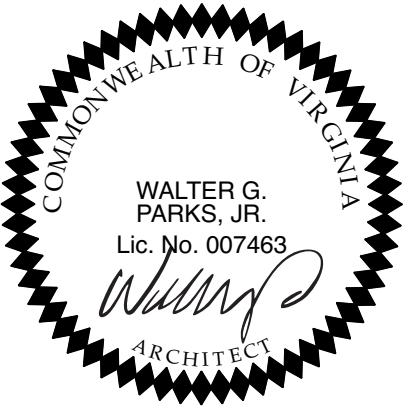
**931-933 W Grace St**  
RICHMOND VA 23220 USA

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313 N. ADAMS STREET  
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**931-933 W Grace St**  
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**FENESTRATION LEGEND**

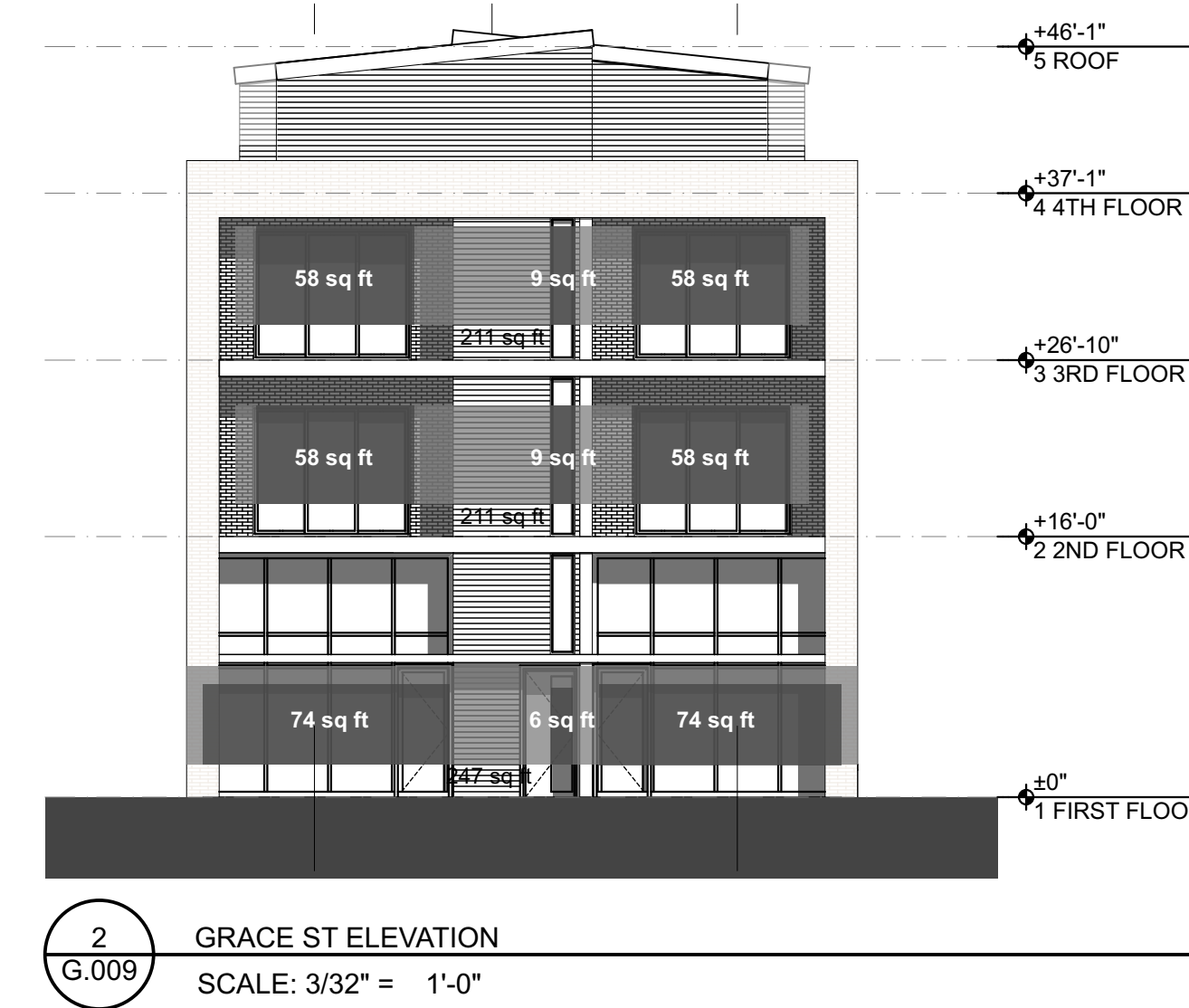
- OVERALL AREA BETWEEN 2'-8" RANGE
- WINDOW & DOORS WITHIN 2'-8" RANGE

**CALCULATION SCHEDULE**

LEVEL 1 (STREET) - 60% REQUIRED	
GLAZING	74
GLAZING	6
GLAZING	74
TOTAL OPENING AREA	154
TOTAL AREA WITHIN 2' TO 8" RANGE	247
154 SF/247 SF (PERCENTAGE)	62%

LEVELS 2 - 3 — 30% REQUIRED	
GLAZING	58
GLAZING	9
GLAZING	58
TOTAL OPENING AREA	125
TOTAL AREA WITHIN 2' TO 8" RANGE	211
125 SF/211 SF (PERCENTAGE)	59%



**2**  
 G.009 GRACE ST ELEVATION  
 SCALE: 3/32" = 1'-0"



**1**  
 G.009 1:4 INCLINED PLANE  
 SCALE: 3/32" = 1'-0"

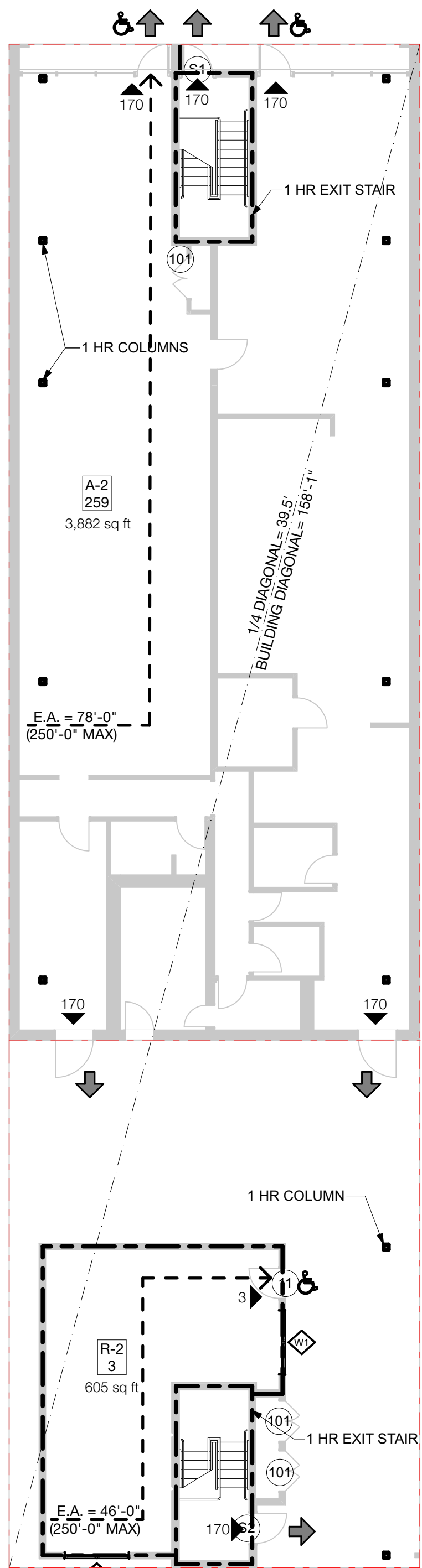
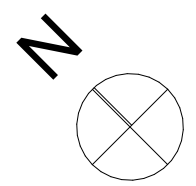
REVISIONS	
TAG	DATE

**walter PARKS**  
 ARCHITECT

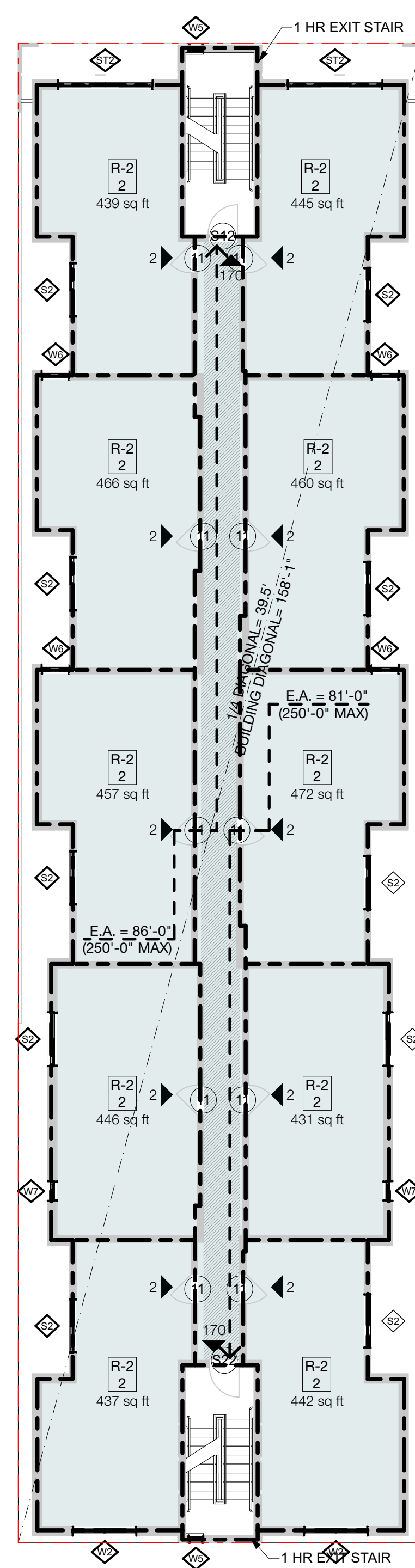
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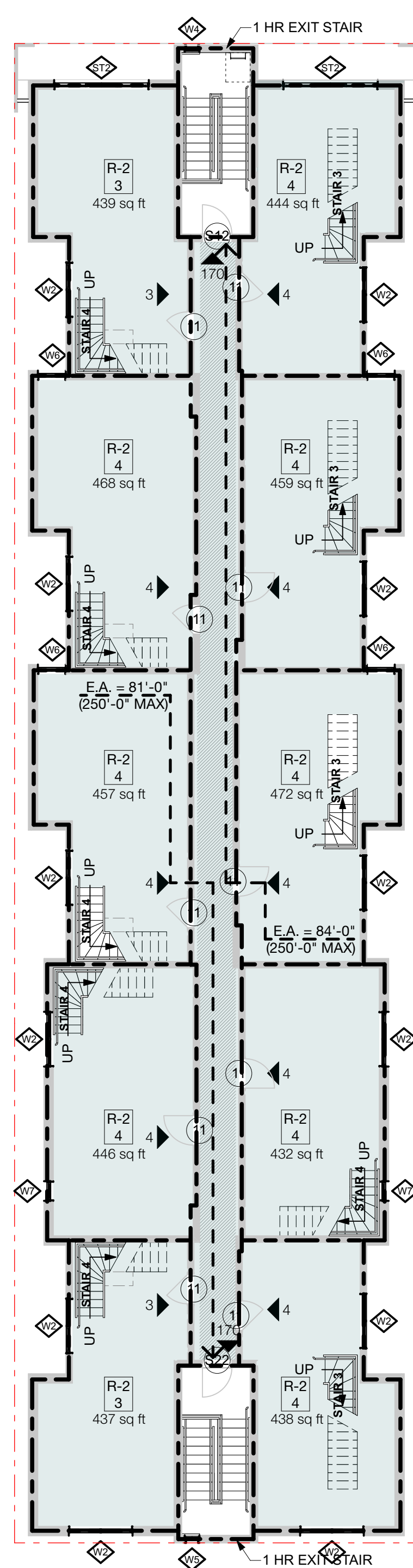
1:4 INCLINED PLANE  
 AND FENESTRATION  
 CALCULATIONS  
**G.009**



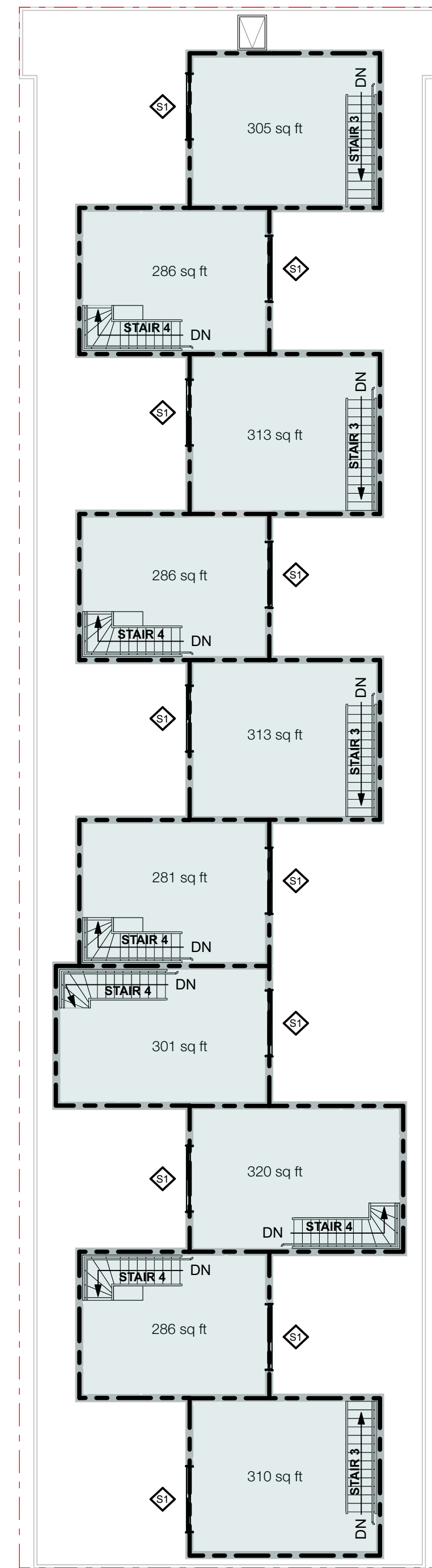
1 FIRST FLOOR  
A.101 SCALE: 3/32" = 1'-0"



2 2ND FLOOR  
A.101 SCALE: 3/32" = 1'-0"



3 3RD FLOOR  
A.101 SCALE: 3/32" = 1'-0"



4 4TH FLOOR  
A.101 SCALE: 3/32" = 1'-0"

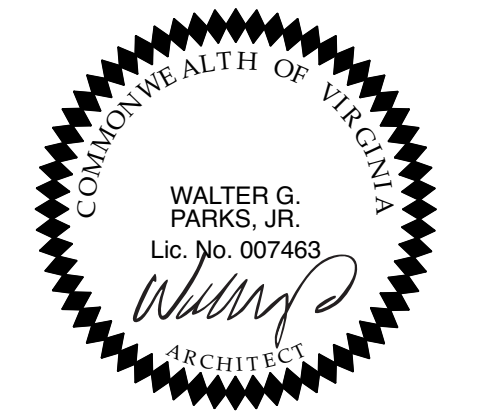
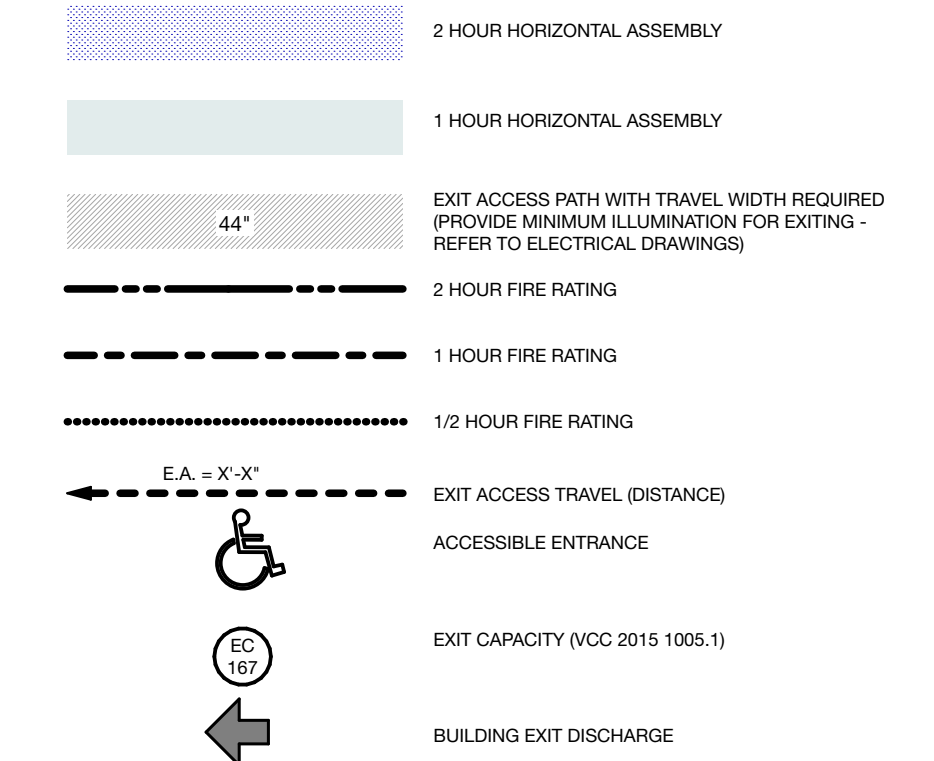
CODE INFORMATION

APPLICABLE CODES	2015 VIRGINIA CONSTRUCTION CODE (VCC) 2015 VIRGINIA MECHANICAL CODE (VMC) 2014 NATIONAL ELECTRIC CODE (NFPA-70) 2015 VIRGINIA PLUMBING CODE 2015 VIRGINIA ENERGY CONSERVATION CODE (VECC) 2009 INTERNATIONAL CODE COUNCIL, ICC-ANSI A117.1 NATIONAL FIRE ALARM CODE (NFPA-72) STANDARD FOR THE INSTALLATION OF SPRINKLER SYSTEMS (NFPA-13) FAIR HOUSING ACT DESIGN MANUAL	
OTHER REQUIRED STANDARDS	ADDITION OF THREE NEW STORIES OF MULTI-FAMILY RESIDENTIAL SPACE ATOP AN EXISTING SINGLE-STORY COMMERCIAL BUILDING.	
NARRATIVE	B-4 CENTRAL BUSINESS DISTRICT	
ZONING	REF.	
USE GROUPS	RESIDENTIAL	COMMERCIAL
CONSTRUCTION TYPES	VA	VA
AUTOMATIC SPRINKLER SYSTEM	NFPA-13	
ALLOWABLE AREA PER FLOOR	VACC T. 506.2,	36,000
ALLOWABLE INCREASE FOR OPEN PERIMETER	NOT USED	NOT USED
TOTAL ALLOWABLE AREA PER FLOOR	36,000	34,500
ACTUAL AREAS:		
LEV 1 (COMMERCIAL)		3,882
LEV 2 (RESIDENTIAL)	926	
LEV 3	4,984	
LEV 4	3,016	
TOTAL ACTUAL AREAS:	13,910	3,882
ALLOWABLE BUILDING HEIGHT	VACC 504.3	70'
ALLOWABLE BUILDING STORIES	VACC 504.4	4
ACTUAL BUILDING HEIGHT		31'-10"
ACTUAL BUILDING STORIES		4 STORIES
MAX. FLOOR AREA PER OCCUPANT	VACC T. 1004.1.2	200 GROSS
TOTAL OCCUPANT LOAD		70
DWELLING UNITS:		
TOTAL UNITS		21
ACCESSIBLE DWELLING UNITS (TYPE A)	VACC 1107.6.2.2.1	1 (NO ELEVATOR SERVICE)
REQUIRED FIRE RATINGS		
PRIMARY FRAME	T-601	1
EXTERIOR BEARING WALLS	T-601	1
INTERIOR BEARING WALLS	T-601	1
NONBEARING WALLS AND PARTITIONS INTERIOR	T-601	0
FLOOR CONSTRUCTION	T-601	1
ROOF CONSTRUCTION	T-601	1
SHAFTS		1
REQUIRED OCCUPANCY SEPARATIONS	VACC 508.4	
BETWEEN R-2 TENANTS	VACC 708.3	1
BETWEEN R-2 TENANTS AND CORRIDORS	VACC 1020.1	0.5
BETWEEN R-2 & A2 USE GROUPS	VACC 508.4	1
REQUIRED EXITS PER BUILDING	VACC T. 1006.3.1	2
TRAVEL DISTANCE REQUIRED	VACC T. 1017.2	250'
DEAD END CORRIDOR	VACC 1020.4	50'
PLUMBING FIXTURE CALCULATIONS		
CALCULATED PER OCCUPANCY	VACC T. 2902.1	
OCCUPANTS PER AREA		
WATER CLOSETS (REQUIRED)		1 PER DWELLING UNIT
WATER CLOSETS (PROVIDED)		MINIMUM 1 PER DWELLING UNIT
URINALS (PROVIDED)		N/A
LAVATORIES (REQUIRED)		1 PER DWELLING UNIT
LAVATORIES (PROVIDED)		MINIMUM 1 PER DWELLING UNIT
DRINKING FOUNTAIN (REQUIRED)		N/A
DRINKING FOUNTAIN (PROVIDED)		N/A
BATHTUBS/ SHOWERS		1 PER DWELLING UNIT
SERVICE SINK (REQUIRED)		N/A
SERVICE SINK (PROVIDED)		N/A

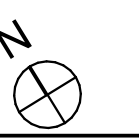
GENERAL NOTES - CODE

- A. PROVIDE A LISTED FIRESTOP CONTINUOUS AT PERIMETER GAPS OF ALL RATED CONSTRUCTION AS REQUIRED TO MAINTAIN THE SPECIFIED RATING.
- B. REFER TO OCCUPANCY LOAD SCHEDULE FOR OCCUPANCY TOTALS.

