

REVISION	DATE
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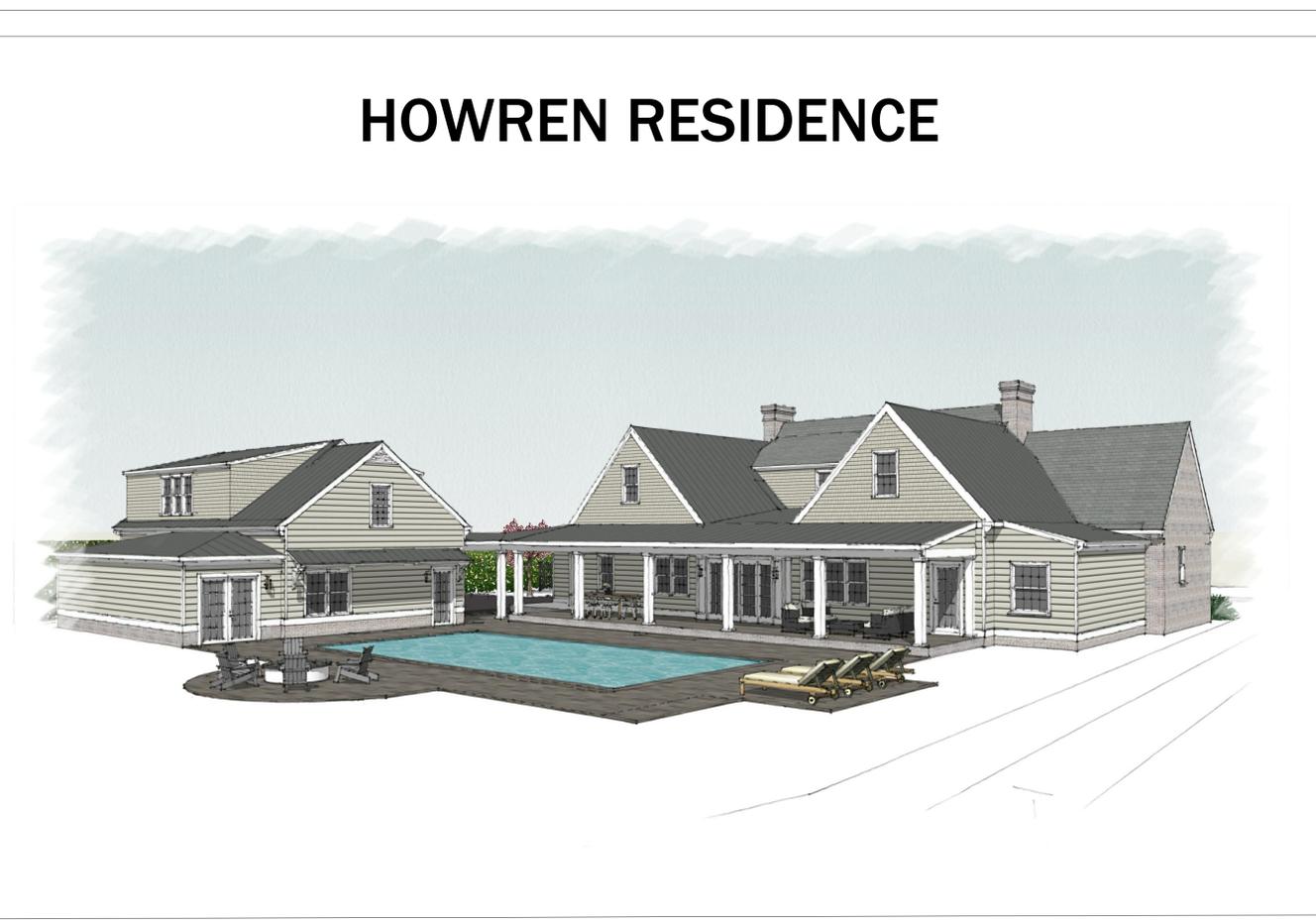
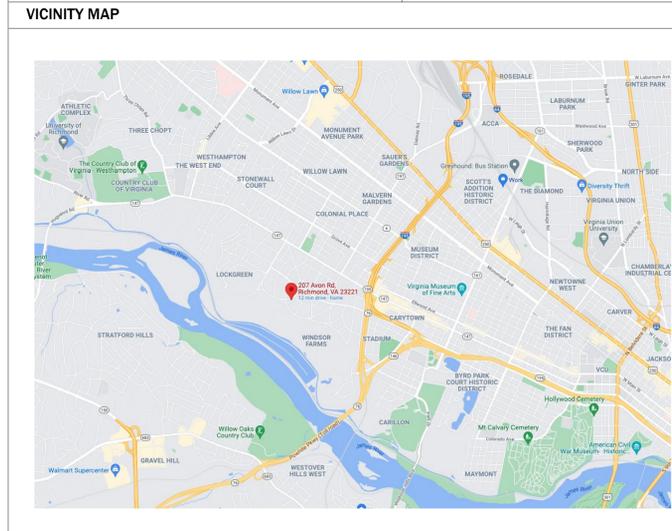
NOTES:
1. ALL DIMENSIONS SHOWN ARE TO F.O. STUD UNLESS OTHERWISE NOTED.
2. HOUSE DATUM: X.X' = 0'-0"

PROJECT TEAM	
OWNER	JAY AND JENNY HOWREN
ARCHITECT	MENLO ARCHITECTURE CONTACT: NAME: BYRON KNOWLSON EMAIL: BYRON@MENLOARCHITECTURE.COM PHONE: 804.305.9997
CONTRACTOR	LIONHEAD LLC CONTACT: NAME: DREW MILLER EMAIL: DREW@LIONHEADLLC.COM PHONE: 804.814.0411
INTERIOR DESIGNER	HANOVER AVENUE CONTACT: NAME: LAUREN KNOWLSON EMAIL: LAUREN@HANOVERAVENUE.COM PHONE: 804.514.6582
STRUCTURAL ENGINEER	DUNBAR, MILBY, WILLIAMS PITTMAN VAUGHAN NAME: DONNA ADAMS EMAIL: DADAMS@DMWPV.COM PHONE: 804.323.0656

