

INTRODUCED: July 27, 2026

AN ORDINANCE No. 2026-180

To authorize the special use of the property known as 1900 Broad Rock Boulevard for the purpose of a building accessory to an automotive sales and repair facility, upon certain terms and conditions.

\_\_\_\_\_  
Patron – Mayor Avula (By Request)

\_\_\_\_\_  
Approved as to form and legality  
by the City Attorney  
\_\_\_\_\_

PUBLIC HEARING: SEP 14 2026 AT 6 P.M.

WHEREAS, the owner of the property known as 1900 Broad Rock Boulevard, which is situated in a B-3 General Business District, desires to use such property for the purpose of a building accessory to an automotive sales and repair facility, which use, among other things, is not currently allowed by section 30-438.3, concerning yards, of the Code of the City of Richmond (2020), as amended; and

WHEREAS, in accordance with section 17.11 of the Charter of the City of Richmond (2020), as amended, it has been made to appear that, if granted subject to the terms and conditions set forth in this ordinance, the special use granted by this ordinance will not be detrimental to the safety, health, morals and general welfare of the community involved, will not tend to create

AYES: \_\_\_\_\_ NOES: \_\_\_\_\_ ABSTAIN: \_\_\_\_\_

ADOPTED: \_\_\_\_\_ REJECTED: \_\_\_\_\_ STRICKEN: \_\_\_\_\_

congestion in streets, roads, alleys and other public ways and places in the area involved, will not create hazards from fire, panic or other dangers, will not tend to overcrowding of land and cause an undue concentration of population, will not adversely affect or interfere with public or private schools, parks, playgrounds, water supplies, sewage disposal, transportation or other public requirements, conveniences and improvements, and will not interfere with adequate light and air; and

WHEREAS, (i) the City Planning Commission has conducted a public hearing to investigate the circumstances and conditions upon which the Council is empowered to authorize such use, (ii) the City Planning Commission has reported to the Council the results of such public hearing and investigation and its recommendations with respect thereto, and (iii) the Council has conducted a public hearing on this ordinance at which the person in interest and all other persons have had an opportunity to be heard;

NOW, THEREFORE,

THE CITY OF RICHMOND HEREBY ORDAINS:

§ 1. **Finding.** Pursuant to section 30-1050.1 of the Code of the City of Richmond (2020), as amended, the Council hereby finds that the special use set forth in and subject to the terms and conditions of this ordinance will not (i) be detrimental to the safety, health, morals and general welfare of the community involved, (ii) tend to create congestion in streets, roads, alleys and other public ways and places in the area involved, (iii) create hazards from fire, panic or other dangers, (iv) tend to overcrowding of land and cause an undue concentration of population, (v) adversely affect or interfere with public or private schools, parks, playgrounds, water supplies, sewage disposal, transportation or other public requirements, conveniences and improvements, or (vi) interfere with adequate light and air.

§ 2. **Grant of Special Use Permit.**

(a) Subject to the terms and conditions set forth in this ordinance, the property known as 1900 Broad Rock Boulevard and identified as Tax Parcel No: C006-0472/026 in the 2026 records of the City Assessor, being more particularly described in Schedule A of Instrument No. 17-1390 recorded January 23, 2017, in the land records of the Clerk of the Circuit Court of the City of Richmond, a copy of which is attached to and made a part of this ordinance, hereinafter referred to as “the Property,” is hereby permitted to be used for the purpose of a building accessory to an automotive sales and repair facility, hereinafter referred to as “the Special Use,” substantially as shown on the plans entitled “Site Plan & Foundation Plan,” prepared by Infinity Wise Services, and dated May 16, 2024, and “Standard Carport Details, 26 ft to 30 ft Span,” prepared by Carolina Carports Inc., and dated June 13, 2023, hereinafter referred to, collectively, as “the Plans,” copies of which are attached to and made a part of this ordinance.

(b) The adoption of this ordinance shall constitute the issuance of a special use permit for the Property. The special use permit shall inure to the benefit of the owner or owners of the fee simple title to the Property as of the date on which this ordinance is adopted and their successors in fee simple title, all of which are hereinafter referred to as “the Owner.” The conditions contained in this ordinance shall be binding on the Owner.

§ 3. **Special Terms and Conditions.** This special use permit is conditioned on the following special terms and conditions:

(a) The Special Use of the Property shall be as a building accessory to an automotive sales and repair facility, substantially as shown on the Plans.

(b) All building materials, elevations, and site improvements shall be substantially as shown on the Plans.

(c) All mechanical equipment, including heating, ventilation, and air conditioning units, serving the Property shall be located or screened so as not to be visible from any adjoining public right-of-way.

§ 4. **Supplemental Terms and Conditions.** This special use permit is conditioned on the following supplemental terms and conditions:

(a) All required final grading and drainage plans, together with all easements made necessary by such plans, must be approved by the Director of Public Utilities prior to the issuance of the building permit.

(b) Storm or surface water shall not be allowed to accumulate on the land. The Owner, at its sole cost and expense, shall provide and maintain at all times adequate facilities for the drainage of storm or surface water from the Property so as not to adversely affect or damage any other property or public streets and the use thereof.

(c) Facilities for the collection of refuse shall be provided in accordance with the requirements of the Director of Public Works. Such facilities shall be located or screened so as not to be visible from adjacent properties and public streets.

(d) Any encroachments existing, proposed on the Plans or contemplated in the future shall require separate authorization and shall be subject to the applicable provisions of the Code of the City of Richmond (2020), as amended, and all future amendments to such laws.

(e) In all other respects, the use of the Property shall be in accordance with the applicable underlying zoning regulations.

§ 5. **General Terms and Conditions.** This special use permit is conditioned on the following general terms and conditions:

(a) No permit implementing this special use permit shall be approved until satisfactory evidence has been presented to the Zoning Administrator that any delinquent real estate taxes applicable to the Property have been paid.

(b) The Owner shall be bound by, shall observe and shall comply with all other laws, ordinances, rules and regulations applicable to the Property, except as otherwise expressly provided in this ordinance.

(c) Words and phrases used in this ordinance shall be interpreted to have the meanings ascribed to them by section 30-1220 of the Code of the City of Richmond (2020), as amended, unless the context clearly indicates that a different meaning is intended.

(d) Notwithstanding any other provision of law, this special use permit is being approved due, in part, to the mitigating effects of each and every condition attached hereto; consequently, if any portion of this ordinance is determined to be invalid for any reason by a final, non-appealable order of any Virginia or federal court of competent jurisdiction, the invalidity shall cause the entire ordinance to be void and of no further effect from the effective date of such order.

(e) The privileges granted by this ordinance may be revoked pursuant to the provisions of sections 30-1050.7 through 30-1050.11 of the Code of the City of Richmond (2020), as amended, and all future amendments to such laws. Failure to comply with the terms and conditions of this ordinance shall constitute a violation of section 30-1080 of the Code of the City of Richmond (2020), as amended, and all future amendments to such law, or any other applicable laws or regulations.

(f) When the privileges granted by this ordinance terminate and the special use permit granted hereby becomes null and void or when the Special Use of the Property as authorized by this ordinance is abandoned for a period of 733 consecutive calendar days, whether as a result of

the Owner relinquishing this special use permit in a writing addressed to the Director of Planning and Development Review or otherwise, use of the Property shall be governed thereafter by the zoning regulations prescribed for the district in which the Property is then situated.

§ 6. **Implementation.** The Commissioner of Buildings is authorized to issue a building permit substantially in accordance with the Plans for the Special Use subject to the terms and conditions set forth in this ordinance. An application for the building permit shall be made within 1,096 calendar days following the date on which this ordinance becomes effective. If either the application for the building permit is not made within the time period stated in the previous sentence or the building permit terminates under any provision of the Virginia Statewide Building Code, this ordinance and the special use permit granted hereby shall terminate and become null and void.

§ 7. **Effective Date.** This ordinance shall be in force and effect upon adoption.

# City of Richmond

## Intracity Correspondence

### O&R Transmittal

**DATE:** June 10, 2026

**TO:** The Honorable Members of City Council

**THROUGH:** The Honorable Dr. Danny Avula, Mayor (by request)  
(This in no way reflects a recommendation on behalf of the Mayor)

**THROUGH:** Odie Donald II, Chief Administrative Officer

**THROUGH:** Sharon L. Ebert, DCAO for Economic Development and Planning

**FROM:** Kevin J. Vonck, Director of Planning & Development Review

**RE:** To authorize the special use of the property known as 1900 Broad Rock Boulevard for the purpose of a building accessory to an automotive sales and repair facility, upon certain terms and conditions.

**ORD. OR RES. No.** \_\_\_\_\_

**PURPOSE:** The applicant is requesting a Special Use Permit to authorize rear and side yard encroachments to accommodate an already constructed storage building. A Special Use Permit is therefore requested to authorize this development.