LEGEND



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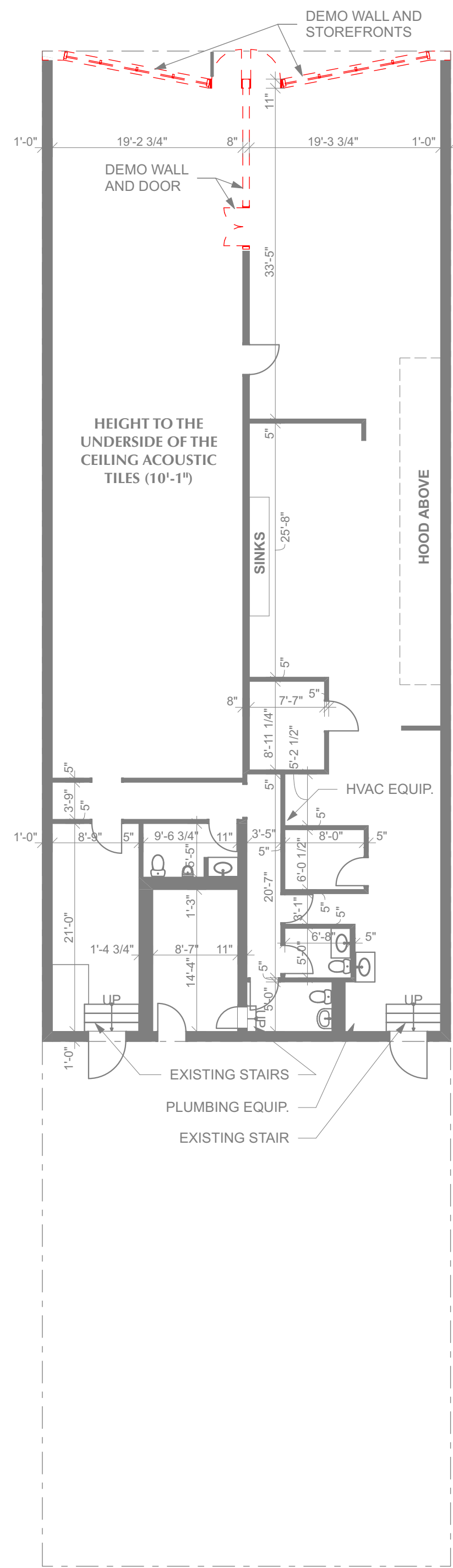
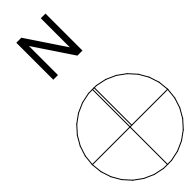
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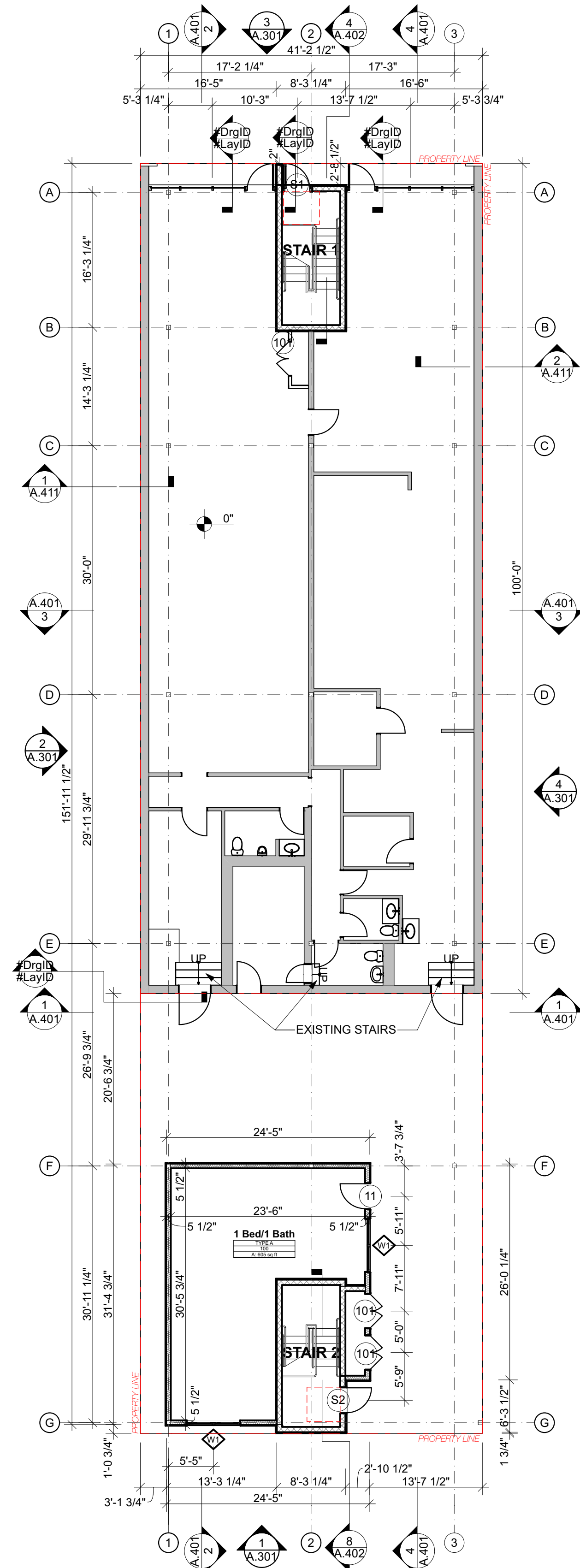
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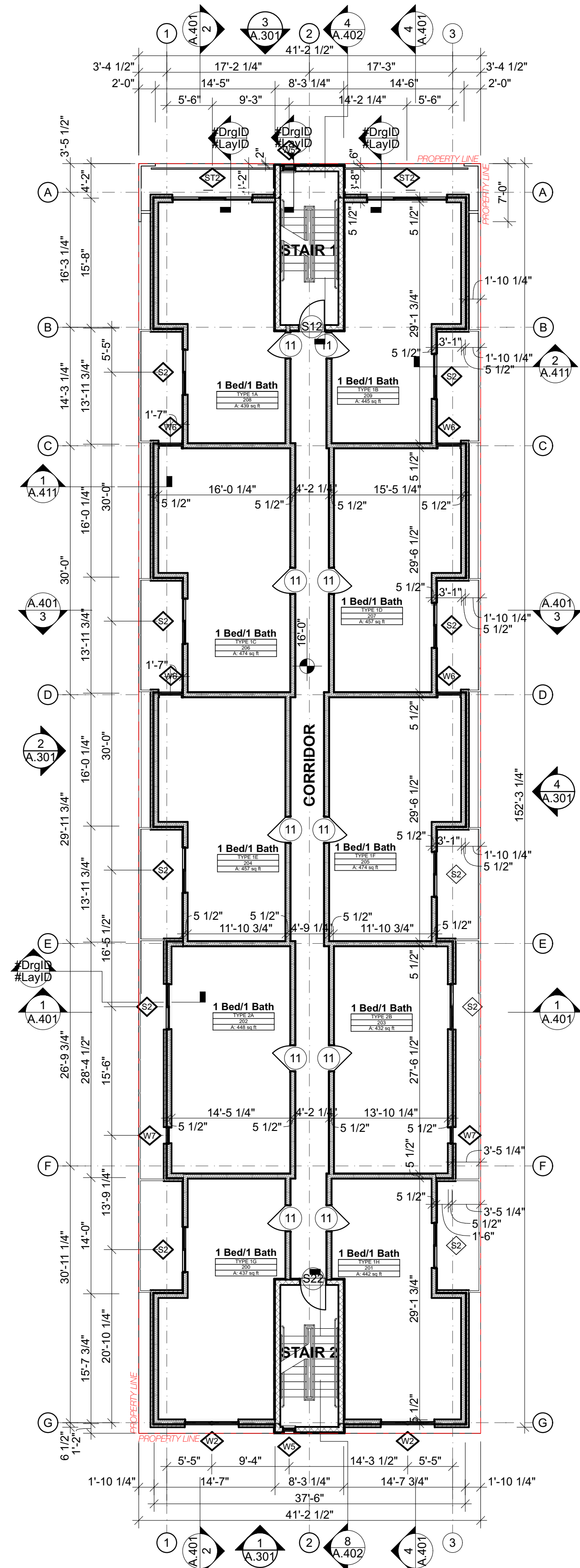
LIFE SAFETY PLANS  
A.101



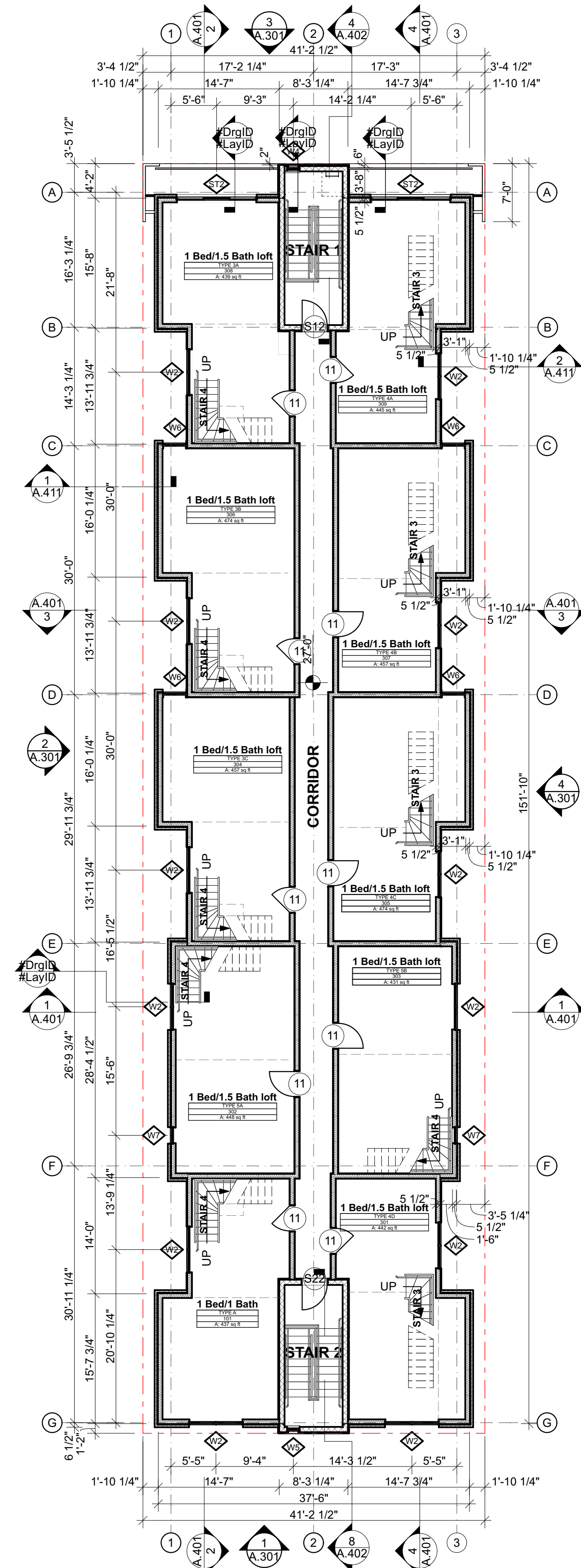
1 FIRST FLOOR AS-IS PLAN  
SCALE: 3/32" = 1'-0"



2 FIRST FLOOR PROPOSED PLAN  
SCALE: 3/32" = 1'-0"



3 SECOND FLOOR PLAN  
SCALE: 3/32" = 1'-0"

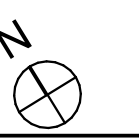


4 THIRD FLOOR PLAN  
SCALE: 3/32" = 1'-0"



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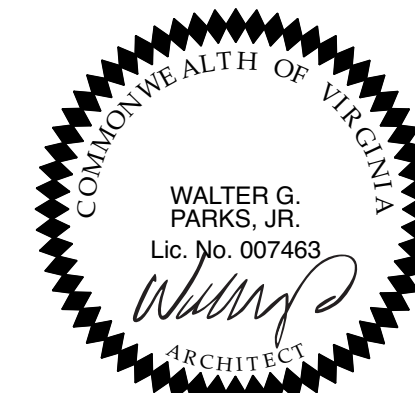
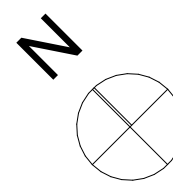
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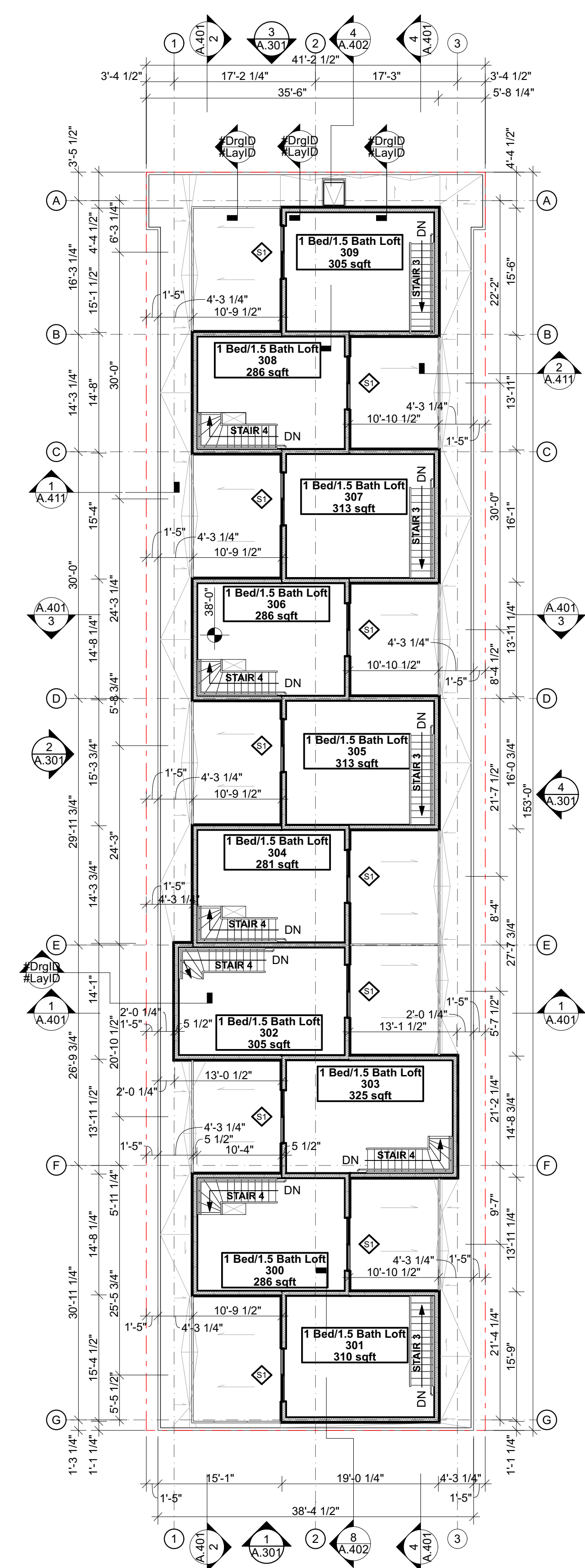
PROJECT #: 20.30  
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FIRST - 3RD FLOOR  
PLANS  
**A.201**

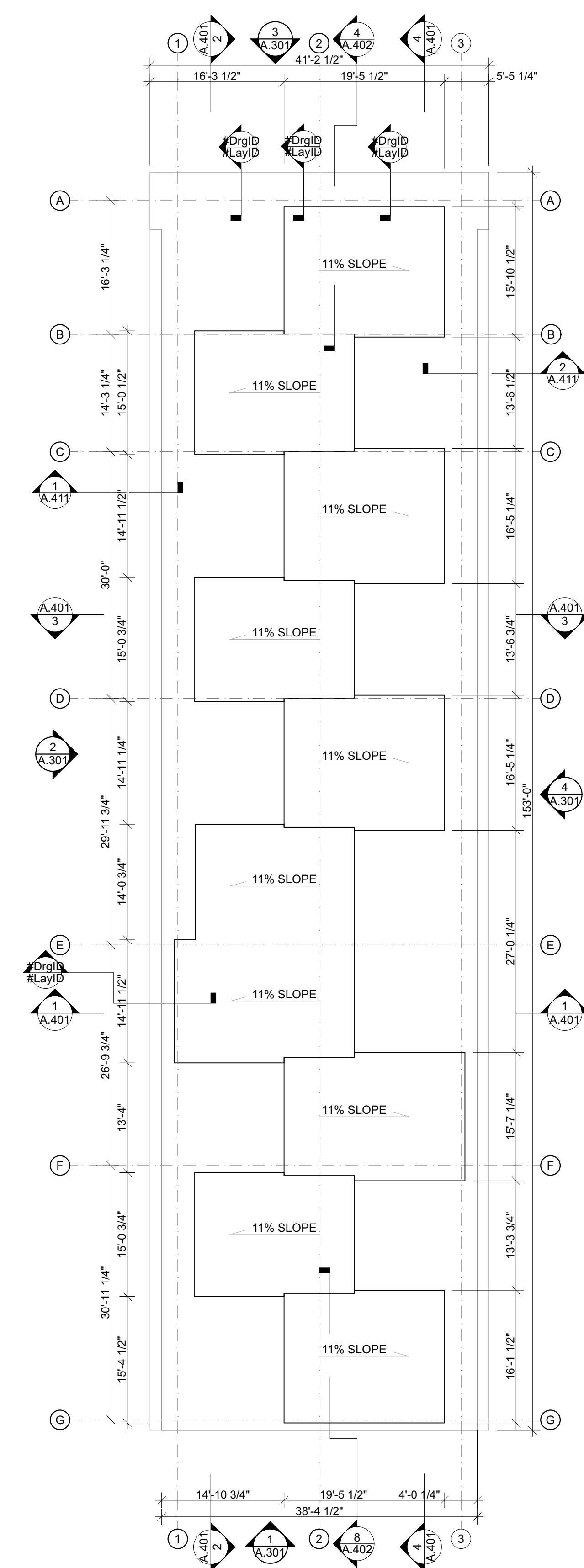


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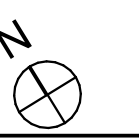
**1** 4TH FLOOR  
**A.202** SCALE: 3/32" = 1'-0"



