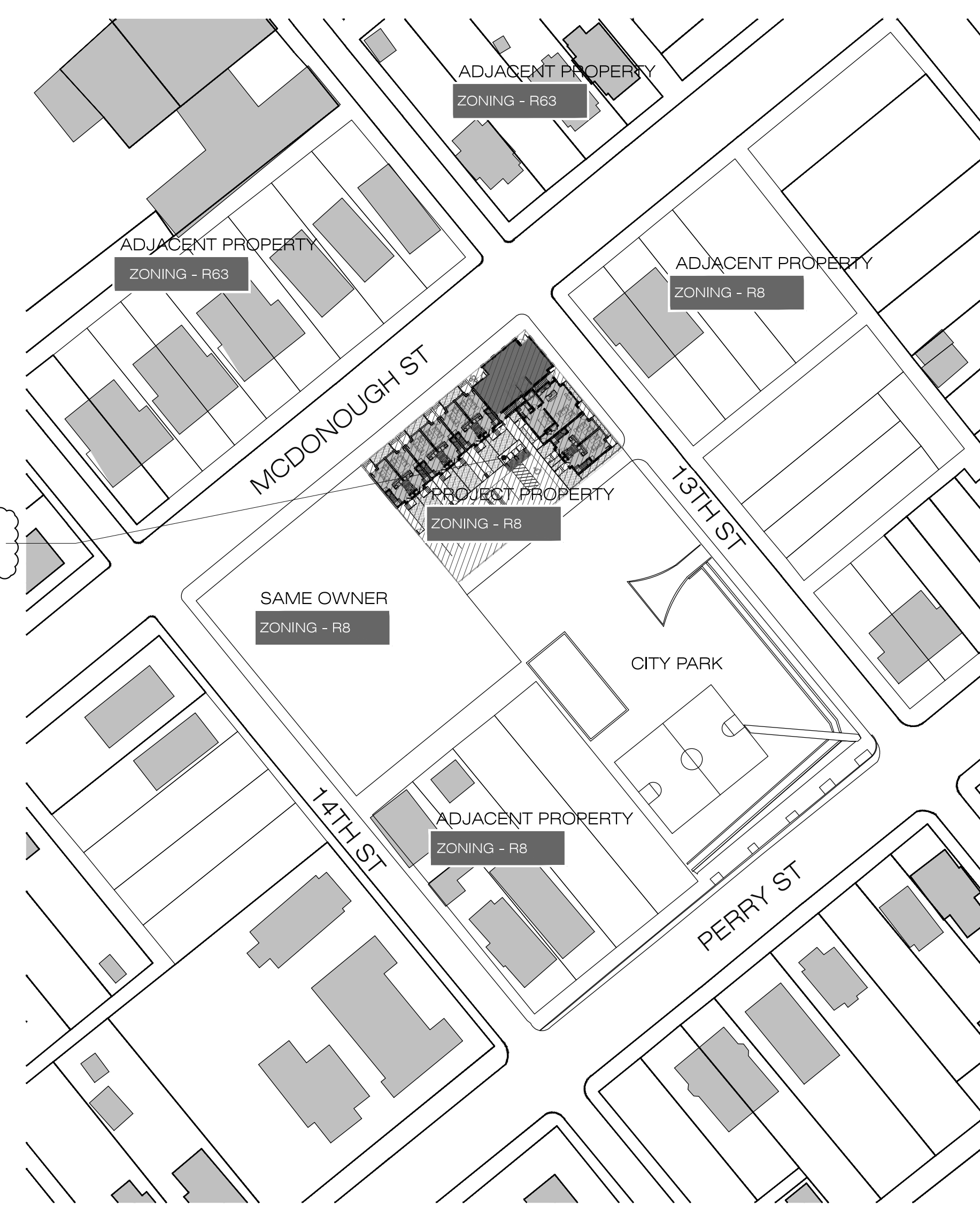
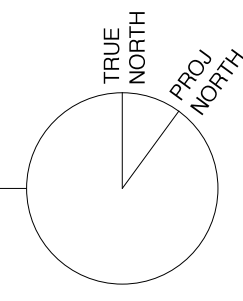


03 ARCHITECTURAL SITE PLAN
 CS1
 1/16" = 1'-0" 0 16 32 48 FT



02 VICINITY PLAN
 CS1
 1/84" = 1'-0" 0 64 128 192 FT



01 VICINITY MAP
 CS1
 NOT TO SCALE

PROJECT DESCRIPTION
 NEW MULTI-FAMILY RESIDENTIAL STRUCTURE WITH CORNER COMMERCIAL SPACE.

GENERAL SUP NOTES

- ENGINEERING INCLUDING UTILITIES PLANS AND THE INS ARE PROPOSED TO BE DESIGN BUILT AT THE TIME OF CONSTRUCTION PERMITTING. ALL RELEVANT INFORMATION AND DRAWINGS TO BE SUBMITTED AT TIME OF PERMITTING.
- EXTENTS OF PROPOSED SIGNAGE ARE NOT KNOWN AT THIS TIME. IT IS PROPOSED FOR FUTURE COMMERCIAL TENANTS TO INSTALL SIGNAGE ON THE BRICK ACCENT PANEL ABOVE THE COMMERCIAL TENANT ENTRY DOORS ON MARSHALL STREET AND ADDITIONAL SIGNAGE ON THE GLAZING OF THE 1ST FLOOR STOREFRONT WINDOWS AND DOORS.
- ALL EXTERIOR LIGHTING ANTICIPATED TO BE BUILDING AND FENCE MOUNTED AND ASSOCIATED WITH BUILDING ENTRIES AND PARKING. FENCE MOUNTED LIGHTS AT PARKING AREA ARE LOCATED 32 FEET FROM EAST PROPERTY LINE. A POLE MOUNTED LIGHTING FIXTURES IS ONLY POTENTIALLY PROPOSED AT PARKING, AND NO LIGHTING FIXTURES ARE PROPOSED ON THE SOUTH WALL FACING THE ADJACENT RESIDENTIAL PROPERTY.
- MAXIMUM HEIGHT OF BUILDING/FENCE OR POLE MOUNTED LIGHTING NOT TO EXCEED 20'.

CODE INFORMATION

APPLICABLE CODES:
 INTERNATIONAL BUILDING CODE (IBC) 2012
 VIRGINIA UNIFORM STATEWIDE BUILDING CODE

CONSTRUCTION TYPE: V-B

USE GROUP: NON-SEPARATED MIXED-USE
 A, B, or M AND R-2

PROPOSED AREAS:
 1ST LEVEL - A, B, or M 1,310 GSF
 2ND LEVEL - R-2 4,428 GSF
 TOTAL PROPOSED 5,774 GSF

MAX ALLOWABLE FLOOR AREA (MFG):
 A = 6,000 GSF
 B or M = 9,000 GSF
 R-2 = 7,000 GSF

PROPOSED BUILDING HEIGHT:
 2 STORES / 27'-8"
 MAX ALLOWABLE BUILDING HEIGHT:
 2 STORES / 60' PER IBC 504.2 AUTOMATIC SPRINKLER SYSTEM INCREASE

1 15/11/25 RESPONSE TO SPECIAL USE COMMENTS DATED NOV. 3, 2015

2 16/01/22 RESPONSE TO SPECIAL USE COMMENTS DATED JAN. 21, 2016

DRAWING ACCOMPANYING REQUEST FOR SPECIAL USE 9-14-2015

NOT FOR CONSTRUCTION

ZONING INFORMATION

ZONING DISTRICT: R-8 UNDER CONSIDERATION FOR SPECIAL USE. PERMISSION BASED ON R-63 REQUIREMENTS] NOTE COMBINED PARCELS

EXISTING USE: VACANT

AREA OF SITE: 12,587 SF/0.29 ACRES

SETBACKS (UNDER SPECIAL USE):
 FRONT: 0'
 SIDE A: 0' MCDONOUGH ST.
 SIDE B: 3'-8" 13TH STREET

REAR: 15'

LOT COVERAGE: 48% PROPOSED / 65% ALLOW
 5,728 SQFT COVERED / 12,587 SQFT PARCEL

USABLE OPEN SPACE: 4,055 SF 1ST LEVEL
 245 SF 2ND LEVEL
 4,300 TOTAL

PAVED AREA: 2805 SF

PARKING SPACES: 10 PROPOSED
 12 OR 1:1 REQ BY R-63

BUILDING HEIGHT: 27'-8" 2 STORES
 PROPOSED
 35'-0" MAX ALLOWED

COMMERCIAL SPACE: 1,292 GSF

OTHER ECONOMIC ZONES:
 MANCHESTER RESIDENTIAL NATIONAL HISTORICAL DISTRICT

REFER ALSO TO PROJECT INFORMATION AND AREAS AND ARCHITECTURAL SITE PLAN FOR ADDITIONAL INFORMATION

ARCHITECT:
ADO Architecture Design Office
 105 E Broad Street
 Richmond, Virginia 23219
 804 343 1212

OWNER/DEVELOPER:
MANCHESTER PARTNERS 4
 PO Box 7217
 Richmond, VA 23221
 804 814 6269

1 15/11/25 NAME OF OWNER/DEVELOPER



MIXED USE RESIDENTIAL DEVELOPMENT

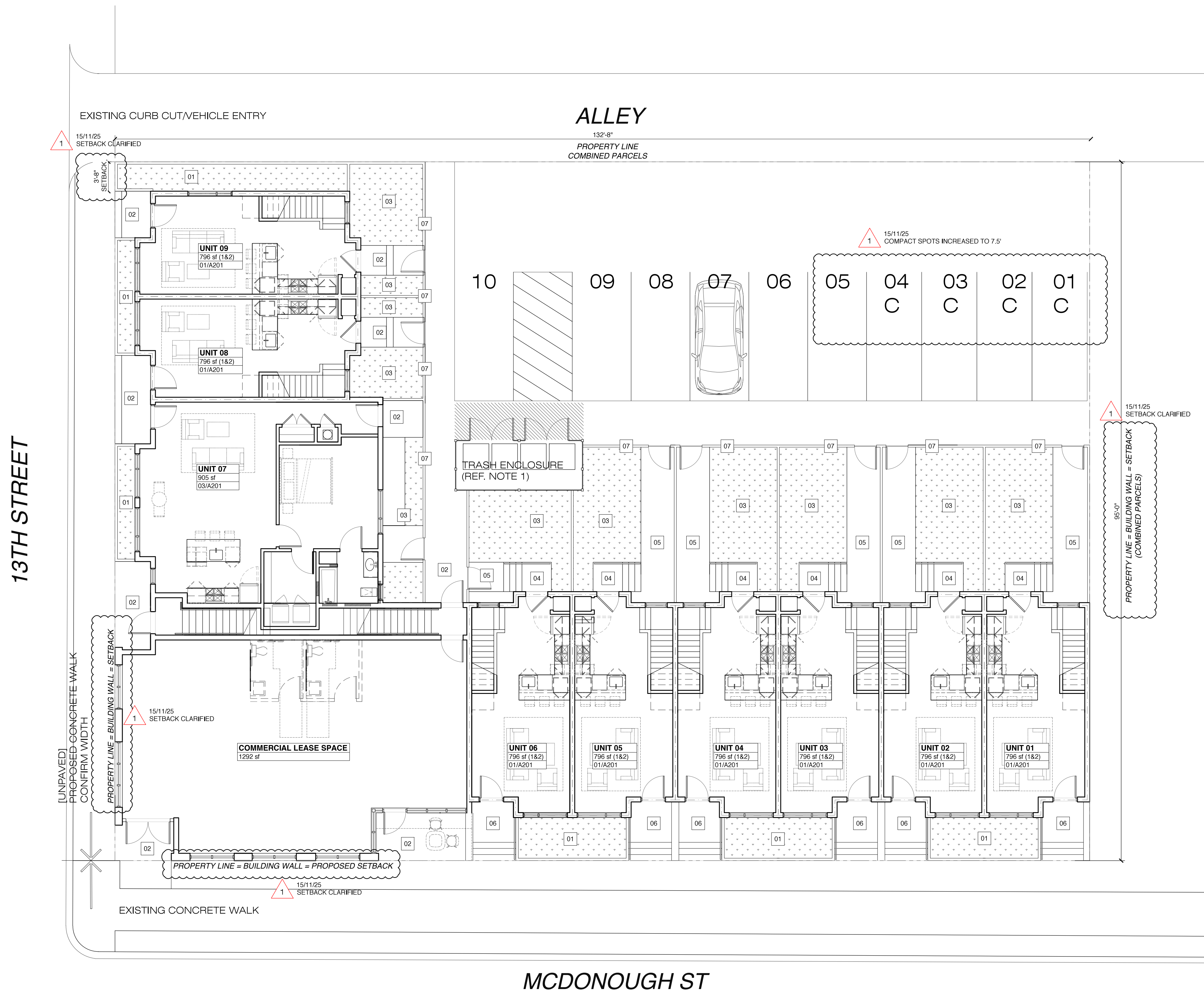
1300-1306 McDonough Streets
 [corner of McDonough and 13th]
 MANCHESTER, RICHMOND, VA 23224

PROJ INFO/ARCH SITE PLAN

PROJ NUMBER PUBLISH DATE
 14.1300 15/09.14

AUTHOR(S) DRWG TYPE
 GENERAL

CS1



PROJECT AREAS

REFER TO UNIT TAGS ON PLANS FOR INDIVIDUAL UNIT AND COMMERCIAL AREAS. UNIT AREA DO NOT INCLUDE EXTERIOR SPACES OR BALCONIES.

