



Commission for Architectural Review Application for Certificate of Appropriateness

900 E. Broad Street, Room 510
Richmond, VA 23219 | (804)-646-6569

www.rva.gov/planning-development-review/commission-architectural-review



Property (location of work)

Address: 2912 Libby Terrace Richmond, VA 23223

Historic District: St. Johns

Applicant Information Billing Contact

Name: Angela Ciccolo

Email: aciccolosolutions@gmail.com

Phone: 202-413-5344

Company: _____

Mailing Address: 2912 Libby Terrace

Richmond, VA 23223

Applicant Type: Owner Agent Lessee

Architect Contractor

Other (specify): _____

Owner Information Billing Contact

Same as Applicant

Name: _____

Email: _____

Phone: _____

Company: _____

Mailing Address: _____

****Owner must sign at the bottom of this page****

Project Information

Project Type: Alteration Demolition New Construction (Conceptual Review Required)

Project Description (attach additional sheets if needed):

Construction of a ~~10x16~~ 12x16 Modern-Shed in back yard to be used as home office for resident.

Acknowledgement of Responsibility

Compliance: If granted, you agree to comply with all conditions of the certificate of appropriateness (COA). Revisions to approved work require staff review and may require a new application and approval from the Commission of Architectural Review (CAR). Failure to comply with the conditions of the COA may result in project delays or legal action. The COA is valid for one (1) year and may be extended for an additional year, upon written request and payment of associated fee.

Requirements: A complete application includes all applicable information requested on checklists available on the CAR website to provide a complete and accurate description of existing and proposed conditions, as well as payments of the application fee. Applications proposing major new construction, including additions, should meet with staff to review the application and requirements prior to submitting an application. Owner contact information and signature is required. Late or incomplete applications will not be considered.

Zoning Requirements: Prior to Commission review, it is the responsibility of the applicant to determine if zoning approval is required an application materials should be prepared in compliance with zoning.