CODE INFORMATION																	
PROJECT ADDRESS																	
-	207 AVON ROAD RICHMOND VA 23221																
-	PARCEL ID: W0220264014																
ZONING ORDINANCE																	
-	CITY OF RICHMOND VIRGINIA																
-	ZONE: R-1 RESIDENTIAL																
-	HEIGHT LIMIT:																
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APPLICABLE BUILDING CODES																	
-	2018 VIRGINIA UNIFORM STATE WIDE BUILDING CODE (VUSBC)																
-	2018 VIRGINIA RESIDENTIAL CODE (VRC)																

SQUARE FOOTAGES	ENERGY DESIGN CRITERIA
- EXISTING FIRST FLOOR	1,723 SF
- EXISTING SECOND FLOOR	1,076 SF
- EXISTING TOTAL (FINISHED)	2,799 SF
- DEMOLISHED SUN PORCH	(203) SF
- ADDED FIRST FLOOR	2,078 SF
- ADDED SECOND FLOOR	0 SF
- TOTAL ADDED SQUARE FOOTAGE (HOUSE)	2,078 SF
- NEW HOUSE CONDITIONED SQFT	4,674 SF
- GARAGE UNCONDITIONED FIRST FLOOR	751 SF
- GARAGE CONDITIONED FIRST FLOOR	609 SF
- GARAGE CONDITIONED SECOND FLOOR	795 SF
- GARAGE TOTAL SQUARE FOOTAGE	2,155 SF
- COVERED PORCHES	934 SF
- TOTAL CONDITIONED	6,078 SF

REFERENCE PART IV-ENERGY CONSERVATION, SECTION N1101 OF THE 2018 VIRGINIA RESIDENTIAL CODE	
CEILING R-VALUE	49
WOOD FRAME WALL R-VALUE	20
MASS WALL R-VALUE	8/13
FLOOR R-VALUE	19
BASEMENT WALL R-VALUE	10/13
SLAB R-VALUE, DEPTH	10, 2 FEET
CRAWL SPACE WALL R-VALUE	10/13
FENESTRATION U-FACTOR	.32
SKYLIGHT U-FACTOR	.55
GLAZED FENESTRATION SHGC	.40



ABBREVIATIONS							
ABV	ABOVE	EP	EPOXY PAINT	MATL	MATERIAL	SPEC	SPECIFICATION
AFF	ABOVE FINISH FLOOR	EQUIP	EQUIPMENT	M	METER	SQ	SQUARE
ACT	ACOUSTICAL TILE	EST	ESTIMATE	MM	MILLIMETER	STD	STANDARD
ACC	ACOUSTICAL	EXH	EXHAUST	MIN	MINIMUM	STC	SOUND TRANSMISSION
ADJ	ADJACENT	EXTG	EXISTING	MIR	MIRROR	STG	STORAGE
AHU	AIR HANDLING UNIT	(E)	EXISTING DIMENSIONS	MISC	MISCELLANEOUS	STL	STEEL
ALUM	ALUMINUM	EXP	EXPOSED	MOD	MODULAR	STRUCT	STRUCTURAL
AB	ANCHOR BOLT	EXT	EXTERIOR	MTD	MOUNTED	SYM	SYMMETRICAL
APPROX	APPROXIMATE	EIFS	EXTERIOR INSULATION FINISH SYSTEM	NAT	NATURAL	SUSP	SUSPENDED
AD	AREA DRAIN	FOC	FACE OF CONCRETE	NRC	NOISE REDUCTION COEFFICIENT	SYS	SYSTEM
APC	ARCHITECTURAL PRECAST CONC.	FOM	FACE OF MASONRY	NOM	NOMINAL	SS	STAINLESS STEEL
BRG	BEARING	FOS	FACE OF STUDS	N	NORTH	TEL	TELEPHONE
BLW	BELOW	FFE	FINISH FLOOR ELEVATION	NIC	NOT IN CONTRACT	TV	TELEVISION
BLDG	BUILDING	FIN	FINISH(ED)	NTS	NOT TO SCALE	TEMP	TEMPERATURE
BLK	BLOCK	FIXT	FIXTURE	NO	NUMBER	T.S.	TUBE STEEL
BLKG	BLOCKING	FCU	FAN COIL UNIT	O/	OVER	THK	THICK
BD	BOARD	FE	FIRE EXTINGUISHER	OC	ON CENTER	THR	THRESHOLD
BM	BEAM	FEC	FIRE EXTINGUISHER CABINET	OFF	OFFICE	T&G	TONGUE & GROOVE
BO	BOTTOM OF	FA	FIRE ALARM	OPNG	OPENING	T/C	TABLE OF CURB
BRK	BRICK	FLR	FLOOR(ING)	OPP	OPPOSITE	TP	TOP OF PAVEMENT
BTW	BETWEEN	FD	FLOOR DRAIN	OWSJ	OPEN WEB STEEL JOIST	T	TREAD
BUR	BUILT UP ROOFING	FLOU	FLOUORESCENT	OPPH	OPPOSITE HAND	TOW	TOP OF WALL
BOW	BOTTOM OF WALL	FT	FOOT OR FEET	OD	OUTSIDE DIAMETER	TJ	TRUSS JOIST
CPT	CARPET	FTG	FOOTING	OA	OVERALL	TWF	THROUGH WALL FLASHING
CI	CAST IRON	FND	FOUNDATION	OH	OVERHEAD	TYP	TYPICAL
CIP	CAST IN PLACE	GA	GAUGE	O.F.C.I.	OWNER FURNISHED, GC INSTALLED	UC	UNDER COUNTER
CB	CEMENT BOARD	GALV	GALVANIZED	O.F.O.I.	OWNER FURNISHED, GC INSTALLED	UNF	UNFINISHED
CLG	CEILING	GC	GENERAL CONTRACT(OR)	PT	PRESSURE TREATED	UNO	UNLESS NOTED OTHERWISE
CTR	CENTER	GL	GLASS/GLAZING	PNT	PAINT(ED)	UR	URINAL
CT	CERAMIC TILE	GLB	GLASS BLOCK	PVMT	PAVEMENT	VB	VAPOR BARRIER
CIR	CIRCLE	GCMU	GLAZED CMU	PR	PAIR	VERT	VERTICAL
CLR	CLEAR(ANCE)	GR	GRADE	PERIM	PERIMETER	VEST	VESTIBULE
CLOS	CLOSET	GRNT	GRANITE	PLAS	PLASTIC	VCT	VINYL COMPOSITE TILE
CO	CLEAN OUT	GFCMU	GROUND FACE CMU	PLAM	PLASTIC LAMINATE	VSG	VINYL SHEET GOOD
COL	COLUMN	GFCI	GROUND FAULT CIRCUIT	PL	PLATE	VP	VENEER PLASTER
COMP	COMPOSITION	GPDW	GYPSPUM DRYWALL	PWD	PLYWOOD	WA	WASHER
CONC	CONCRETE	HDW	HARDWARE	PVC	POLYVINYL CHLORIDE	WC	WALL CLOSET
CMU	CONCRETE MASONRY UNIT	HTG	HEATING	PCF	POUNDS PER CUBIC FOOT	W.F.	WIDE FLANGE
CONST	CONSTRUCTION	HVAC	HEATING VENTING AIR	PFL	POUNDS PER LINEAR FOOT	WWF	WATERPROOFING
CONT	CONTINUOUS OR CONTINUE	HGT	HEIGHT	PSF	POUNDS PER SQUARE FOOT	W	WELDED WIRE FABRIC
CLL	CONTRACT LIMIT LINE	HMT	HOLLOW METAL	PSI	POUNDS PER SQUARE INCH	W	WEST
CJ	CONTROL JOINT	HORZ	HORIZONTAL	PC	PRECAST	WT	WEIGHT
CG	CORNER GUARD	HOSE BIB	HOSE BIB	QT	QUARRY TILE	WN	WINDOW
CORR	CORRIDOR	HR	HOUR	R	RUBBER	W/	WITH
CH	COUNTER HEIGHT	INCL	INCLUDE	RA	RETURN AIR	W/O	WITHOUT
CRS	COURSE(S)	ID	INSIDE DIAMETER	RAD	RADIUS	WD	WOOD
CF	CUBIC FEET	INSUL	INSULATION	RD	ROOF DRAIN		
CY	CUBIC YARD	INT	INTERIOR	RCP	REFLECTED CEILING PLAN		
DEPT	DEPARTMENT	JAN	JANITOR CLOSET	REF	REFERENCE(REFER)		
DTL	DETAIL	JOINT	JOINT	RECEP	RECEPTACLE		
DIA	DIAMETER	J	JOIST	RFL	REFLECT(ED)		
DIM	DIMENSION	KIT	KITCHEN	REFR	REFRIGERATOR		
DISP	DISPENSER	LBL	LABEL	REFR	REFRIGERATOR		
DIV	DIVISION	LAM	LAMINATE	REIN	REINFORCED		
DR	DOOR	LAV	LAVATORY	REQ	REQUIRED		
DRY	DRYER	LH	LEFT HAND	RESIL	RESILIENT		
DBL	DOUBLE	L	LEFT HAND	RH	RIGHT HAND		
DH	DOUBLE HUNG	LT	LEFT HAND	RND	ROUND		
DN	DOWN	LT WT	LIGHT WEIGHT	RM	ROOM		
DS	DOWNSPOUT	LF	LINEAR FOOT	RL	RAIN LEADER		
DWG	DRAWING	LL	LIVE LOAD	RO	ROUGH OPENING		
DF	DRINKING FOUNTAIN	LL	LIVE LOAD	SAF	SELF ADHERED FLASHING		
EA	EACH	MH	MANHOLE	SCHED	SCHEDULE		
E	EAST	MFR	MANUFACTURER	SFCMU	SPLIT FACE CMU		
EJ	EAST	SLNT	MASONRY	SEALNT	SEALANT		
ELEC	EXPANSION JOINT	SECT	MASONRY OPENING	SECT	SECTION		
ELEC	ELECTRIC(AL)	SHT	METAL	SHT	SHEET		
EW	ELECTRIC WATER COOLER	SIM	MAXIMUM	S	SIMILAR		
ELEV	ELEVATOR	S	MECHANICAL	S	SOUTH		
EMER	EMERGENCY	SC	MEDIUM	SC	SOLID CORE		
ENCL	ENCLOSE(SURE)	MBR	MEMBER	SD	SMOKE DETECTOR		