OVERALL BUILDING SF
 FIRST LEVEL 5,726 SF
 SECOND LEVEL 5,726 SF
 TOTAL 11,452 SF

15/11/25
 UNIT SCHEDULE REVISED TO INDICATE SQFT BY LEVEL

UNIT SCHEDULE

UNIT #	BR	BA	AREA 1ST LEVEL	AREA 2ND LEVEL	AREA (NET)	BALC ONLY
COMM	2		1292			
01	1	1	398	398	796	0
02	1	1	398	398	796	0
03	1	1	398	398	796	0
04	1	1	398	398	796	0
05	1	1	398	398	796	0
06	1	1	398	398	796	0
07	1	1	905		905	0
08	1	1	398	398	796	58
09	1	1	398	398	796	31
10	1	1	889	889	58	
11	1	1	867	867	57	
12	1	1	679	679	41	
1ST LEVEL TOTAL (UNITS ONLY)			4089			
1ST LEVEL TOTAL including commercial			5381			
2ND LEVEL TOTAL (UNITS ONLY)			5419		245	
TOTAL RESIDENTIAL (SQ FT)			9508			
TOTAL (SQ FT)			10800			
AVERAGE UNIT AREA (SQ FT)			792			

15/11/25
 RESPONSE TO SPECIAL USE COMMENTS DATED NOV. 3, 2015

16/01/22
 RESPONSE TO SPECIAL USE COMMENTS DATED JAN. 21, 2016

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GENERAL NOTES

1. TRASH ENCLOSURE
 6" HIGH PAINTED WOOD BOARD FENCING ON FRAMED STRUCTURE W/ MATCHING GATE DOORS.

KEY NOTES

- 01 LANDSCAPE AREA
- 02 PAVED WALKS AND ENTRIES
- 03 PRIVATE YARD
- 04 STOOP AND STEPS TO GRADE
- 05 GRAVEL PATH
- 06 COVERED ENTRY STEP AND STOOP
- 07 PRIVACY FENCE

15/11/25
 NOTE 7 REVISED TO INDICATE PRIVACY FENCE

ARCHITECT:
AD/Architecture Design Office
 105 E Broad Street
 Richmond, Virginia 23219
 804 343 1212

OWNER/DEVELOPER:
MANCHESTER PARTNERS 4
 PO Box 7217
 Richmond, VA 23221
 804 814 6269



MIXED USE RESIDENTIAL DEVELOPMENT

1300-1306 McDonough Streets
 [corner of McDonough and 13th]
 MANCHESTER, RICHMOND, VA 23224

FLOOR PLANS

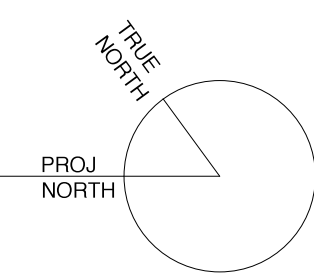
PROJ NUMBER PUBLISH DATE
 14.1300 15/09.14

AUTHOR(S) DRWG TYPE
 GENERAL

A101

01 1ST/GROUND LEVEL PLAN

A101
 1/8" = 1'-0" 0 8 16 24 FT



PROJECT AREAS

REFER TO UNIT TAGS ON PLANS FOR INDIVIDUAL UNIT AND COMMERCIAL AREAS.
UNIT AREA DO NOT INCLUDE EXTERIOR SPACES OR BALCONIES.

OVERALL BUILDING SF
FIRST LEVEL 5,726 SF
SECOND LEVEL 5,726 SF
TOTAL 11,452 SF

15/11/25
1 UNIT SCHEDULE REVISED TO INDICATE SQ/FT BY LEVEL

UNIT SCHEDULE

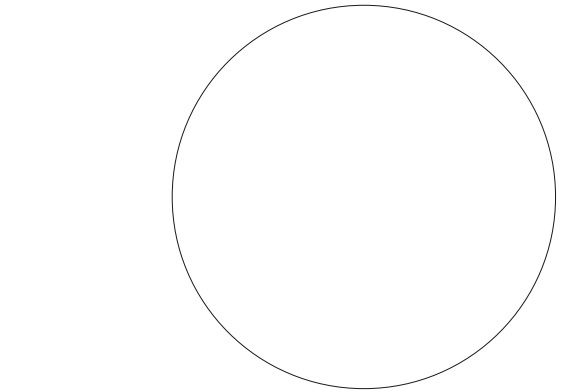
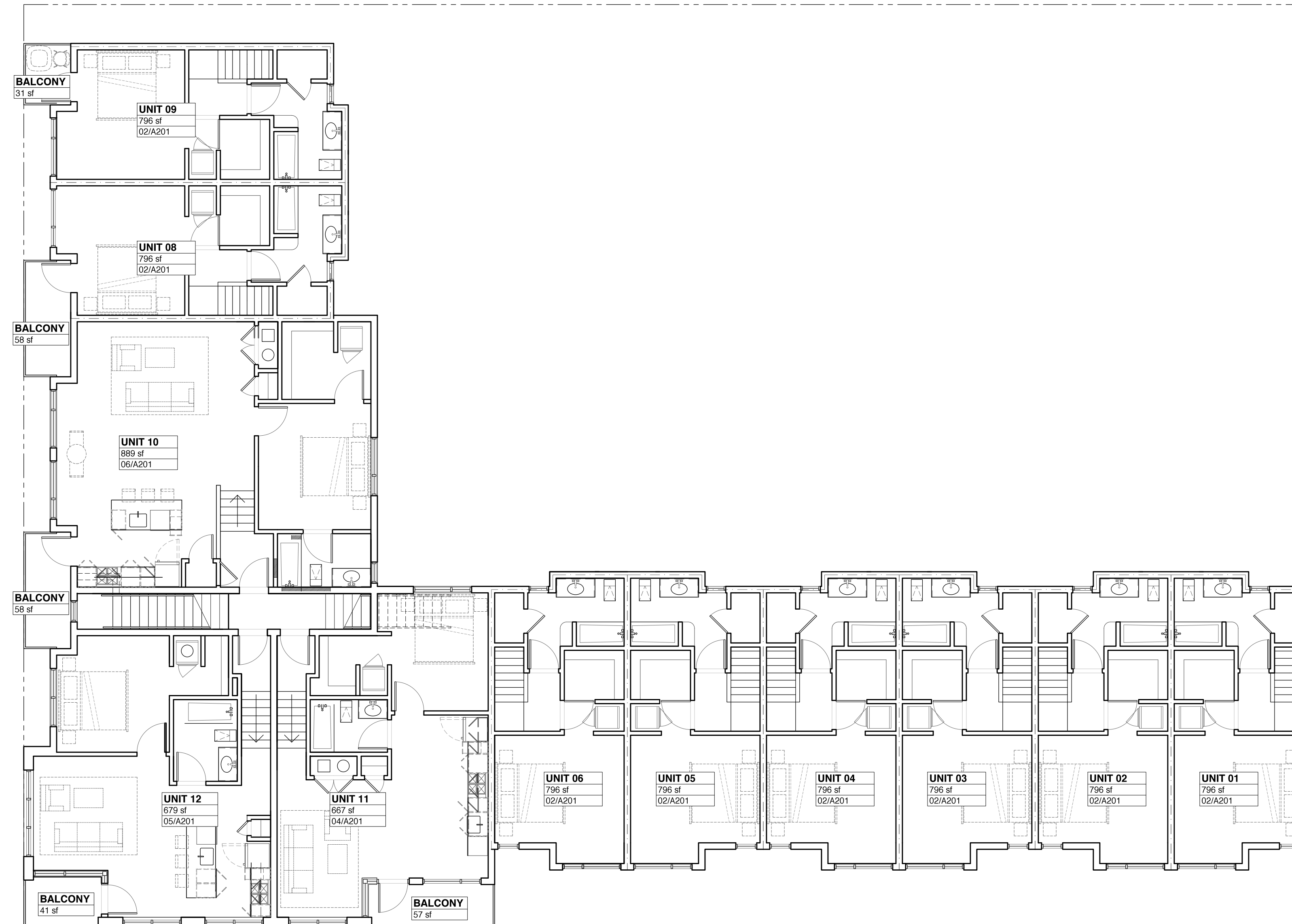
UNIT #	BR	BA	AREA 1ST LEVEL	AREA 2ND LEVEL	AREA (NET)	BALC ONY
COMM	2		1292			
01	1	1	398	398	796	0
02	1	1	398	398	796	0
03	1	1	398	398	796	0
04	1	1	398	398	796	0
05	1	1	398	398	796	0
06	1	1	398	398	796	0
07	1	1	905		905	0
08	1	1	398	398	796	58
09	1	1	398	398	796	31
10	1	1	889	889	889	58
11	1	1	667	667	667	57
12	1	1	679	679	679	41
1ST LEVEL TOTAL (UNITS ONLY)			4089			
1ST LEVEL TOTAL including commercial			5381			
2ND LEVEL TOTAL (UNITS ONLY)				5419		245
TOTAL RESIDENTIAL (SQ FT)					9508	
TOTAL (SQ FT)					10800	
AVERAGE UNIT AREA (SQ FT)					792	

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MIXED USE RESIDENTIAL DEVELOPMENT

1300-1306 McDonough Streets
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FLOOR PLANS

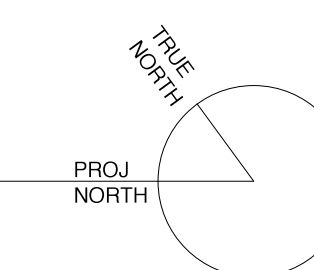
PROJ NUMBER PUBLISH DATE
14.1300 15/09.14