**BACKGROUND:** The .42 acre property is in McGuire Manner neighborhood on the western side of Broad Rock Boulevard at its intersection with North Kinsley Avenue and is occupied by an automobile dealership. The dealership is a permitted use in the B-3 General Business District where the property is located provided all lot feature requirements are met. The City's Richmond 300 Master Plan designates a future land use for the subject property as Community Mixed-Use, which is described as "Cluster of medium-density, walkable commercial and residential uses that provide neighborhood services to nearby residential communities." (p. 58)

Intensity: Buildings generally ranging from two to six stories, based on street widths and depending on the historic context and stepping down in height adjacent to residential areas, as necessary.

The adjacent properties to the west and north are in the same B-3 General Business District as the subject property. The property adjacent to the south, and across Broad Rock Boulevard to the east, are zoned R-4 Single-Family Residential.

**COMMUNITY ENGAGEMENT:** The property is not located within the boundaries of a civic association; additional community notification will take place after introduction.

**STRATEGIC INITIATIVES AND OTHER GOVERNMENTAL:** Richmond 300 Master Plan  
**FISCAL IMPACT:** \$2,400 application fee.

**DESIRED EFFECTIVE DATE:** Upon adoption

**REQUESTED INTRODUCTION DATE:** July 27, 2026

**CITY COUNCIL PUBLIC HEARING DATE:** September 14, 2026

**REQUESTED AGENDA:** Consent

**RECOMMENDED COUNCIL COMMITTEE:** Planning Commission August 18, 2026

**AFFECTED AGENCIES:** Office of Chief Administrative Officer

Law Department (for review of draft ordinance)

**RELATIONSHIP TO EXISTING ORD. OR RES.:** None

**ATTACHMENTS:** Draft Ordinance, Authorization from Property Owner, Applicant's Report, Plans, Survey

**STAFF:**

David Watson, Planner, Land Use Administration (Room 511) 646-1036





**CITY OF RICHMOND, VA**  
**Department of Planning and Development Review**  
**Land Use Administration Division**  
900 East Broad Street, City Hall - Room 511, Richmond, Virginia 23219

**AUTHORIZATION FROM PROPERTY OWNER**

**TO BE COMPLETED BY THE APPLICANT**

Applicant must complete ALL items

HOME/SITE ADDRESS: 1900 Broad Rock Blvd APARTMENT NO/SUITE \_\_\_\_\_  
APPLICANT'S NAME: Jose Quesada EMAIL ADDRESS: \_\_\_\_\_  
BUSINESS NAME (IF APPLICABLE): Autos Finos Inc  
SUBJECT PROPERTY OR PROPERTIES: \_\_\_\_\_

**APPLICATION REQUESTED**

- ☐ Plan of Development (New or Amendment)  
☐ Wireless Plan of Development (New or Amendment)  
☒ Special Use Permit (New or Amendment)  
☐ Rezoning or Conditional Rezoning  
☐ Certificate of Appropriateness (Conceptual, Administrative Approval, Final)  
☐ Community Unit Plan (Final, Preliminary, and/or Amendment)  
☐ Subdivision (Preliminary or Final Plat Correction or Extension)

**TO BE COMPLETED BY THE AUTHORIZED OWNER**

Owner must complete ALL items

Signing this affidavit acknowledges that you, as the owner or lessee of the property, authorize the above applicant to submit the above selected application/s on your behalf.

PROPERTY OWNER: Jose Quesada  
PROPERTY OWNER ADDRESS: 1900 Broad Rock Blvd  
PROPERTY OWNER EMAIL ADDRESS: \_\_\_\_\_  
PROPERTY OWNER PHONE NUMBER: 804-814-1759  
Property Owner Signature: \_\_\_\_\_

The names, addresses, telephone numbers and signatures of all owners of the property are required. Please attach additional sheets as needed. If a legal representative signs for a property owner, please attach an executed power of attorney.

Date: February 19, 2026

To: City of Richmond Building Permit Office

Richmond, Virginia

**Subject: Testimonial Regarding Existing Pre-Manufactured Storage Building**

I, **Jose Quezada**, owner of **Altos Finos, Inc.**, located at **1900 Broad Rock Blvd, Richmond, VA 23224**, respectfully submit this statement regarding the pre-manufactured building placed on the premises in 2020.

The structure is used strictly for storage purposes only. It is not open to customers or employees, and no public access is permitted. I am the sole individual with a key to the building, and there is no regular traffic in or out of this structure.

Prior to installation, I made multiple attempts to obtain the proper permit. I called the appropriate offices several times, visited in person, and completed and submitted an application; however, I did not receive a response. Due to the lack of follow-up and the operational needs of my business, the building was installed.

I respectfully request that this testimonial be taken into consideration during the review of my permit.

Sincerely,

**Jose Quezada**

Owner, Altos Finos, Inc.

1900 Broad Rock Blvd

Richmond, VA 23224

Phone: 804-814-1759

Document Prepared by:  
HAIRFIELD MORTON, PLC  
VICKI S. HORST - VSB # 46980  
TITLE COMPANY: NONE

Map Parcel No. C006-0472/026

17- 1390

THIS DEED made this 17<sup>th</sup> day of January, 2017, by and between **QUESADA AND SON, LLC, a Virginia limited liability company, (the "Grantor"), and AUTOS FINOS, INC., a Virginia corporation, (the "Grantee"),**

**WITNESSETH:**

That for good and valuable consideration, the receipt and sufficiency of which are hereby acknowledged, the Grantor does hereby grant and convey with **GENERAL WARRANTY AND ENGLISH COVENANTS OF TITLE** to the Grantee, in fee simple, the following described real estate, to-wit:

**See Schedule "A" attached hereto.**

This conveyance is made expressly subject to any and all easements, restrictions, covenants and agreements of record applicable to the property hereby conveyed.

**EXEMPT FROM TAXATION PURSUANT TO  
§58.1-811(A)(10) of the Code of Virginia (1950), as amended.**

F-1215

Hairfield ~ Morton, PLC  
2800 Buford Road, Suite 201  
Richmond, Virginia 23235

WITNESS the following signatures and seals:

QUESADA & SON, LLC

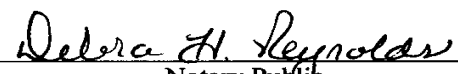
  
\_\_\_\_\_  
Jose Quesada, Sole Member (SEAL)

COMMONWEALTH OF VIRGINIA

City/County of Chesterfield, to-wit:

The foregoing instrument was acknowledged before me this 18<sup>th</sup> day of  
January, 2017 by Jose Quesada, sole member of Quesada & Son, LLC, a Virginia limited  
liability company.

My commission expires: 7/31/20

  
\_\_\_\_\_  
Notary Public

Grantee's Address:  
1900 Broad Rock Blvd.  
Richmond, VA 23224

DEBRA H. REYNOLDS  
NOTARY PUBLIC  
Commonwealth of Virginia  
Registration No. 294560  
My Commission Expires July 31, 2020

**Schedule "A"**

ALL that property together with the improvements thereon, situate in the City of Richmond, Virginia, formerly situate in the County of Chesterfield, located at the intersection of Broad Rock Road (Virginia Highway #10) and Kinsley Avenue and more particularly described as follows:

BEGINNING at a point marked by a rod on the west line of Broad Rock Road said point being 116.55 feet, more or less, south of the intersection of the south line of Kinsley Avenue extended and the west line of Broad Rock Road, extended thence north 63° 33' 40" west 150 feet to a point; thence north 26° 26' 20" east 126.62 feet to a point; thence south 59° 47' 40" east 140.72 feet along the south line of Kinsley Avenue to the beginning of a circular curve to the right; thence 31.15 feet around arc of said circular curve to the right having a radius of 19.54 feet; thence south 31° 32' 47" west 96.55 feet to the point of beginning, all as shown on a plat of survey by Rob't M. Blankenship, III, dated May 28, 1976, a copy of which is attached to Deed recorded in Deed Book 494, page 381 in the Clerk's Office of the Circuit Court of the City of Richmond, Division II, Virginia.