**2** ROOF PLAN  
**A.202** SCALE: 3/32" = 1'-0"

finish schedule

Mark	Description	Manufacturer	Product Name/No.	Color/Finish	Location	Notes
CPT1	24" X 24" CARPET TILE	SHAW CONTRACT	ARRANGE TILE 5T294	GLASSY GREEN 94335	CORRIDORS	INSTALLATION METHOD: BRICK
CT1	12" X 24" PORCELAIN FLOOR TILE	ROCA TILE	AVILA	ANTRACITA UFV101-1224	UNIT BATH	EVEN FLOORS
CT2	12" X 24" PORCELAIN FLOOR TILE	ROCA TILE	SILK	GRAY USK102-1224	UNIT BATH	ODD FLOORS
CT3	4" X 16" CERAMIC WALL TILE	ROCA TILE	COLOR COLLECTION	TENDER GRAY BRIGHT U761	UNIT KITCHEN	EVEN & ODD FLOORS, RUNNING BOND
GR1	1/8" GROUT	MAPEI	TBD	47 CHARCOAL	UNIT BATH	COORDINATE W/ CT1
GR2	1/8" GROUT	MAPEI	TBD	107 IRON	UNIT BATH	COORDINATE W/ CT2
GR3	1/8" GROUT	MAPEI	TBD	77 FROST	UNIT KITCHEN	COORDINATE W/ CT3
GT1	2CM GRANITE	(OZ ENTERPRISES)	ARABESCO	POLISHED	UNIT KITCHEN & BATH	EVEN FLOORS, POLISH EXPOSED EDGES
GT2	2CM GRANITE	(OZ ENTERPRISES)	ARABESCO	POLISHED	UNIT KITCHEN & BATH	ODD FLOORS, POLISH EXPOSED EDGES
LVT1	6" X 48" LVT (12 MIL)	SHAW CONTRACT	TERRAIN II 12MIL, 0453V	ORCHARD 05013	UNIT	EVEN FLOORS
LVT2	6" X 48" LVT (12 MIL)	SHAW CONTRACT	TERRAIN II 12MIL, 0453V	ROOT 00568	UNIT	ODD FLOORS
LVT3	6" X 48" X 5mm LVT (20 MIL)	SHAW CONTRACT	SOLITUDE 0648V	SMOKE 48506	CORRIDOR, STAIR LANDINGS	CORRIDORS
PT1	OVERALL GYP BD CLG PAINT	SHERWIN WILLIAMS	SW7008, ALABASTER	FLAT	UNIT	
PT2	OVERALL UNIT WALL PAINT	SHERWIN WILLIAMS	SW7008, ALABASTER	FLAT	UNIT	
PT3	UNIT TRIM & DOOR PAINT	SHERWIN WILLIAMS	SW7015, REPOSE GRAY	SEMI-GLOSS	UNIT	
PT4	BATH PAINT	SHERWIN WILLIAMS	SW7008, ALABASTER	SEMI-GLOSS	UNIT	
PT5	CORRIDOR WALL & LOBBY CLG PAINT	SHERWIN WILLIAMS	SW0068, COPEN BLUE	FLAT	CORRIDOR	
PT6	CORRIDOR CEILING PAINT	SHERWIN WILLIAMS	SW7008, ALABASTER	FLAT	CORRIDOR	
PT7	WAINSCOT PAINT	SCUFFMASTER	TO MATCH SW7624, SLATE TILE	FLAT	CORRIDOR	
PT8	ABOVE WAINSCOT PAINT	SHERWIN WILLIAMS	SW7008, ALABASTER	FLAT	CORRIDOR	
PT9	ACCENT PAINT @ UNIT ENTRY	SHERWIN WILLIAMS	SW7624, SLATE TILE	FLAT	CORRIDOR	
PT10	TRIM PAINT*	SHERWIN WILLIAMS	SW7069, IRON ORE	SEMI-GLOSS	CORRIDOR*	
PT11	STAIRWELL RAILING, CORRIDOR CHAIR RAIL, TRIM PAINT (BASE & DOOR)*	SHERWIN WILLIAMS	SW7624, SLATE TILE	SEMI-GLOSS	STAIR & CORRIDOR @ PT9 WALLS	*UNLESS OTHERWISE NOTED *ALL TRIM AT CORRIDOR PT9 WALLS PAINTED TO MATCH PROVIDE SAMPLES FOR ARCHITECT TO APPROVE
PT14	WOOD STAIN	FLOOD	PRO SERIES	CINDER	CORRIDOR	
PT15	WOOD STAIN	FLOOD	PRO SERIES	PEARL GRAY	CORRIDOR	
VCT1	12" VINYL COMPOSITION TILE	ARMSTRONG	STANDARD EXCELON IMPERIAL TEXTURE	51875 MID GRAYED BLUE	STORAGE & UTILITY CLOSETS	
VYL1	RESILIENT WALL BASE (VINYL)	JOHNSONITE	TRADITIONAL WALL BASE	71 STORM CLOUD	STORAGE & UTILITY CLOSETS	
VYL2	VINYL TREADS	JOHNSONITE	SAFE-T-RIB	29 MOON ROCK	STAIRS	
WD1	LAMINATE CABINETRY	LEEDO	ASCONA	WHITE	UNIT KITCHEN	EVEN FLOORS
WD2	LAMINATE CABINETRY	LEEDO	ASCONA	WHITE	UNIT KITCHEN	ODD FLOORS
WD3	LAMINATE CABINETRY	LEEDO	ASCONA	WHITE	UNIT BATHROOMS, WALL CABINETS @ KITCHENS	ALL FLOORS



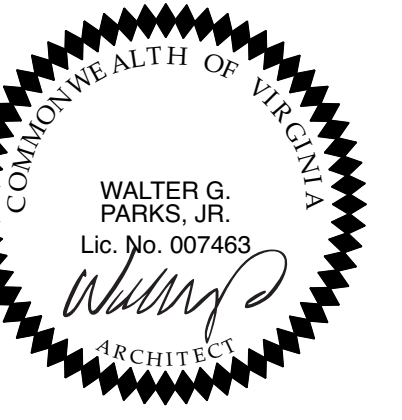
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**ARCHITECT**

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4TH FLOOR, ROOF  
 PLAN, & FINISH  
 SCHEDULE  
**A.202**



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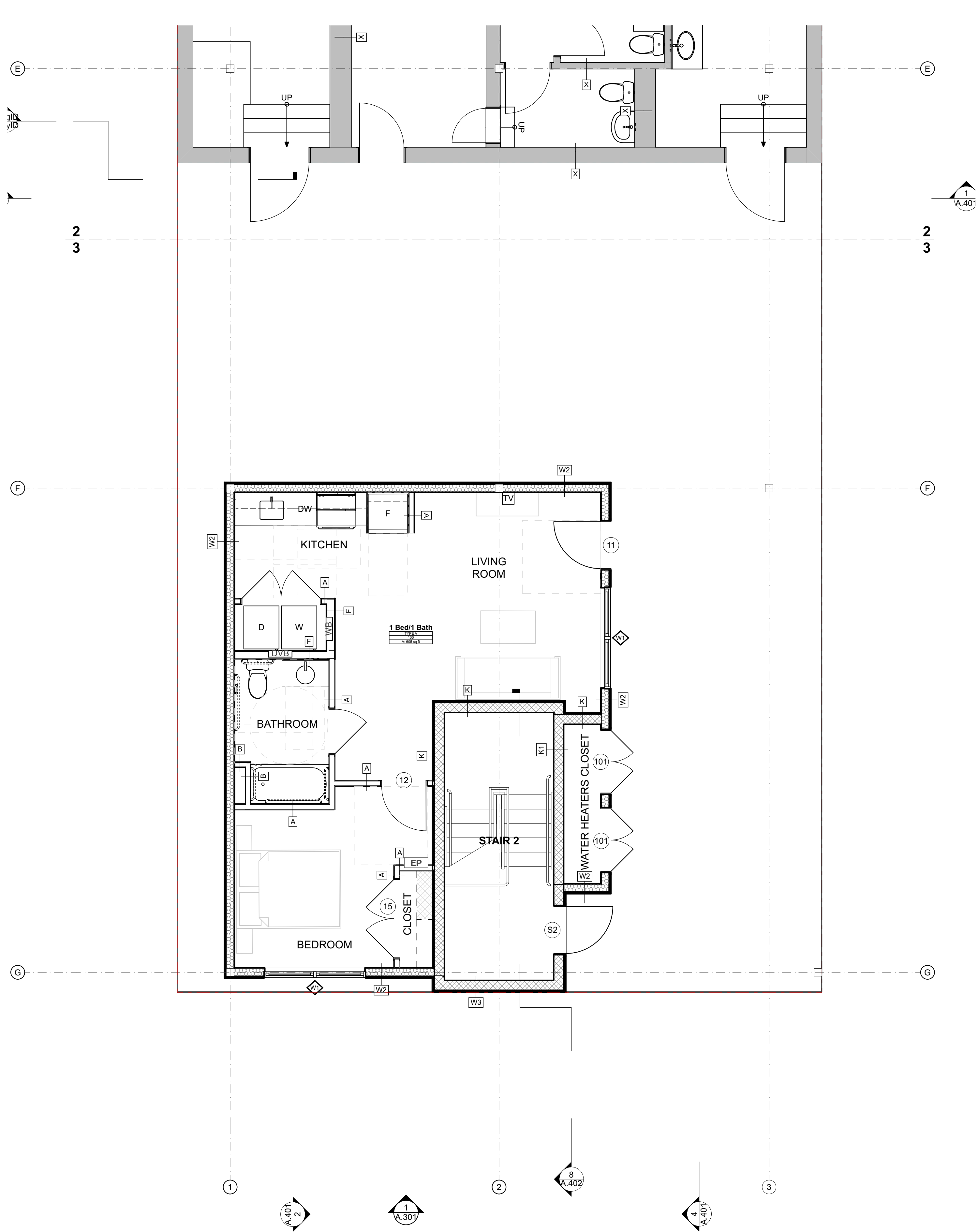
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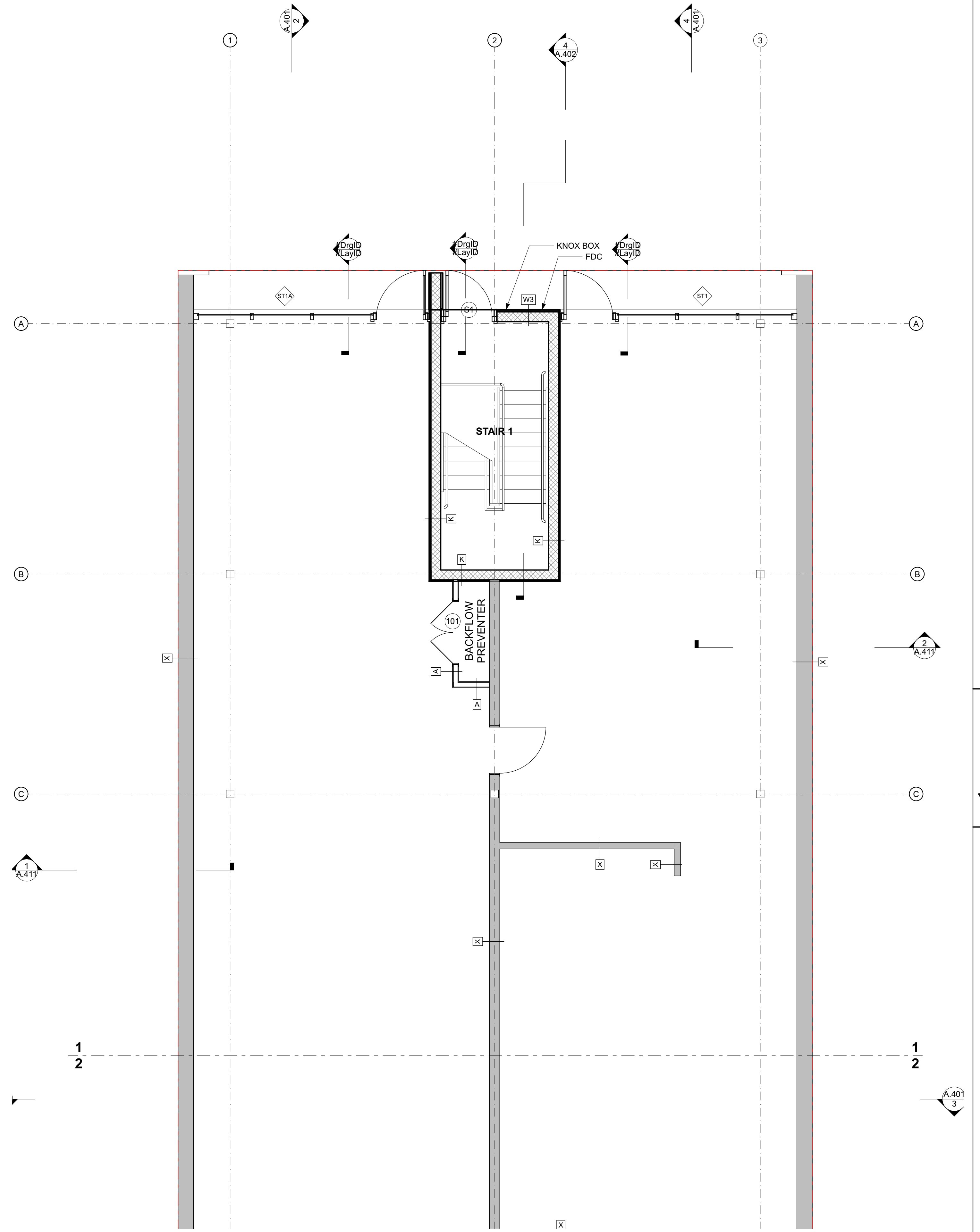
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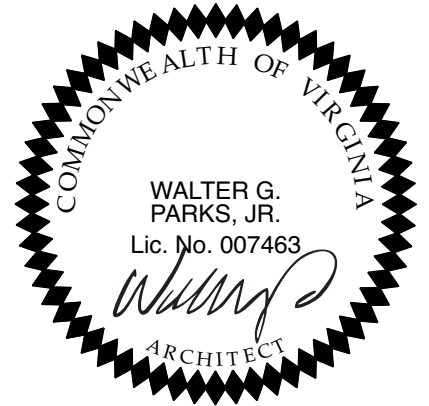
FIRST FLOOR UNIT  
PLAN  
**A.211.3**



1 1ST FLOOR  
A.211.3 SCALE: 1/4" = 1'-0"



2 1ST FLOOR  
A.211.3 SCALE: 1/4" = 1'-0"



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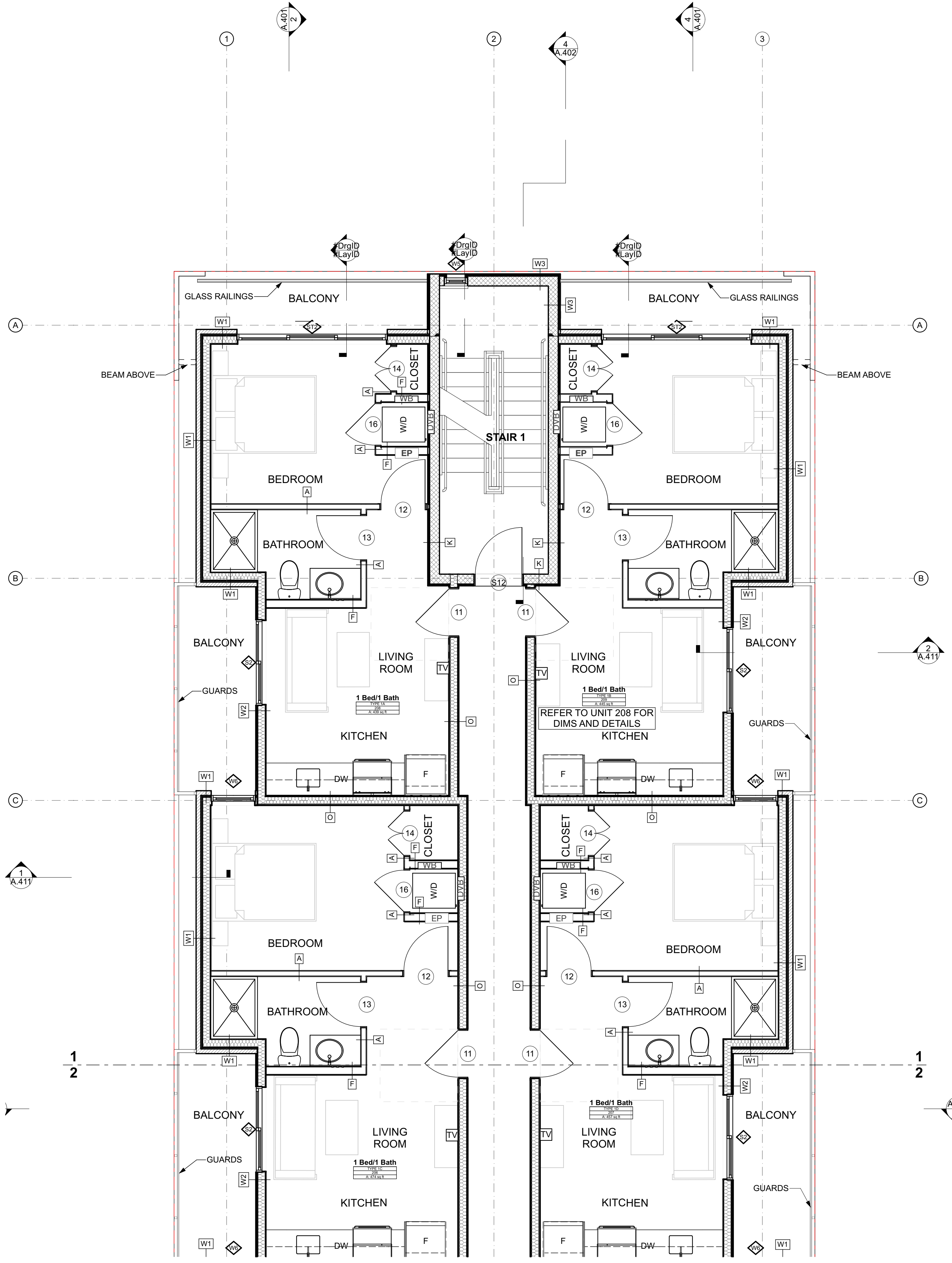
REVISIONS	TAG	DATE

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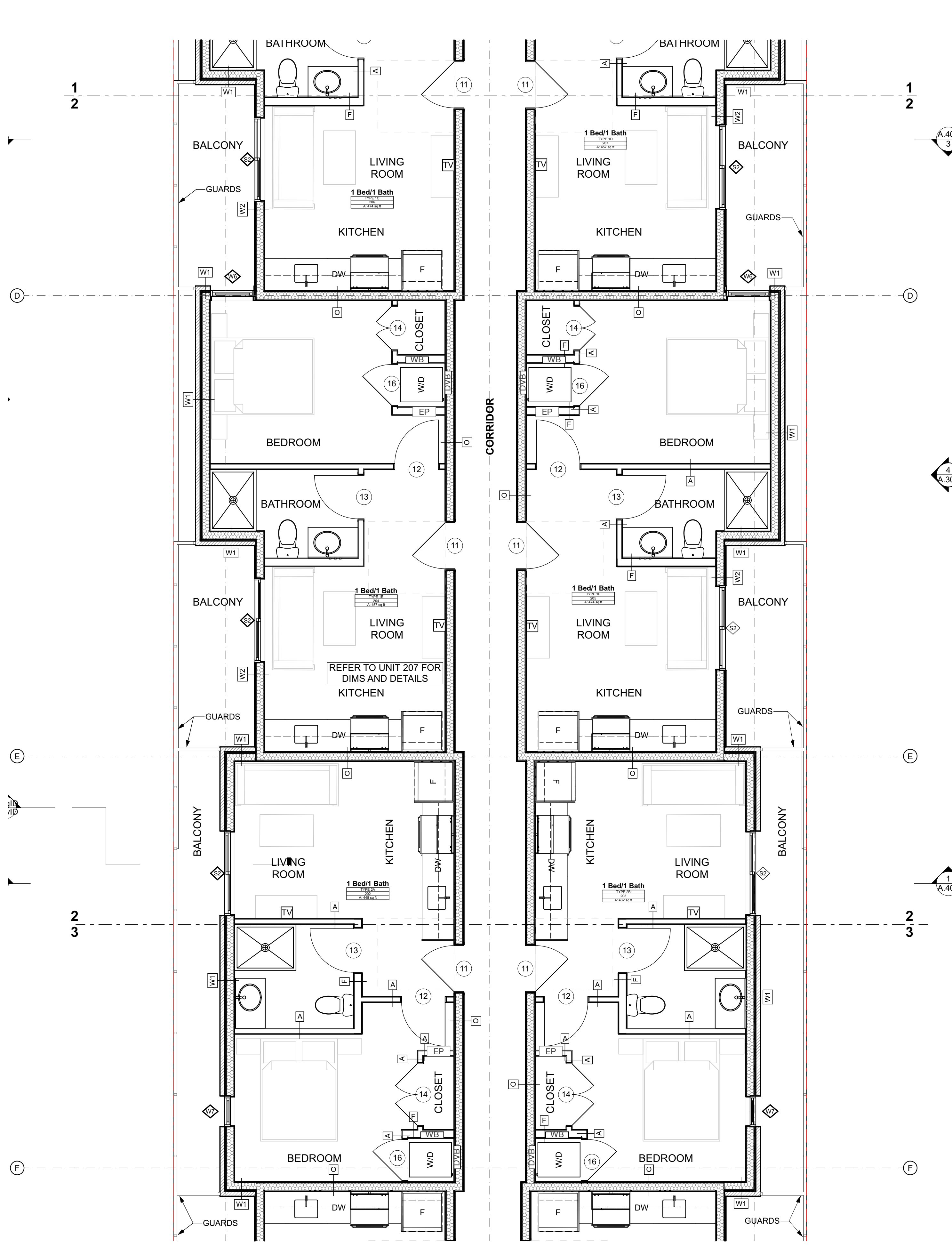
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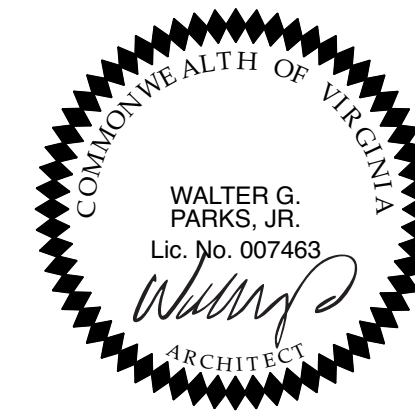
SECOND FLOOR UNIT  
PLAN  
**A.212.1.2**