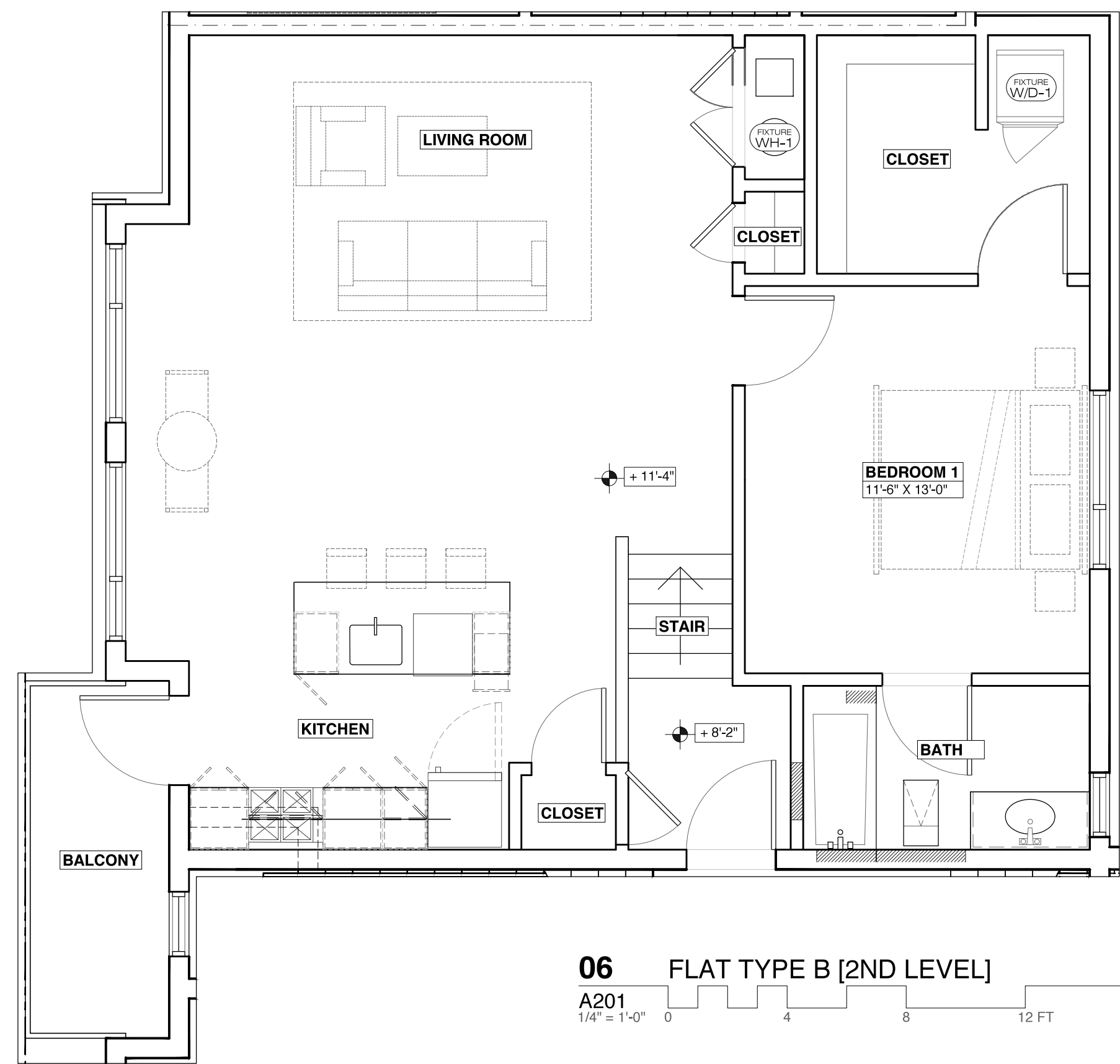
AUTHOR(S) DRWG TYPE
GENERAL

A102

01 2ND LEVEL PLAN

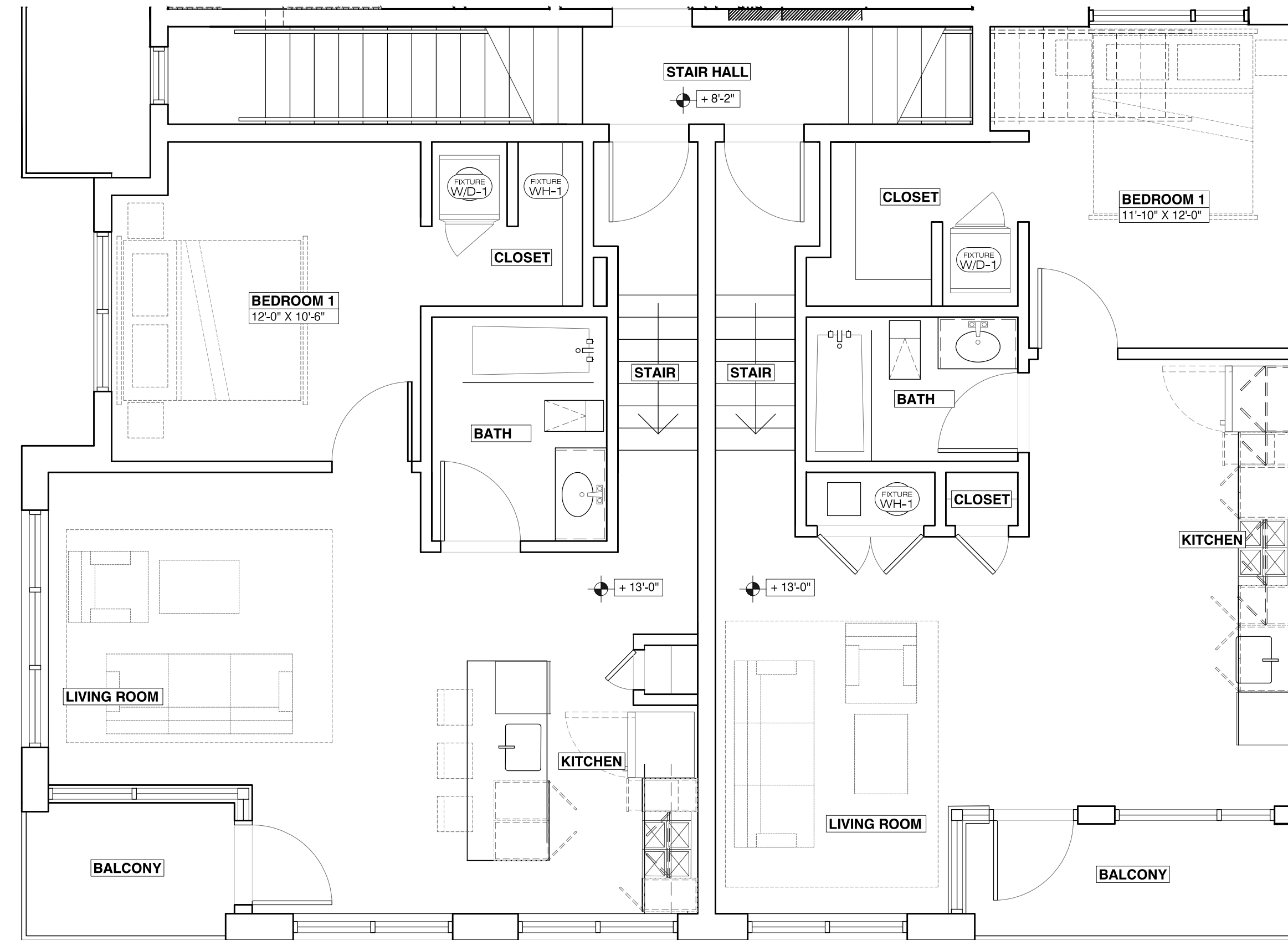
A102 1/8" = 1'-0" 0 8 16 24 FT





06 FLAT TYPE B [2ND LEVEL]

A201
1/4" = 1'-0" 0 4 8 12 FT

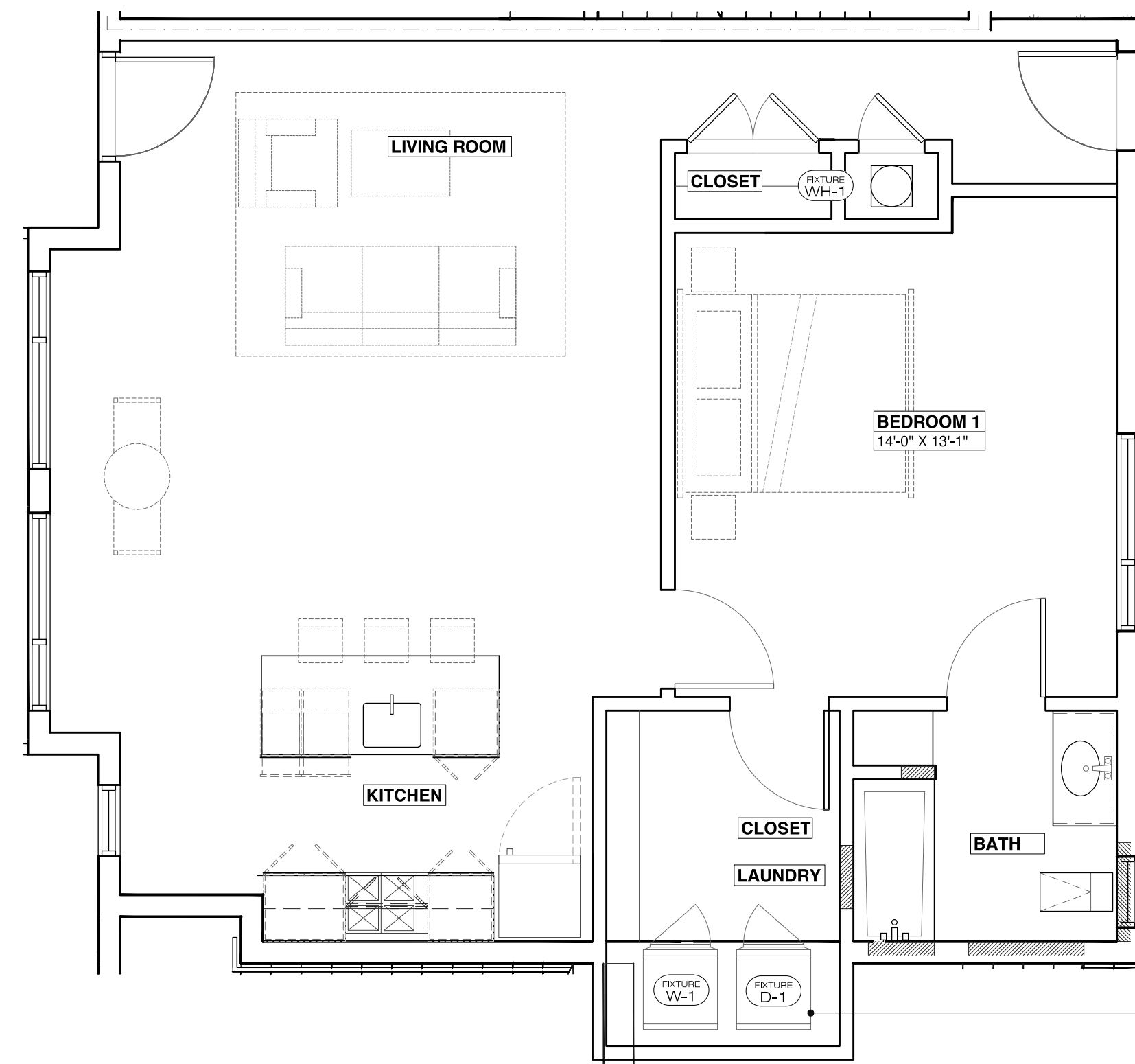


05 FLAT TYPE C [2ND LEVEL]

A201
1/4" = 1'-0" 0 4 8 12 FT

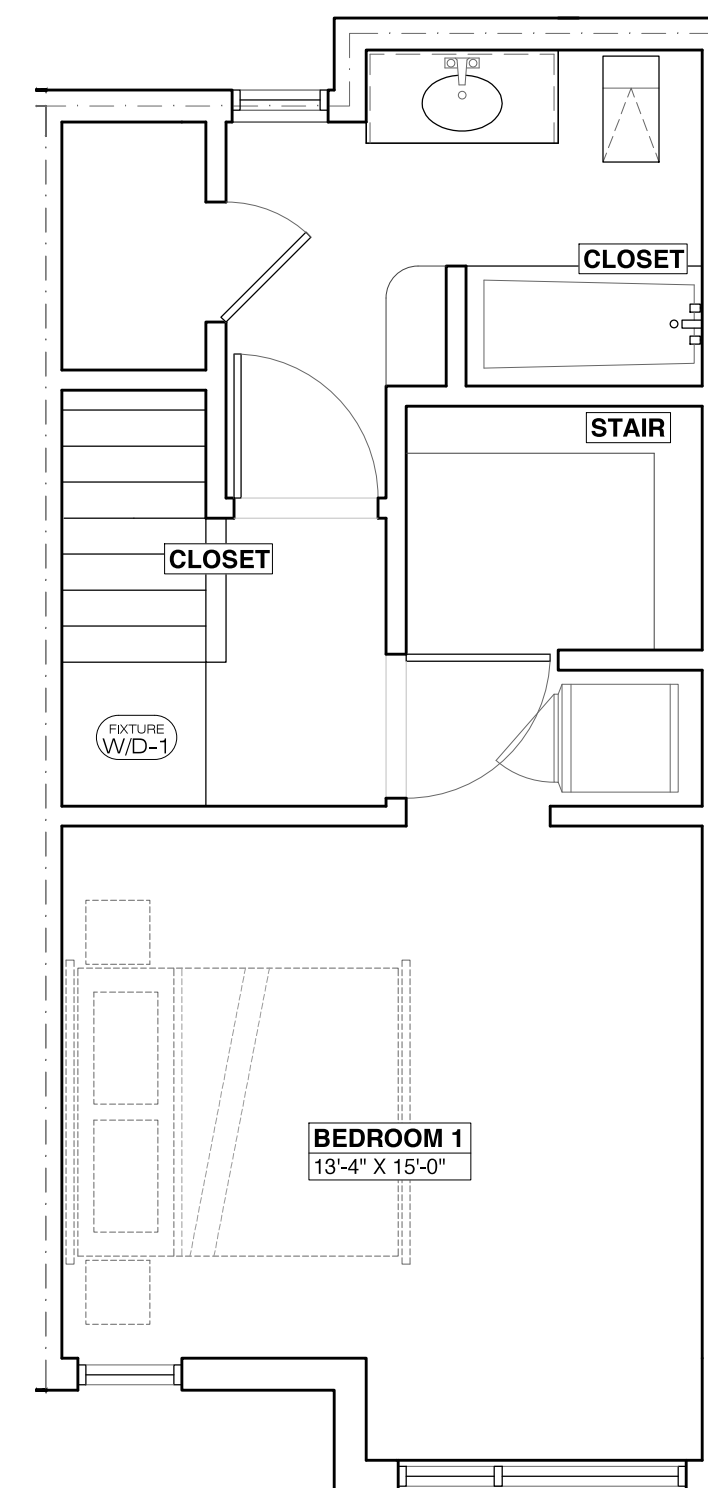
04 FLAT TYPE D [2ND LEVEL]