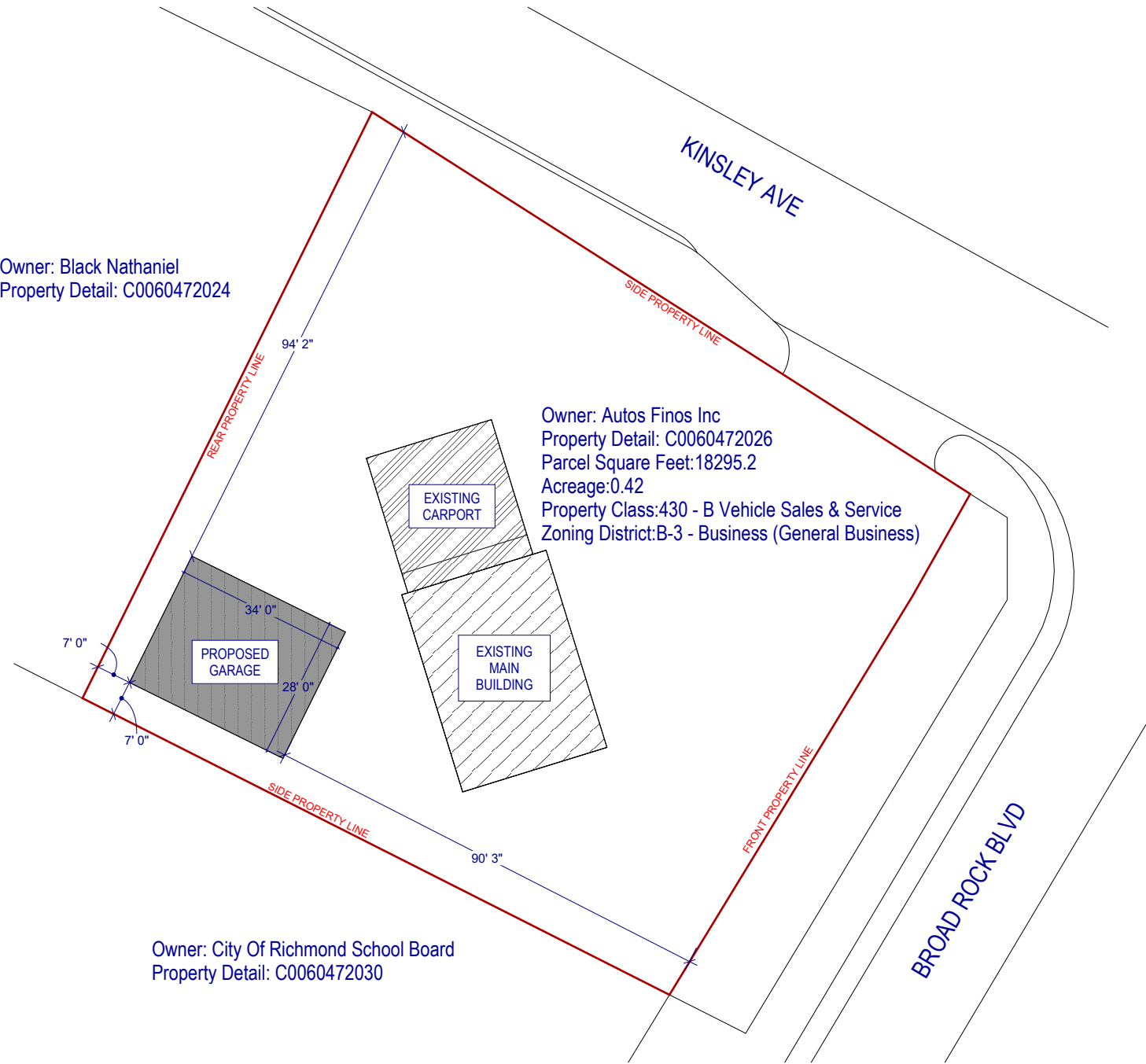
LESS AND EXCEPT that real estate taken by the State Highway and Transportation Commissioner of Virginia by Final Order Confirming Commissioners' Report, recorded September 20, 1982, in the Clerk's Office, Circuit Court, City of Richmond, Division II in Deed Book 587, page 1058.

BEING the same real estate conveyed to Quesada and Son, LLC, by deed from James E. Noonan and Theresa L. Noonan, by deed dated March 27, 2014, recorded April 1, 2014, in the Clerk's Office, Circuit Court, City of Richmond, Virginia, as Instrument No. 14-5302.

**THIS DEED OF GIFT PREPARED WITHOUT BENEFIT OF A TITLE SEARCH**

INSTRUMENT 170001390  
RECORDED IN THE CLERK'S OFFICE OF  
CITY OF RICHMOND ON  
January 23, 2017 AT 12:15 PM  
EDWARD F. JEWETT, CLERK  
RECORDED BY: JRO

Owner: Black Nathaniel  
Property Detail: C0060472024

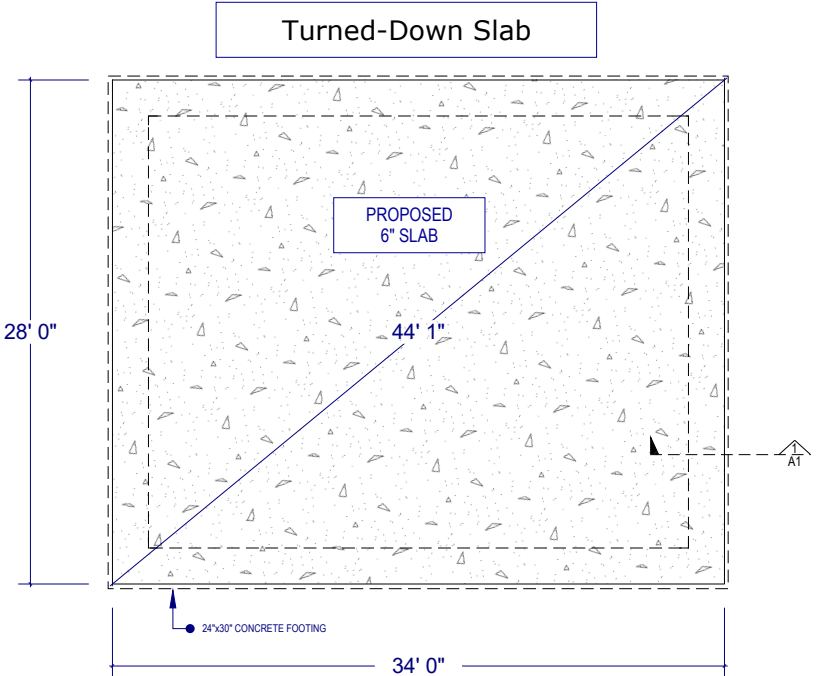


Owner: City Of Richmond School Board  
Property Detail: C0060472030

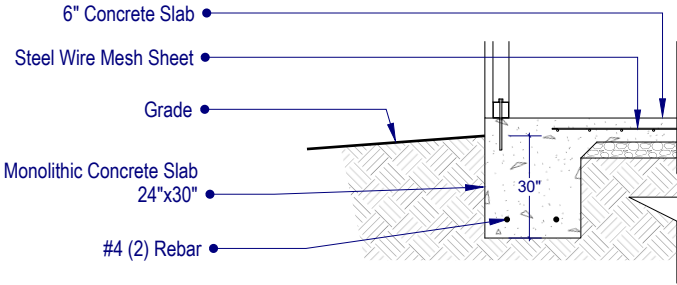


SITE PLAN  
SCALE: 1"=30'

PROPOSED GARAGE WILL BE USED FOR  
LIGHT MAINTENANCE FOR SMALL & MID  
SIZE VEHICLES



FOUNDATION PLAN  
SCALE: 3/32" = 1'-0"



SECTION A1  
SCALE: 1/4" = 1'-0"