GENERAL NOTES	
1.	ALL WORK SHALL CONFORM WITH ALL GOVERNING LAWS, CODES & ORDINANCES INCLUDING, BUT NOT LIMITED TO, THE VIRGINIA UNIFORM STATEWIDE BUILDING CODE (VUSBC) AND THE INTERNATIONAL RESIDENTIAL CODE (IRC). IF POTENTIAL CONFLICTS ARISE, THE CONTRACTOR SHALL NOT PROCEED WITH THE EFFECTED WORK AND SHALL NOTIFY THE DESIGNER IMMEDIATELY.
2.	THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL MEANS AND METHODS OF CONSTRUCTION. THIS SHALL SPECIFICALLY INCLUDE ON-SITE PROCEDURES AS THEY RELATE TO THE SAFETY OF THE CONSTRUCTION CREW AND THE GENERAL PUBLIC. IN ADDITION, IT SHALL SPECIFICALLY INCLUDE THE PROTECTION OF ANY EXISTING STRUCTURES TO AVOID DAMAGE RELATING TO OR ARISING FROM WORK WITHIN THIS CONTRACT.
3.	THE CONTRACTOR SHALL NOTIFY THE DESIGNER ARCHITECT OF ANY CONFLICTS OR AMBIGUITIES DISCOVERED IN THE CONTRACT DOCUMENTS DURING BIDDING, DEMOLITION OR NEW CONSTRUCTION. THE CONTRACTOR SHALL NOT PROCEED WITH WORK IN ANY AREA OF CONFLICT UNTIL THE ISSUE HAS BEEN RESOLVED.
4.	THE CONTRACTOR SHALL PROVIDE CLEAN-UP OF DEBRIS AND TRASH AT INTERVALS REQUIRED TO KEEP THE SITE AND WORK AREAS REASONABLY CLEAN OF UNSAFE AND UNSIGHTLY ACCUMULATION. THE CONTRACTOR SHALL ALSO PROVIDE A PROFESSIONAL CLEANING AT PROJECT COMPLETION. SEE SPECIFICATIONS FOR REQUIREMENTS.
5.	WHERE POTENTIAL HAZARDOUS MATERIALS ARE ENCOUNTERED DURING WORK WITHIN THIS CONTRACT, THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR USING NECESSARY PRECAUTIONS DURING WORK AND / OR DISPOSAL. IF UNFORESEEN SUSPECT MATERIALS ARE UNCOVERED DURING WORK WITHIN THIS CONTRACT, THE CONTRACTOR SHALL STOP WORK IN THE AREA IMMEDIATELY AND NOTIFY THE ARCHITECT.
6.	ALL MECHANICAL, PLUMBING, AND ELECTRICAL WORK, AS REQUIRED, TO BE COMPLETED BY LICENSED CONTRACTOR IN THEIR RESPECTIVE TRADES. EACH SUB-CONTRACTOR IS RESPONSIBLE FOR OBTAINING THE APPROPRIATE PERMITS AS NECESSARY FROM THE MUNICIPALITY HAVING JURISDICTION
7.	