A201
1/4" = 1'-0" 0 4 8 12 FT



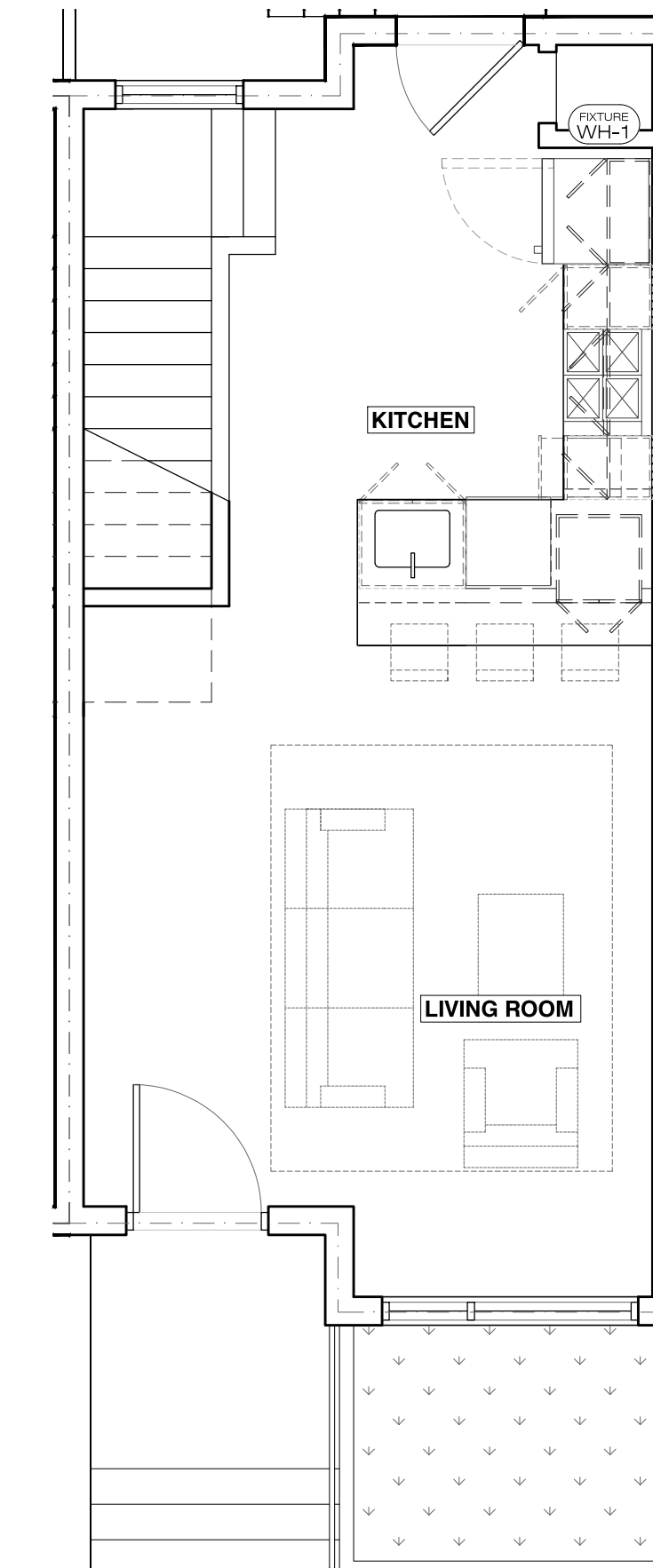
03 FLAT TYPE A [1ST LEVEL] ANSI TYPE A

A201
1/4" = 1'-0" 0 4 8 12 FT



02 TYPICAL TOWNHOUSE - 2ND LEVEL

A201
1/4" = 1'-0" 0 4 8 12 FT



01 TYPICAL TOWNHOUSE - 1ST LEVEL

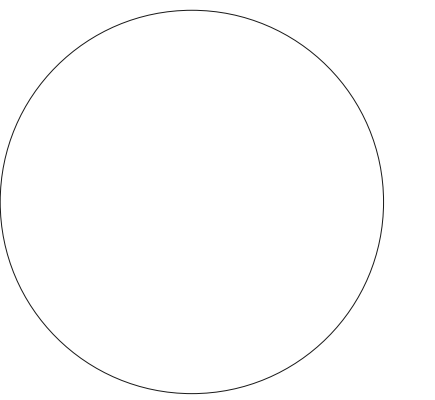
A201
1/4" = 1'-0" 0 4 8 12 FT

1 15/11/25
RESPONSE TO SPECIAL USE COMMENTS
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804 814 6269



**MIXED USE
RESIDENTIAL
DEVELOPMENT**

1300-1306 McDonough Streets
[corner of McDonough and 13th]
MANCHESTER, RICHMOND, VA
23224

ENLARGED PLANS

PROJ NUMBER PUBLISH DATE
14.1300 15/09.14

AUTHOR(S) DRWG TYPE
GENERAL

A201

RUNNING BOND BRICK MASONRY
CEMENTITIOUS CLADDING
CEMENTITIOUS CLADDING
PREFINISHED METAL GUTTER AND
DOWNSPOUTS

COMPOSITE OR PREFINISHED METAL CLAD
WINDOW

PARGED MASONRY BASE

CEMENTITIOUS CLADDING

PANEL W/ PAINT FINISH

PREFINISHED METAL GUTTER AND
DOWNSPOUTS

PARAPET
+24'-0"

WOOD-TRIMMED AWNING WITH 60 MIL GREY TPO ROOF
AND PAINTED T&G WOOD CEILING

COMPOSITE OR PREFINISHED METAL CLAD
WINDOW

PAINTED MTL BALCONY RAIL TYPICAL WHERE SHOWN

15/11/25
PAINTED METAL RAIL CLARIFIED

PREFINISHED ALUMINUM STOREFRONT

1ST LEVEL COMMERCIAL
0'-0" (REFERENCE)

PARGED MASONRY BASE

1 15/11/25
ELEVATION RAISED 0'-8"

PARAPET-13TH STREET
+24'-0"

2ND LEVEL 13TH STREET
+12'-0"

1ST LEVEL 13TH STREET
+0'-8"



01 NORTH/13TH STREET ELEVATION

A301
1/8" = 1'-0" 0 8 16 24 FT

PARAPET

MASONRY PARAPET

WOOD-TRIMMED AWNING WITH 60 MIL GREY TPO ROOF
AND PAINTED T&G WOOD CEILING

1 15/11/25
PAINTED METAL RAIL CLARIFIED

PAINTED MTL BALCONY RAIL TYP WHERE SHOWN

2ND LEVEL UNITS ABOVE COMMERCIAL
+13'-0"

2 16/01/22
BALCONY ROOF REVISED TO REFLECT SETBACK

PREFINISHED ALUMINUM STOREFRONT

1ST LEVEL COMMERCIAL =
13TH ST RESIDENTIAL
0'-0" (REFERENCE)

60% MINIMUM FENESTRATION REQUIRED
65% FENESTRATION PROVIDED
THIS SECTION OF WALL AT CORNER PER R-63
ZONING REQUIREMENTS

16/01/22
BALCONY ROOF REVISED TO REFLECT SETBACK

PARAPET
+27'-8"

WOOD-TRIMMED AWNING WITH 60 MIL GREY TPO ROOF
AND PAINTED T&G WOOD CEILING

COMPOSITE OR PREFINISHED METAL CLAD
WINDOW

PAINTED MTL BALCONY RAIL TYPICAL WHERE SHOWN

1 15/11/25
PAINTED METAL RAIL CLARIFIED

PREFINISHED ALUMINUM STOREFRONT

1ST LEVEL COMMERCIAL
0'-0" (REFERENCE)

PARGED MASONRY BASE

2 16/01/22
BALCONY ROOF REVISED TO REFLECT SETBACK

PARAPET
+27'-8"

WOOD-TRIMMED AWNING WITH 60 MIL GREY TPO ROOF
AND PAINTED T&G WOOD CEILING

COMPOSITE OR PREFINISHED METAL CLAD
WINDOW

COMPOSITE OR PREFINISHED METAL CLAD
WINDOW

2ND LEVEL MCDONOUGH STREET
+12'-6"

COMPOSITE OR PREFINISHED METAL CLAD
DOOR

1ST LEVEL MCDONOUGH STREET TOWNHOUSES
+1'-6"

60% MINIMUM FENESTRATION REQUIRED
61% FENESTRATION PROVIDED
THIS SECTION OF WALL AT CORNER PER
R-63 ZONING REQUIREMENTS



02 WEST/MCDONOUGH STREET ELEVATION

A301
1/8" = 1'-0" 0 8 16 24 FT

PARAPET
+27'-8"

COMPOSITE OR PREFINISHED METAL CLAD
WINDOW

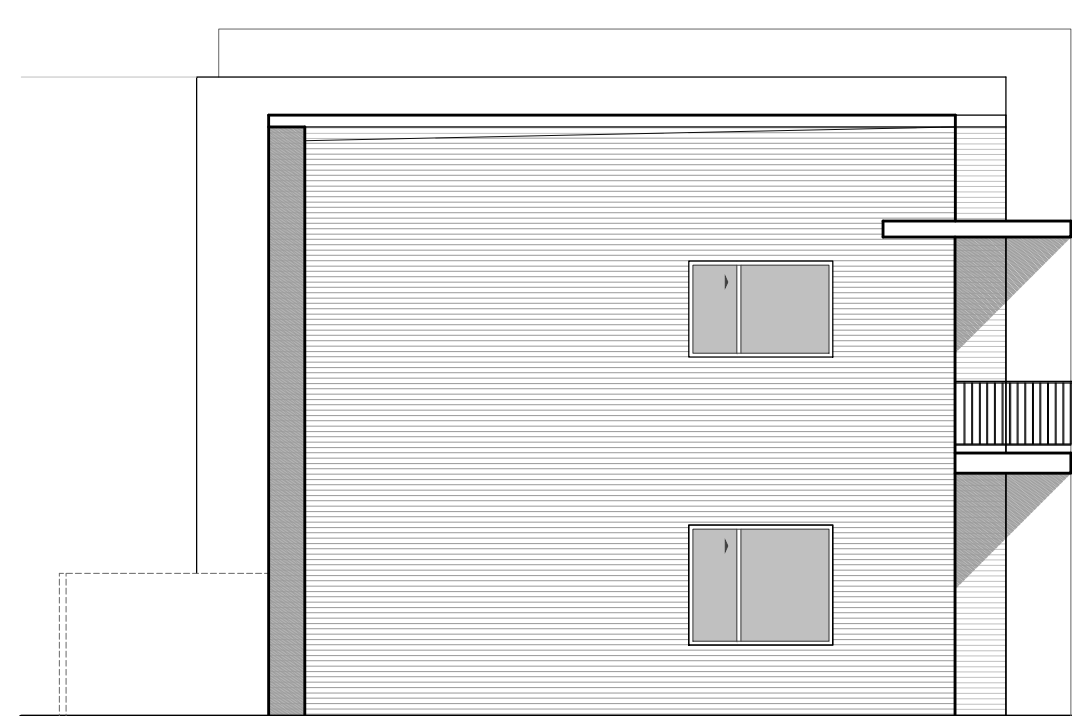
COMPOSITE OR PREFINISHED METAL CLAD
WINDOW

2ND LEVEL MCDONOUGH STREET
+12'-6"

COMPOSITE OR PREFINISHED METAL CLAD
DOOR

1ST LEVEL MCDONOUGH STREET TOWNHOUSES
+1'-6"

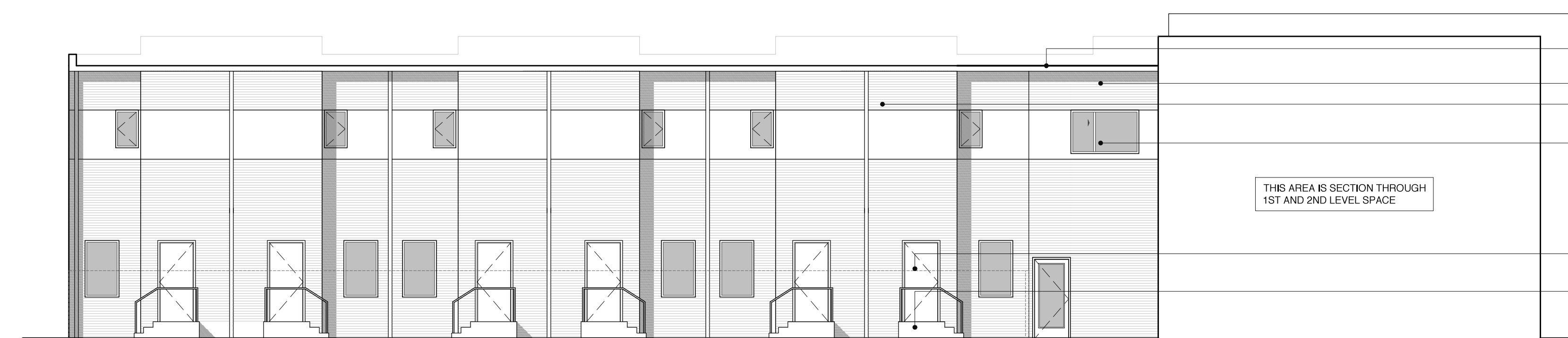
60% MINIMUM FENESTRATION REQUIRED
61% FENESTRATION PROVIDED
THIS SECTION OF WALL AT CORNER PER
R-63 ZONING REQUIREMENTS



03B EAST/END ELEVATION

A301
1/8" = 1'-0" 0 8 16 24 FT

NOTE: MATERIAL THIS ELEVATION TO
MATCH 02/A301



03A EAST/ALLEY ELEVATION

A301
1/8" = 1'-0" 0 8 16 24 FT

PREFINISHED METAL GUTTER AND
DOWNSPOUTS

CEMENTITIOUS CLADDING

CEMENTITIOUS CLADDING

COMPOSITE OR PREFINISHED METAL CLAD
WINDOW

2ND LEVEL MCDONOUGH
+12'-6"