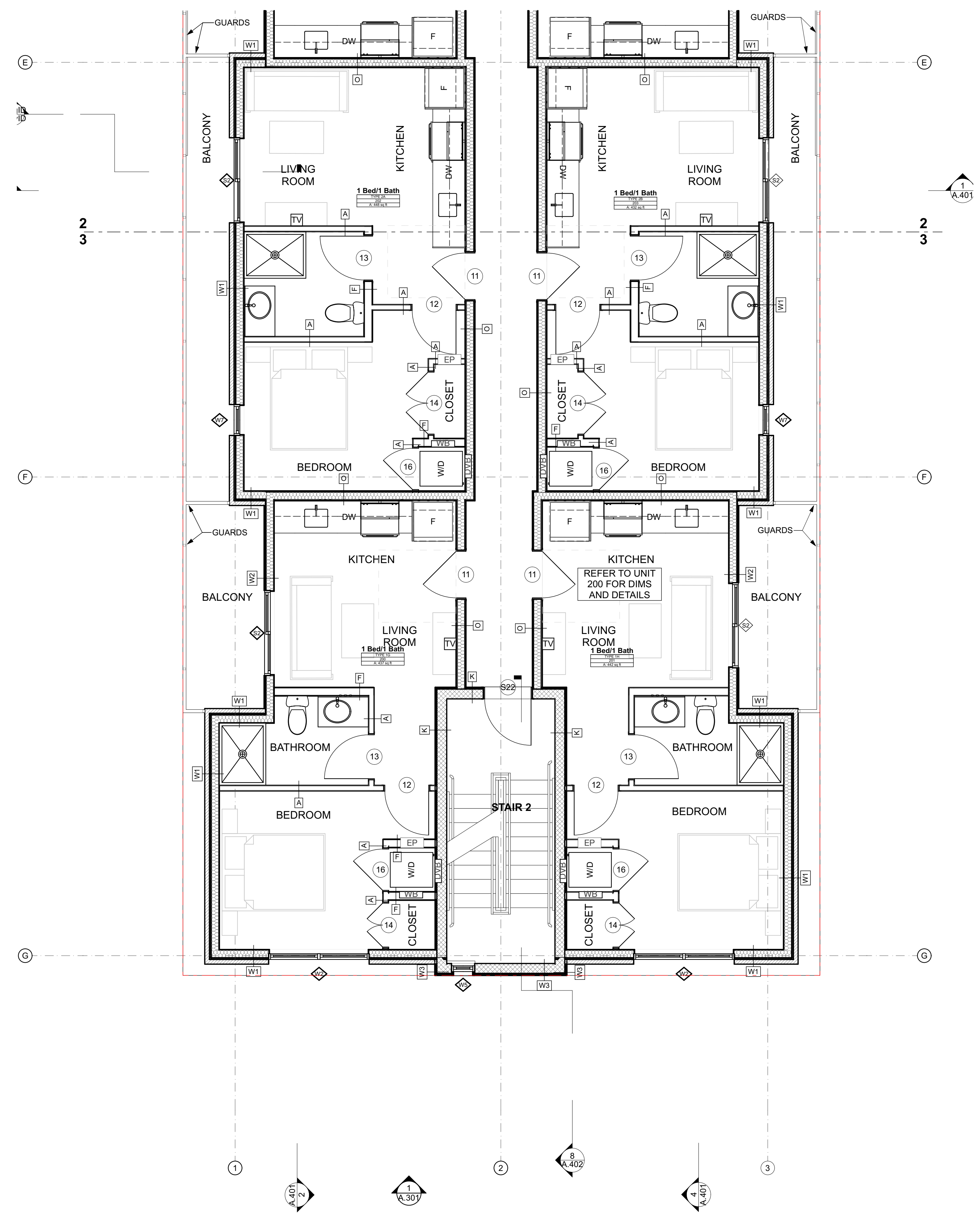
1 2ND FLOOR  
SCALE: 1/4" = 1'-0"



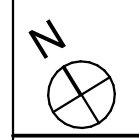
2 2ND FLOOR  
SCALE: 1/4" = 1'-0"



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 RICHMOND VA 23220 USA



1  
 A.212.3  
 2ND FLOOR  
 SCALE: 1/4" = 1'-0"



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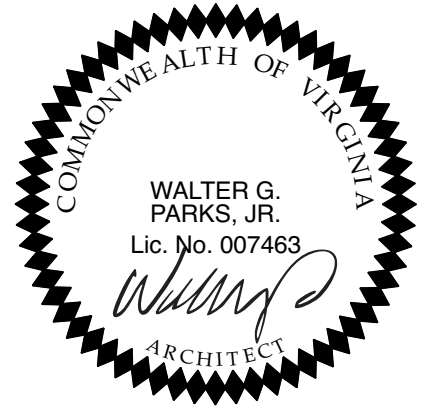
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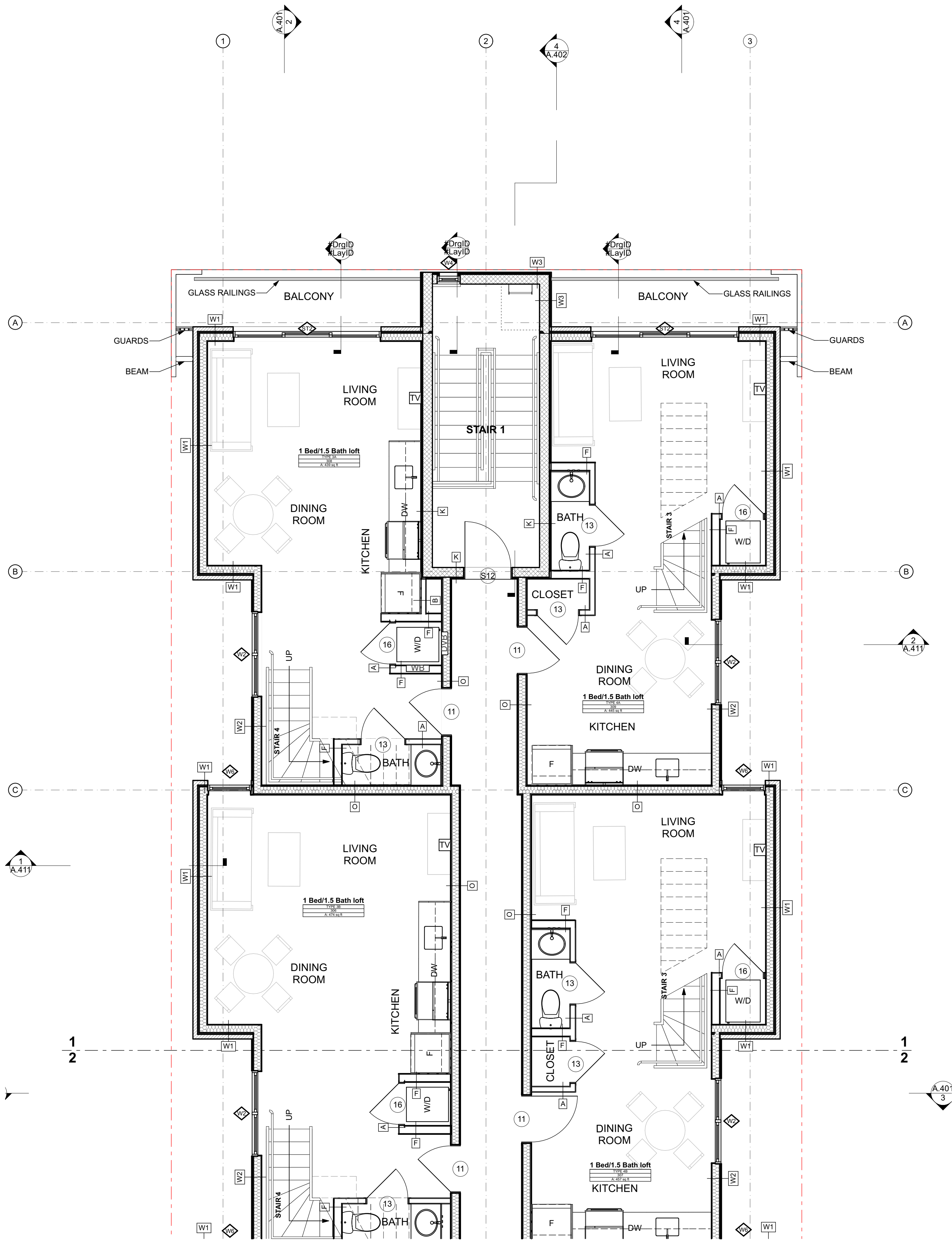
PROJECT #: 20.30  
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SECOND FLOOR UNIT  
 PLAN  
**A.212.3**

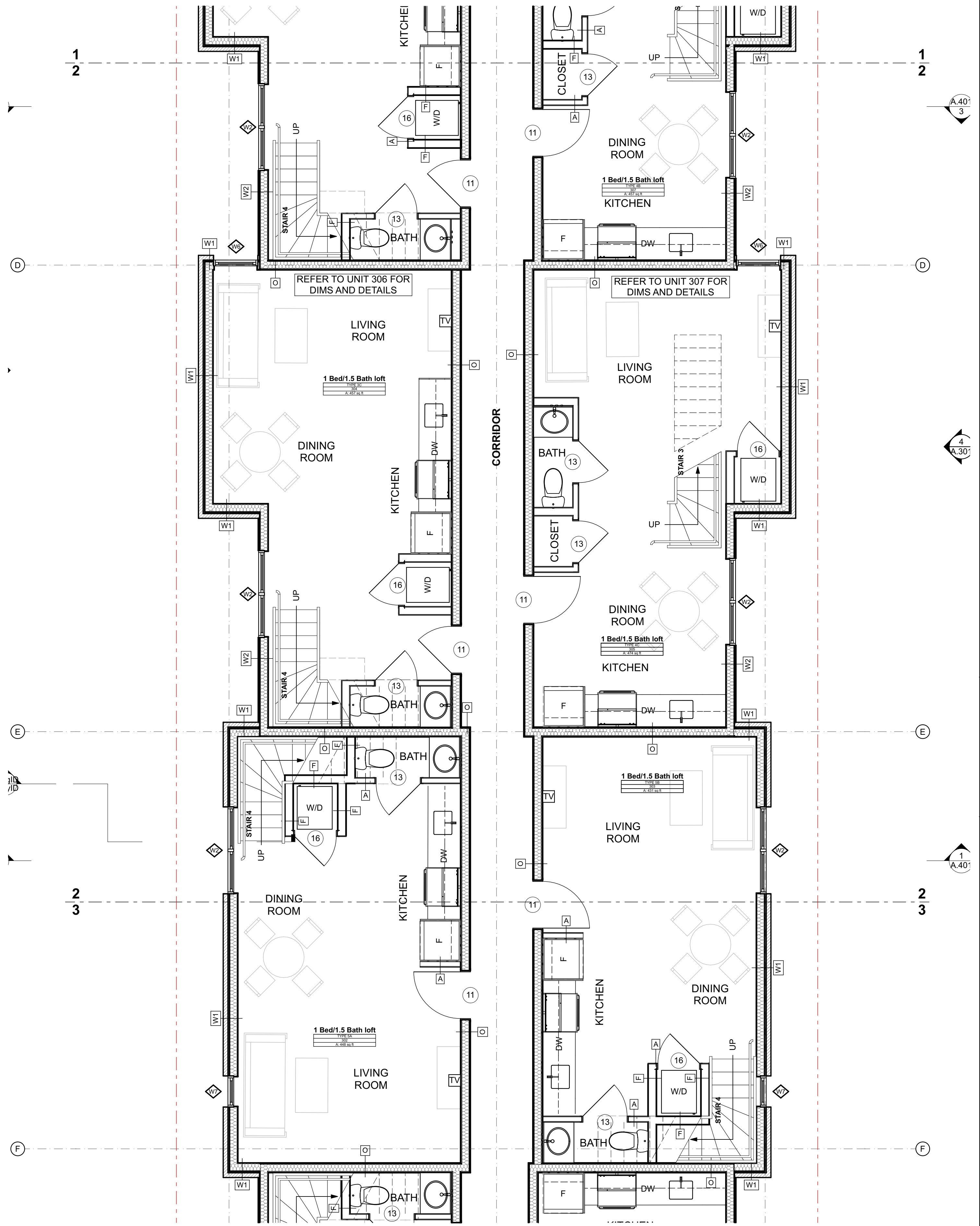




**931-933 W Grace St**  
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1 3RD FLOOR  
 A.213.1.2 SCALE: 1/4" = 1'-0"



2 3RD FLOOR  
 A.213.1.3 SCALE: 1/4" = 1'-0"



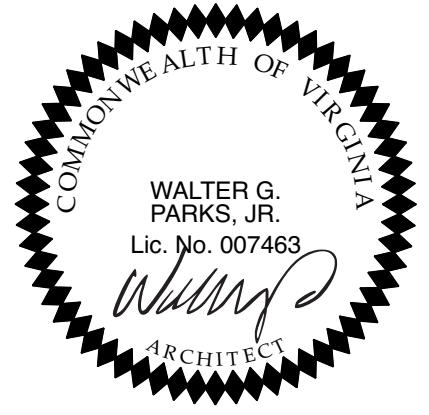
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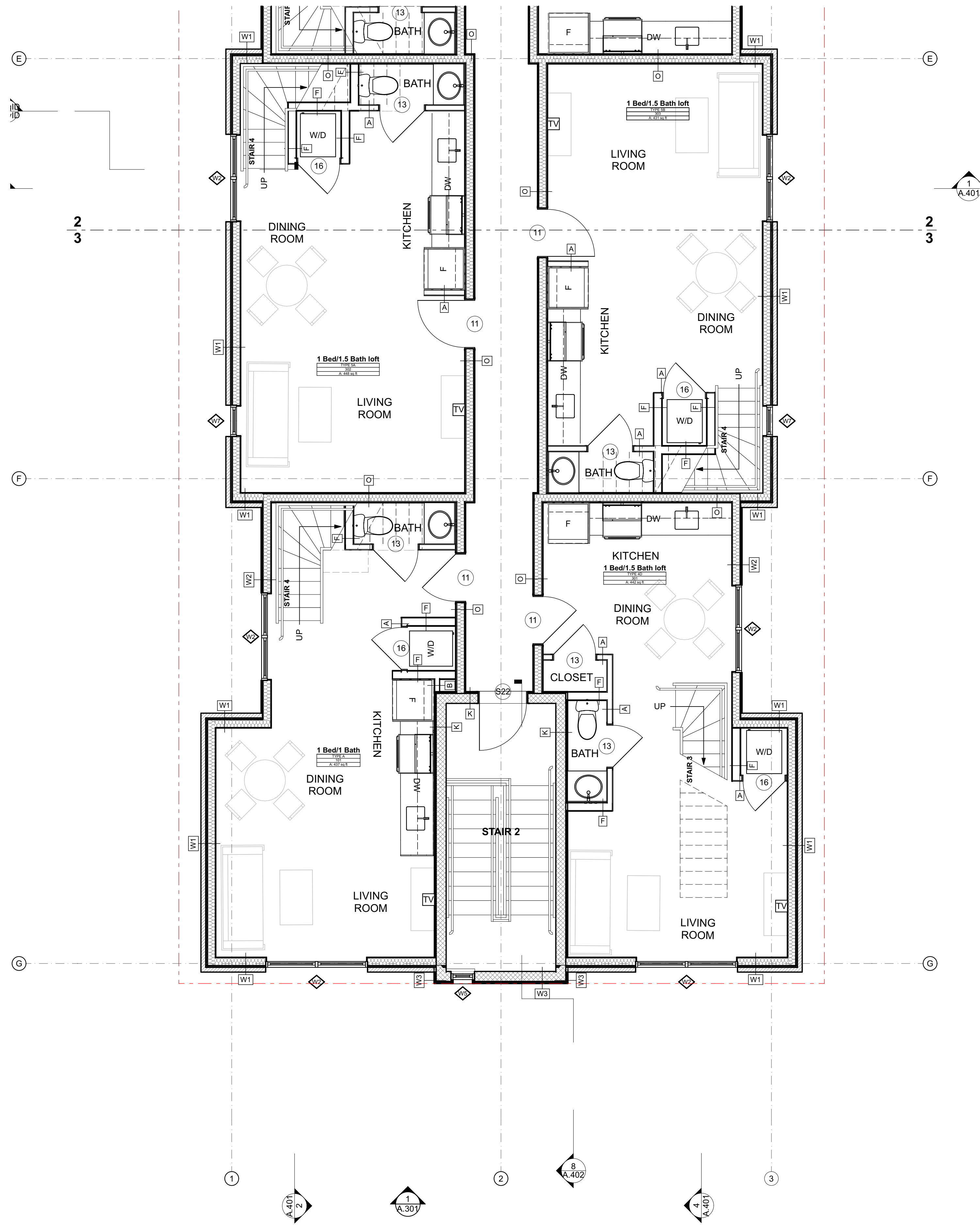
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THIRD FLOOR UNIT  
 PLAN  
**A.213.1.2**



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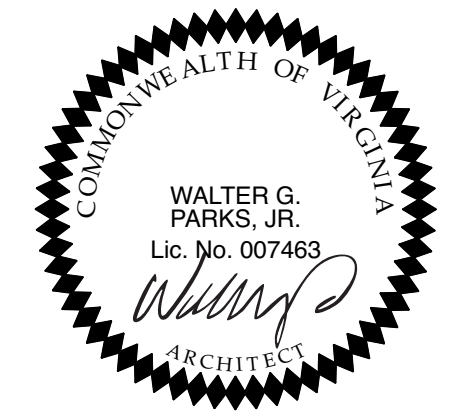
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THIRD FLOOR UNIT  
 PLAN  
**A.213.3**