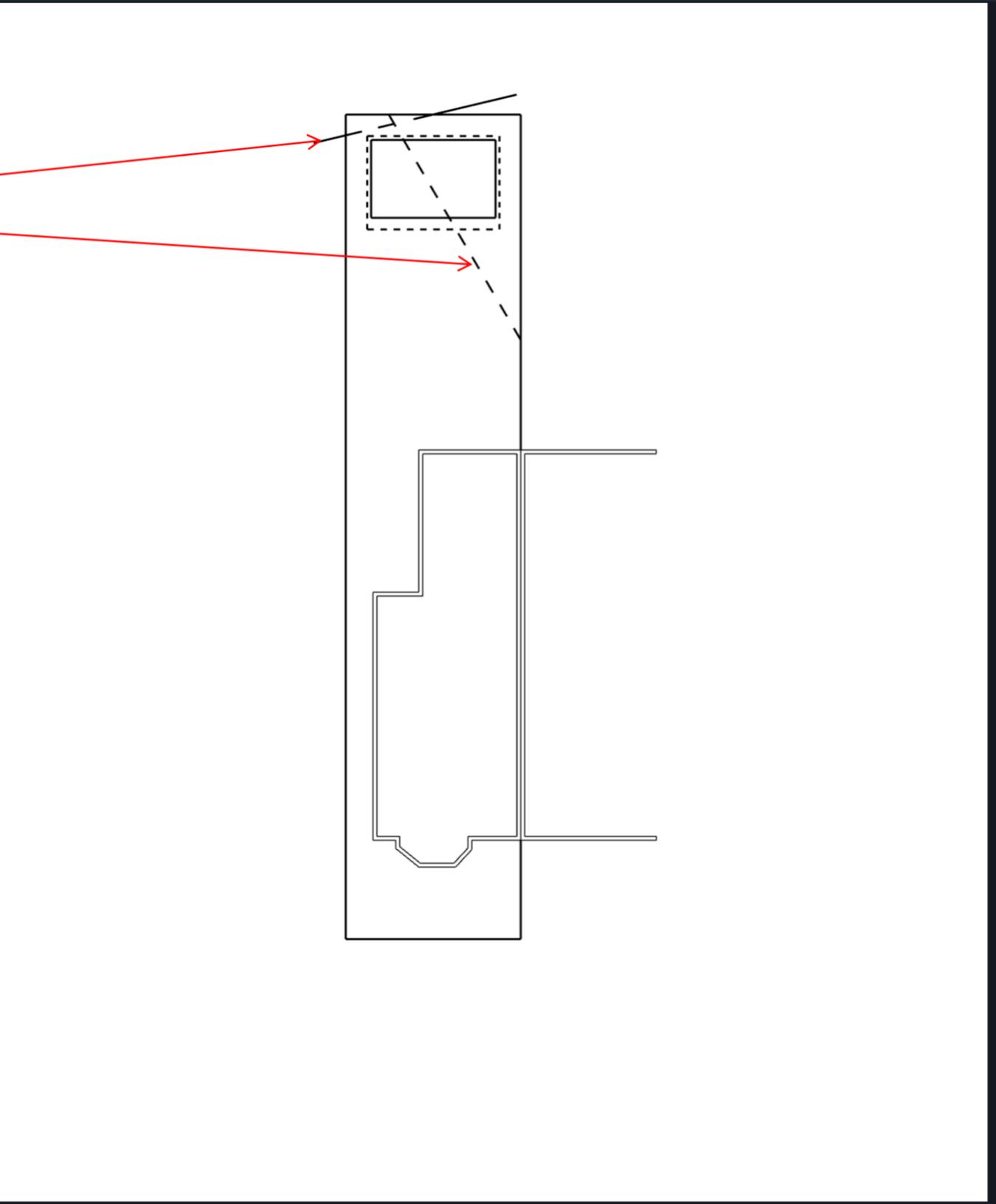
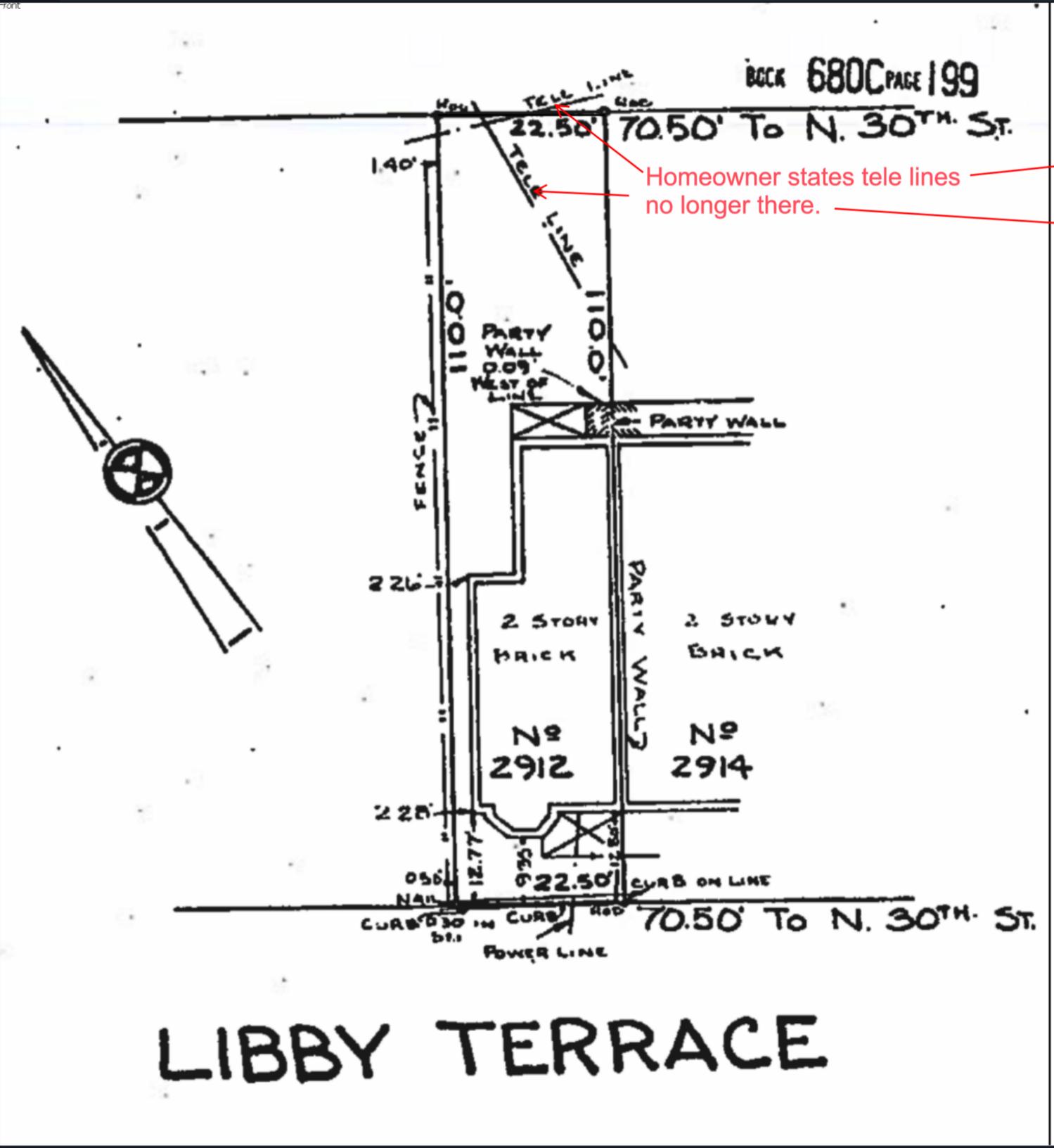
Signature of Owner _____