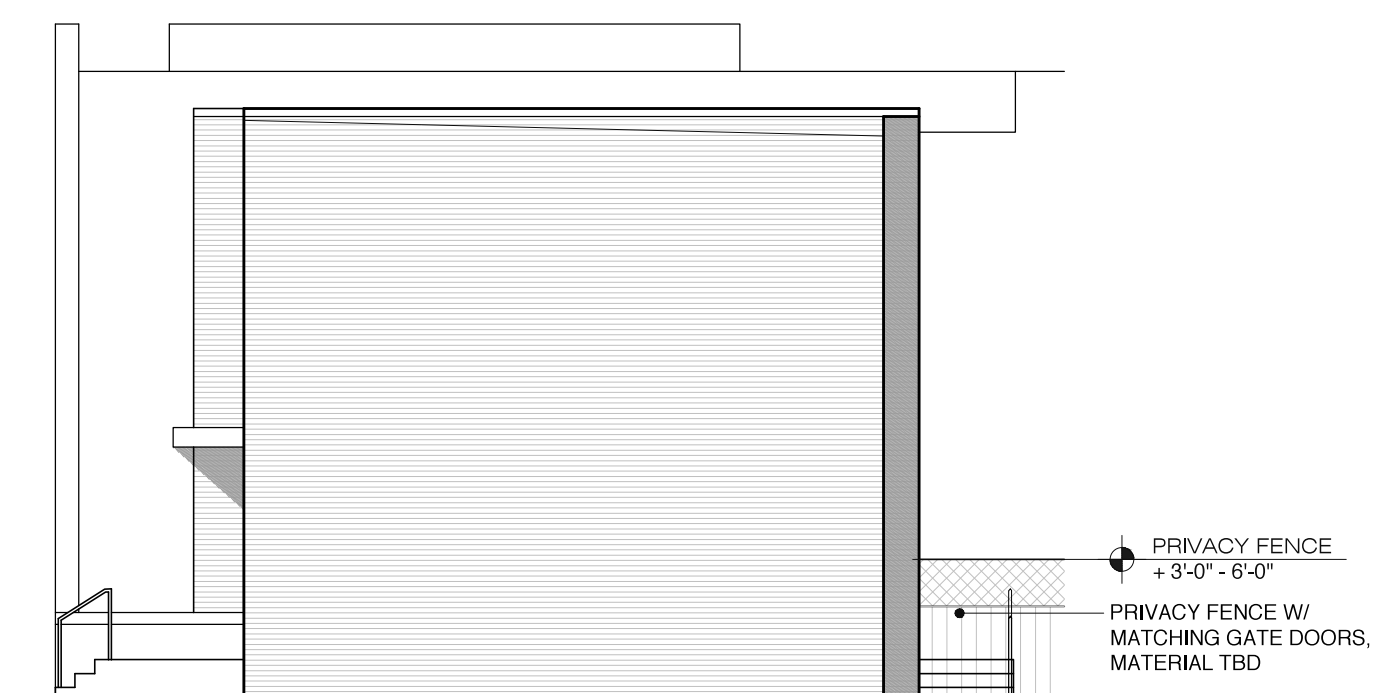
DASHED LINE INDICATES PRIVACY FENCE,
MATERIAL TBD

CONCRETE STOOP AND STEPS

1ST LEVEL MCDONOUGH STREET
+1'-6"

1ST LEVEL STAIR HALL ENTRY
0'-0"

THIS AREA IS SECTION THROUGH
1ST AND 2ND LEVEL SPACE

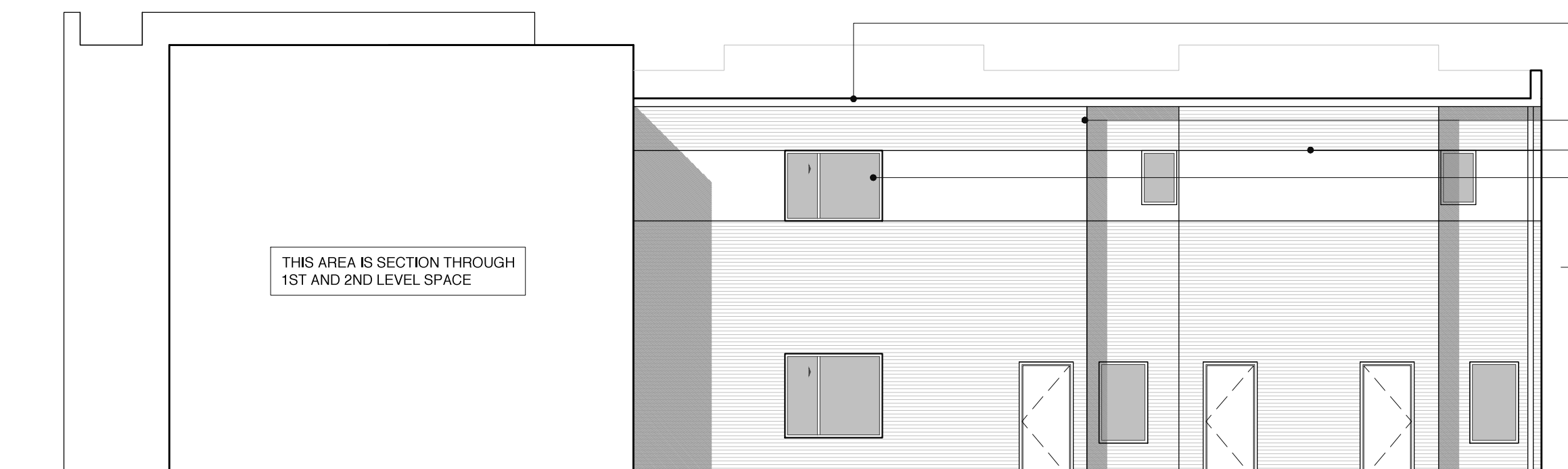


04B SOUTH/END ELEVATION

A301
1/8" = 1'-0" 0 8 16 24 FT

PRIVACY FENCE
+3'-0" - 6'-0"

PRIVACY FENCE W/
MATCHING GATE DOORS,
MATERIAL TBD



04A SOUTH/COURT ELEVATION

A301
1/8" = 1'-0" 0 8 16 24 FT

PREFINISHED METAL GUTTER AND
DOWNSPOUTS

CEMENTITIOUS CLADDING

CEMENTITIOUS CLADDING

COMPOSITE OR PREFINISHED METAL CLAD
WINDOW

2ND LEVEL ALONG 13TH STREET
+13'-0" (CONFIRM)

1ST LEVEL ALONG 13TH STREET
0'-0" (REFERENCE)

THIS AREA IS SECTION THROUGH
1ST AND 2ND LEVEL SPACE

GENERAL SUP NOTES

- ENGINEERING INCLUDING UTILITIES PLANS AND THE INS ARE PROPOSED TO BE DESIGN BUILD AT THE TIME OF CONSTRUCTION PERMITTING. ALL RELEVANT INFORMATION AND DRAWINGS TO BE SUBMITTED AT TIME OF PERMITTING.
- EXTENTS OF PROPOSED SIGNAGE ARE NOT KNOWN AT THIS TIME. IT IS PROPOSED FOR FUTURE COMMERCIAL TENANTS TO INSTALL SIGNAGE ON THE BRICK ACCENT PANEL ABOVE THE COMMERCIAL TENANT ENTRY DOORS ON MARSHALL STREET AND ADDITIONAL SIGNAGE ON THE GLAZING OF THE 1ST FLOOR STOREFRONT WINDOWS AND DOORS.
- ALL EXTERIOR LIGHTING ANTICIPATED TO BE BUILDING AND FENCE MOUNTED AND ASSOCIATED WITH BUILDING ENTRIES AND PARKING. FENCE MOUNTED LIGHTS AT PARKING AREA ARE LOCATED 32 FEET FROM EAST PROPERTY LINE. NO POLE MOUNTED LIGHTING FIXTURES ARE PROPOSED AND NO LIGHTING FIXTURES ARE PROPOSED ON THE SOUTH WALL FACING THE ADJACENT RESIDENTIAL PROPERTY.

1 15/11/25
RESPONSE TO SPECIAL USE COMMENTS
DATED NOV. 3, 2015

2 16/01/22
RESPONSE TO SPECIAL USE COMMENTS
DATED JAN. 21, 2016

**DRAWING ACCOMPANYING
REQUEST FOR SPECIAL USE
9-14-2015**

NOT FOR CONSTRUCTION

ARCHITECT:
ADD/Architecture Design Office
105 E Broad Street
Richmond, Virginia 23219
804 343 1212

OWNER/DEVELOPER:
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PO Box 7217
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804 814 6269



**MIXED USE
RESIDENTIAL
DEVELOPMENT**

1300-1306 McDonough Streets
[corner of McDonough and 13th]
MANCHESTER, RICHMOND, VA
23224

ELEVATIONS

PROJ NUMBER PUBLISH DATE

14.1300 15/09.14

AUTHOR(S) DRWG TYPE

SOCIAL

A301

PAINTED METAL BALCONY RAIL
 15/11/25
 1 BALCONY RAIL CLARIFIED



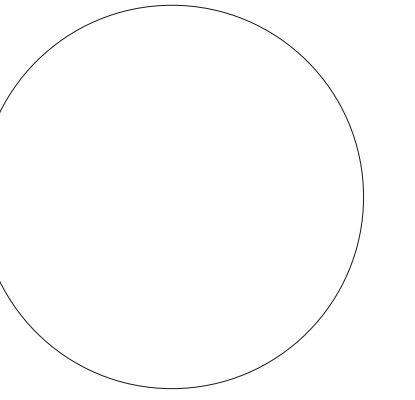
01 CONCEPT FRONT PERSPECTIVE_13TH AND MCDONOUGH
 A302
 NOT TO SCALE

1 15/11/25
 RESPONSE TO SPECIAL USE COMMENTS
 DATED NOV. 3, 2015

2 16/01/22
 RESPONSE TO SPECIAL USE COMMENTS
 DATED JAN. 21, 2016

**DRAWING ACCOMPANYING
 REQUEST FOR SPECIAL USE
 9-14-2015**

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ARCHITECT:
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 804 343 1212

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**MIXED USE
 RESIDENTIAL
 DEVELOPMENT**

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 23224

CONCEPTUAL RENDERING

PROJ NUMBER	PUBLISH DATE
14.1300	15/09.14

AUTHOR(S)	DRWG TYPE
	SOCIAL

A302

McDONOUGH GREEN SECTIONS 1 AND 2 SINGLE FAMILY RESIDENTIAL and SPECIAL USE PERMIT PLAN CITY OF RICHMOND, VIRGINIA

SITE DATA

1. OWNER/DEVELOPER

MANCHESTER PARTNERS, LLC
C/O: BEN K. ADAMSON
P.O. BOX 7217
RICHMOND, VIRGINIA 23221
(804) 814-6269
(804) 278-8908 FAX
BKADAMSON@MAC.COM

2. ENGINEER/SURVEYOR

PARKER CONSULTING, LLC
12511 HIDDEN OAKS COURT
HENRICO, VIRGINIA 23233
(804) 308-0483
(804) 308-2476 FAX
PARKERLLC@COMCAST.NET

SHADRACH & ASSOCIATES, LLC
430 SOUTHLAKE BOULEVARD
SUITE 10-B
RICHMOND, VIRGINIA 23236
(804) 379-9300
(804) 379-9301 FAX
ROD@SHADRACHSURVEYS.COM

3. PARCEL NUMBERS

S000-0122/001	NOT PART OF SUP
S000-0122/002	NOT PART OF SUP
S000-0122/007	PART OF SUP
S000-0122/010	PART OF SUP
S000-0122/011	PART OF SUP
S000-0122/012	PART OF SUP