1  
 A.213.3  
 3RD FLOOR  
 SCALE: 1/4" = 1'-0"



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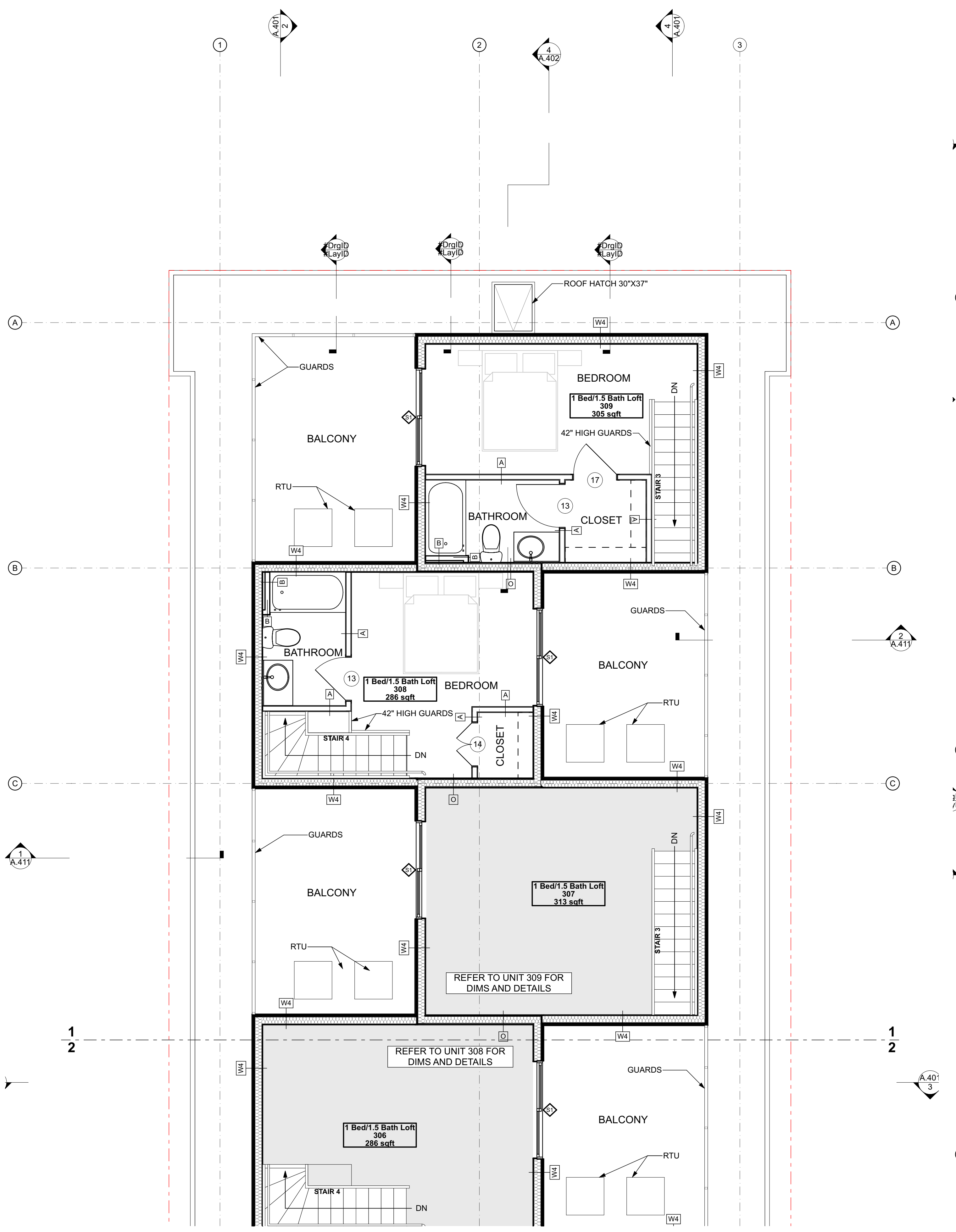
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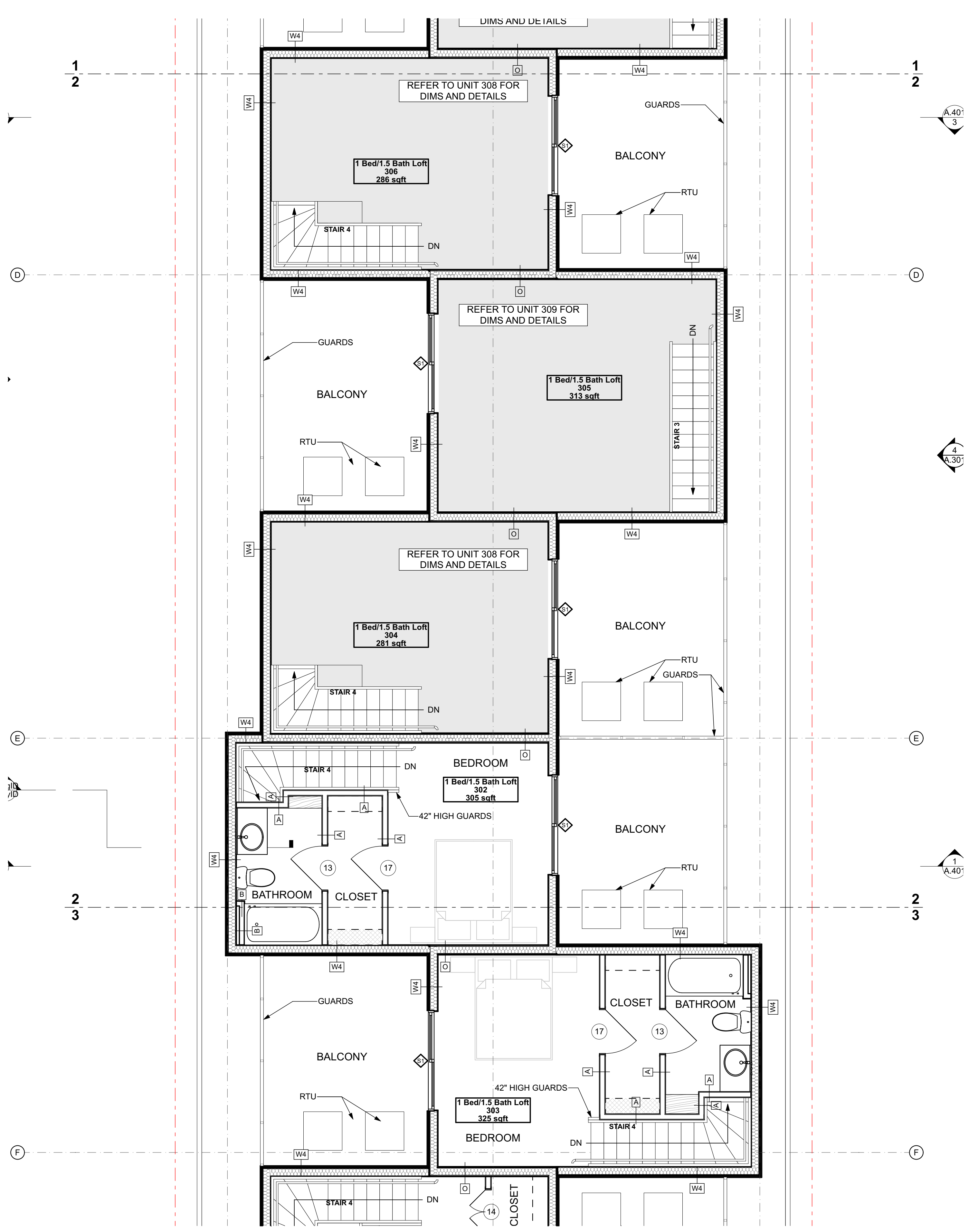
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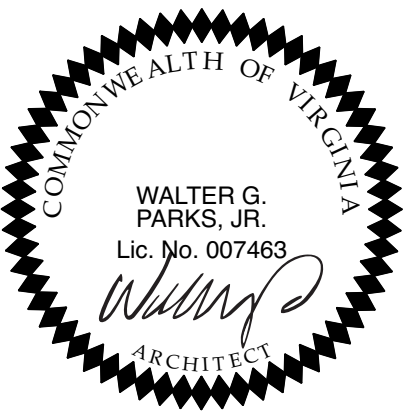
4TH LEVEL UNIT PLAN  
**A.214.1.2**



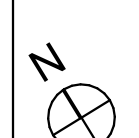
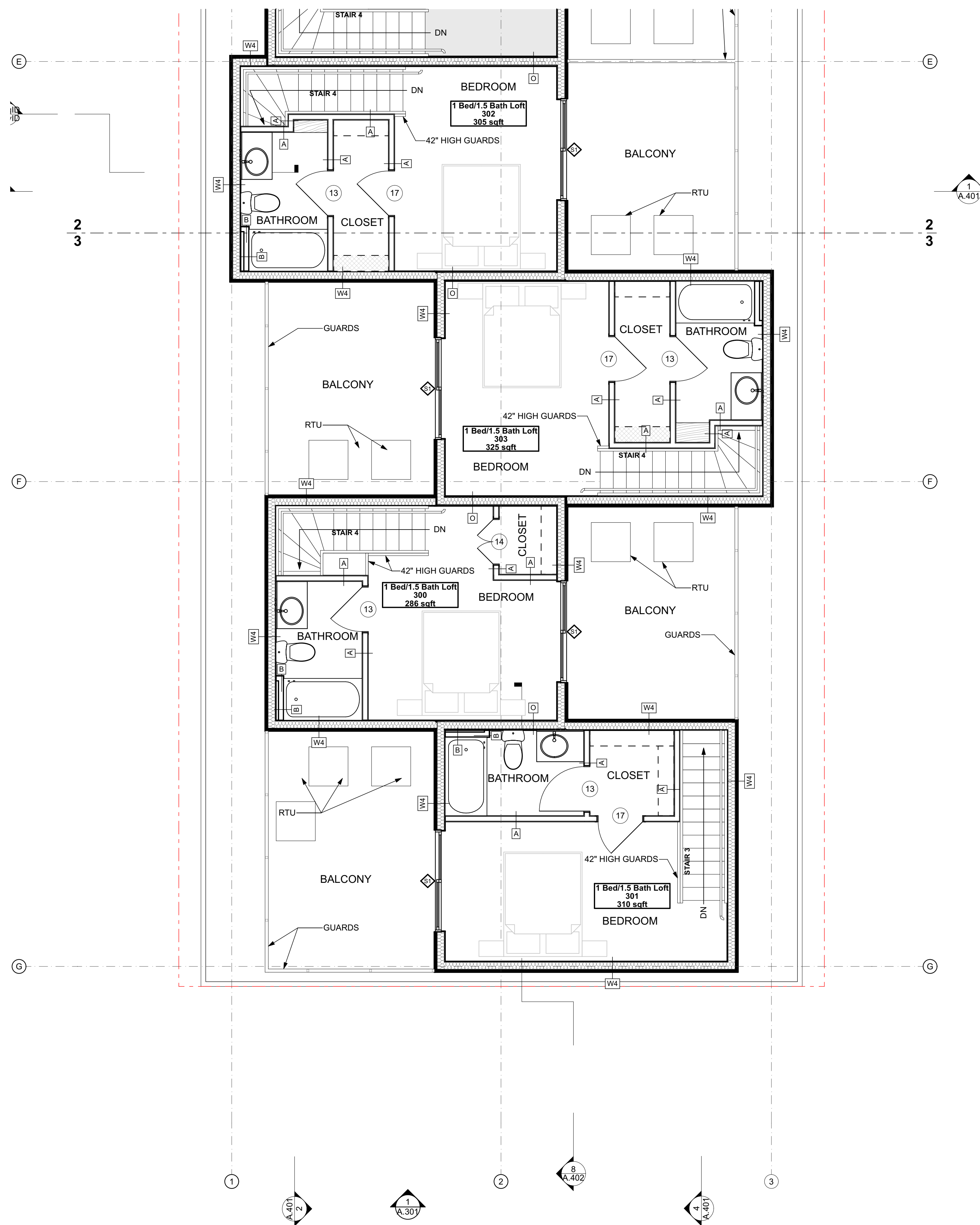
1 4TH FLOOR  
A.214.1.2 SCALE: 1/4" = 1'-0"



2 4TH FLOOR  
A.214.1.2 SCALE: 1/4" = 1'-0"



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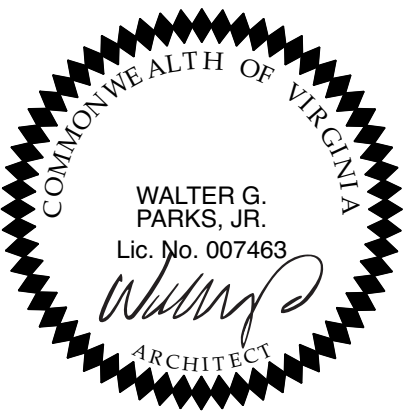
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1  
 A.214.3  
 4TH FLOOR  
 SCALE: 1/4" = 1'-0"

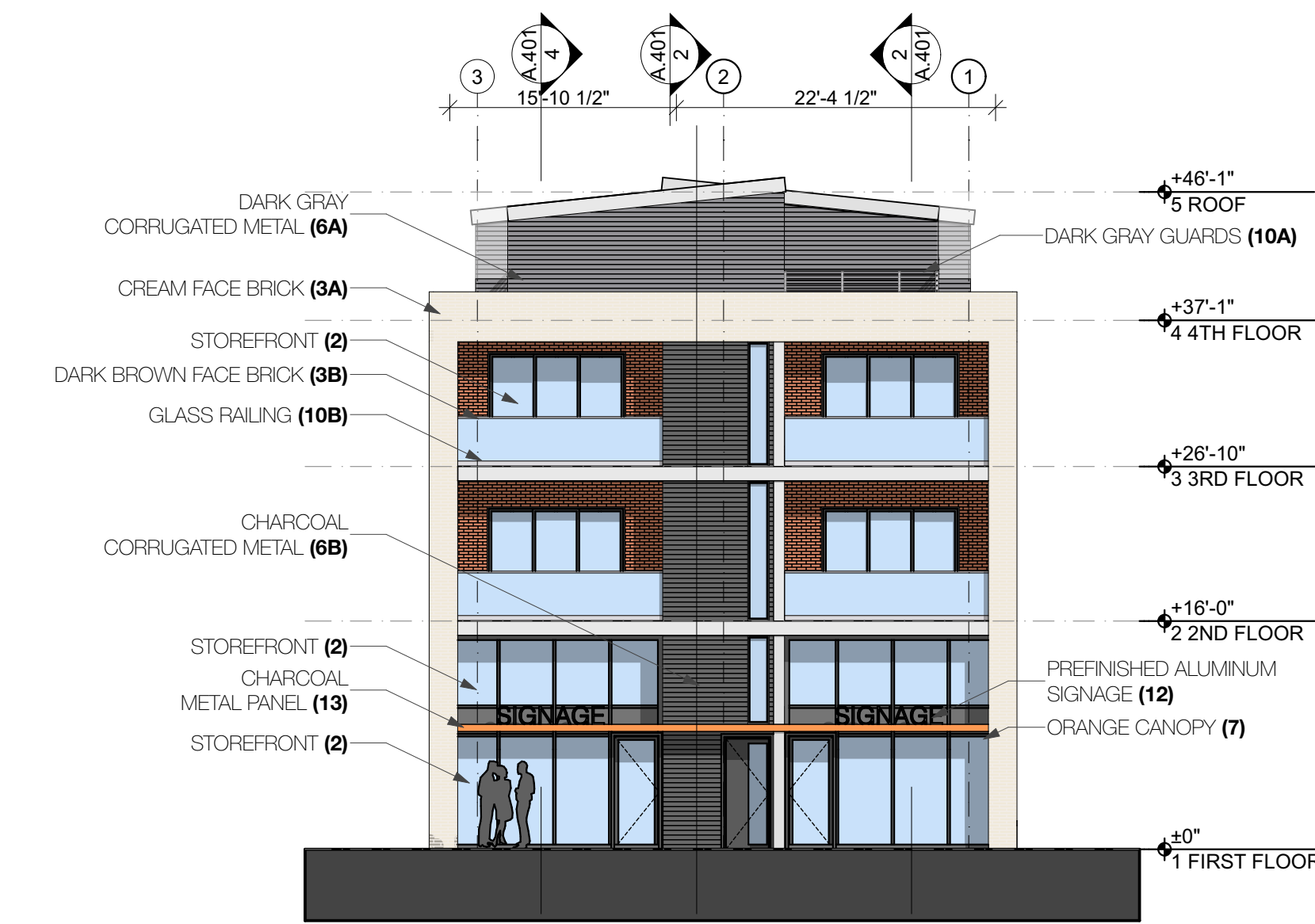
4TH LEVEL UNIT PLAN  
**A.214.3**



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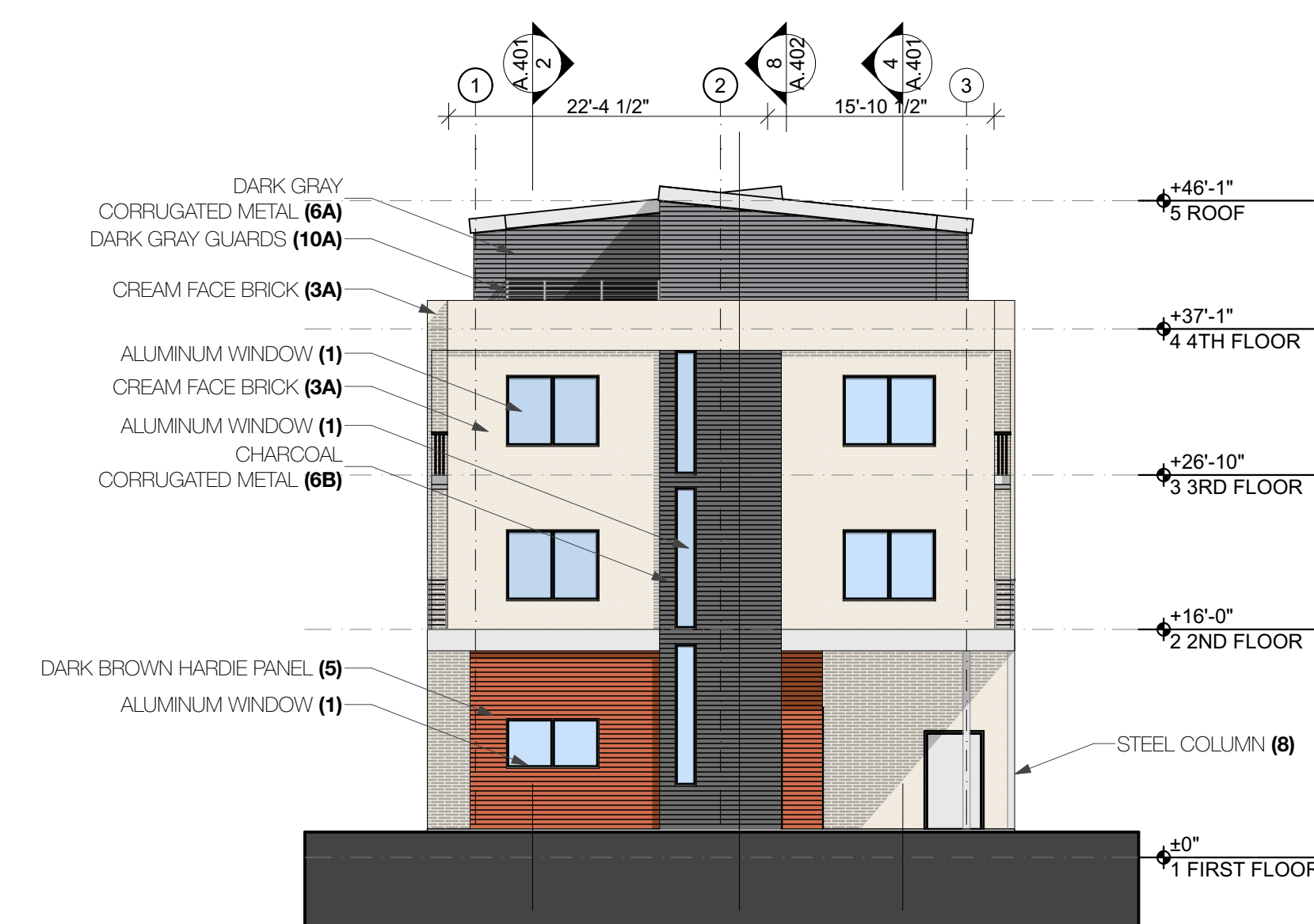
**4 NE COLOR ELEVATION**  
 SCALE: 3/32" = 1'-0"



**3 GRACE ST COLOR ELEVATION**  
 SCALE: 3/32" = 1'-0"



**2 NW COLOR ELEVATION**  
 SCALE: 3/32" = 1'-0"



**1 ALLEY COLOR ELEVATION**  
 SCALE: 3/32" = 1'-0"

**EXTERIOR FINISHES**

Mark	Description	Manufacturer	Product Name/No.	Color/Finish	Location	Notes
1	WINDOWS / DOORS	TBD	TBD	BLACK	OVERALL	CLEAR GLASS
2	STOREFRONT	KAWNEER	TBD	BLACK	OVERALL	CLEAR GLASS
3A	BRICK, ENGINEER SIZE	PALMETTO BRICK COMPANY	TBD	CREAM (WIRE CUT)	OVERALL	ENGINEER SIZE, SHADE & WISE
3B	BRICK, ENGINEER SIZE	PALMETTO BRICK COMPANY	TBD	DARK BROWN (WIRE CUT)	BUILDING FRONTAGE	ENGINEER SIZE, SHADE & WISE
4	MORTAR COLOR	FLAMINGO BRIXMENT	TBD	TBD	OVERALL	
5	FIBER CEMENT SYSTEM	TBD	TBD	DARK BROWN	RECESSED WALLS AT BALCONIES	
6A	CORRUGATED METAL	TBD	TBD	DARK GRAY	4TH LEVEL	
6B	CORRUGATED METAL	TBD	TBD	CHARCOAL	STAIR WAYS	
7	CANOPY	TBD	ALUMINUM	ORANGE	BUILDING FRONTAGE ENTRIES	
8	STEEL COLUMNS / BEAMS / CHANNELS PAINT	SHERWIN WILLIAMS	SW6990, CAVIAR	SEMI-GLOSS*	OVERALL	EXTERIOR PAINT, PREP & PRIME, POWDER COATED - 10 YEAR WARRANTY
9	COPING PAINT	SHERWIN WILLIAMS	SW6990, CAVIAR	SEMI-GLOSS*	OVERALL	MARINE GRADE - 30 YEAR WARRANTY
10A	STEEL GUARDRAIL / RAILINGS	SHERWIN WILLIAMS	SW6990, CAVIAR	SEMI-GLOSS*	BALCONIES	MARINE GRADE - 30 YEAR WARRANTY
10B	GLASS RAILINGS	TBD	TBD	BLACK	BALCONIES	CLEAR GLASS
11	PAVERS	TBD	TBD	GRAY	2ND FLOOR TERRACES & ROOF TERRACES	
12	PREFINISHED ALUMINUM SIGNAGE	TBD	1'-3" TALL REVERSED CHANNEL LETTERS	CLEAR ANODIZED	BUILDING FRONTAGE	BACK LIT
13	STEEL METAL PANEL	TBD	TBD	CHARCOAL	BUILDING ENTRIES STOREFRONTS	

\* ALL PAINT FINISHES TO BE POWDER COATED.