SYMBOLS			
DRAWING TITLE	1 DRAWING NAME	ROOM NAME, NUMBER & FINISH	LIVING ROOM
	DRAWING SCALE		100 FL WD
ELEVATION KEY	1 A100	WINDOW TAG	255-W1
		DOOR TAG	255-D1
SECTION KEY	1 A100	CENTER LINE	⊥
		STEP ELEVATION (PLAN)	0'-6"
INTERIOR ELEVATION KEY	1/A5.0	WALL TYPE	#
		REVISION BUBBLE TAG	#
ELEVATION TAG	+0'-0" (+1250.50) FINISHED FLOOR		

DRAWING LIST			
SHEET #	DRAWING TITLE	PROGRESS 09/15/21	PERMIT 12/06/21
A0.0	PROJECT INFORMATION	X	X
A0.1	SITE PLAN	X	X
D1.0	DEMOLITION PLANS	X	X
S1.0	BRACED WALL PANEL CALCS & GEN. STRUCT. NOTES		X
A1.0	FLOOR PLAN - HOUSE FOUNDATION	X	X
A1.1	FLOOR PLAN - HOUSE FIRST FLOOR	X	X
A1.2	FLOOR PLAN - HOUSE SECOND FLOOR	X	X
A1.3	FLOOR PLAN - HOUSE ROOF PLAN	X	X
A1.4	FLOOR PLAN - GARAGE FOUNDATION & FIRST FLOOR	X	X
A1.5	FLOOR PLAN - GARAGE SECOND FLOOR & ROOF PLAN	X	X
A2.0	BUILDING ELEVATIONS - HOUSE	X	X
A2.1	BUILDING ELEVATIONS - HOUSE	X	X
A2.2	BUILDING ELEVATIONS - GARAGE	X	X
A3.0	BUILDING SECTIONS	X	X
A3.1	BUILDING SECTIONS	X	X
A3.2	BUILDING SECTIONS	X	X
A4.0	WALL SECTIONS		
A4.1	WALL SECTIONS		
A4.2	WALL SECTIONS		
A6.0	INTERIOR ELEVATIONS	X	X
A6.1	INTERIOR ELEVATIONS	X	X
A6.2	INTERIOR ELEVATIONS	X	X
A6.3	INTERIOR ELEVATIONS	X	X
A6.4	INTERIOR ELEVATIONS	X	X
A6.5	INTERIOR ELEVATIONS		X
A6.6	INTERIOR ELEVATIONS		X
A9.0	SCHEDULES - DOORS & WINDOWS	X	X
A9.0	SCHEDULES - FINISHES, PLUMBING, APPLIANCES	X	X
E1.0	ELECTRICAL & LIGHTING PLAN - FIRST FLOOR HOUSE	X	X
E1.1	ELECTRICAL & LIGHTING PLAN - SECOND FLOOR HOUSE	X	X
E1.2	ELECTRICAL & LIGHTING PLAN - GARAGE	X	X

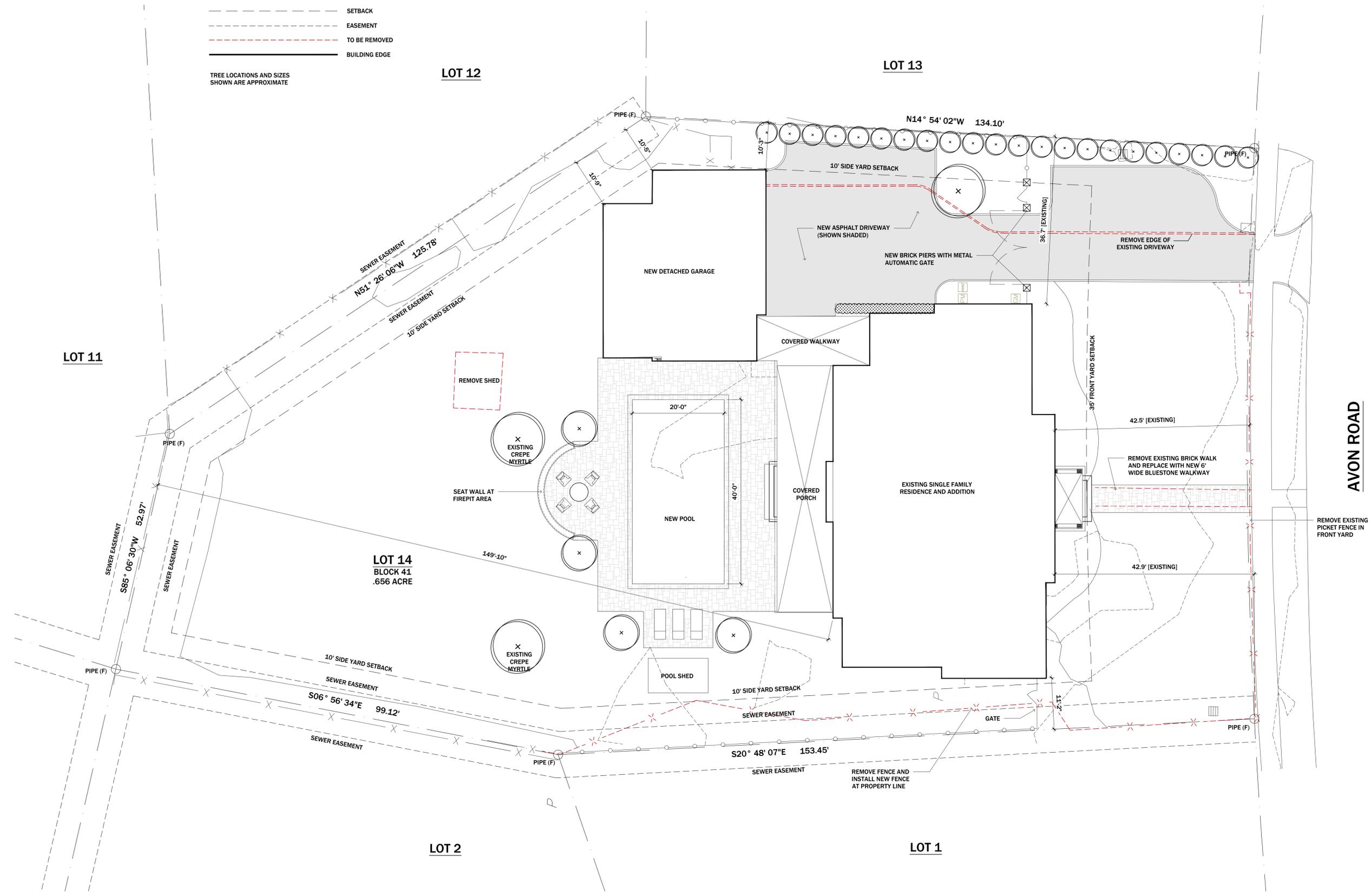
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LEGEND