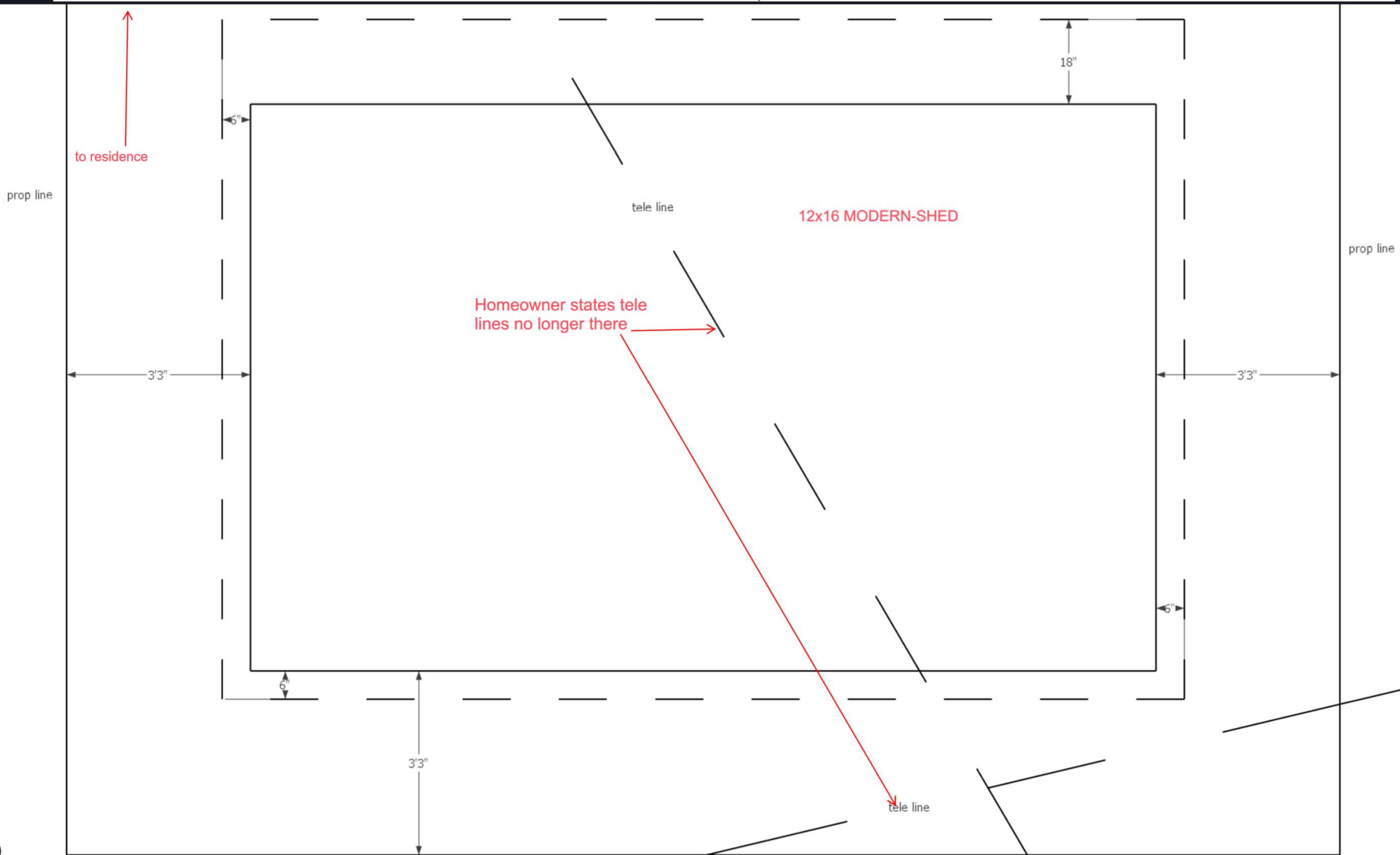
Date 11/26/22

BCK 680C PAGE 199

Homeowner states tele lines no longer there.

LIBBY TERRACE





to residence

prop line

12x16 MODERN-SHED

tele line

Homeowner states tele lines no longer there

prop line

tele line





Date:	10/25/22
Sales Rep/Ph #:	Trevor Hynson 406-479-3419
Quote expires:	11/08/22

Installer:	<Select>
Revised:	R1
Job #:	2211002
Height restriction:	0
Permitting:	Yes

Customer name:	Angela Ciccolo		
Location:	Richmond		
	Richmond, VA 23223		
Size:	12	X	16
Use:	office		

Specifications**Base Framing Package****INITIAL****Sides B and D 12x. 14x**

Standard walls include: (exceptions/options listed lower on page), 2x4 studs, R13 batt insulation, 7/16" OSB exterior sheathing, (ZipWall on open joint siding), pre-assembled top cap and transom glass frames with insulated double pane glass units. Roof and floor: see below

Wall Framing and Insulation:

2x4 wall framing-holes drilled for wiring
R-13 Wall insulation-(batt)

Options

Interior Wall Covering
No Interior wall paneling selected (Interior wall covering by others)

Electrical Preparations

Ceiling chase in all roof panels except ends above rake walls.(Allows overhead electrical box connection.)

Roof System

Roof system includes 1/2" plywood sheathing, roofing felt, snap-loc standing seam metal roofing and trim, glulam beam, ceiling liner, flashing and fascia. See below for rafter size and insulation value.

Classic - roof style

Standard eave/overhangs = 6 in Side A. 3 in sides B, C, D. Peak = 6 in all sides
Water & Ice shield roofing underlayment -required in snowy or rainy climates and coastal regions
2x6 joist-rafters, R-38 rigid foam insulation-unvented

Ceiling Liner

1x6 Knotty Pine Tongue & Groove

Transom Glass Upgrade

Upgrade to LowE coating / Argon to meet energy code

Floor System:

R21 batt insulation, 4x10 treated perimeter beams, double 2x6 joists 16" O.C., 3/4" ACX ply subfloor, treated ply underneath

Exterior Siding: (Unpainted unless specified below)

James Hardie smooth face 12" lap siding

Upper trim-Top cap/transom window frames/fascia

Natural cedar transom frames w primed and PAINTED fascia and topcap

Doors: - All doors include lock-sets**Swing doors-Single/French - include SILL TRAY (out-swings have Stainless Steel hinges)**

Codel Double (French doors)- (unpainted unless indicated below)

1 72 inch Fiberglass French (full light CLEAR glass)

Paint for swing doors above

Add Modern-Shed PAINT for DOUBLE FRENCH door --use color selection form to indicate c

Windows: - includes framing (all operable windows include screens)**Ply Gem Pro Vinyl (white/white frame as default)**

Custom extruded (black or dark bronze) or painted (silver) interior is WHITE

2 24 x 72 Fixed Picture (tempered)