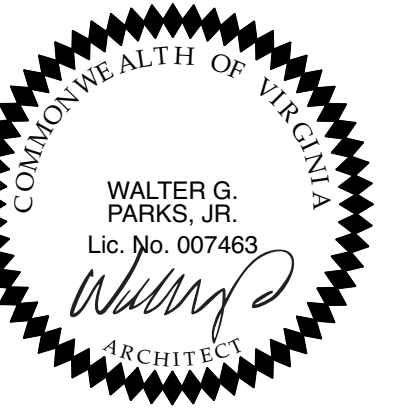
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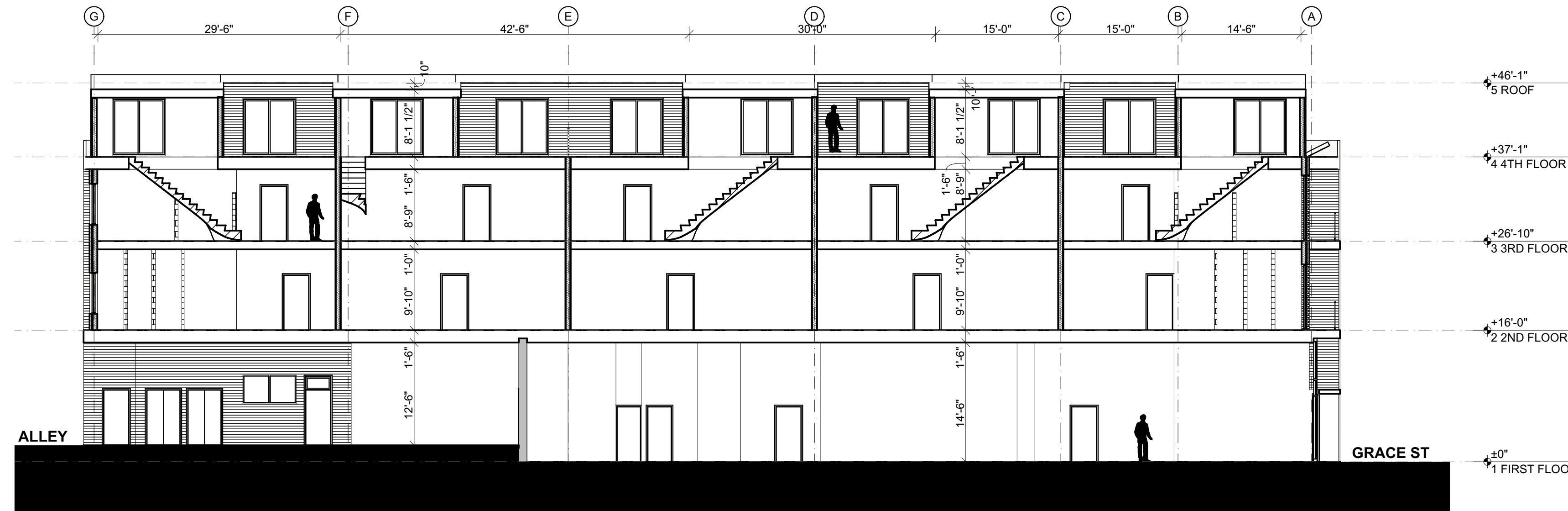
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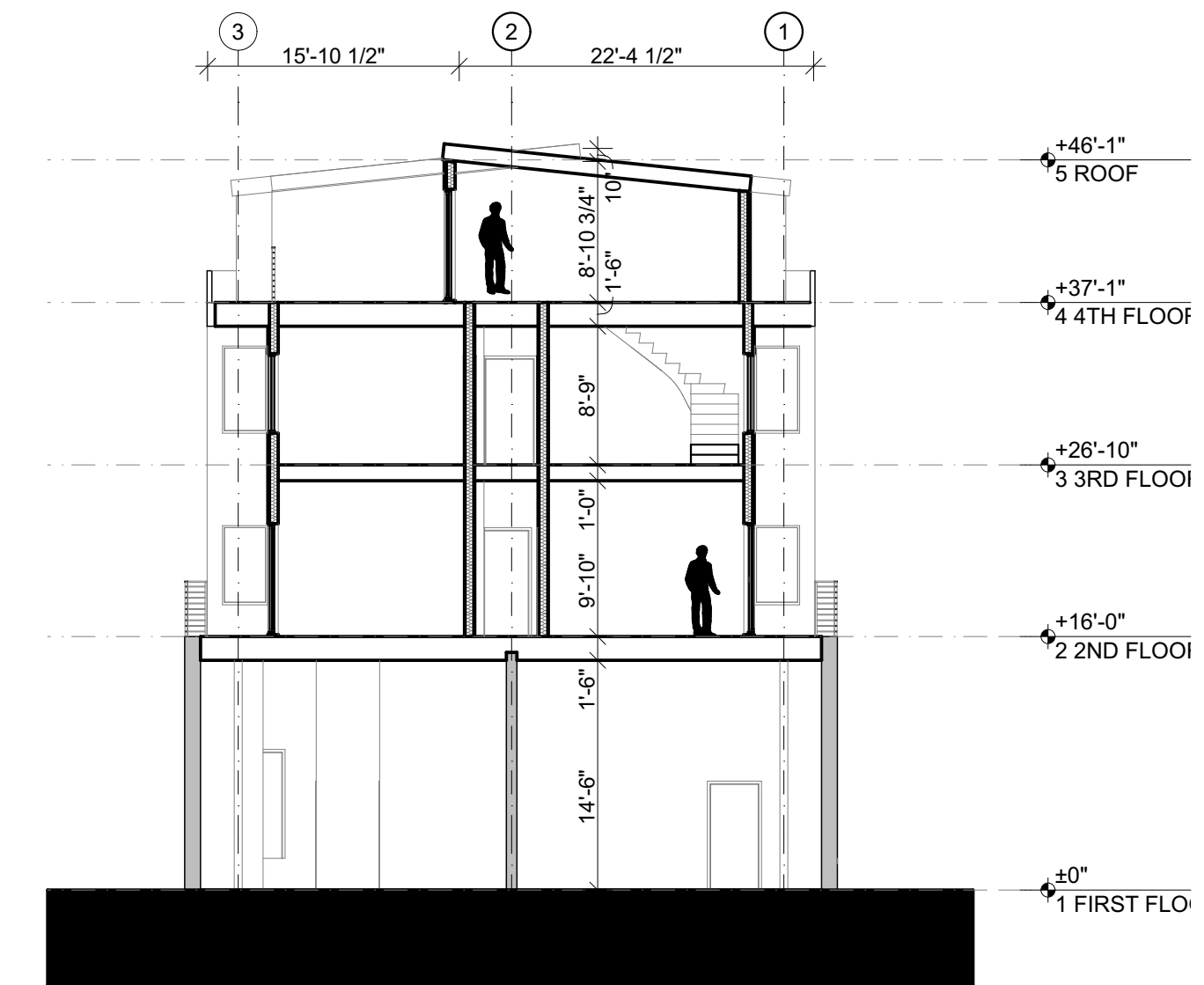
ELEVATIONS  
**A.301**



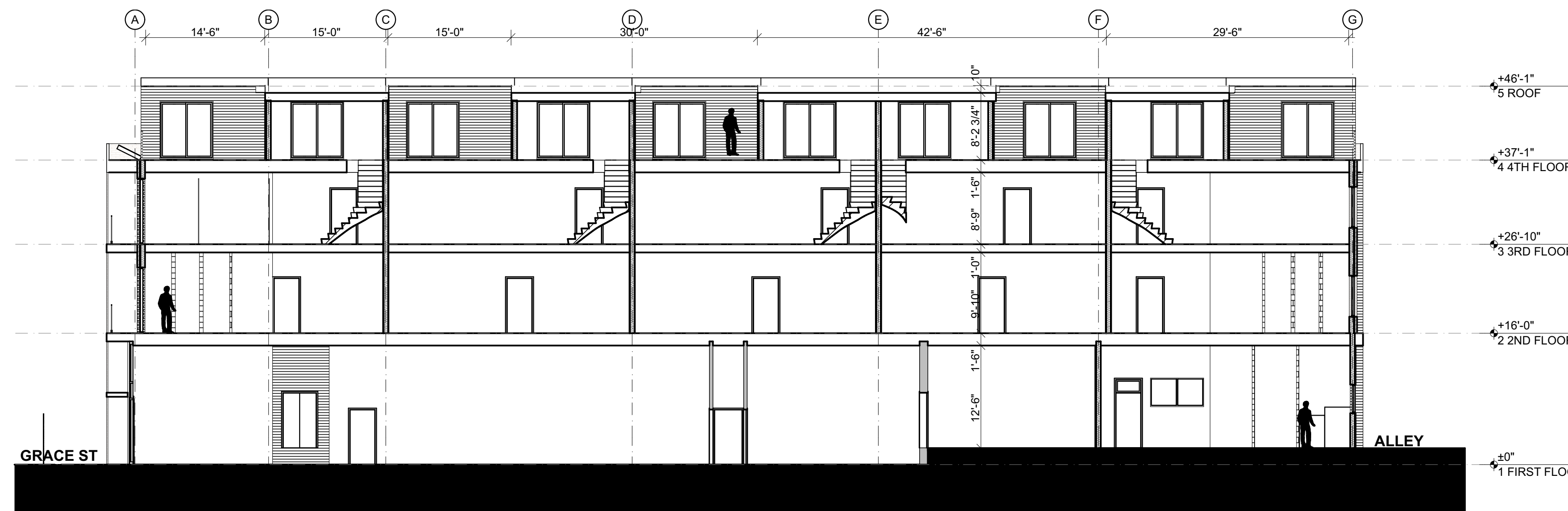
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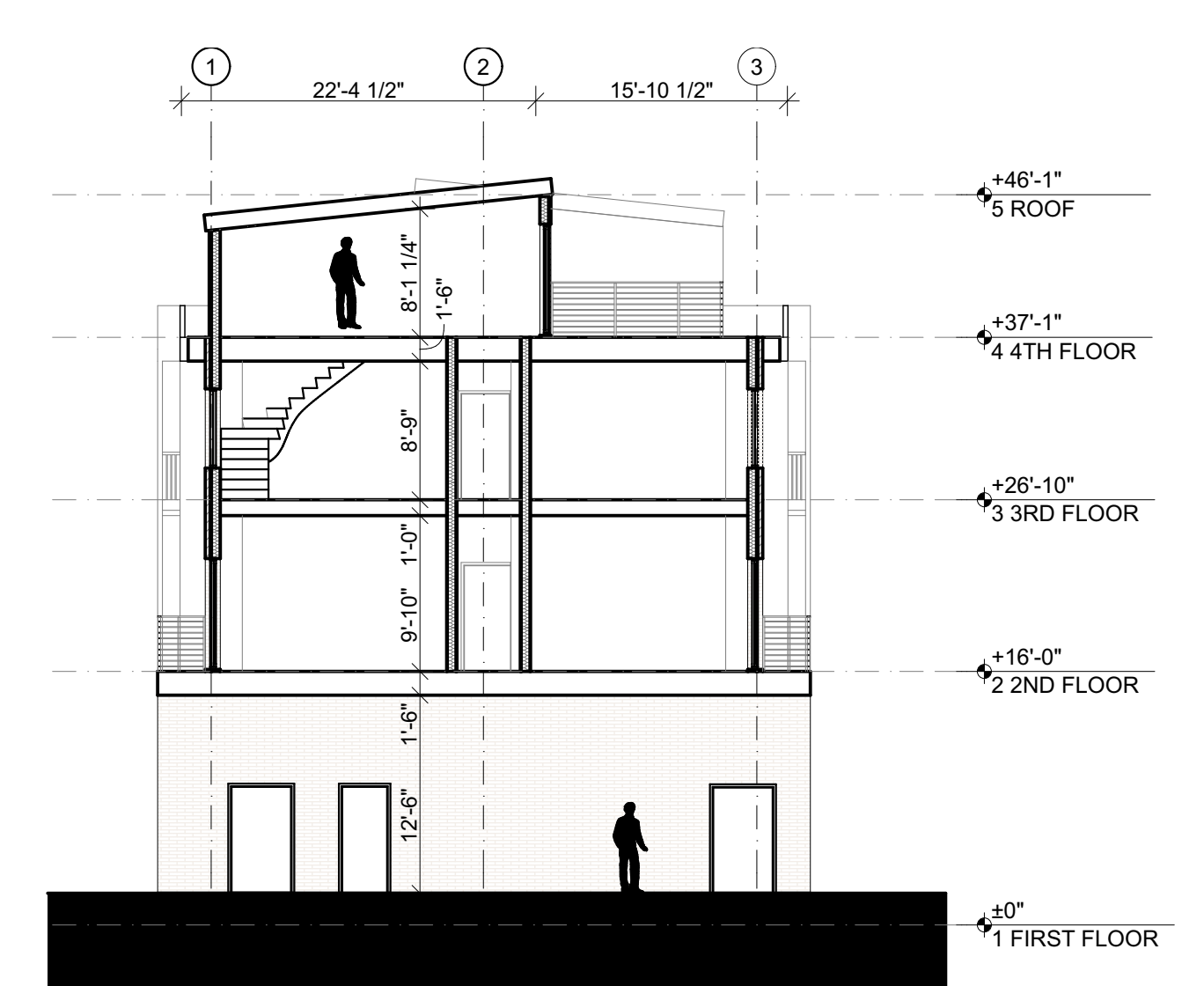
4 SECTION 4  
 A.401 SCALE: 3/32" = 1'-0"



3 SECTION 3  
 A.401 SCALE: 3/32" = 1'-0"



2 SECTION 2  
 A.401 SCALE: 3/32" = 1'-0"



1 SECTION 1  
 A.401 SCALE: 3/32" = 1'-0"

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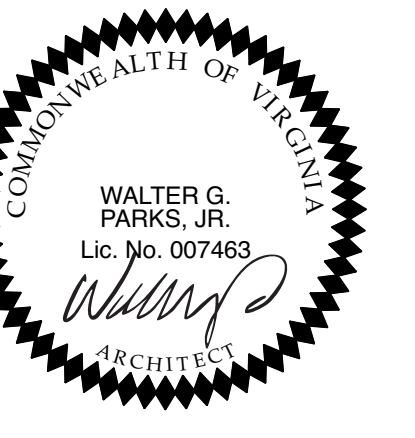
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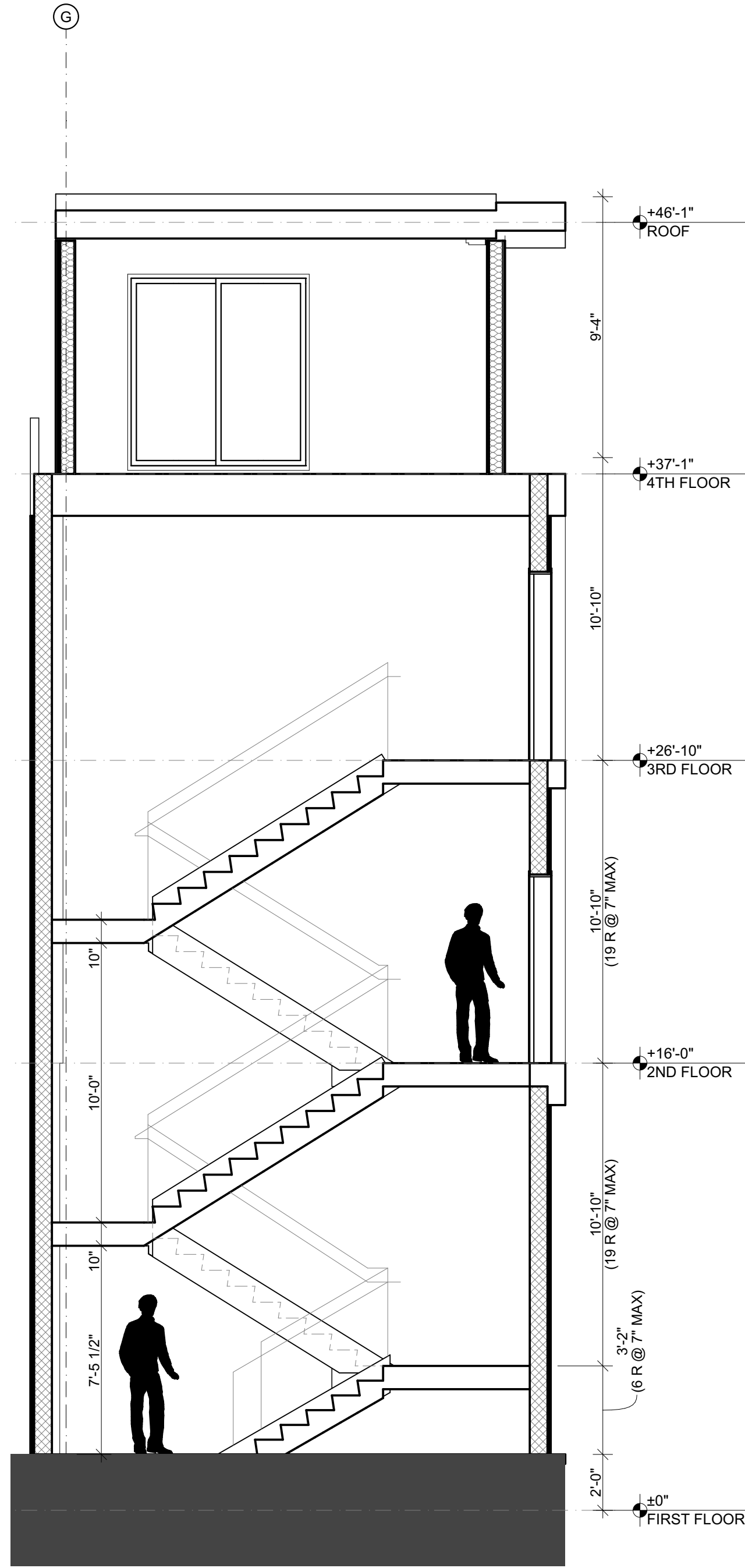
SECTIONS  
**A.401**