- PROPERTY LINE
- - - SETBACK
- - - EASEMENT
- - - TO BE REMOVED
- BUILDING EDGE

TREE LOCATIONS AND SIZES SHOWN ARE APPROXIMATE



AVON ROAD

REMOVE EXISTING PICKET FENCE IN FRONT YARD

SITE PLAN 1
1" = 10'-0"

SITE PLAN

LEGEND

-  EXISTING WALL TO REMAIN
-  NEW WALL
-  CMU
-  BRICK VENEER

GENERAL CONSTRUCTION NOTES

1. DIMENSIONS WHERE SHOWN ARE TO FACE OF CONCRETE, MASONRY OR STUD UNLESS NOTED OTHERWISE. VERIFY ALL DIMENSIONS OF EXISTING WALLS. NOTIFY ARCHITECT OF DISCREPANCIES, MAINTAIN ALL CLEAR DIMENSIONS.
2. ALL MATERIALS AND PRODUCTS TO BE INSTALLED IN STRICT ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS
3. ALL WORK SHALL BE IN ACCORDANCE WITH ANY APPLICABLE BUILDING CODES

KEY NOTES

- ① TBD

GARAGE LINTEL SCHEDULE

- GL1 (3) 2X6 VERTICAL W/ (1) JS, (2) KS
- GL2 (3) 2X8 VERTICAL W/ (1) JS, (3) KS
- GL3 (3) 1 3/4" X 11 1/4" LVL WITH (3) JS, (4) KS
- GL4 (3) 2X6 WITH (1) JS, (1) KS
- GL5 (3) 1 3/4" X 7 1/4" LVL (3) JS, (1) KS