1 24x72 casement

1 48x20

Interior window trim:

Window trim by others

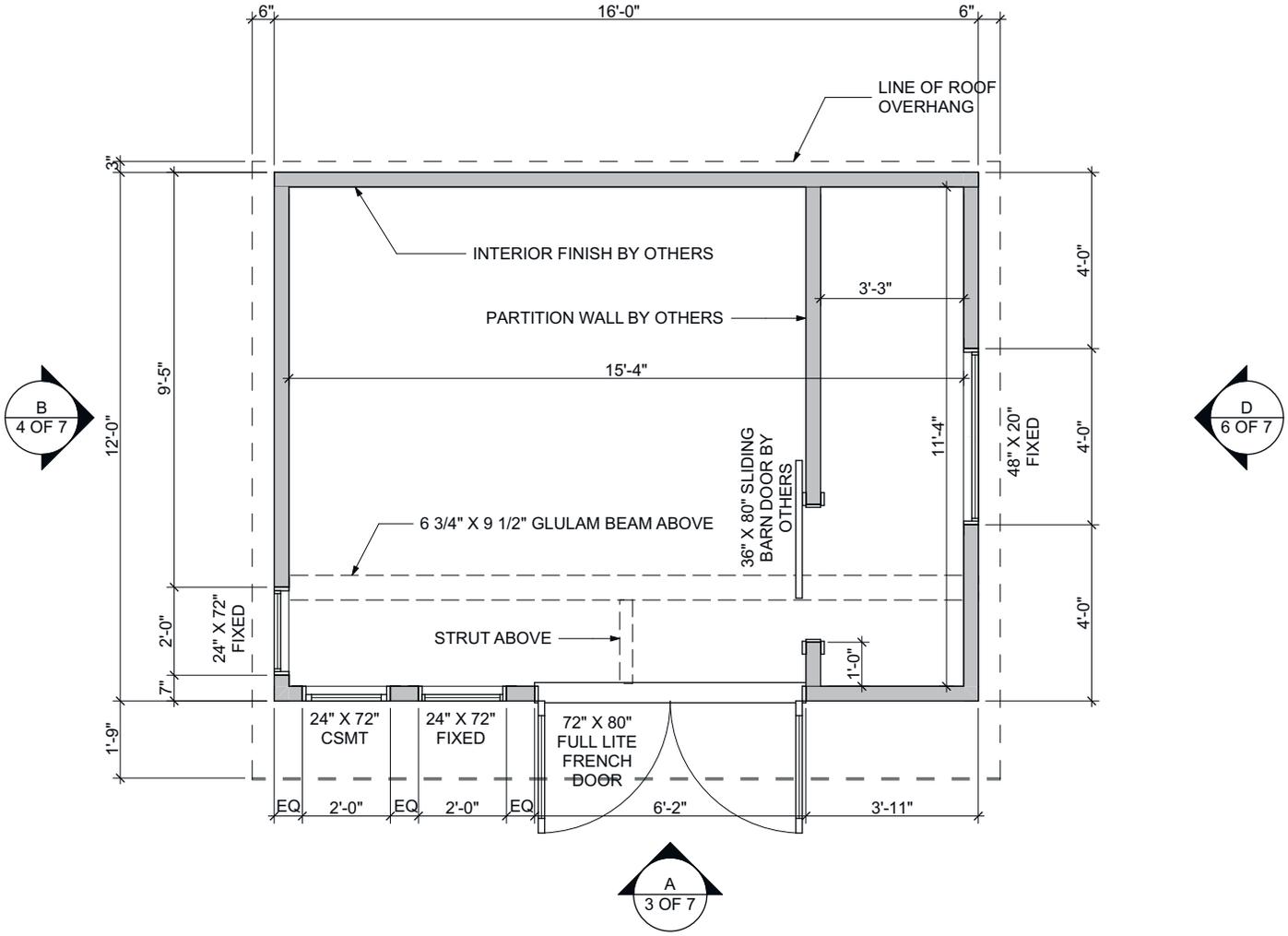
Crating / Loading

Hand loading into enclosed trailer for delivery

NOTES TO FABRICATION:

CHANGE SIZE TO 12X16 - WINDOWS ARE BLACK

Design Confirmation Drawings
Not to be used for permitting



FLOOR PLAN
SCALE: 1/4" = 1'-0"

PROJECT TITLE:

CICCOLO
12X16

OWNER:

Angela Ciccolo
Richmond, VA 23223

PROJECT INFO:

JOB NO: 2211002
DATE: 11.04.22
DRAWN BY: JB

REVISIONS:

REV	DATE	DESCRIPTION
R1	11.23.2022	SHED WIDTH

- APPROVED - AS DRAWN
- APPROVED - WITH MINOR CHANGES
NOTE CHANGES ON PAGES

PLEASE NOTE:
ANY CHANGES AFTER SIGNATURE APPROVING THESE DRAWINGS WILL INCUR EXTRA CHANGES TO STRUCTURAL AND POSSIBLY AN ADDITIONAL ACAD (DRAWING) FEE.