1. ALL WORK SHALL MEET OR EXCEED ALL APPLICABLE CODES, REGULATIONS, ORDINANCES, ETC. OF THE AUTHORITY HAVING JURISDICTION AND SHALL CONFORM WITH THE RULES AND REGULATIONS OF OSHA. UNLESS OTHERWISE AGREED TO, THE CONTRACTOR SHALL BE RESPONSIBLE FOR FILING, PURCHASING AND OBTAINING ALL REQUIRED PERMITS, INSPECTIONS, AND FINAL WRITE-OFFS AT THE PROJECT COMPLETION. THE CONTRACTOR SHALL ARRANGE FOR ALL INSPECTIONS NECESSARY TO OBTAIN A CERTIFICATE OF OCCUPANCY.
2. THE CONTRACTOR SHALL VISIT AND EXAMINE THE PROJECT SITE TO BECOME FAMILIAR WITH ALL EXISTING CONDITIONS. THE CONTRACTOR SHALL REVIEW THE CONSTRUCTION DOCUMENTS AND VERIFY DIMENSIONS AND ACTUAL FIELD CONDITIONS. ANY CONFLICTS/OMISSIONS OR DISCREPANCIES BETWEEN THE ACTUAL FIELD CONDITIONS AND THE CONSTRUCTION DOCUMENTS, OR ANY DISCREPANCIES WITHIN THE CONSTRUCTION DOCUMENTS THEMSELVES, SHALL BE BROUGHT TO THE ATTENTION OF THE DRAFTSPERSON, IN WRITING, AS SOON AS POSSIBLE AND PRIOR TO WORK PROCEEDING IN AFFECTED AREA.
3. ANY CONFLICTS FOUND IN THE CONSTRUCTION DOCUMENTS OR ANY APPARENT ERRORS OR OMISSIONS SHALL BE BROUGHT TO THE ATTENTION OF THE DRAFTSPERSON. IN INSTANCES OF CONFLICT BETWEEN THE ARCHITECTURAL DRAWINGS AND THE ENGINEERING DRAWINGS FOR LOCATIONS OF MATERIALS AND EQUIPMENT, THE ARCHITECTURAL DRAWINGS SHALL TAKE PRECEDENCE. FOR DISCREPANCIES NOT BROUGHT TO THE ATTENTION OF THE DRAFTSPERSONIT WILL BE ASSUMED THAT THE CONTRACTOR HAS BID THE MORE EXPENSIVE METHOD OF CONSTRUCTION.
4. PRIOR TO COMMENCEMENT OF WORK THE CONTRACTOR SHALL VERIFY THAT ITS DRAWINGS AND SPECIFICATIONS ARE THE LATEST ISSUE.
5. ALL EXISTING ITEMS NOT SHOWN OR NOT INDICATED AS PART OF THE WORK ARE TO REMAIN.
6. ALLOW FOR PATCHING AND MISCELLANEOUS REPAIR WORK TO TIE NEW WORK INTO OLD. PATCHED SURFACES SHALL MATCH EXISTING. WHERE EXISTING SURFACES ARE PATCHED, THE ENTIRE SURFACE - NOT ONLY THE PATCH - SHALL BE REFINISHED. PATCH, REPAIR AND PAINT ALL EXISTING WALLS TO REMAIN AS REQUIRED BY THE CONSTRUCTION, BY DAMAGE DURING CONSTRUCTION, AND BY THE SCOPE OF WORK.
7. THE CONTRACTOR IS RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCE, PROCEDURES, AND COORDINATION OF ALL WORK PERFORMED UNDER ITS SUPERVISION INCLUDING WORK PERFORMED BY ITS SUBCONTRACTORS.
8. ALL ITEMS REQUIRED BY THESE DRAWINGS BUT NOT SPECIFIED SHALL MATCH BUILDING STANDARD.
9. PROVIDE METAL STUD AND POLYETHYLENE DUST BARRIERS AS REQUIRED TO PREVENT DUST CONTAMINATION OF OCCUPIED SPACE. REPLACE ALL MECHANICAL AIR FILTERS REGULARLY DURING DEMOLITION & DRYWALL SANDING TO PREVENT CLOGGING. NEVER OPERATE SYSTEMS WITHOUT FILTERS. REPLACE FILTERS AS FINAL CLEANING PROCEDURES ARE COMPLETE. BAG AND PROTECT ALL EXISTING WINDOW BLINDS, AS APPLICABLE, PRIOR TO COMMENCING WORK.
10. THE CONTRACTOR SHALL PROVIDE AND MAINTAIN THE NECESSARY COVERINGS, BOARDS, TEMPORARY PARTITIONS, AND DOORS AS REQUIRED TO PROTECT NEW AND EXISTING WORK, MATERIALS, AND FINISHES ALREADY IN PLACE. ANY AREAS IN THE BUILDING DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED TO THEIR ORIGINAL CONDITION BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE.
11. NO WORK AND/OR CONSTRUCTION OPERATIONS SHALL BE PERFORMED THAT WILL UNDERMINE THE STRUCTURAL INTEGRITY OF THE BUILDING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADEQUATELY BRACING AND PROTECTING THE WORK DURING CONSTRUCTION AGAINST DAMAGE, BREAKAGE, COLLAPSE, DISTORTION, AND/OR MISALIGNMENT IN ACCORDANCE WITH ALL APPLICABLE CODES, STANDARDS, AND GOOD PRACTICE.
12. THE CONTRACTOR SHALL VERIFY AND COORDINATE ALL FIELD CONDITIONS AND LAYOUT THE PROPOSED PARTITIONS PRIOR TO FRAMING TO CONFIRM GENERAL COMPLIANCE WITH THE DESIGN INTENT. THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN CRITICAL DIMENSIONS AND CLEARANCES.
13. ALL ABANDONED OR UNUSED EXISTING SWITCHES, PLUGS, OUTLETS, AND JUNCTION BOXES SHALL BE REMOVED AND HOLES PATCHED WITH GYPSUM BOARD TO MATCH ADJACENT SURFACES. NO BLANK COVERS WILL BE ACCEPTED.
14. THE CONTRACTOR SHALL IDENTIFY ALL LONG-LEAD ITEMS THAT MAY ADVERSELY IMPACT THE CONSTRUCTION SCHEDULE. NO SUBSTITUTIONS WILL BE ALLOWED FOR AN ITEM NOT IDENTIFIED BY CONTRACTOR AS "LONG-LEAD" AT THE TIME OF BID SUBMISSION / CONTRACT NEGOTIATION.



DRAWN BY  
JOSE ZEPEDA / Draftsperson  
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7400 Beaufort Springs Dr  
Suite 300, Richmond, VA 23225  
INFINITY WISE LLC  
(804) 292-8162

ADDRESS  
1900 Broad Rock Blvd,  
Richmond, VA 23224

DATE  
05/16/2024

AREA  
952 SQ FT

PROJECT  
GARAGE

OWNER  
AUTOS FINOS INC

DESCRIPTION  
SITE PLAN & FOUNDATION PLAN

A

01

TABLE 1

BOW/RAFTER FRAME, END POST, GROUND ANCHOR AND PANEL FASTENER SPACING SPECIFICATIONS

| WIND EXPOSURE CATEGORY | ULTIMATE WIND SPEED (MPH) | NOMINAL WIND SPEED (MPH) | MAXIMUM GROUND SNOW LOAD (PSF) | MAXIMUM POST/RAFTER SPACING (FEET) | AVERAGE FASTENER SPACING ON-CENTERS ALONG RAFTERS OR PURLINS, AND POSTS OR GIRTS (INCHES) |         |
|------------------------|---------------------------|--------------------------|--------------------------------|------------------------------------|-------------------------------------------------------------------------------------------|---------|
|                        |                           |                          |                                |                                    | METAL PANELS                                                                              | SPACING |
| B or C                 | 105 TO 150                | 82 TO 117                | 35                             | 5.0                                | 29 Gauge                                                                                  | 8       |
|                        |                           |                          | 40                             | 4.0                                |                                                                                           |         |
|                        |                           |                          | 50                             | 4.0 (12 Ga.)                       |                                                                                           |         |

NOTES: 1. Specifications applicable to 29 gauge metal panels fastened directly to 12 or 14 gauge steel tube bow frames.

2. Fasteners consist of #12 x 3/4" self-drilling screws without control seal washers.

3. Specifications applicable only for mean roof height of 24 feet or less and roof slopes of 7 to 27 degrees (1.5:12 to 6:12 pitch). Spacing requirements for other roof heights and/or slopes may vary.

GENERAL NOTES:

THESE PLANS PERTAIN ONLY TO THE STRUCTURE, INCLUDING MAIN WIND FORCE RESISTING SYSTEM (MWFRS), COMPONENTS AND CLADDING, AND BASE RAIL ANCHORAGE. OTHER DESIGN ISSUES, INCLUDING, BUT NOT LIMITED TO, PLUMBING, ELECTRICAL, INGRESS/EGRESS, PROPERTY SET-BACKS, OR OTHER LOCAL ZONING REQUIREMENTS ARE THE RESPONSIBILITY OF OTHERS.

THESE STRUCTURES ARE DESIGNED AS UTILITY/STORAGE BUILDINGS CAPABLE OF SUPPORTING THE DEAD LOAD OF THE STRUCTURE AND APPLICABLE LIVE AND WIND LOADS. IMPROVEMENTS NOT SPECIFICALLY ADDRESSED HEREIN, WHICH EXERT ADDITIONAL LOADS ON THE STRUCTURE SHALL BE AT THE OWNER'S RISK. CAROLINA CARPORTS SHALL NOT BE RESPONSIBLE FOR STRUCTURAL DAMAGE OR FAILURE DUE TO THE APPLICATION OF ADDITIONAL LOADS.

THE SPACING INDICATED IN THE ABOVE TABLE IS THE MAXIMUM SPACING FOR THE MAIN WIND FORCE RESISTING SYSTEM. A CLOSER SPACING MAY BE NEEDED TO MEET LOCAL BUILDING CODE AND/OR SITE SPECIFIC REQUIREMENTS.

ALL STEEL TUBING SHALL BE 55 KSI STEEL OR BETTER. ALL METAL PANELS SHALL BE 80 KSI STEEL OR BETTER.

FASTEN METAL ROOF AND WALL PANELS TO FRAMING WITH #12" x ¾" SELF DRILLING FASTENERS WITH CONTROL SEAL WASHERS AT AN AVERAGE SPACING OF 8" FOR 29 GAUGE PANELS AND 6" FOR 26 GAUGE PANELS.

ALL FIELD CONNECTIONS SHALL BE #12 x ¾" SELF DRILLING FASTENERS (SDF) UNLESS NOTED OTHERWISE.

ALL WELDED CONNECTIONS SHALL BE SHOP WELDED UNLESS NOTED OTHERWISE.

GROUND ANCHOR REQUIREMENTS: INSTALL HELICAL ANCHORS ALONG SIDE BASE RAIL WITHIN 6" OF EACH CORNER POST AND AT A MAXIMUM SPACING OF 25' ALONG THE BASE RAIL. INSTALL GROUND ANCHORS (#4 THREADED REBAR) BETWEEN THE HELICAL ANCHORS WITHIN 6" OF EACH POST ALONG THE BASE RAIL. HELICAL ANCHORS AND GROUND ANCHORS ARE NOT REQUIRED FOR CONCRETE FOOTING AND/OR CONCRETE SLAB CONSTRUCTION.