**STAIR 2**

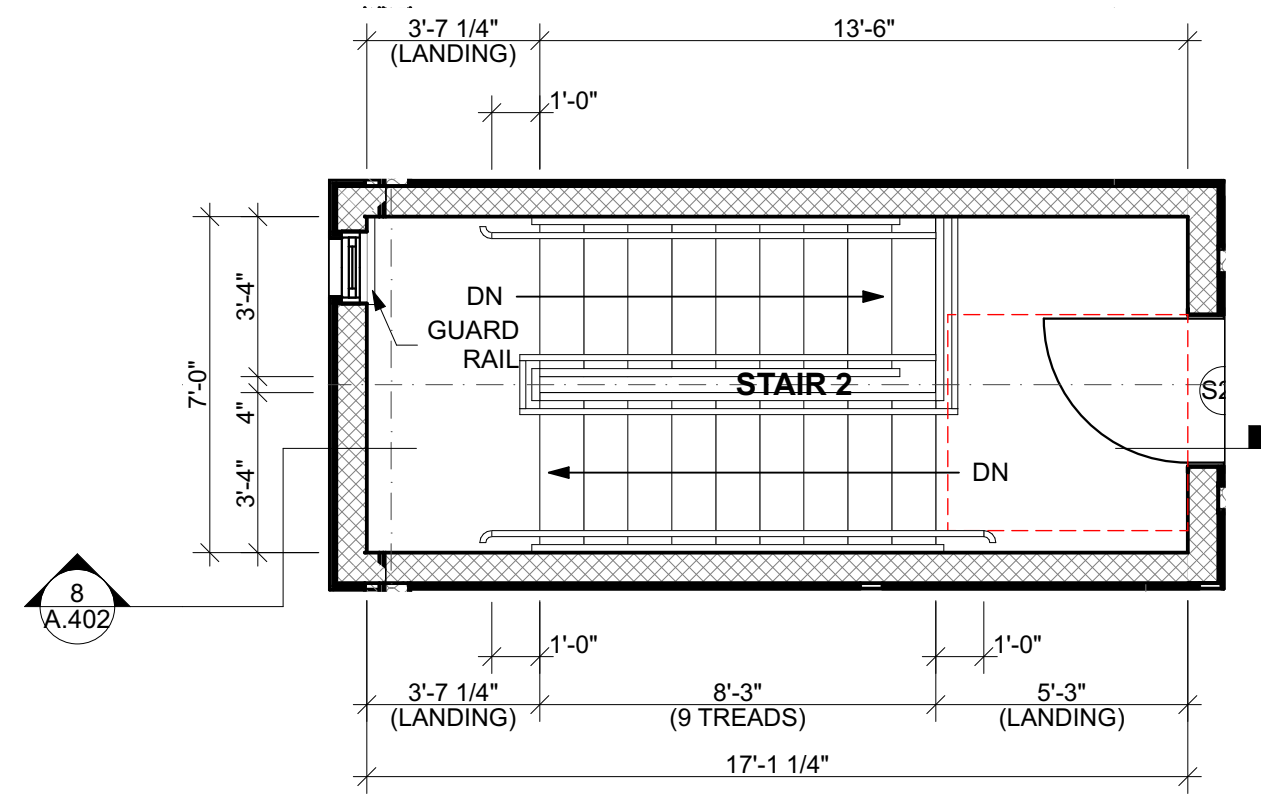
**STAIR 1**



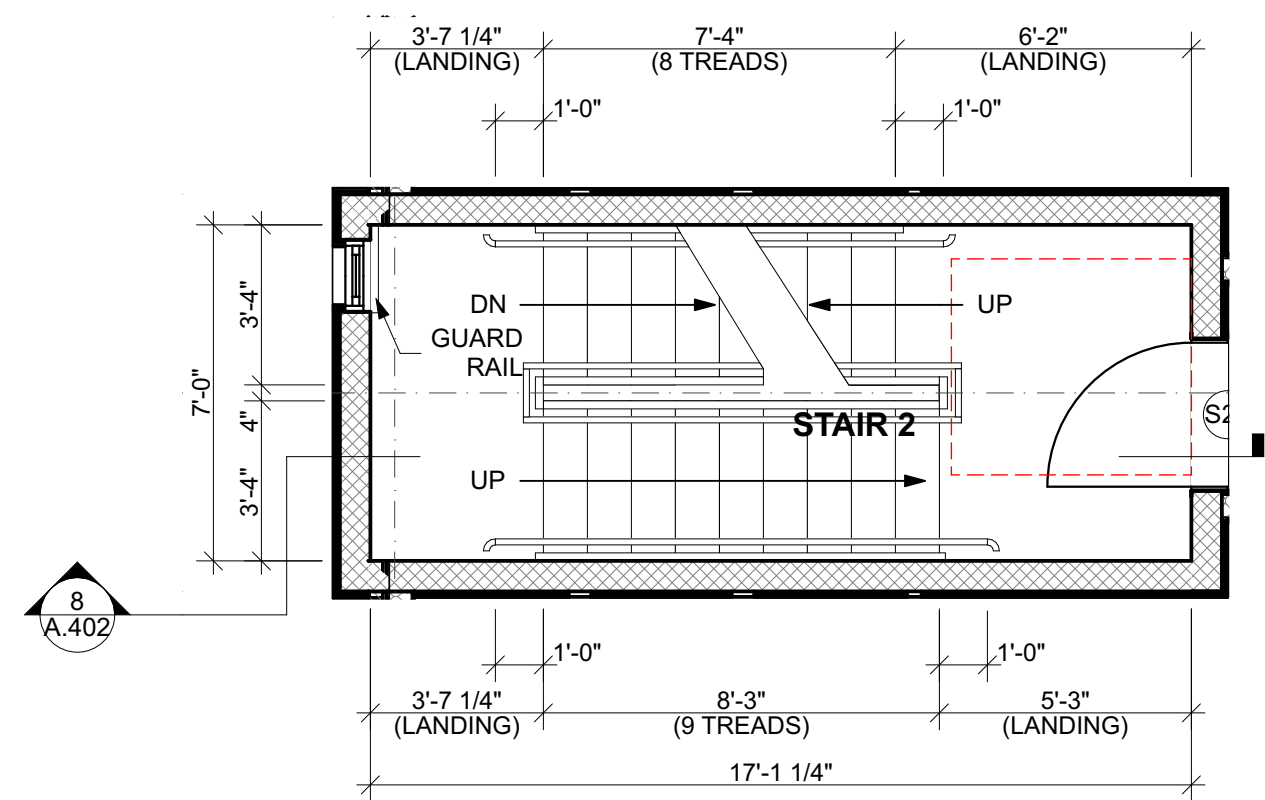
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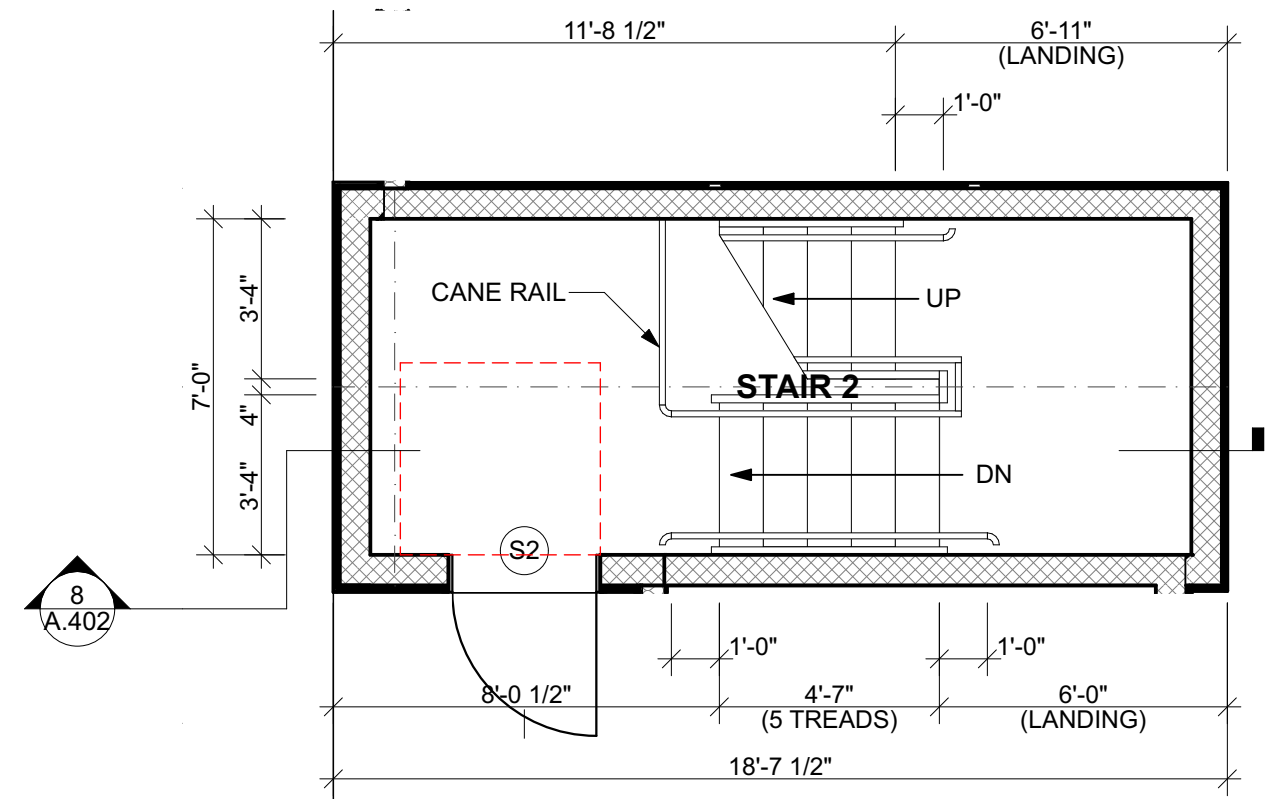
8 STAIR 2 SECTION  
 SCALE: 1/4" = 1'-0"



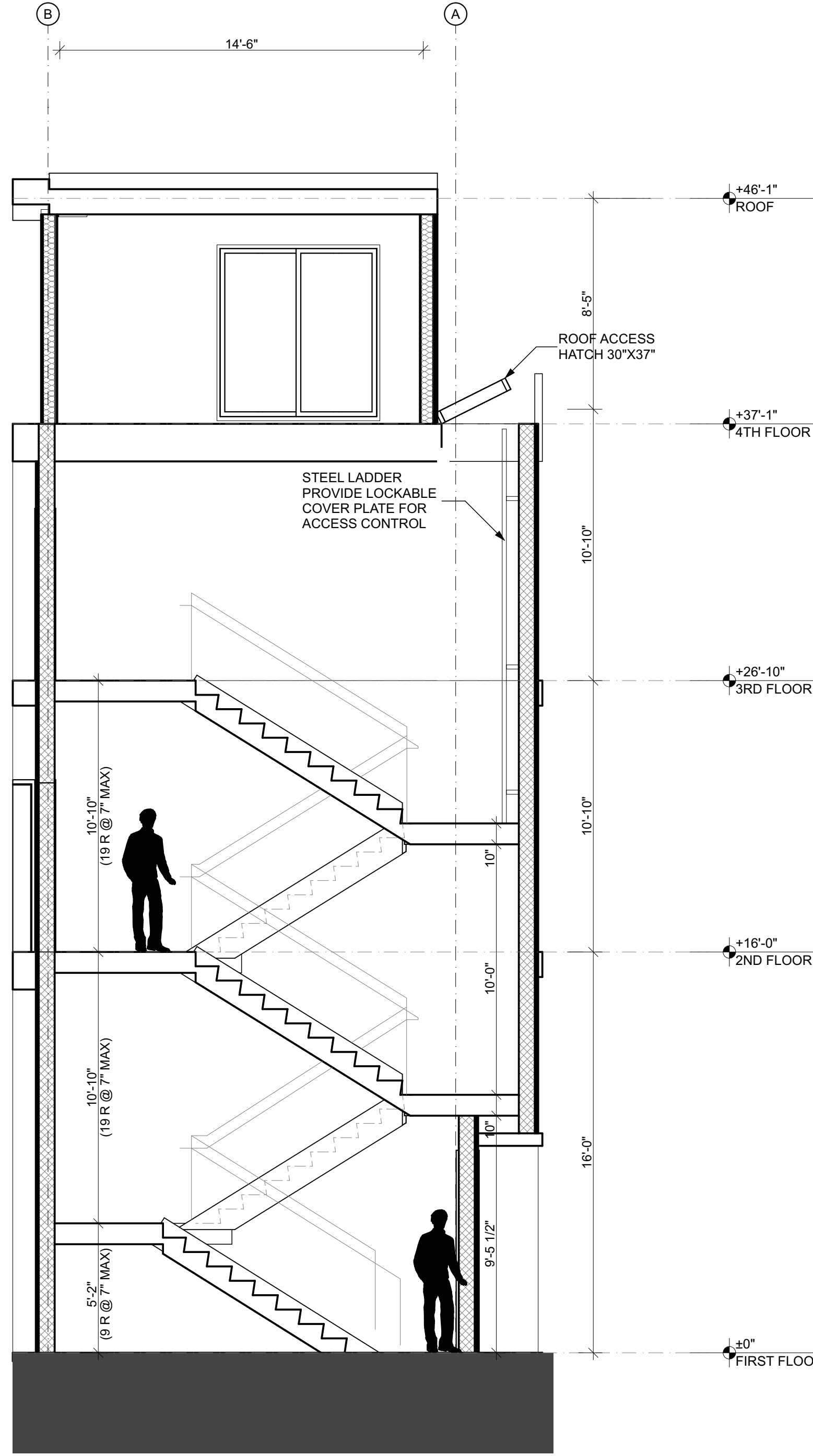
7 3RD FLOOR STAIR PLAN  
 SCALE: 1/4" = 1'-0"



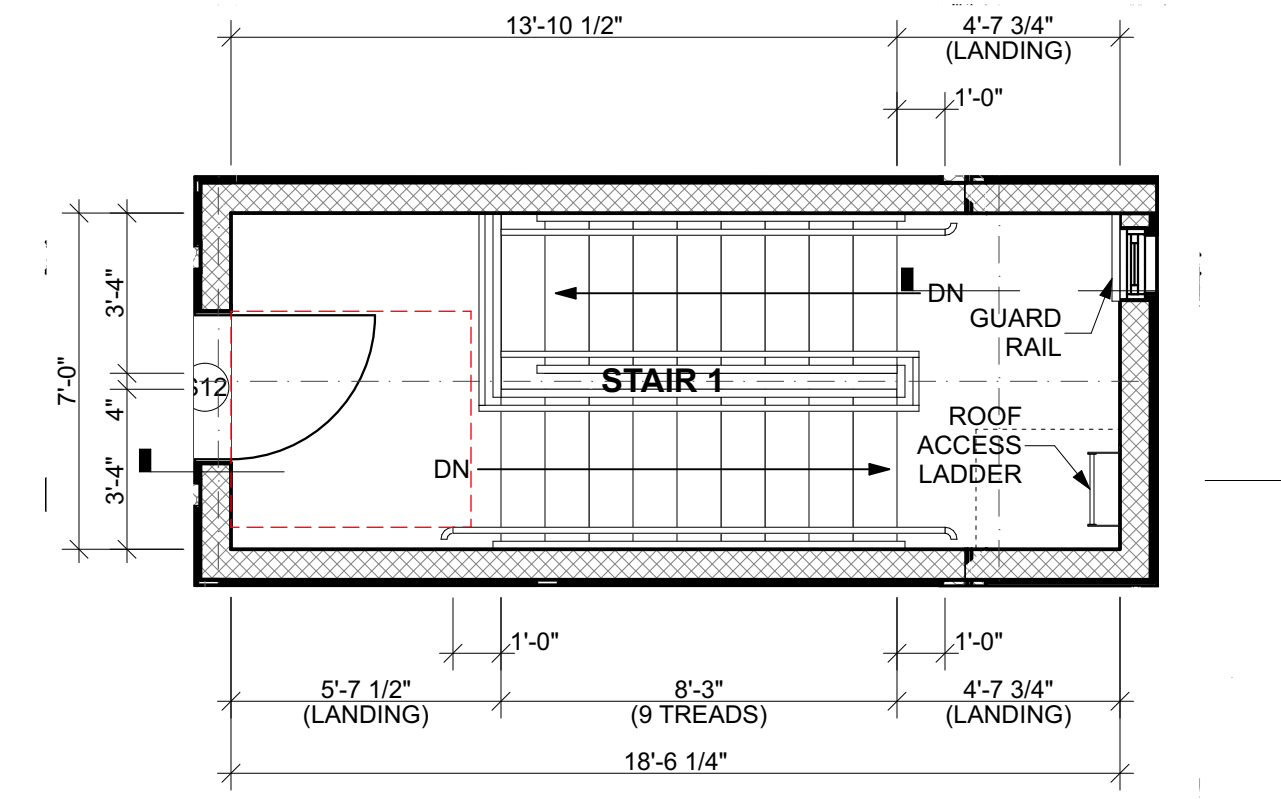
6 2ND FLOOR STAIR PLAN  
 SCALE: 1/4" = 1'-0"



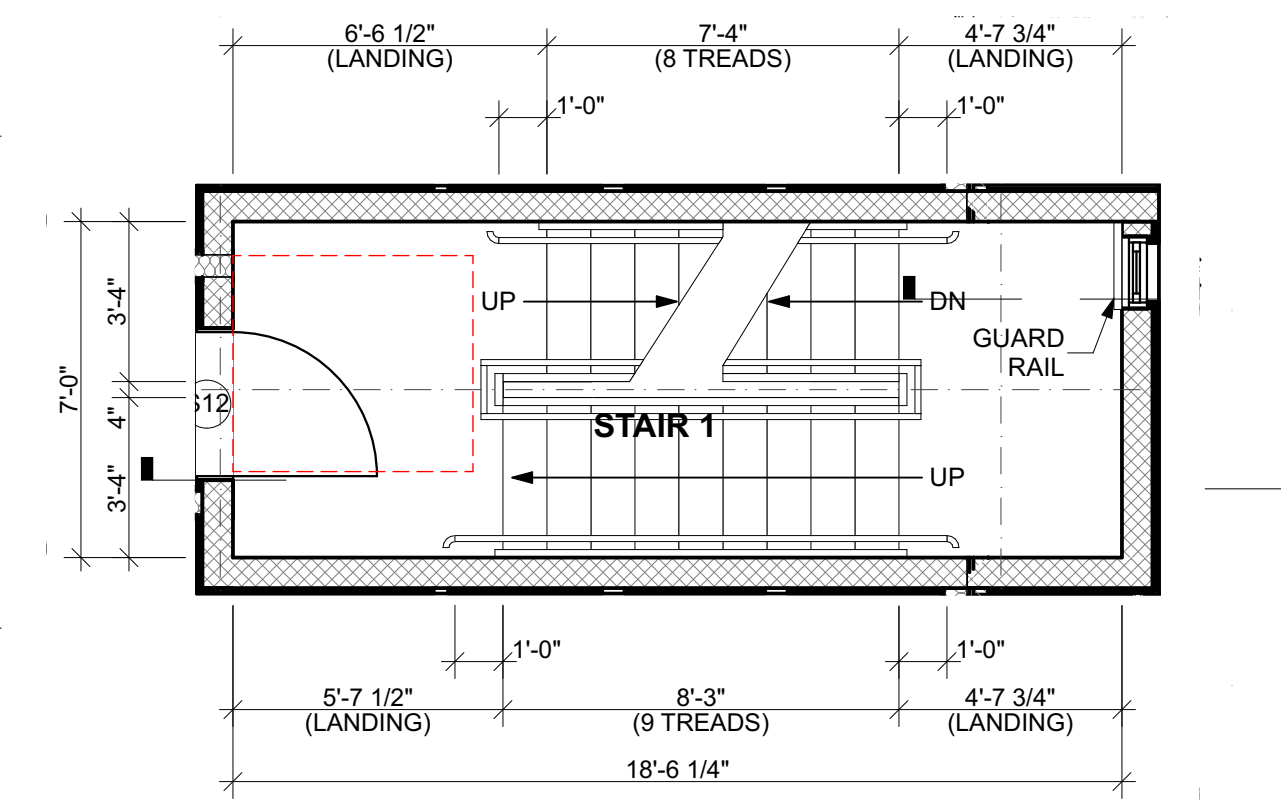
5 1ST FLOOR STAIR PLAN  
 SCALE: 1/4" = 1'-0"



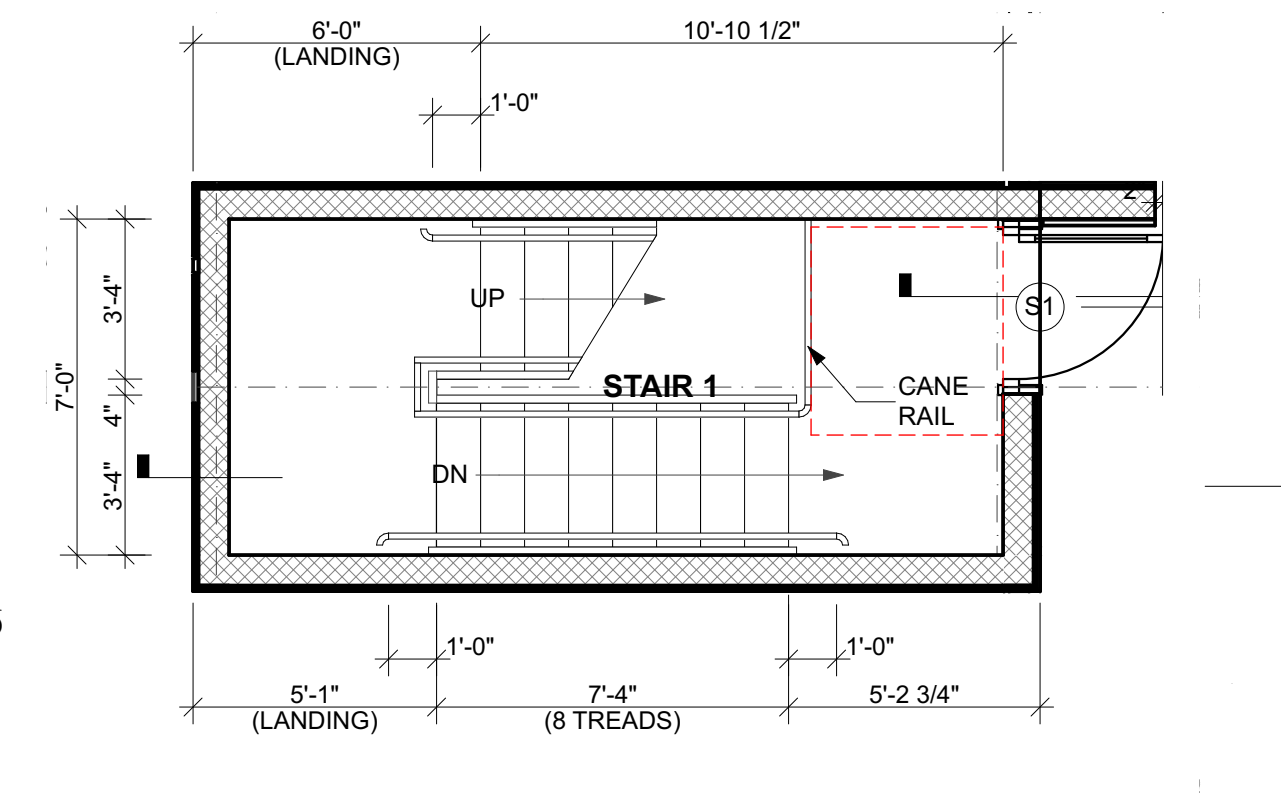
4 STAIR 1 SECTION  
 SCALE: 1/4" = 1'-0"



3 3RD FLOOR STAIR PLAN  
 SCALE: 1/4" = 1'-0"



2 2ND FLOOR STAIR PLAN  
 SCALE: 1/4" = 1'-0"



1 1ST FLOOR STAIR PLAN  
 SCALE: 1/4" = 1'-0"