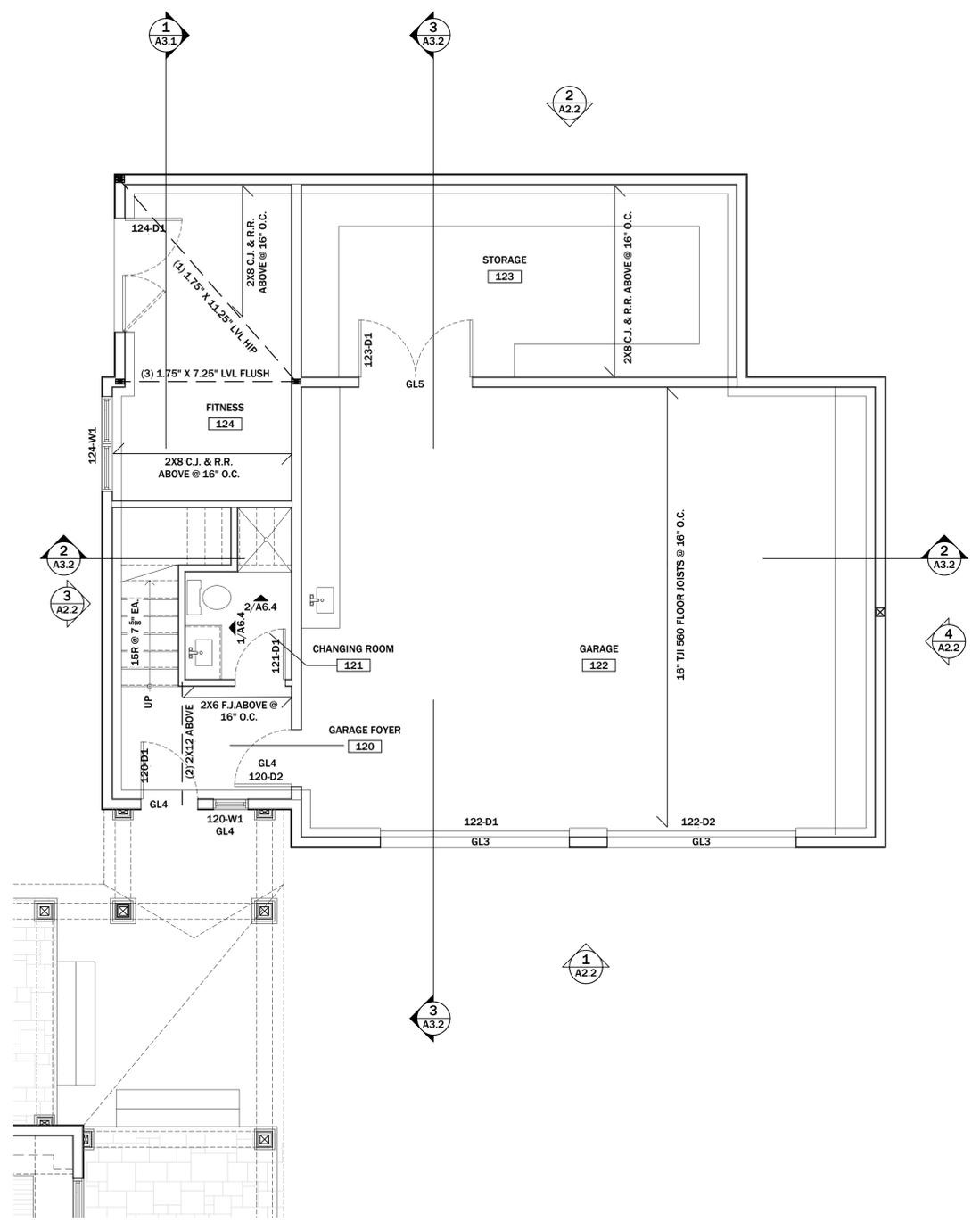
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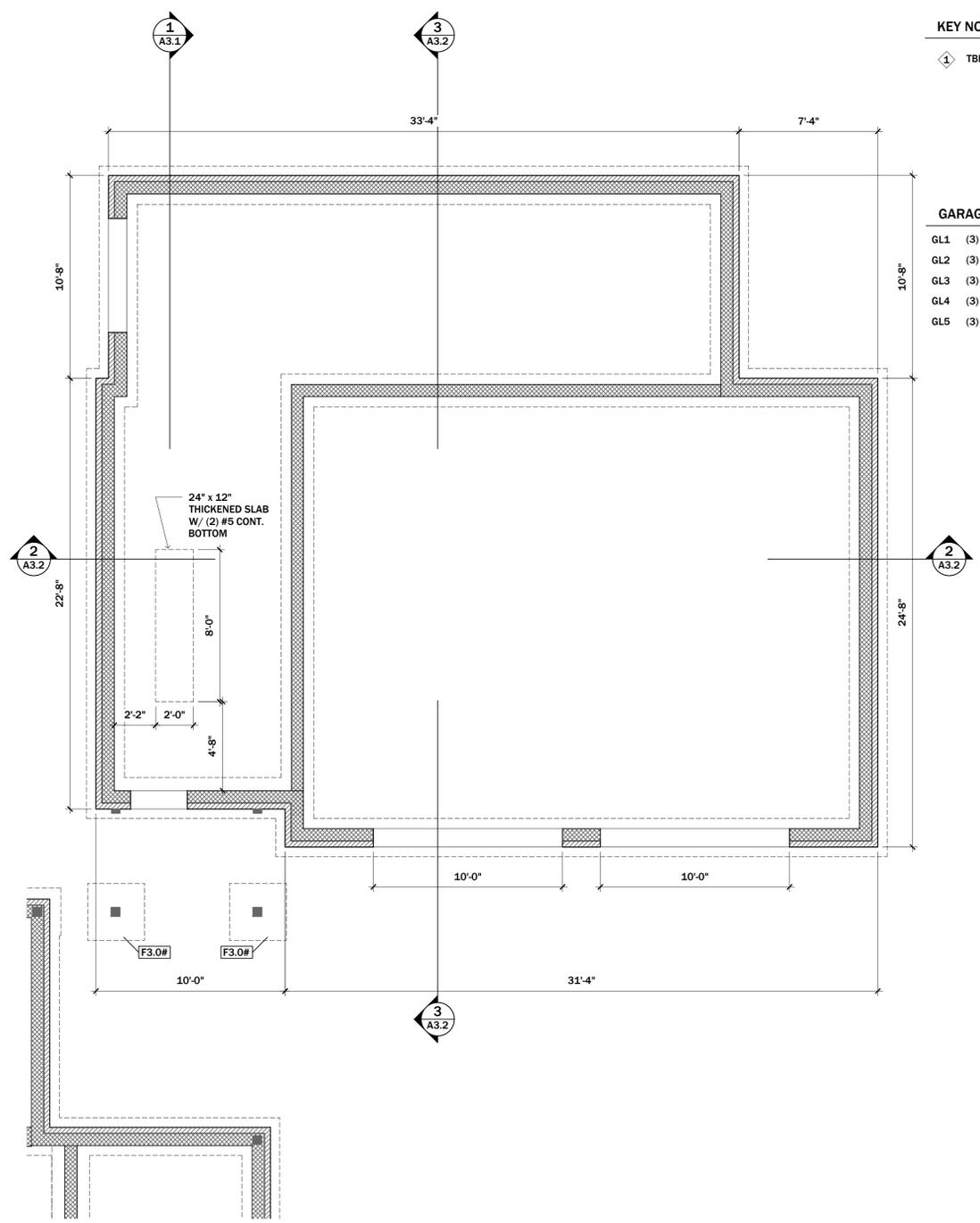
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GARAGE FIRST FLOOR ②
1/4" = 1'-0"



GARAGE FOUNDATION PLAN ①
1/4" = 1'-0"