4. ACREAGE 0.77 ACRES

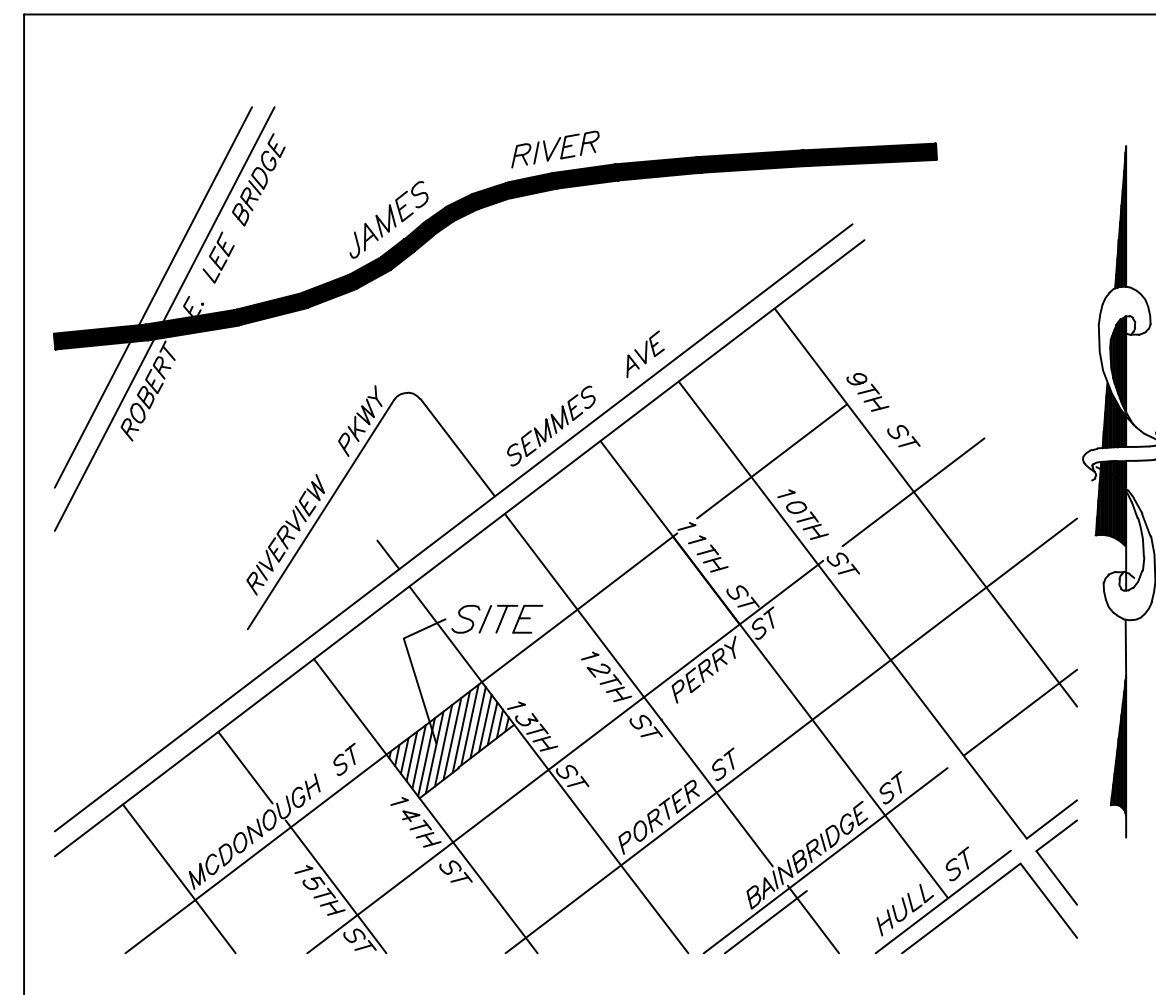
5. ZONING R-8

6. PROPOSED USE COMMERCIAL/MULTI-FAMILY

7. UTILITIES CITY WATER
CITY SEWER

8. PARKING SCHEDULE 12 OFF STREET REQUIRED
12 OFF STREET PROVIDED

9. LAND DISTURBANCE 0.97 AC.

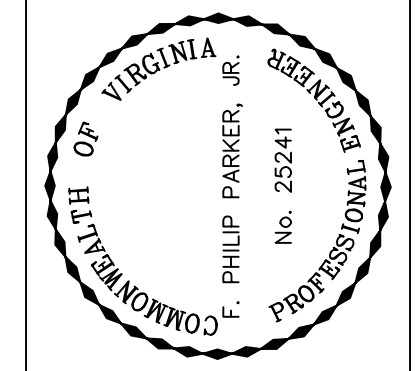


VICINITY MAP
SCALE 1" = 2000'

SHEET INDEX

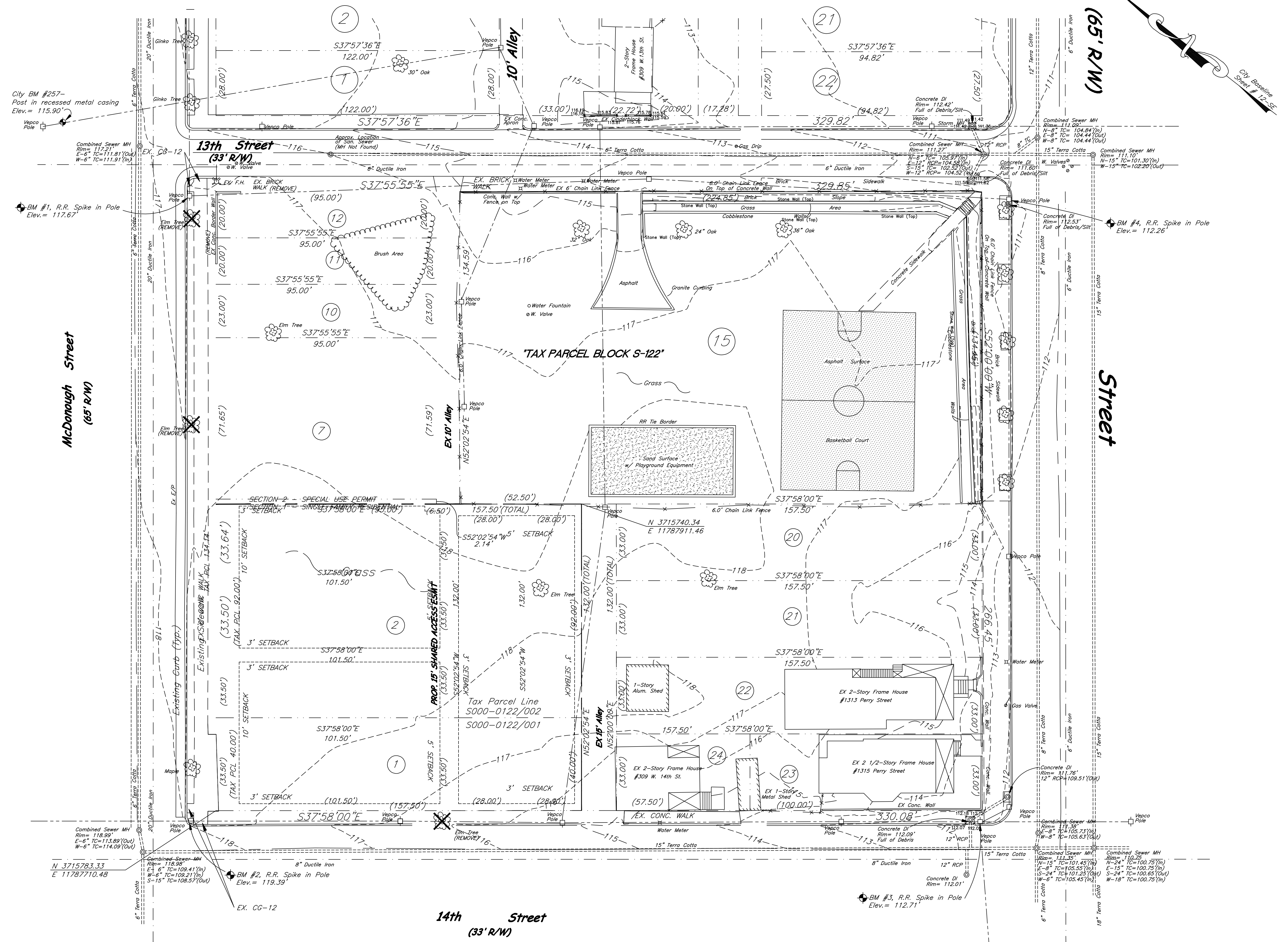
1 OF 8	COVER SHEET
2 OF 8	EXISTING CONDITIONS
3 OF 8	SITE PLAN
4 OF 8	GRADING PLAN
5 OF 8	EROSION CONTROL
6 OF 8	DETAILS
7 OF 8	DETAILS
8 OF 8	DETAILS

PARKER CONSULTING, LLC
12511 HIDDEN OAKS COURT
HENRICO, VIRGINIA 23233
TEL (804) 308-0483 • FAX (804) 308-2476
parkerllc@comcast.net



COVER SHEET
McDONOUGH GREEN
SECTIONS 1 AND 2
SINGLE FAMILY and SPECIAL USE PERMIT
CITY OF RICHMOND, VIRGINIA

DATE	REVISION	CHECK BY
07/28/16	PER CITY REVIEW	01/21/16



City BM #257-
Post in recessed metal casing
Elev. = 115.90'

BM #1, R.R. Spike in Pole
Elev. = 117.67'

McDonough Street
(65' R/W)

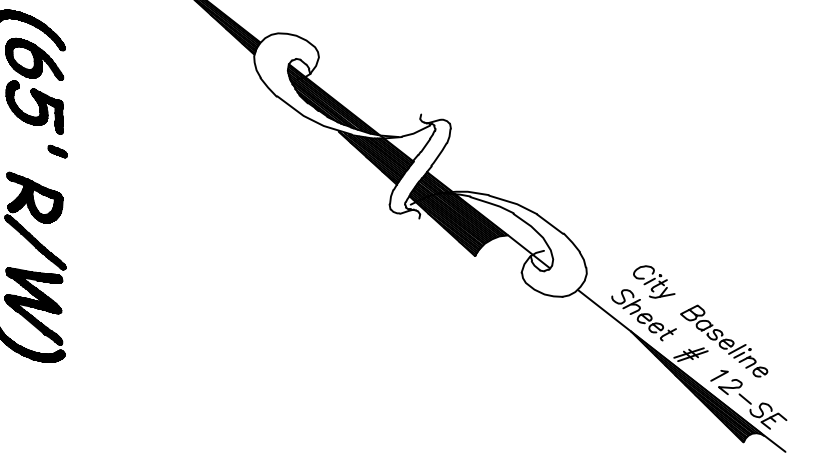
Combined Sewer MH
Rim = 118.99'
E = 6" TC = 113.89'(Out)
W = 6" TC = 114.09'(Out)

Combined Sewer MH
Rim = 118.99'
E = 6" TC = 109.41'(In)
W = 6" TC = 109.21'(In)
S = 15" TC = 108.57'(Out)

BM #2, R.R. Spike in Pole
Elev. = 119.39'

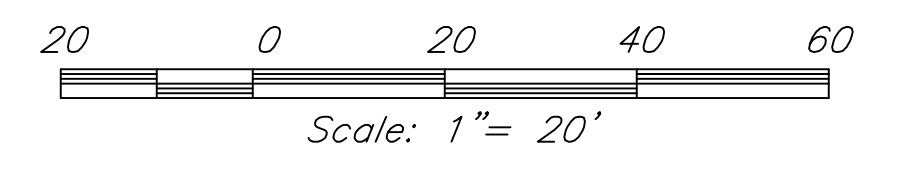
14th Street
(33' R/W)

BM #3, R.R. Spike in Pole
Elev. = 112.71'

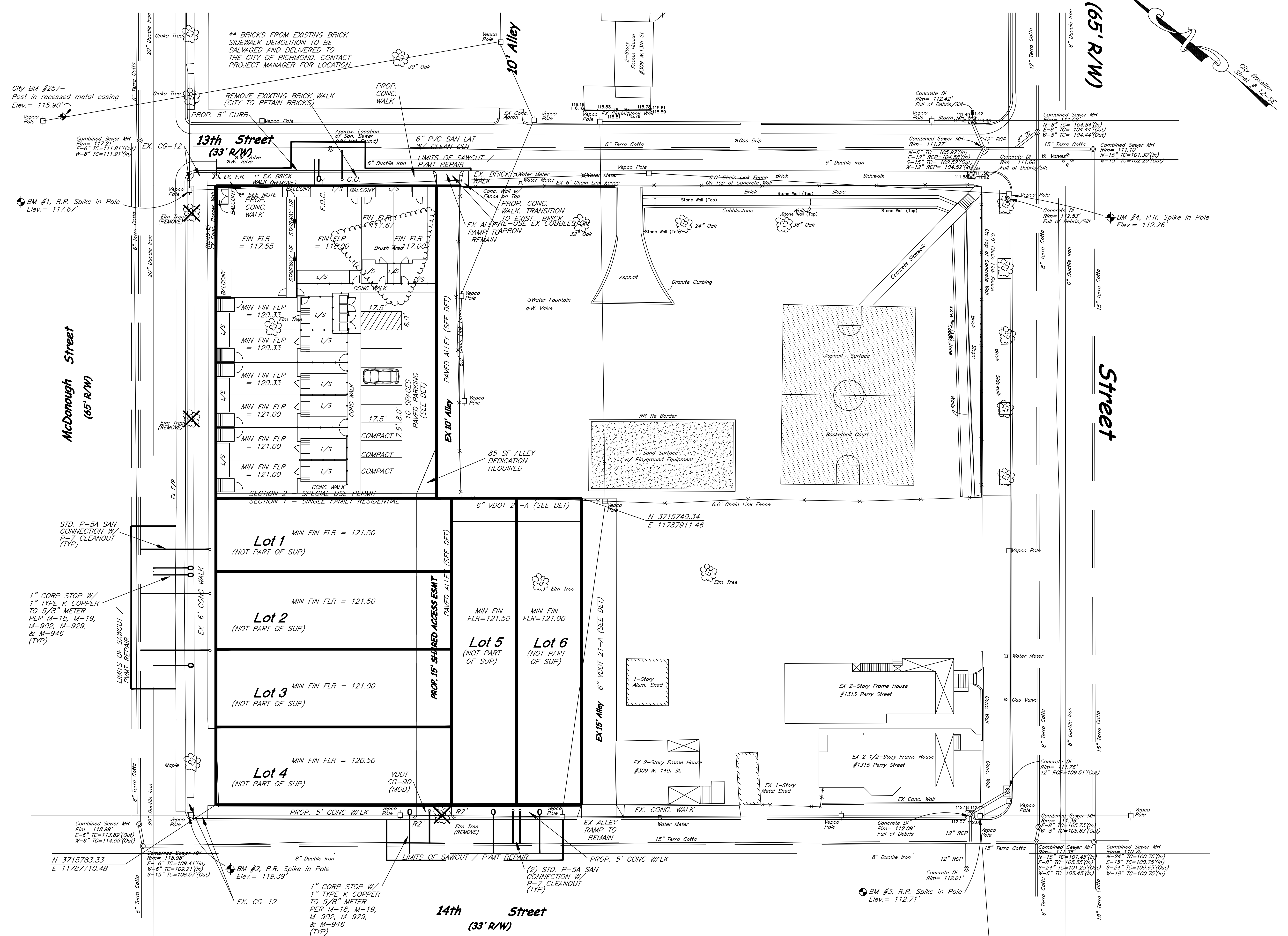


Street

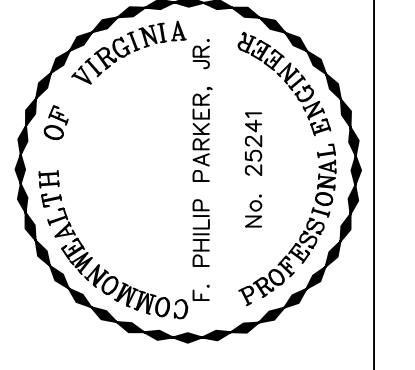
(65' R/W)