SMALL PRINT

THIS DRAWING IS CONSIDERED PROPRIETY. IT'S NOT TO BE REPRODUCED, NOR THE INFORMATION CONTAINED TO BE USED TO PRODUCE PRODUCTS, UNLESS WRITTEN CONSENT IS FIRST OBTAINED FROM MODERN SHED. I AUTHORIZE PRODUCTION AS DRAWN OR WITH CHANGES NOTED. I UNDERSTAND ANY FURTHER CHANGES WILL RESULT IN ADDITIONAL FEES. ANY ADDITIONAL CHANGES AFTER APPROVAL WILL RESULT IN ADDITIONAL FEES AND DELAY IN SHIPPING. THE PURCHASER IS RESPONSIBLE FOR ALL GOVERNMENTAL REGULATIONS, ZONING LAWS, HOA, CCR'S, APPLICABLE BUILDING LAWS INCLUDING PERMITTING REQUIREMENTS BY LOCAL JURISDICTIONS, AND ANY APPLICABLE TAX LAWS AND HOLDS MODERN SHED, INC. OR ANY OF ITS AGENTS HARMLESS IN ANY SUIT OR LITIGATION WHICH MAY ARISE FROM SUCH LAWS OR REGULATIONS.

DRAWING NUMBER

2 OF 7

CLIENT SIGNATURE: _____ DATE: _____



Modern Shed

Design Confirmation Drawings
Not to be used for permitting

PROJECT TITLE:

CICCOLO
12X16

OWNER:

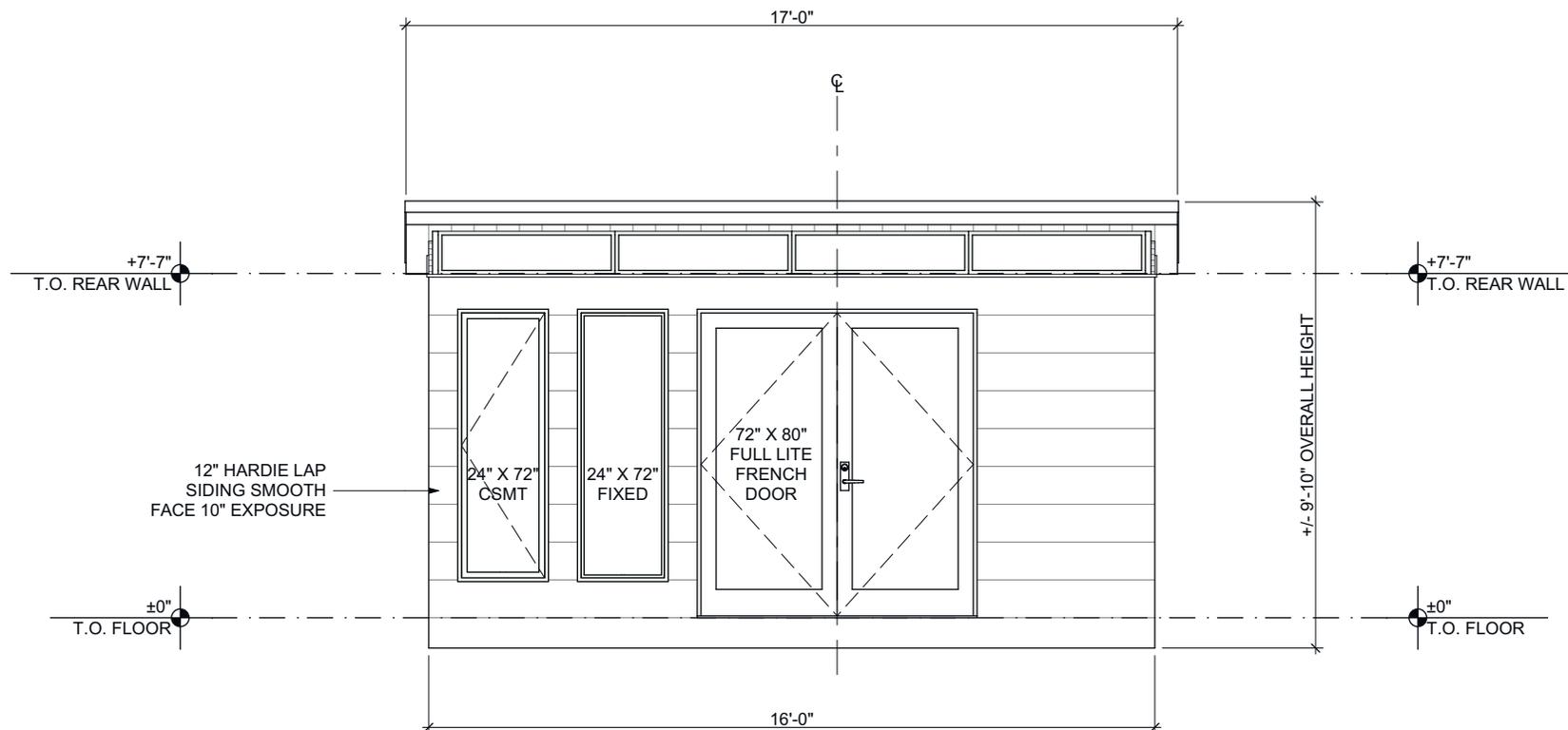
Angela Ciccolo
Richmond, VA 23223

PROJECT INFO:

JOB NO: 2211002
DATE: 11.04.22
DRAWN BY: JB

REVISIONS:

REV	DATE	DESCRIPTION
R1	11.23.2022	SHED WIDTH



A

FRONT ELEVATION
SCALE: 1/4" = 1'-0"

- APPROVED - AS DRAWN
- APPROVED - WITH MINOR CHANGES
NOTE CHANGES ON PAGES

PLEASE NOTE:
ANY CHANGES AFTER SIGNATURE APPROVING THESE DRAWINGS WILL INCUR EXTRA CHANGES TO STRUCTURAL AND POSSIBLY AN ADDITIONAL ACAD (DRAWING) FEE.