INSTALL CONCRETE ANCHORS WITHIN 6" OF EACH VERTICAL POST ALONG SIDE AND END BASE RAILS. USE ITW RAMSET/ REDHEAD TRUBOLT OR SIMPSON STRONG-TIE STRONG BOLT-2 WEDGE ANCHORS, OR ITW REDHEAD TAPCON+ OR TITEN HD SCREW ANCHORS OR AN APPROVED EQUAL.

POST/RAFTER BRACING: BRACE ON EVERY POST/RAFTER CONNECTION, EXCEPT FOR END WALLS AND HEADERS.

GALVANIZATION: METAL ACCESSORIES FOR USE IN EXTERIOR WALL CONSTRUCTION AND NOT DIRECTLY EXPOSED TO THE WEATHER SHALL BE GALVANIZED IN ACCORDANCE WITH ASTM A 153, CLASS B-2. METAL PLATE CONNECTORS, SCREWS, BOLTS AND NAILS EXPOSED DIRECTLY TO THE WEATHER SHALL BE STAINLESS STEEL OR HOT DIPPED GALVANIZED.

# STANDARD CARPORT DETAILS

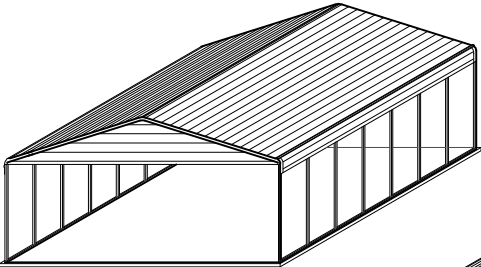
## 26 ft to 30 ft SPAN

### LIGHT FRAME CONSTRUCTION

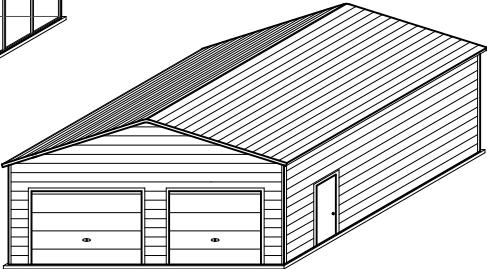
NOTE: THESE PLANS MAY BE USED FOR SPANS LESS THAN 26 FEET.

NOTE: USE  2 1/2" x 2 1/2" 14 Ga.  
 2 1/4" x 2 1/4" 12 Ga.  
STEEL TUBE FOR ALL FRAME AND BASE  
RAIL MEMBERS UNLESS OTHERWISE SHOWN.

NOTE: THESE PLANS INCLUDE STANDARD DETAILS THAT CAN BE USED FOR A WIDE RANGE OF APPLICATIONS. IF SITE SPECIFIC PLANS ARE REQUIRED, A SEPARATE SET OF PLANS WILL NEED TO BE PREPARED.



ISOMETRIC



ISOMETRIC

### CONCRETE FOUNDATION DESIGN RECOMMENDATIONS:

CONCRETE INFORMATION AND DETAILS SHOWN IN THESE PLANS ARE FOR INFORMATION ONLY. THE CONCRETE SLAB AND FOUNDATION ARE BY OTHERS. THE OWNER IS RESPONSIBLE FOR PROVIDING A SUITABLE FOUNDATION FOR THE PROPOSED STRUCTURE AND COORDINATING CONCRETE STRENGTH AND FOUNDATION DEPTH REQUIREMENTS WITH THE LOCAL BUILDING CODE OFFICIALS.

CONCRETE SHALL HAVE A MINIMUM SPECIFIED COMPRESSIVE STRENGTH OF 3000 PSI AT 28 DAYS OR AS REQUIRED BY LOCAL BUILDING CODE. THE USE OF HIGHER STRENGTH CONCRETE IS ACCEPTABLE.

COVER OVER REINFORCING STEEL:  
MINIMUM CONCRETE OVER REINFORCING BARS SHALL BE 3 INCHES WHERE CONCRETE IS CAST AGAINST AND PERMANENTLY IN CONTACT WITH THE EARTH OR EXPOSED TO THE EARTH OR WEATHER AND 1 1/2" ELSEWHERE.

REINFORCING STEEL:  
THE REINFORCING STEEL SHALL BE MINIMUM GRADE 40. THE USE OF FIBER REINFORCED CONCRETE (FRC) OR WELDED WIRE FABRIC (WWF) IS ACCEPTABLE.



**CAROLINA CARPORTS INC.**  
P.O. BOX 1263  
DOBSON, NC 27017  
TOLL FREE 1-800-670-4262  
LOCAL 336-367-6400  
FAX 336-367-6410

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## METAL CARPORT INSTALLATION PLANS AND DETAILS

### AND

### FRAMING AND FASTENER SPECIFICATIONS

CAROLINA CARPORTS, INC.  
187 Cardinal Ridge Trail  
DOBSON, NORTH CAROLINA 27017

THE OWNER IS RESPONSIBLE FOR OBTAINING A BUILDING PERMIT, IF NEEDED, AND FOR COMPLYING WITH ALL LOCAL BUILDING CODE REQUIREMENTS.

THIS IS TO CERTIFY THAT THE CALCULATIONS AND SPECIFICATIONS HEREIN HAVE BEEN PREPARED BY THE UNDERSIGNED PROFESSIONAL ENGINEER, AND ARE IN ACCORDANCE WITH THE REQUIREMENTS OF THE 2018 INTERNATIONAL BUILDING CODE (IBC) AND THE 2018 VIRGINIA CONSTRUCTION CODE.

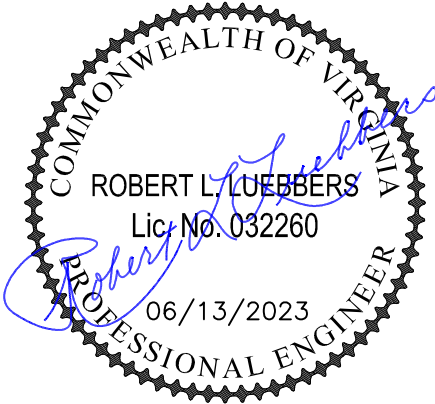
| BUILDING CODE INFORMATION |  |        |     |
|---------------------------|--|--------|-----|
| OCCUPANCY CATEGORY        |  | I      | II  |
| USE GROUP                 |  | U or S |     |
| CONSTRUCTION TYPE         |  | 2B     |     |
| IMPORTANCE FACTORS        |  |        |     |
| WIND Iw                   |  | 1.0    |     |
| SNOW Is                   |  | 0.8    | 1.0 |
| EARTHQUAKE Ie             |  | 1.0    |     |

| DESIGN LOADS                 |             |
|------------------------------|-------------|
| MIN. DEAD LOAD               | 5 PSF       |
| MIN. FLOOR LIVE LOAD         | 125 PSF     |
| MIN. ROOF LIVE LOAD          | 20 PSF      |
| MIN. GROUND SNOW LOAD        | SEE TABLE 1 |
| MAX. GROUND SNOW LOAD        |             |
| MIN. ULTIMATE WIND SPEED     |             |
| MAX. ULTIMATE WIND SPEED     |             |
| EXPOSURE CATEGORY            | D2          |
| MAX. SEISMIC DESIGN CATEGORY |             |

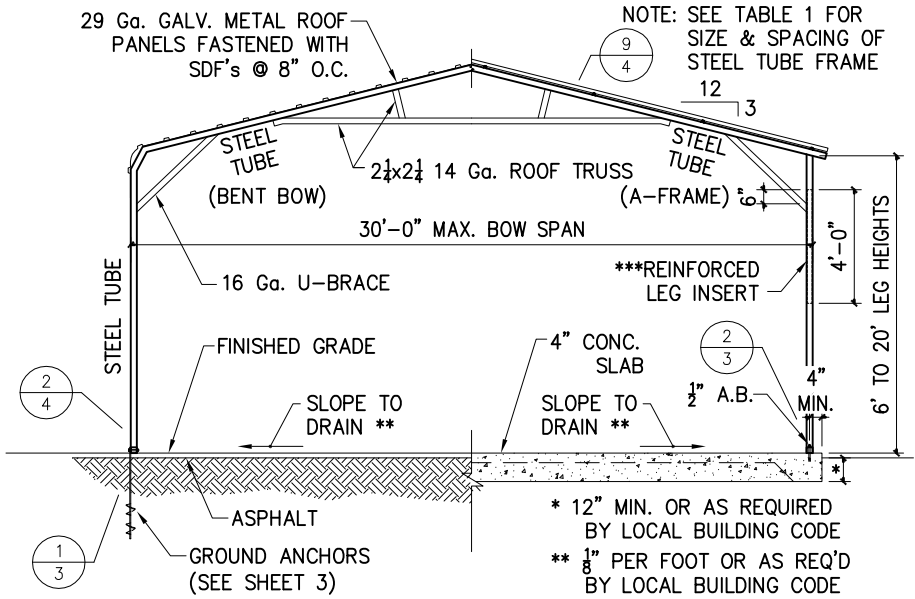
These plans have been provided for the purpose of obtaining a building permit for the construction of the building for:

Name: Auto Finos Inc  
Address: 1900 Braod Rock Blvd  
City: Richmond State: VA  
Zip: 23224