<p>DATE: 07/28/16 REVISION: PER CITY REVIEW 07/21/16</p>		<p>CHECK BY:</p>
<p>DATE: 12/17/15 SCALE: 1" = 20'</p>		<p>DESIGN BY: FPP DRAWN BY: FPP CHECK BY: FPP McDONOUGH SHEET 2 OF 8</p>
<p>EXISTING CONDITIONS</p>		
<p>McDONOUGH GREEN</p>		
<p>SECTIONS 1 AND 2</p>		
<p>SINGLE FAMILY AND SPECIAL USE PERMIT</p>		
<p>CITY OF RICHMOND, VIRGINIA</p>		
<p>PARKER CONSULTING, LLC</p>		
<p>12511 HIDDEN OAKS COURT HENRICO, VIRGINIA 23233 TEL (804) 308-0483 • FAX (804) 308-2476 parkerllc@comcast.net</p>		
<p>COMMONWEALTH OF VIRGINIA F. PHILIP PARKER, JR. No. 25241 PROFESSIONAL ENGINEER</p>		



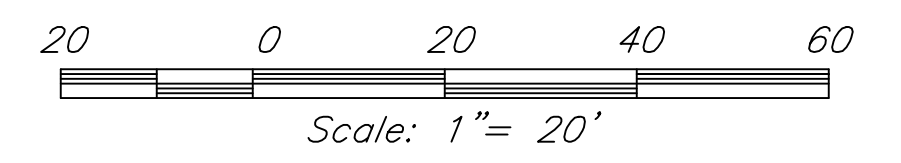
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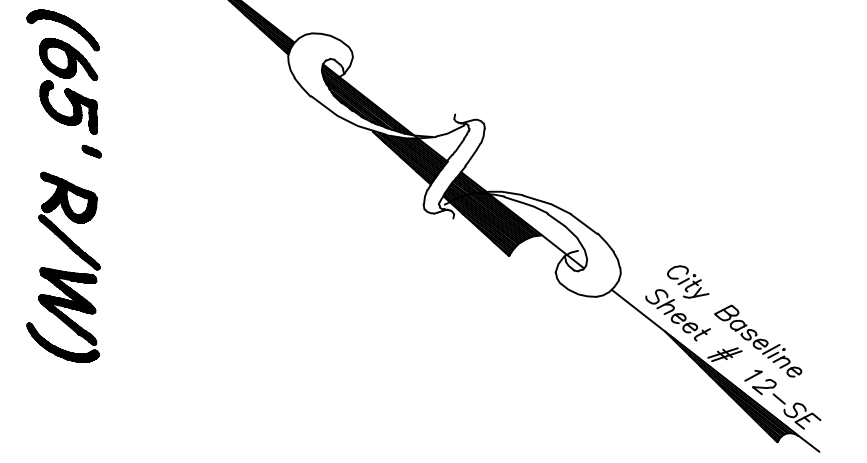
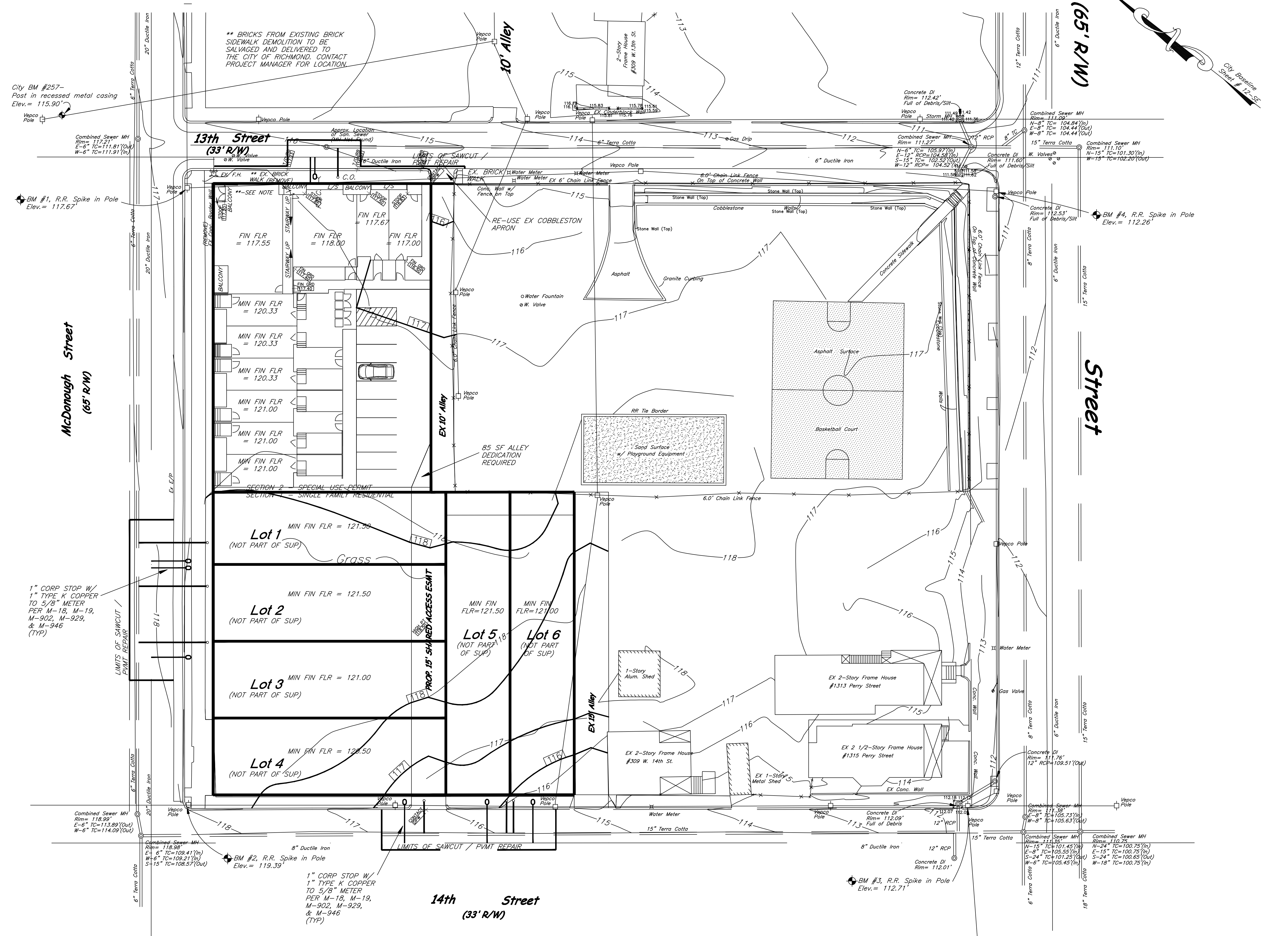


SITE PLAN
McDONOUGH GREEN
 SECTIONS 1 AND 2
 SINGLE FAMILY AND SPECIAL USE PERMIT
 CITY OF RICHMOND, VIRGINIA

DATE	REVISION	CHECK BY
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 DRAWN BY: FPP
 CHECK BY: FPP
 McDONOUGH
 SHEET 3 OF 8





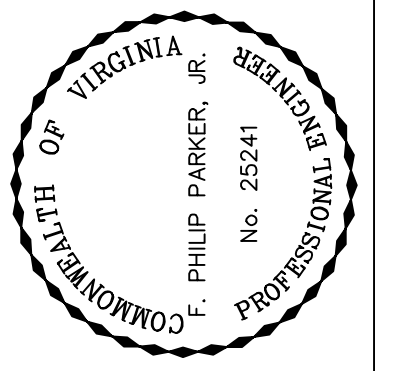
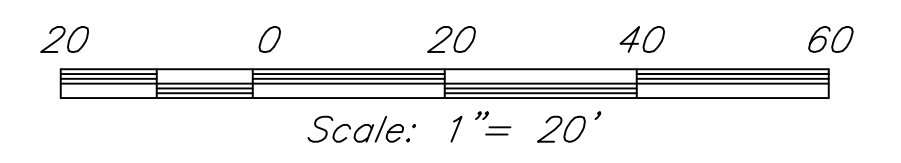
City BM #257 -
Post in recessed metal casing
Elev. = 115.90'

BM #1, R.R. Spike in Pole
Elev. = 117.67'

BM #4, R.R. Spike in Pole
Elev. = 112.26'

1" CORP STOP W/
1" TYPE K COPPER
TO 5/8" METER
PER M-18, M-19,
M-902, M-929,
& M-946
(TYP)

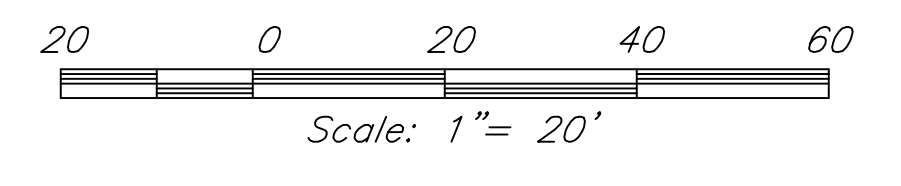
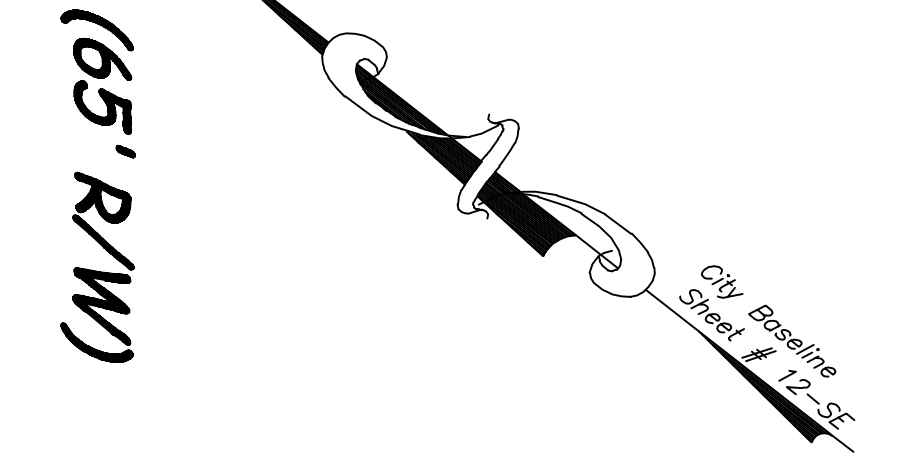
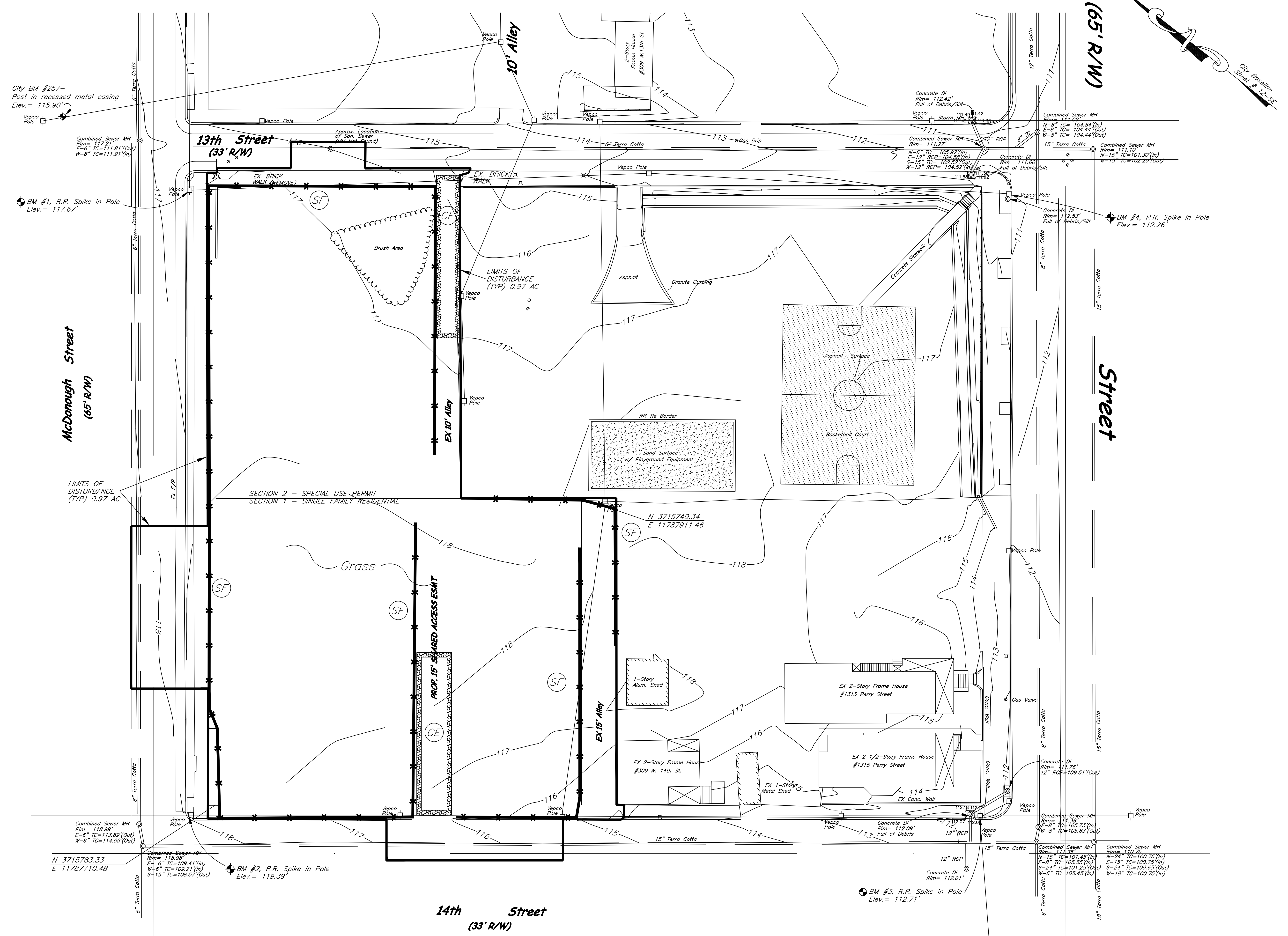
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1" TYPE K COPPER
TO 5/8" METER
PER M-18, M-19,
M-902, M-929,
& M-946
(TYP)