CLIENT SIGNATURE: _____ DATE: _____

SMALL PRINT

THIS DRAWING IS CONSIDERED PROPRIETY. IT'S NOT TO BE REPRODUCED, NOR THE INFORMATION CONTAINED TO BE USED TO PRODUCE PRODUCTS, UNLESS WRITTEN CONSENT IS FIRST OBTAINED FROM MODERN SHED. I AUTHORIZE PRODUCTION AS DRAWN OR WITH CHANGES NOTED. I UNDERSTAND ANY FURTHER CHANGES WILL RESULT IN ADDITIONAL FEES. ANY ADDITIONAL CHANGES AFTER APPROVAL WILL RESULT IN ADDITIONAL FEES AND DELAY IN SHIPPING. THE PURCHASER IS RESPONSIBLE FOR ALL GOVERNMENTAL REGULATIONS, ZONING LAWS, HOA, CCR'S, APPLICABLE BUILDING LAWS INCLUDING PERMITTING REQUIREMENTS BY LOCAL JURISDICTIONS, AND ANY APPLICABLE TAX LAWS AND HOLDS MODERN SHED, INC. OR ANY OF ITS AGENTS HARMLESS IN ANY SUIT OR LITIGATION WHICH MAY ARISE FROM SUCH LAWS OR REGULATIONS.

DRAWING NUMBER

3 OF 7



Modern Shed

Design Confirmation Drawings
Not to be used for permitting

PROJECT TITLE:

CICCOLO
12X16

OWNER:

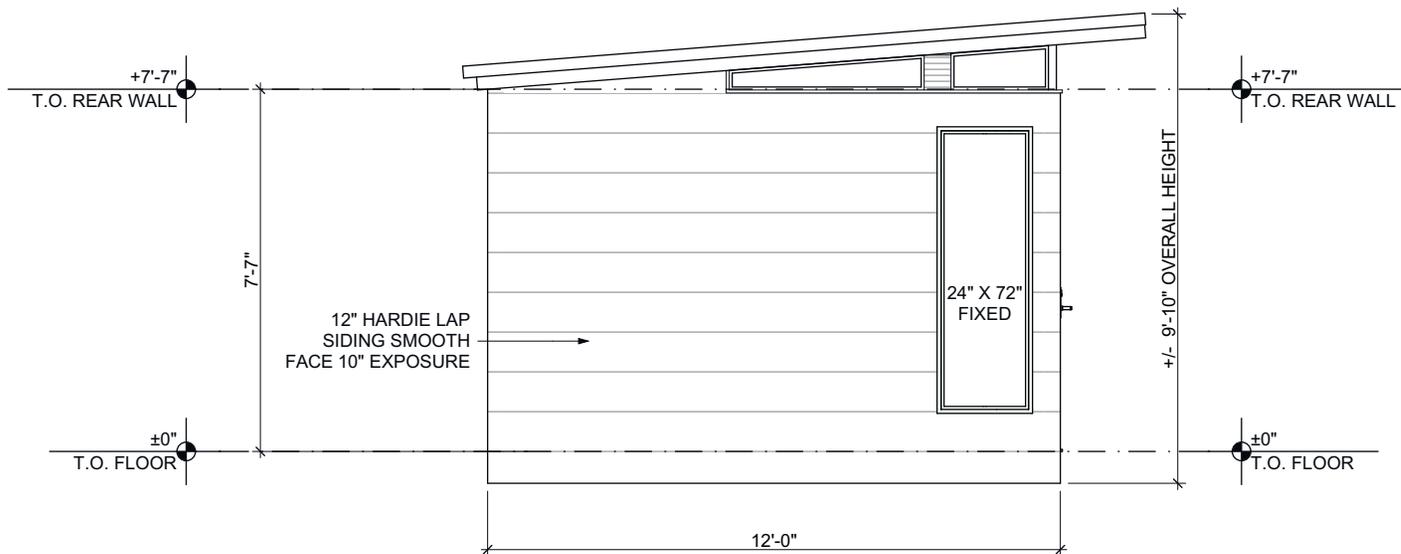
Angela Ciccolo
Richmond, VA 23223

PROJECT INFO:

JOB NO: 2211002
DATE: 11.04.22
DRAWN BY: JB

REVISIONS:

REV	DATE	DESCRIPTION
R1	11.23.2022	SHED WIDTH



B LEFT ELEVATION
SCALE: 1/4" = 1'-0"

- APPROVED - AS DRAWN
- APPROVED - WITH MINOR CHANGES
NOTE CHANGES ON PAGES

PLEASE NOTE:
ANY CHANGES AFTER SIGNATURE APPROVING THESE DRAWINGS WILL INCUR EXTRA CHANGES TO STRUCTURAL AND POSSIBLY AN ADDITIONAL ACAD (DRAWING) FEE.