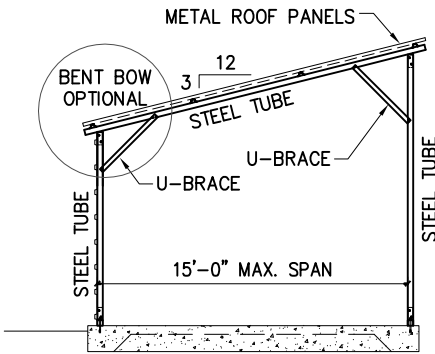
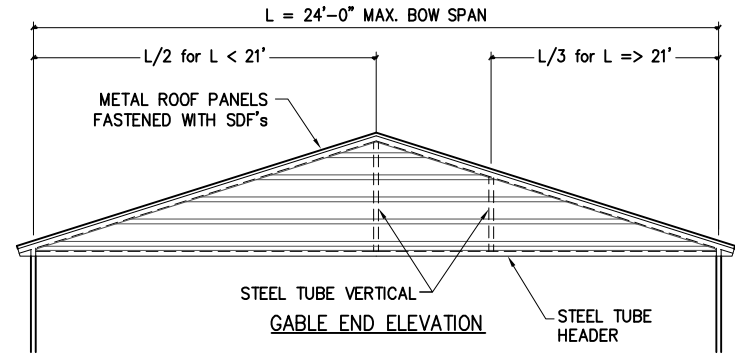
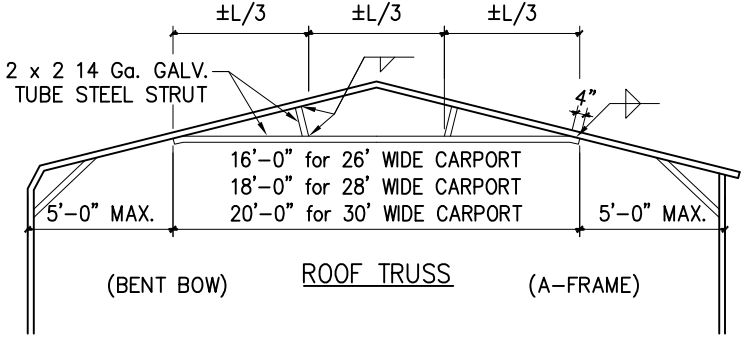
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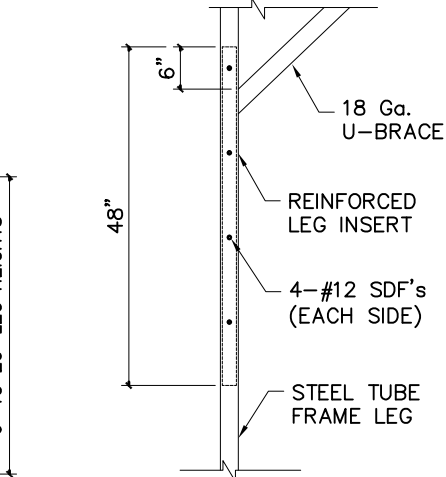




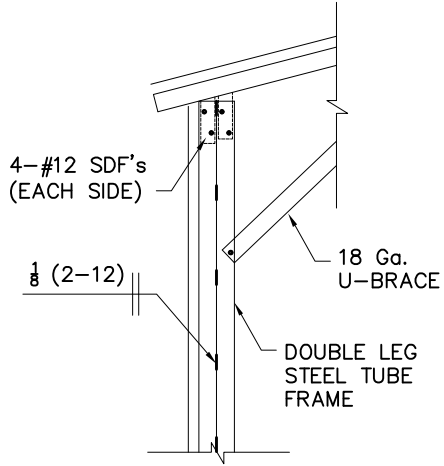
1  
2 TYPICAL BOW SECTION



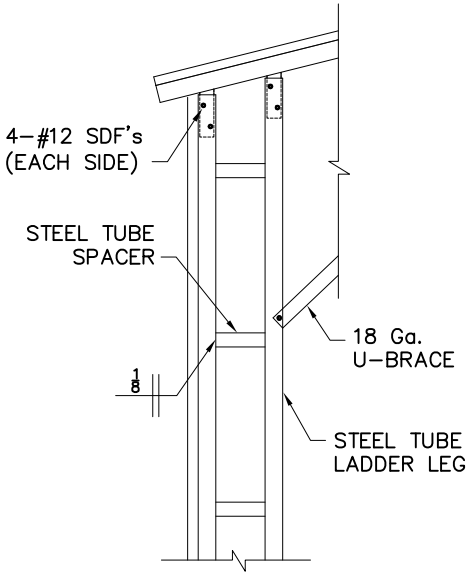
STAND-ALONE LEAN-TO



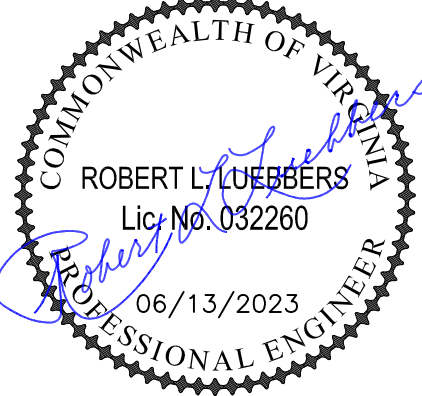
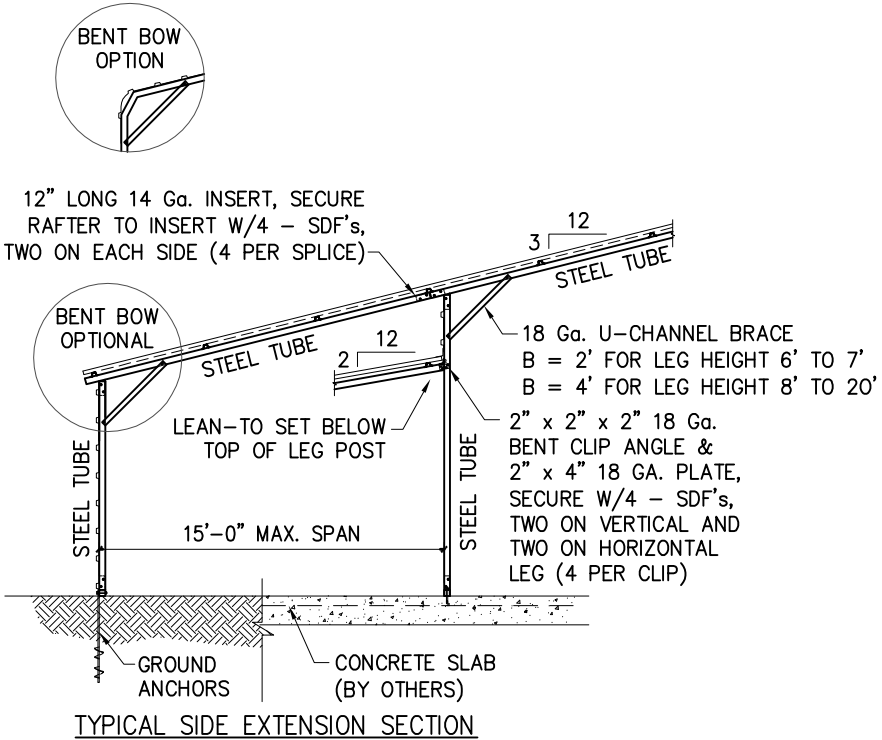
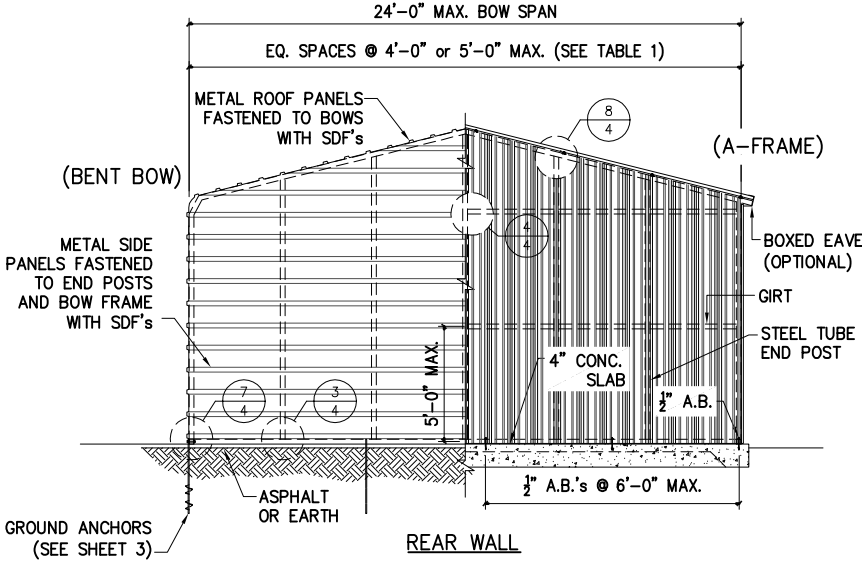
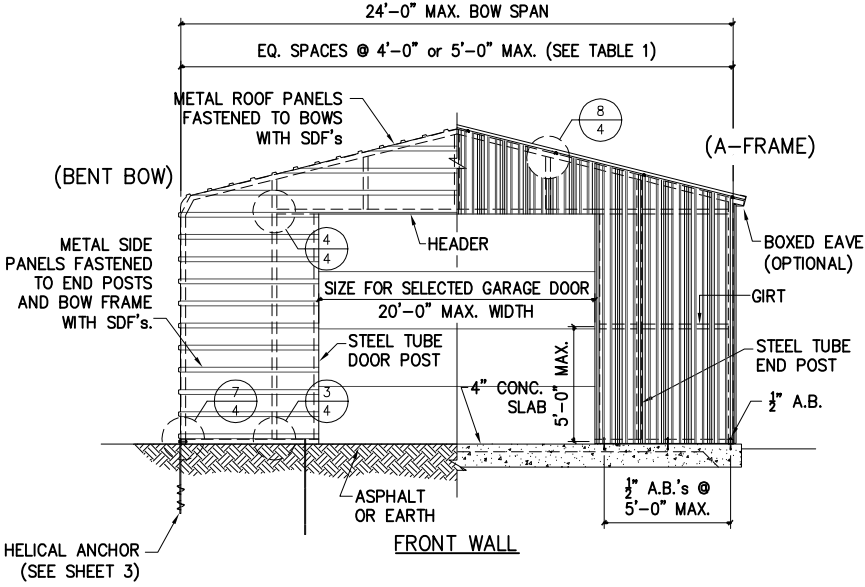
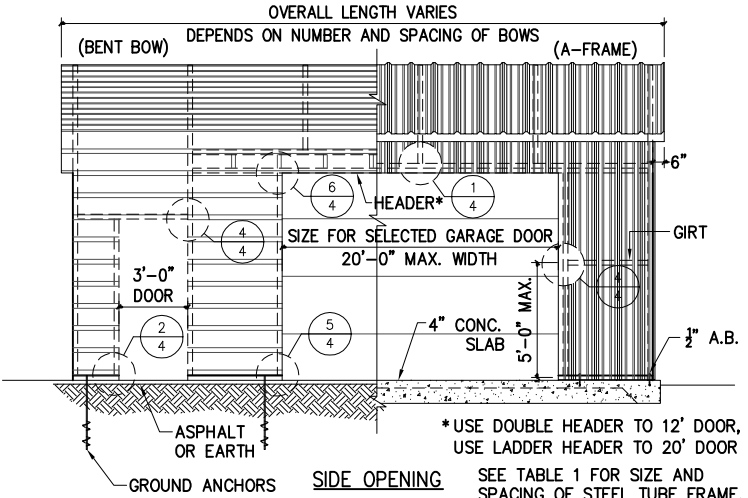
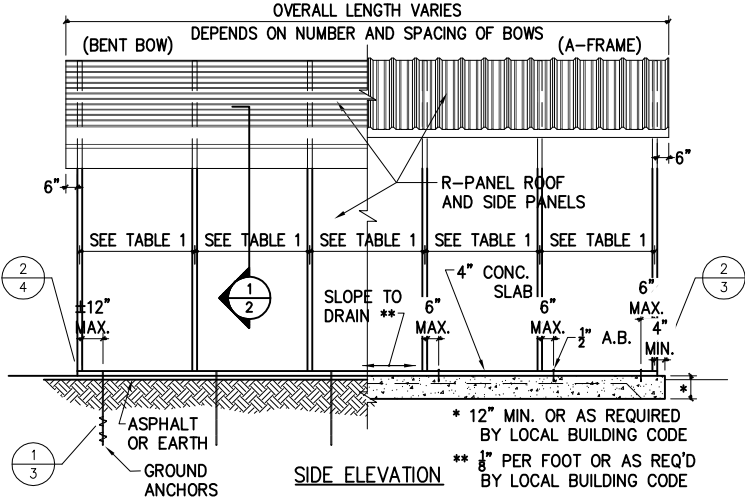
\*\*\* REINFORCED LEG INSERT  
(LEG HEIGHTS 13' to 14')