GARAGE FOUNDATION AND FIRST FLOOR PLAN

LEGEND

-  EXISTING WALL TO REMAIN
-  NEW WALL

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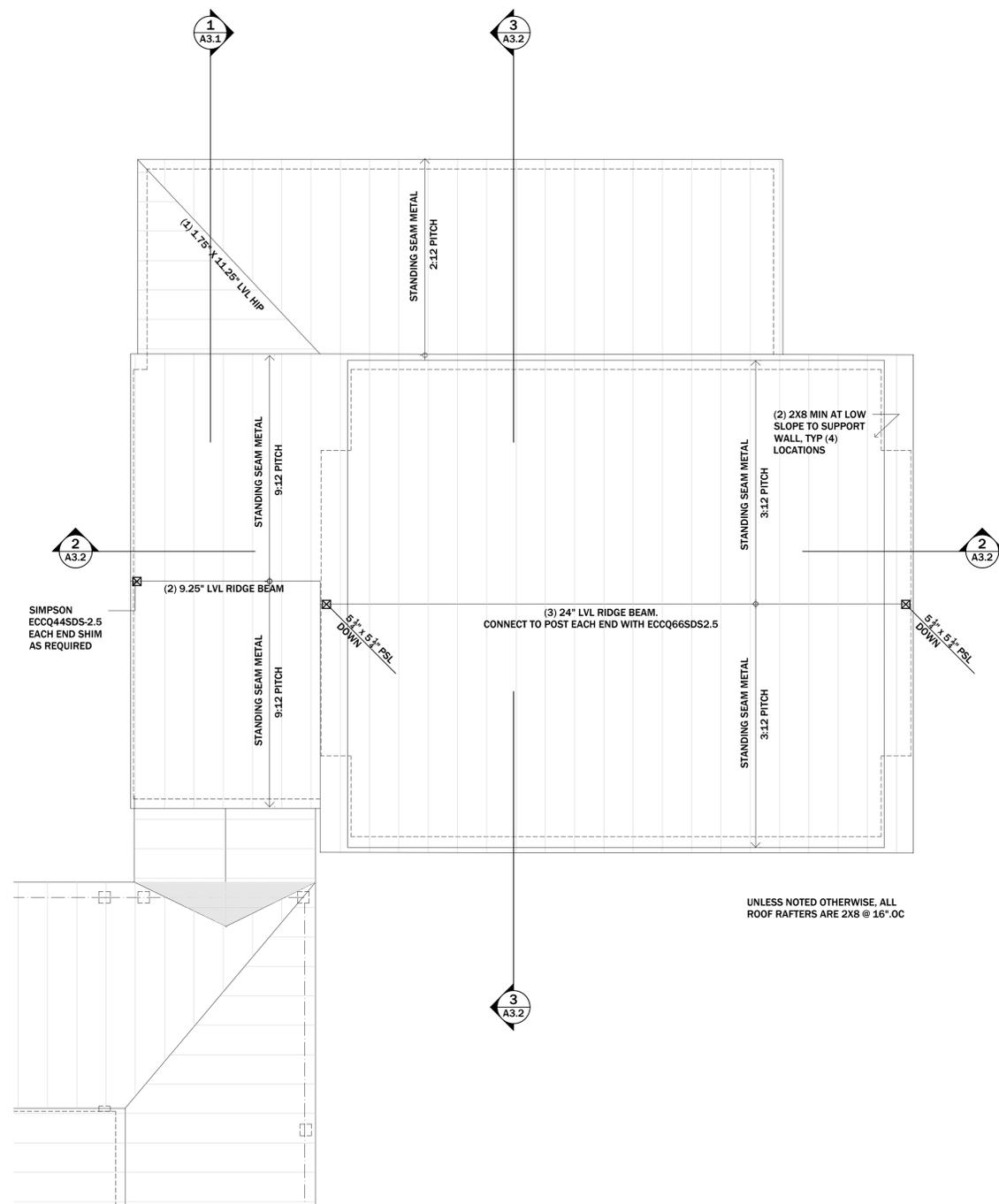
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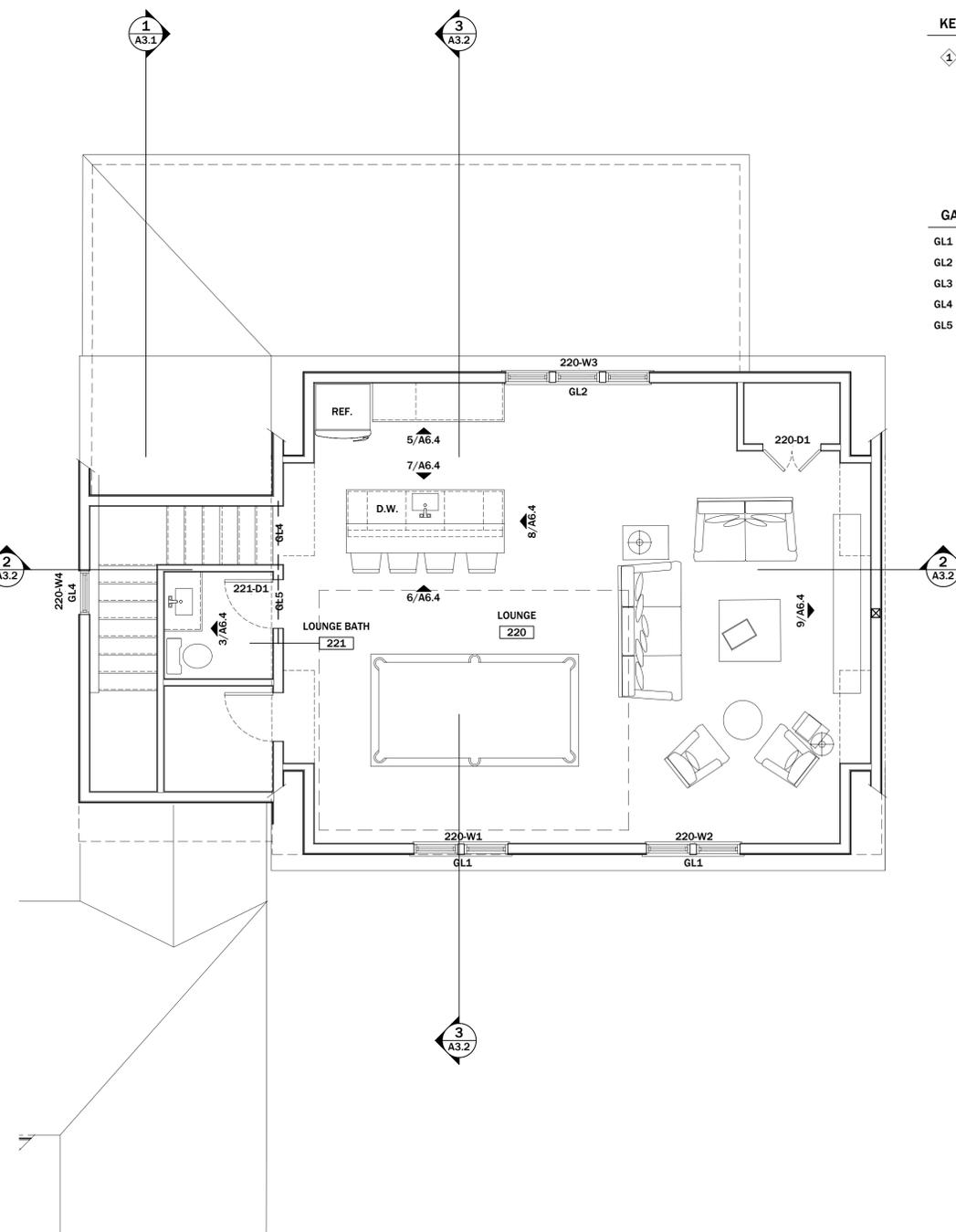
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GARAGE ROOF PLAN ②
1/4" = 1'-0"