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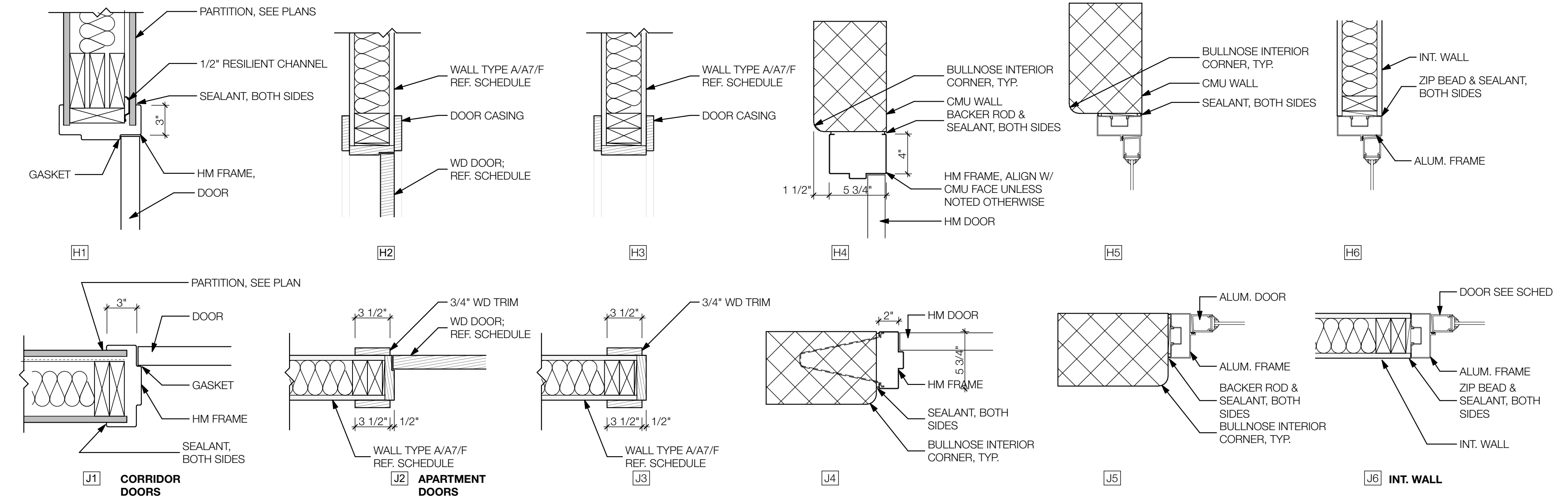
PROJECT #: 20.30  
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STAIRS PLANS &  
 SECTIONS  
**A.402**

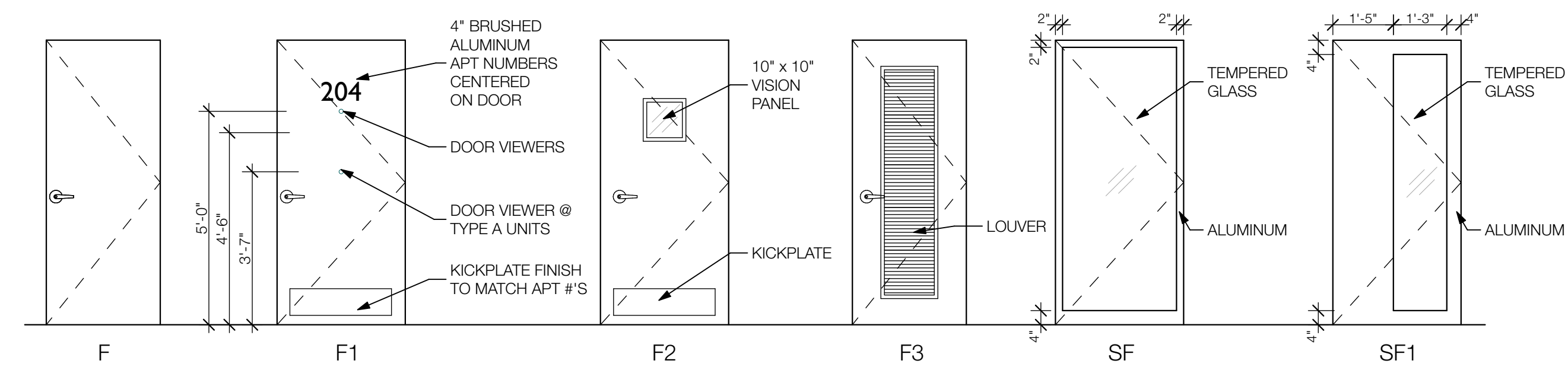
# DOOR SCHEDULE

DOOR NO	DOOR						FRAME		HARDWARE SET#	FIRE RATING	LOCATION	NOTES
	WIDTH	HEIGHT	THICKNESS	MATERIAL	TYPE	MATERIAL	HEAD/JAMB#					
<b>UNITS</b>												
11	3'-0"	6'-8"	1 3/4"	SCW	F1	HM	1	1		UNIT ENTRY		
12	2'-10"	6'-8"	1 3/8"	SCW	F	WD	3	3		BEDROOM		
13	2'-10"	6'-8"	1 3/8"	SCW	F	WD	3	3		BATHROOM		
14	2'-10"	6'-8"	1 3/8"	HCW	F	WD	4	4		CLOSET		
15	5'-0"	6'-8"	1 3/8"	HCW	F3	WD	5	5		W/D CLOSET		
16	2'-10"	6'-8"	1 3/8"	HCW	F3	WD	4	4		W/D CLOSET		
17	2'-10"	6'-8"	1 3/8"	HCW	F	WD	4	4		WALK IN CLOSET		
<b>COMMON AREAS</b>												
101	4'-0"	6'-8"	1 3/8"							WATER HEATER CLOSET		
S1	3'-0"	7'-6"	1 3/4"	AL	SF1	AL			16	STAIR 1 EXIT		
S2	3'-0"	6'-8"	1 3/4"	AL	SF1	AL			16	STAIR 2 EXIT		
S12	3'-0"	6'-8"	1 3/4"	SCW	F2	HM			14	STAIR 1		
S22	3'-0"	6'-8"	1 3/4"	SCW	F2	HM			14	STAIR 2		
ST1	3'-0"	7'-6"	1 3/4"	AL	SF1	AL			10	RESTAURANT		

# HJ DETAILS

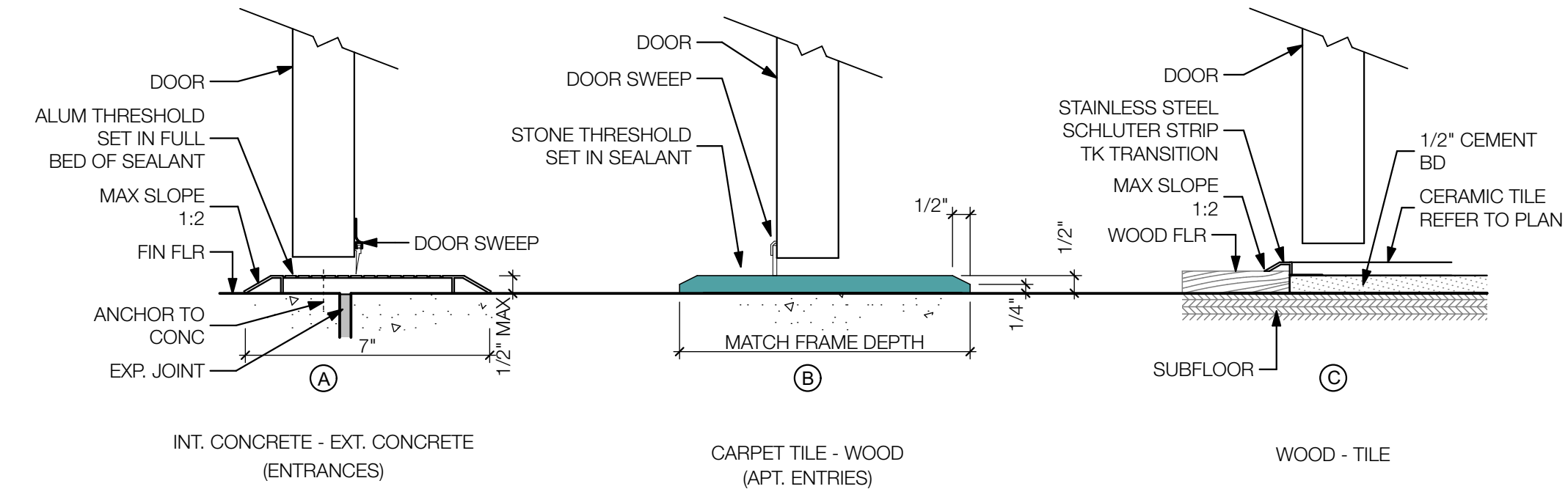


# DOOR TYPES



NOTE:  
SEE DOOR SCHEDULE FOR ALL HARDWARE

# THRESHOLDS

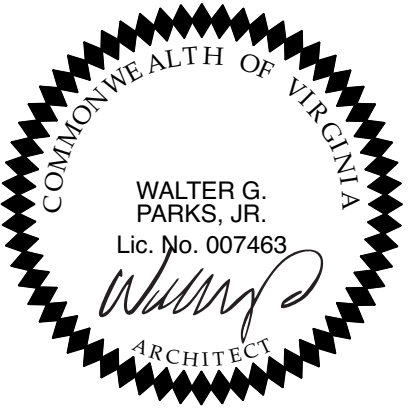


# HARDWARE SETS

### HARDWARE SETS:

ALL LOCKSETS, LATCHSETS: SCHLAGE LEVER RESIDENTIAL (EXCEPT AS NOTED), BRUSHED STAINLESS. PROVIDE MASTER AND GRANDMASTER KEYING SYSTEM

- APARTMENT ENTRY DOORS (INT):
  - PASSAGE LOCKSET
  - THUMBTURN DEADBOLT
  - EYE VIEWER
  - GASKET/ WEATHERSTRIPPING
  - 1 PR BB HINGES
  - 1 SPRING HINGE
  - DOOR SWEEP
  - DOOR STOP
- APARTMENT ENTRY DOORS (EXT):
  - PASSAGE LOCKSET
  - THUMBTURN DEADBOLT
  - EYE VIEWER
  - WEATHERSTRIPPING
  - 1 PR BB HINGES
  - 1 SPRING HINGE
  - DOOR SWEEP
  - DOOR STOP
- BEDROOM AND BATHROOM:
  - PRIVACY LOCKSET
  - 1 1/2 PR HINGES
  - DOOR STOP
- CLOSETS
  - LATCHSET
  - 1 1/2 PR HINGES
  - DOOR STOP
- CLOSET (DOUBLE DOORS)
  - 2 BALL CATCH (AT TOP OF DR)
  - 3 PR HINGES
  - 2 DUMMY PULLS
  - 2 DOOR STOPS
- BALCONY
  - 7. UTIL.
- TOILET, SINGLE OCCUPANT
  - PRIVACY LOCKSET
  - 1 1/2 PR HINGES
  - CLOSER
  - DOOR STOP
- ENTRY
  - PANIC EXIT
  - NO ENTRY
  - 1 1/2 PR BB HINGES
  - CLOSER
  - DOOR STOP
- GENERAL CARD ACCESS
  - PUSH/PULL
  - CARD READER
  - 1 1/2 PR BB HINGES
  - CLOSER
  - DOOR STOP
- EXIT
  - PANIC EXIT
  - NO ENTRY
  - 1 1/2 PR BB HINGES
  - CLOSER
- PASSAGE
  - PASSAGE SET
  - 1 1/2 PR BB HINGES
  - CLOSER
  - DOOR STOP



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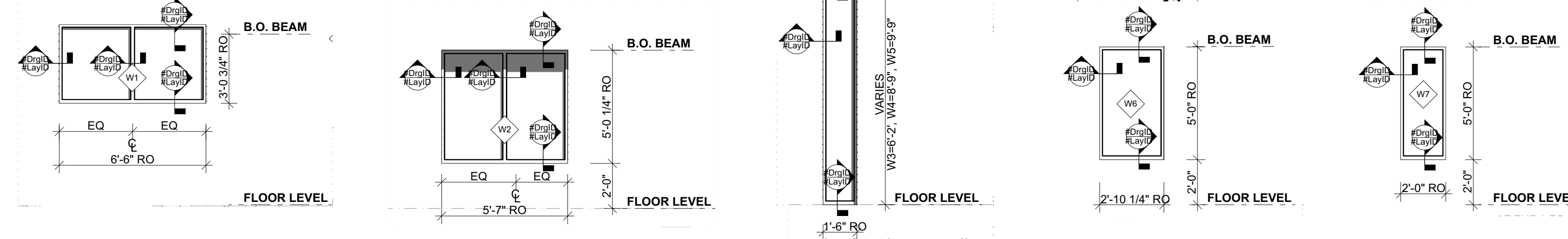
DOOR SCHEDULE  
**A.901**



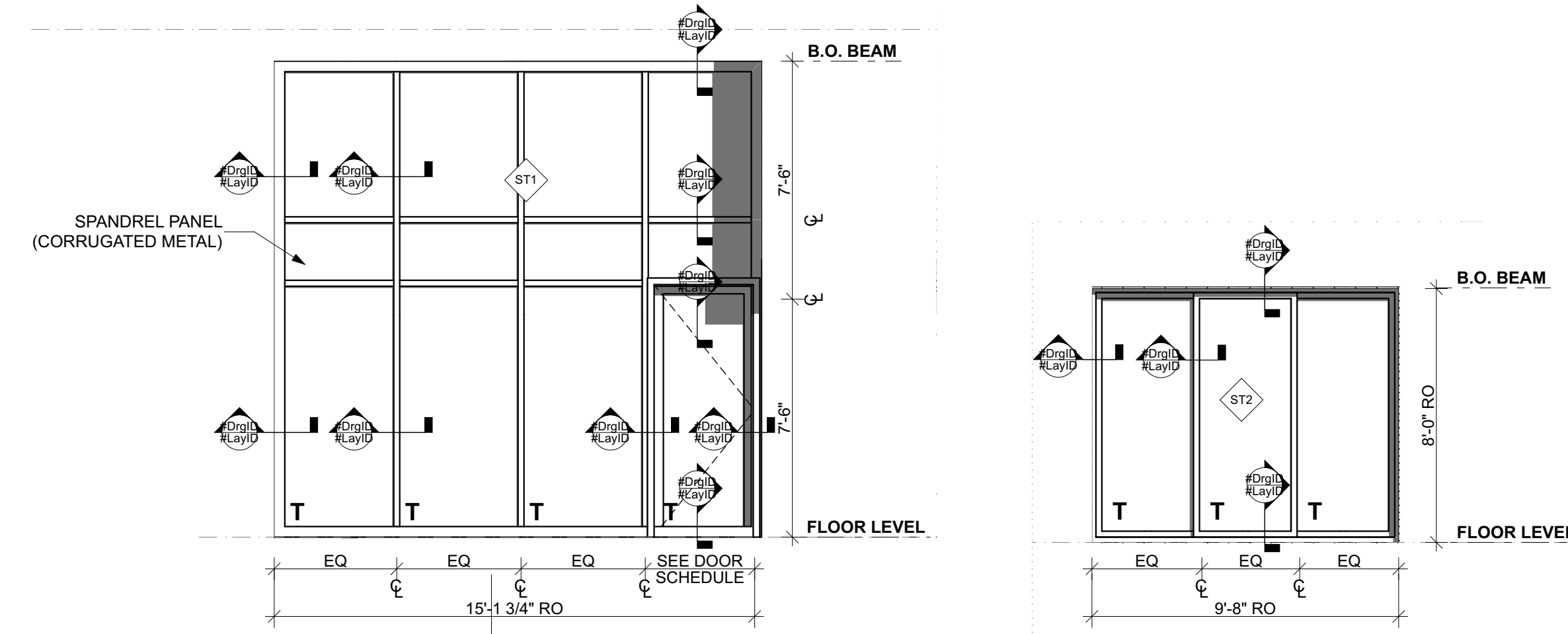
# WINDOW SCHEDULE

WINDOW NO	APPROX. SIZE		MATERIAL	TYPE	GLAZING	DETAILS	NOTES/ COMMENTS
	WIDTH	HEIGHT					
<b>WINDOW WALL</b>							
W1	6'-6"	3'-0"	AL	CASEMENT	G2	4	
W2	6'-6"	5'-0"	AL	CASEMENT	G2	4	
W3	1'-6"	6'-3"	AL	FIXED	G1	3	
W4	1'-6"	9'-6"	AL	FIXED	G1	3	
W5	1'-6"	10'-0"	AL	FIXED	G1	3	
W6	1'-9"	5'-0"	AL	CASEMENT	G2	3	
W7	1'-7"	5'-0"	AL	CASEMENT	G2	3	
<b>STOREFRONT</b>							
ST1	15'-1"	15'-0"	AL	ES	G1 & G3	10	
ST1A	15'-1"	15'-0"	AL	ES	G1 & G3	10	
ST2	9'-8"	8'-0"	AL	ES	G2	4	
<b>SLIDING DOOR</b>							
S1	6'-6"	7'-0"	AL		G2	4	
S2	5'-6"	7'-0"	AL		G2	4	
<b>SCHEDULE KEY</b>							
ES	EXTERIOR STOREFRONT						
G1	SINGLE PANE INTERIOR CLEAR GLAZING						
G2	LOW-E GLAZING 0.25 - 0.30 SHGC, U-VALUE 0.32 MAX						
G3	SPANDREL (CORRUGATED METAL) PANEL						

## WINDOW WALL

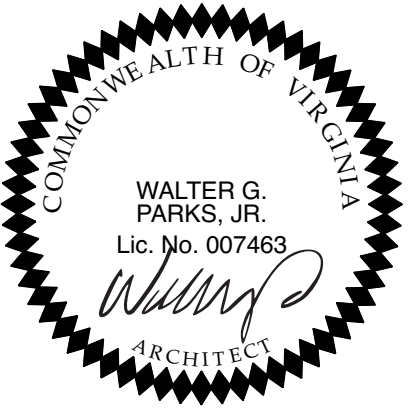
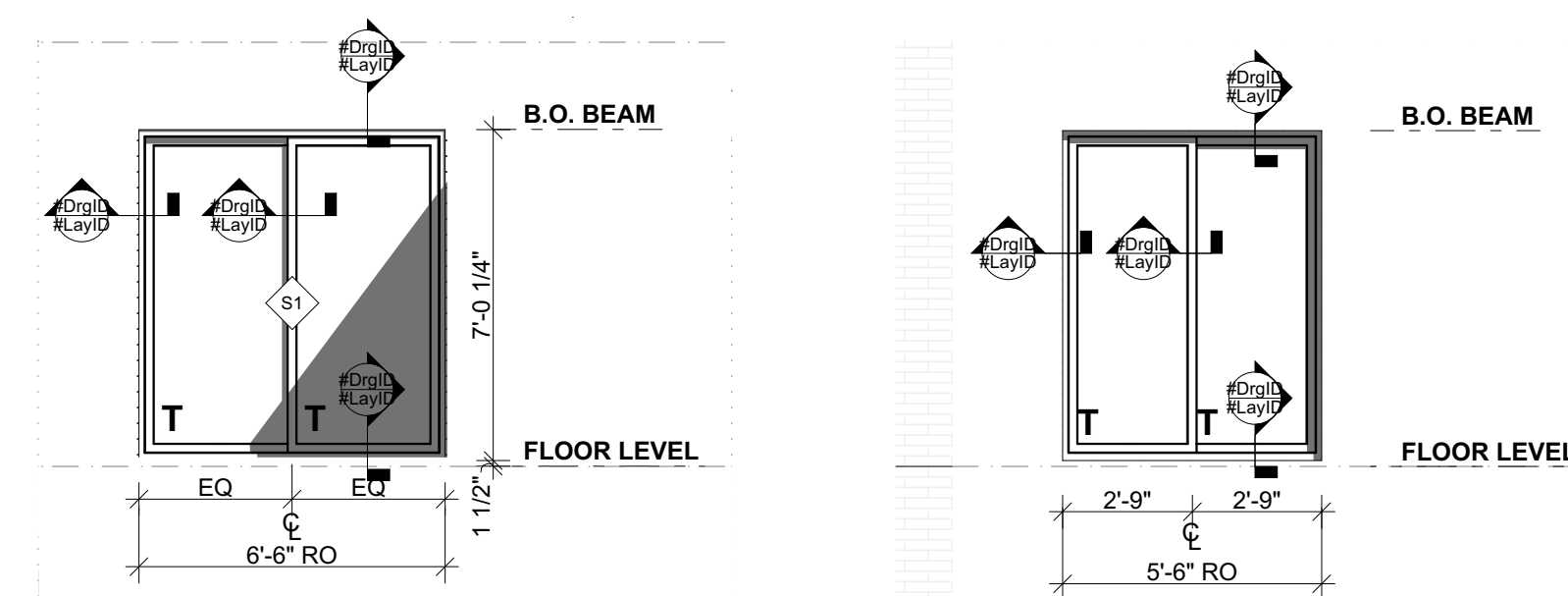


## STOREFRONT



NOTE: ST1A IS A MIRRORED REPLICA OF ST1, SEE GRACE ST ELEVATION.

## SLIDING DOOR



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WINDOW SCHEDULE  
**A.902**