\*\*\* DOUBLE LEG  
(LEG HEIGHTS 15' to 16')



\*\*\* LADDER LEG  
(LEG HEIGHTS 17' to 20')





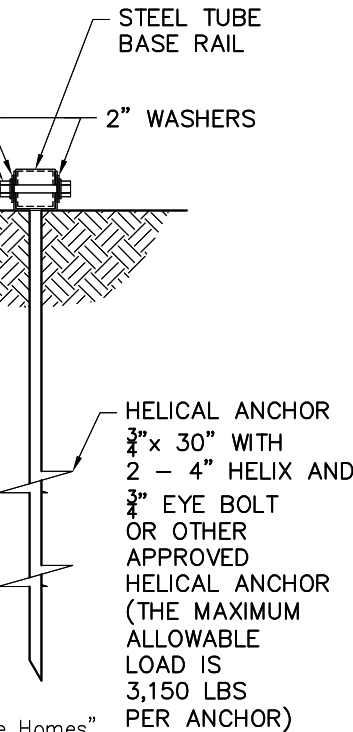
SOIL CLASSIFICATIONS

SOIL CLASS SOIL DESCRIPTION

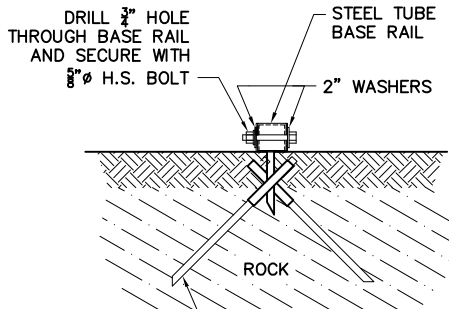
- 2 Very dense &/or cemented sands, coarse gravel and cobbles, caliche, preloaded silts, and clays.
- 3 Medium dense coarse sands, sandy gravels, very stiff silts, and clays.
- 4 Loose to medium dense sands, firm to stiff clays and silts alluvial fill and VERY loose to medium dense sands, firm to stiff clays and silts, alluvial fill.

THE HELICAL ANCHOR SHALL BE APPROVED FOR USE IN SOIL CLASSIFICATIONS 2, 3, AND 4.

\* Taken from HUD "Standard for Installation of Mobile Homes"



1 SOIL BASE RAIL ANCHOR DETAIL



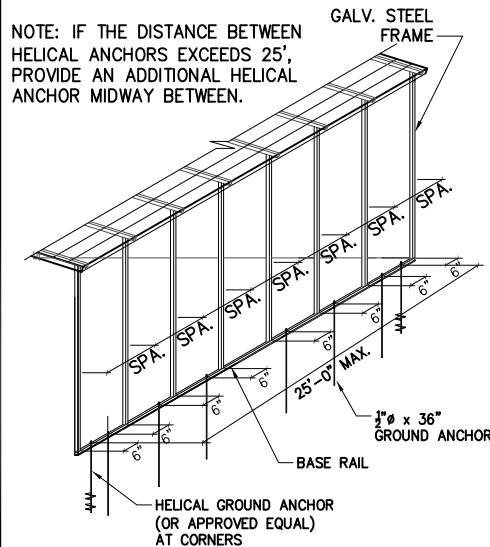
SOIL CLASSIFICATIONS

SOIL CLASS SOIL DESCRIPTION

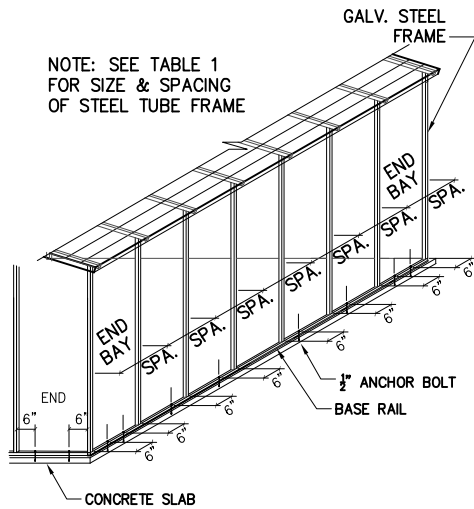
- 1 Rock or Hard Pan

ROCK ANCHOR MMA-35 36 XDH WITH 5/8" H.S. BOLT OR EQUIVALENT (THE MAXIMUM ALLOWABLE LOAD IS 4,725 LBS PER ANCHOR)