GARAGE SECOND FLOOR PLAN ①
1/4" = 1'-0"

GARAGE SECOND FLOOR AND ROOF PLAN

EXTERIOR MATERIAL KEY

- 01 HARDIE SHINGLE (JAMES HARDIE)
- 02 HARDIE PLAN (JAMES HARDIE)
- 03 COMPOSITE SKIRT BOARD, PAINTED
- 04 BRICK (NEW TO MATCH EXISTING)
- 05 STANDING SEAM METAL ROOF (COLOR TBD)
- 06 SLATE ROOF (TO MATCH EXISTING)
- 07 COMPOSITE TRIM (PAINTED)
- 08 COMPOSITE COLUMN WRAP (PAINTED)
- 09 COPPER GUTTER / DOWNSPOUT
- 10 EXISTING BRICK
- 11 STONE FLOORING
- 12 WOOD BRACKET

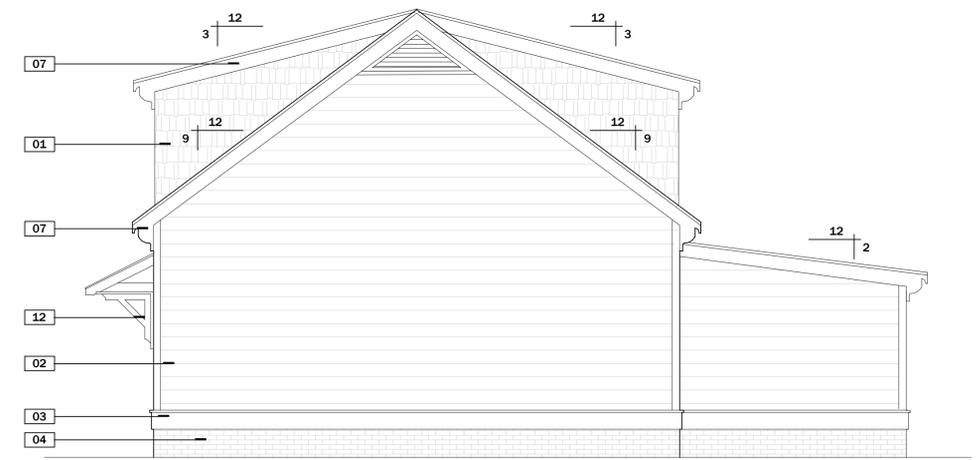
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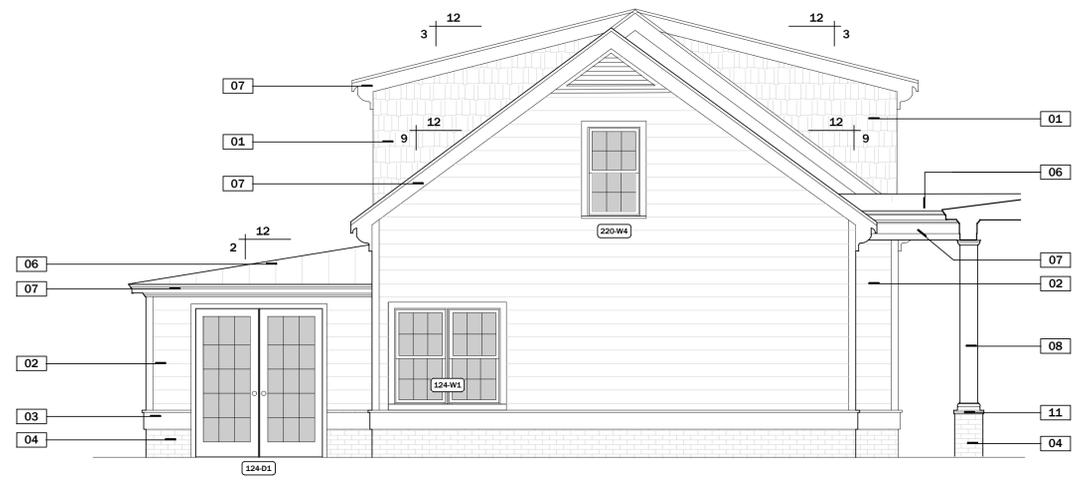
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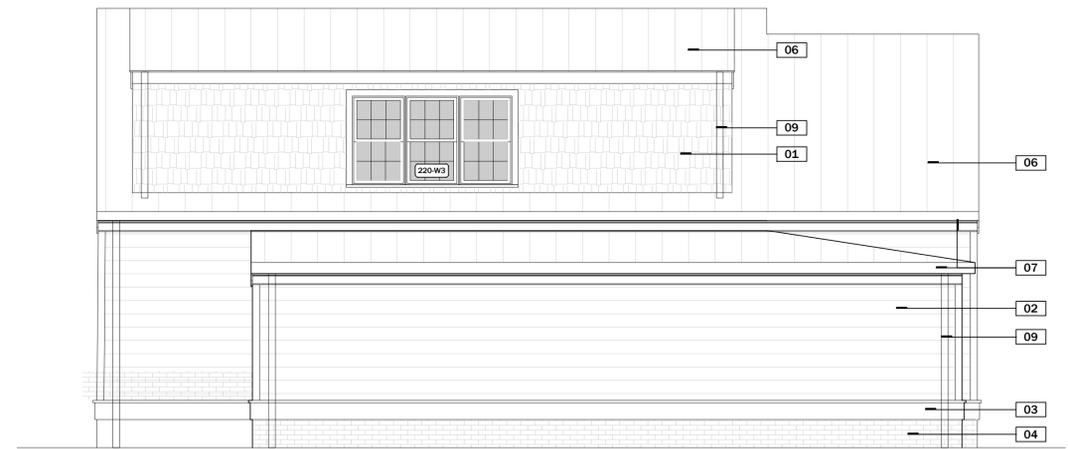
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SOUTHWEST [SIDE] ELEVATION 4
1/4" = 1'-0"



NORTHEAST [SIDE] ELEVATION 3
1/4" = 1'-0"



SOUTHEAST [REAR] ELEVATION 2
1/4" = 1'-0"



NORTHWEST [FRONT] ELEVATION 1
1/4" = 1'-0"

EXTERIOR ELEVATIONS - GARAGE