CLIENT SIGNATURE: _____ DATE: _____

SMALL PRINT

THIS DRAWING IS CONSIDERED PROPRIETY. IT'S NOT TO BE REPRODUCED, NOR THE INFORMATION CONTAINED TO BE USED TO PRODUCE PRODUCTS, UNLESS WRITTEN CONSENT IS FIRST OBTAINED FROM MODERN SHED. I AUTHORIZE PRODUCTION AS DRAWN OR WITH CHANGES NOTED. I UNDERSTAND ANY FURTHER CHANGES WILL RESULT IN ADDITIONAL FEES. ANY ADDITIONAL CHANGES AFTER APPROVAL WILL RESULT IN ADDITIONAL FEES AND DELAY IN SHIPPING. THE PURCHASER IS RESPONSIBLE FOR ALL GOVERNMENTAL REGULATIONS, ZONING LAWS, HOA, CCR'S, APPLICABLE BUILDING LAWS INCLUDING PERMITTING REQUIREMENTS BY LOCAL JURISDICTIONS, AND ANY APPLICABLE TAX LAWS AND HOLDS MODERN SHED, INC. OR ANY OF ITS AGENTS HARMLESS IN ANY SUIT OR LITIGATION WHICH MAY ARISE FROM SUCH LAWS OR REGULATIONS.

DRAWING NUMBER

4 OF 7



Modern Shed

Design Confirmation Drawings
Not to be used for permitting

PROJECT TITLE:

CICCOLO
12X16

OWNER:

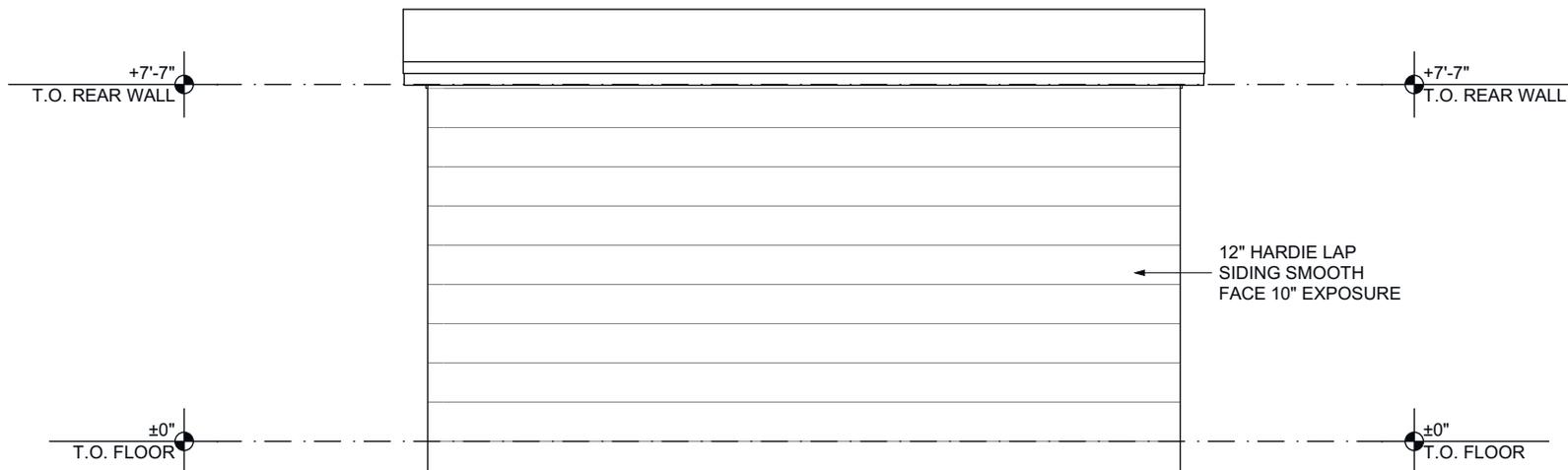
Angela Ciccolo
Richmond, VA 23223

PROJECT INFO:

JOB NO: 2211002
DATE: 11.04.22
DRAWN BY: JB

REVISIONS:

REV	DATE	DESCRIPTION
R1	11.23.2022	SHED WIDTH



C

REAR ELEVATION
SCALE: 1/4" = 1'-0"

- APPROVED - AS DRAWN
- APPROVED - WITH MINOR CHANGES
NOTE CHANGES ON PAGES

PLEASE NOTE:
ANY CHANGES AFTER SIGNATURE APPROVING THESE DRAWINGS WILL INCUR EXTRA CHANGES TO STRUCTURAL AND POSSIBLY AN ADDITIONAL ACAD (DRAWING) FEE.

CLIENT SIGNATURE: _____ DATE: _____

SMALL PRINT

THIS DRAWING IS CONSIDERED PROPRIETY. IT'S NOT TO BE REPRODUCED, NOR THE INFORMATION CONTAINED TO BE USED TO PRODUCE PRODUCTS, UNLESS WRITTEN CONSENT IS FIRST OBTAINED FROM MODERN SHED. I AUTHORIZE PRODUCTION AS DRAWN OR WITH CHANGES NOTED. I UNDERSTAND ANY FURTHER CHANGES WILL RESULT IN ADDITIONAL FEES. ANY ADDITIONAL CHANGES AFTER APPROVAL WILL RESULT IN ADDITIONAL FEES AND DELAY IN SHIPPING. THE PURCHASER IS RESPONSIBLE FOR ALL GOVERNMENTAL REGULATIONS, ZONING LAWS, HOA, CCR'S, APPLICABLE BUILDING LAWS INCLUDING PERMITTING REQUIREMENTS BY LOCAL JURISDICTIONS, AND ANY APPLICABLE TAX LAWS AND HOLDS MODERN SHED, INC. OR ANY OF ITS AGENTS HARMLESS IN ANY SUIT OR LITIGATION WHICH MAY ARISE FROM SUCH LAWS OR REGULATIONS.