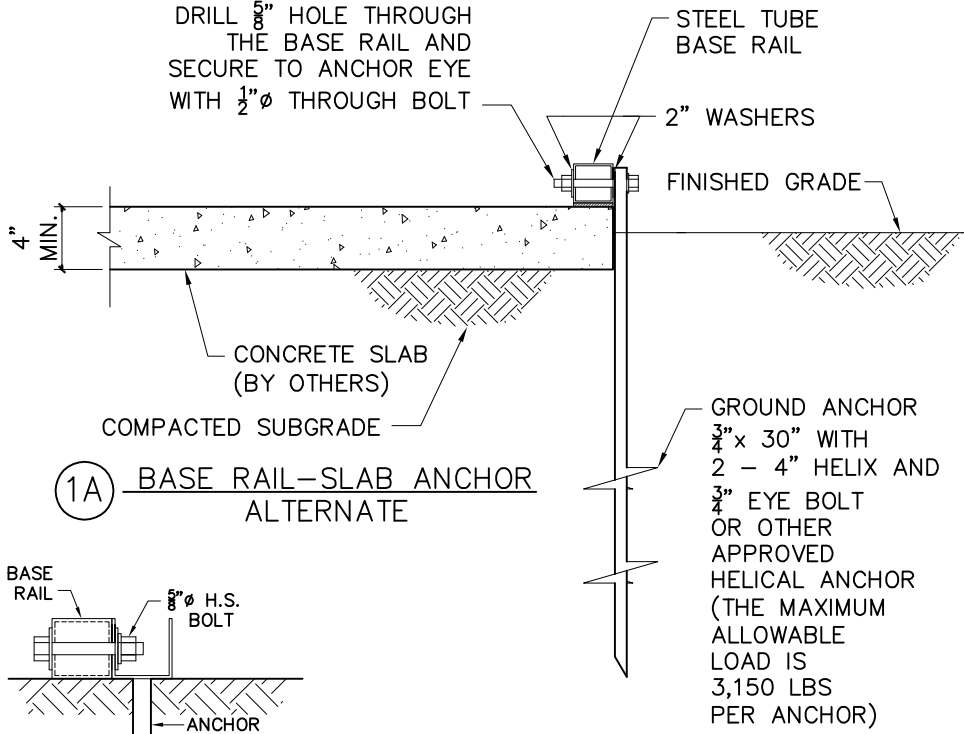
1C ROCK BASE RAIL ANCHOR DETAIL



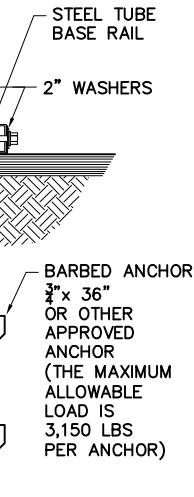
HELICAL GROUND ANCHORS



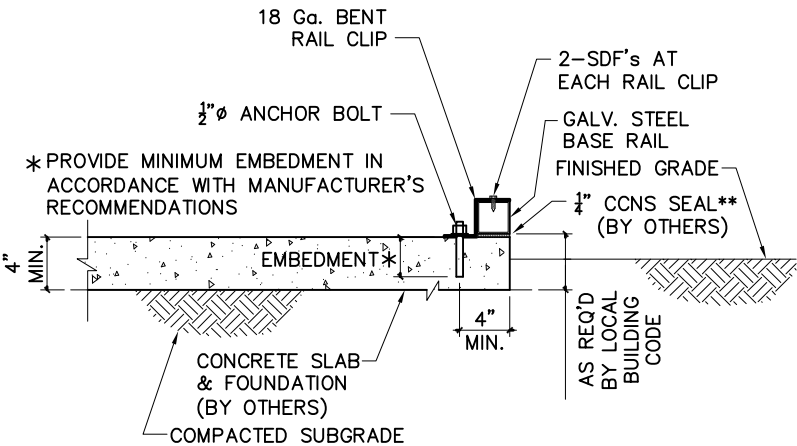
ANCHOR BOLTS



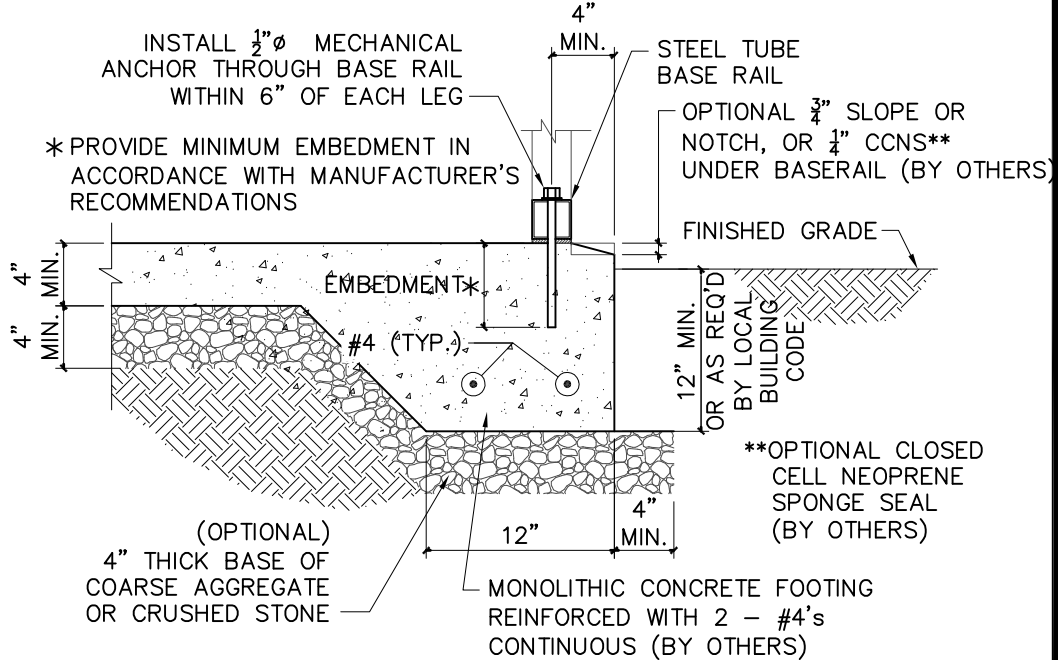
1A BASE RAIL-SLAB ANCHOR ALTERNATE



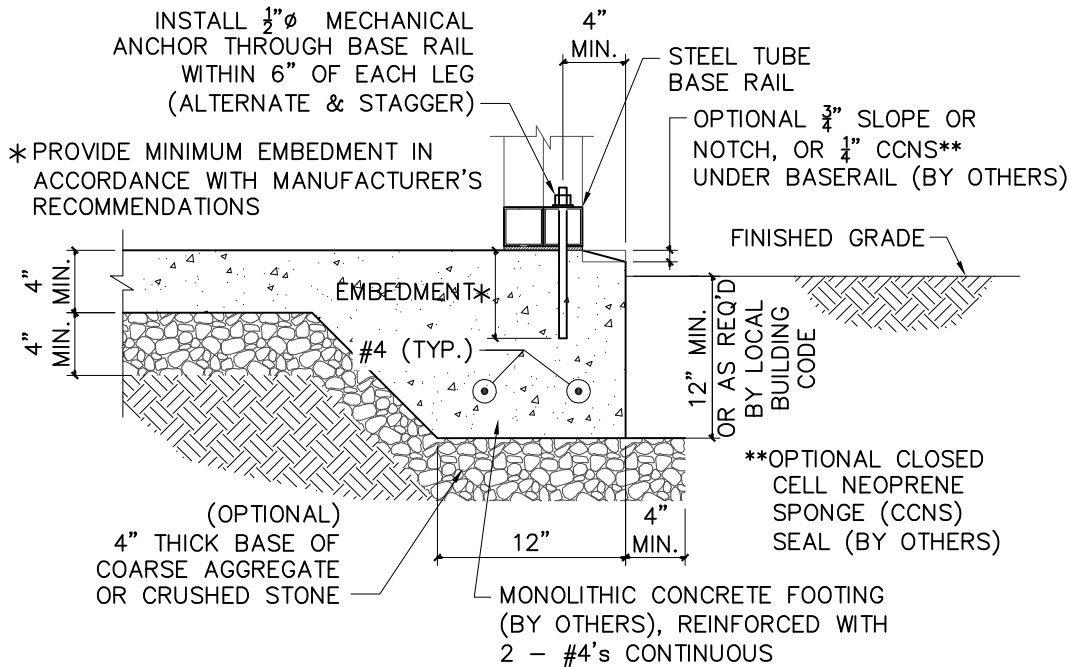
1B ASPHALT ANCHOR DETAIL



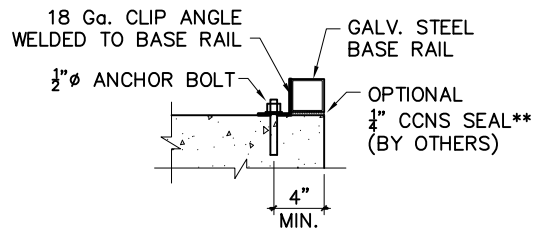
2C ALTERNATE BASE RAIL ANCHORAGE



2 CONCRETE BASE RAIL ANCHORAGE (SINGLE LEG)

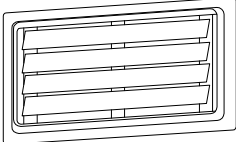


2B CONCRETE BASE RAIL ANCHORAGE (DOUBLE LEG)



2D ALTERNATE BASE RAIL CLIP

BREAKAWAY



CRAWL SPACE DOOR SYSTEMS, INC.  
5741 Bayside Road, #105  
Virginia Beach, VA 23455  
Engineered Flood Vent  
Model CSBA816

OR Approved Equal  
FLOOD VENTS