DRAWING NUMBER

5 OF 7



Modern Shed

Design Confirmation Drawings
Not to be used for permitting

PROJECT TITLE:

**CICCOLO
12X16**

OWNER:

Angela Ciccolo
Richmond, VA 23223

PROJECT INFO:

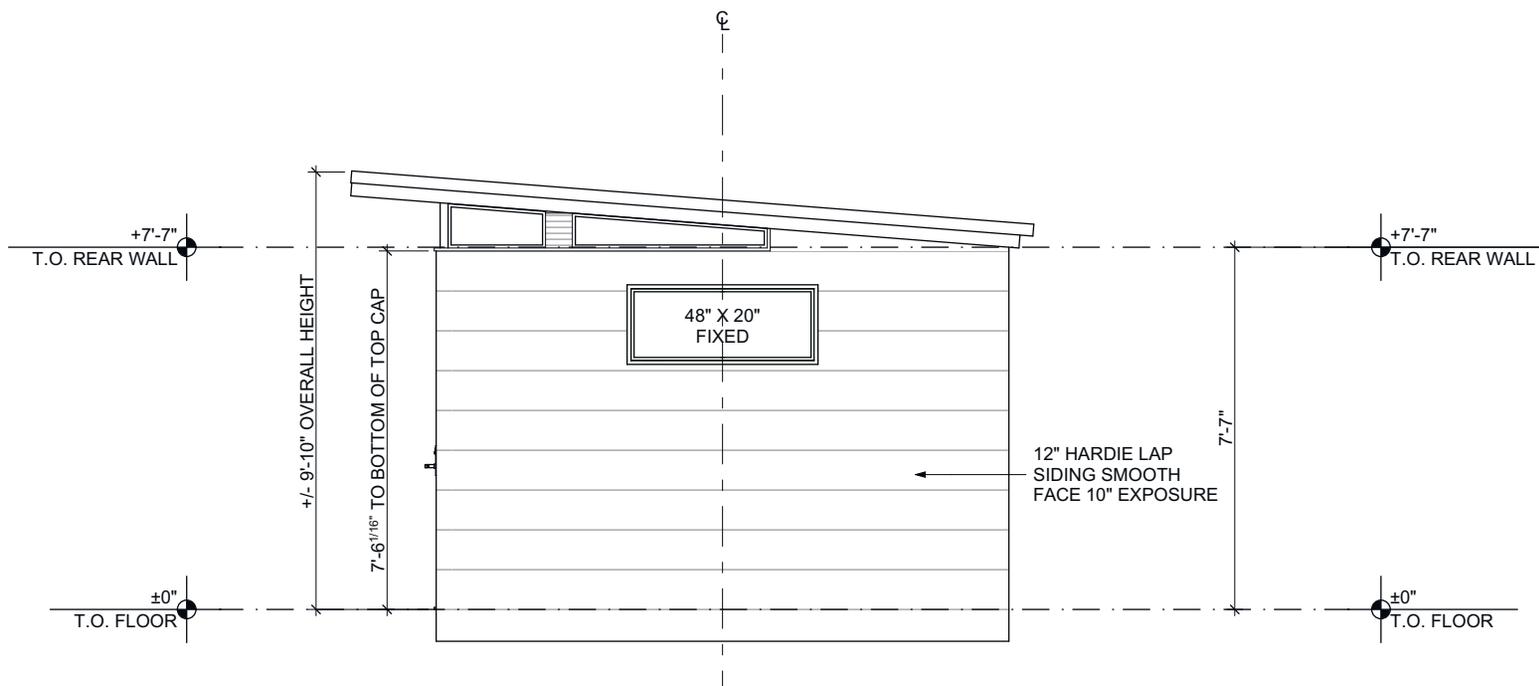
JOB NO: 2211002
DATE: 11.04.22
DRAWN BY: JB

REVISIONS:

REV	DATE	DESCRIPTION
R1	11.23.2022	SHED WIDTH

DRAWING NUMBER

6 OF 7



D RIGHT ELEVATION
SCALE: 1/4" = 1'-0"

- APPROVED - AS DRAWN
- APPROVED - WITH MINOR CHANGES
NOTE CHANGES ON PAGES

PLEASE NOTE:
ANY CHANGES AFTER SIGNATURE APPROVING THESE DRAWINGS WILL INCUR EXTRA CHANGES TO STRUCTURAL AND POSSIBLY AN ADDITIONAL ACAD (DRAWING) FEE.

CLIENT SIGNATURE: _____ DATE: _____

SMALL PRINT

THIS DRAWING IS CONSIDERED PROPRIETY. IT'S NOT TO BE REPRODUCED, NOR THE INFORMATION CONTAINED TO BE USED TO PRODUCE PRODUCTS, UNLESS WRITTEN CONSENT IS FIRST OBTAINED FROM MODERN SHED. I AUTHORIZE PRODUCTION AS DRAWN OR WITH CHANGES NOTED. I UNDERSTAND ANY FURTHER CHANGES WILL RESULT IN ADDITIONAL FEES. ANY ADDITIONAL CHANGES AFTER APPROVAL WILL RESULT IN ADDITIONAL FEES AND DELAY IN SHIPPING. THE PURCHASER IS RESPONSIBLE FOR ALL GOVERNMENTAL REGULATIONS, ZONING LAWS, HOA, CCR'S, APPLICABLE BUILDING LAWS INCLUDING PERMITTING REQUIREMENTS BY LOCAL JURISDICTIONS, AND ANY APPLICABLE TAX LAWS AND HOLDS MODERN SHED, INC. OR ANY OF ITS AGENTS HARMLESS IN ANY SUIT OR LITIGATION WHICH MAY ARISE FROM SUCH LAWS OR REGULATIONS.