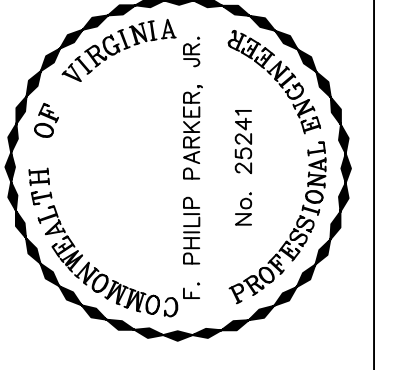
GRADING PLAN
McDONOUGH GREEN
SECTIONS 1 AND 2
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CITY OF RICHMOND, VIRGINIA

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DESIGN BY: FFP
DRAWN BY: FFP
CHECK BY: FFP
McDONOUGH
SHEET 4 OF 8



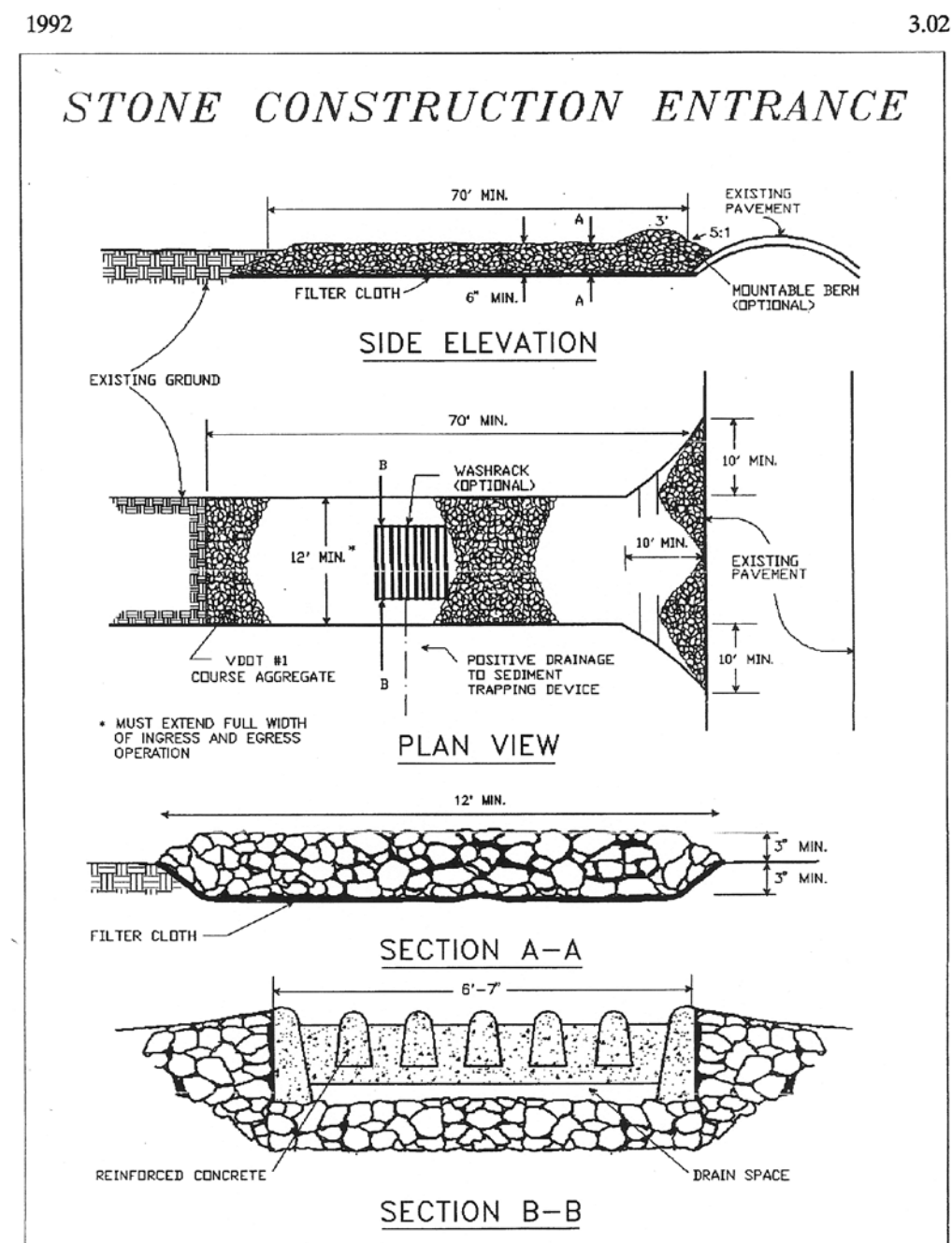
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EROSION CONTROL
McDONOUGH GREEN
 SECTIONS 1 AND 2
 SINGLE FAMILY AND SPECIAL USE PERMIT
 CITY OF RICHMOND, VIRGINIA

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 DESIGN BY: FPP
 DRAWN BY: FPP
 CHECK BY: FPP
 McDONOUGH
 SHEET 5 OF 8



Source: Adapted from 1983 Maryland Standards for Soil Erosion and Sediment Control, and Va. DSWC Plate 3.02-1

III - 9

1992 3.02

TABLE 3.02-A
CONSTRUCTION SPECIFICATIONS FOR FILTER CLOTH UNDERLINER

Fabric Properties ¹	Light-Duty Entrance ² (Graded Subgrade)	Heavy-Duty Entrance ³ (Rough Graded)	Test Method
Grab Tensile Strength (lbs.)	200	220	ASTM D1682
Elongation at Failure (%)	50	220	ASTM D1682
Mullen Burst Strength (lbs.)	190	430	ASTM D3786
Puncture Strength (lbs.)	40	125	ASTM D751 (modified)
Equivalent Opening Size (mm)	40-80	40-80	U.S. Standard Sieve CW-02215

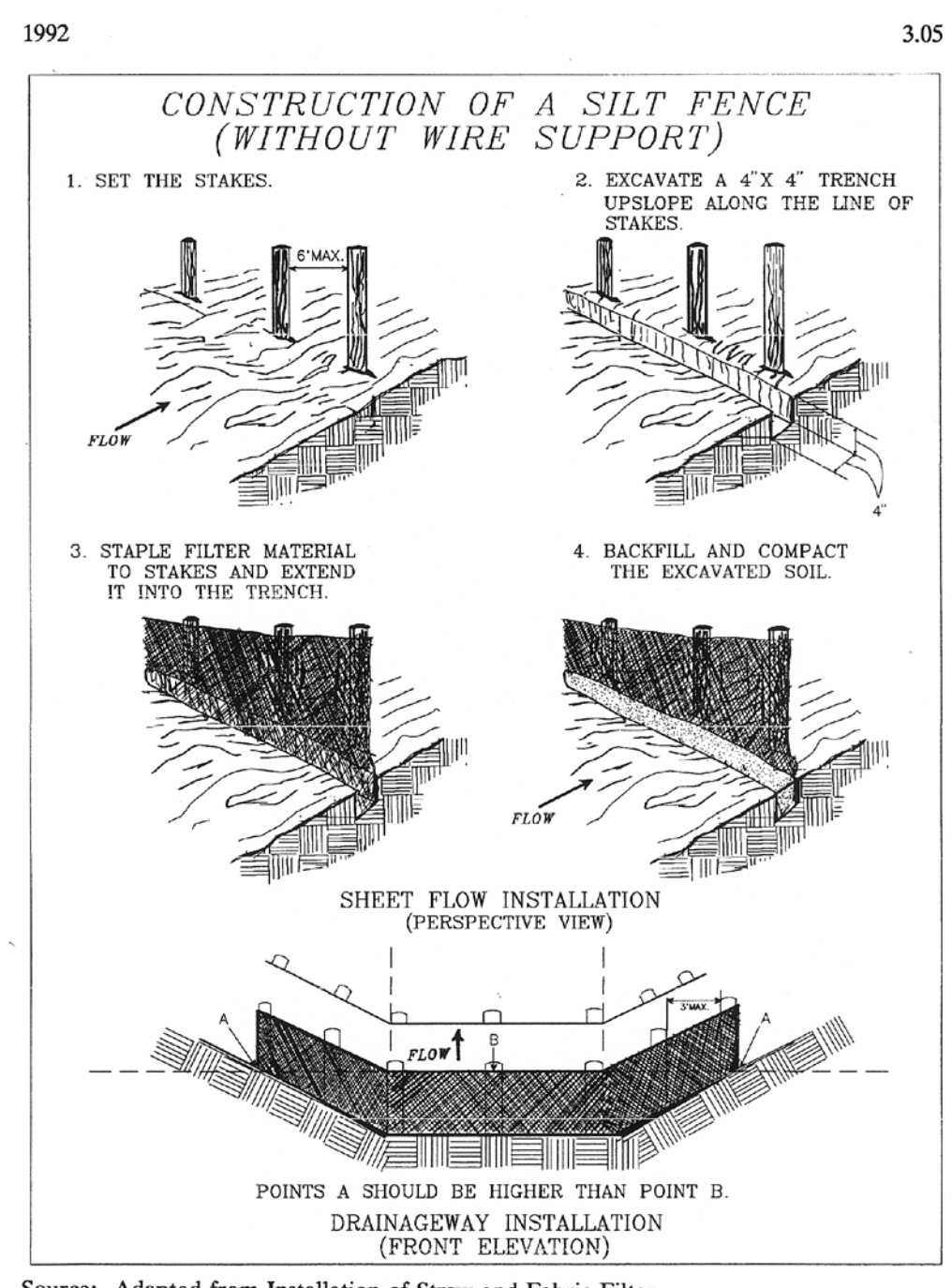
¹ Fabrics not meeting these specifications may be used only when design procedure and supporting documentation are supplied to determine aggregate depth and fabric strength.

² **Light Duty Entrance:** Sites that have been graded to subgrade and where most travel would be single axle vehicles and an occasional multi-axle truck. Examples of fabrics which can be used are: Trevira Spunbond 1115, Mirafi 100X, Typar 3401, or equivalent.

³ **Heavy Duty Entrance:** Sites with only rough grading and where most travel would be multi-axle vehicles. Examples of fabrics which can be used are: Trevira Spunbond 1135, Mirafi 600X, or equivalent.

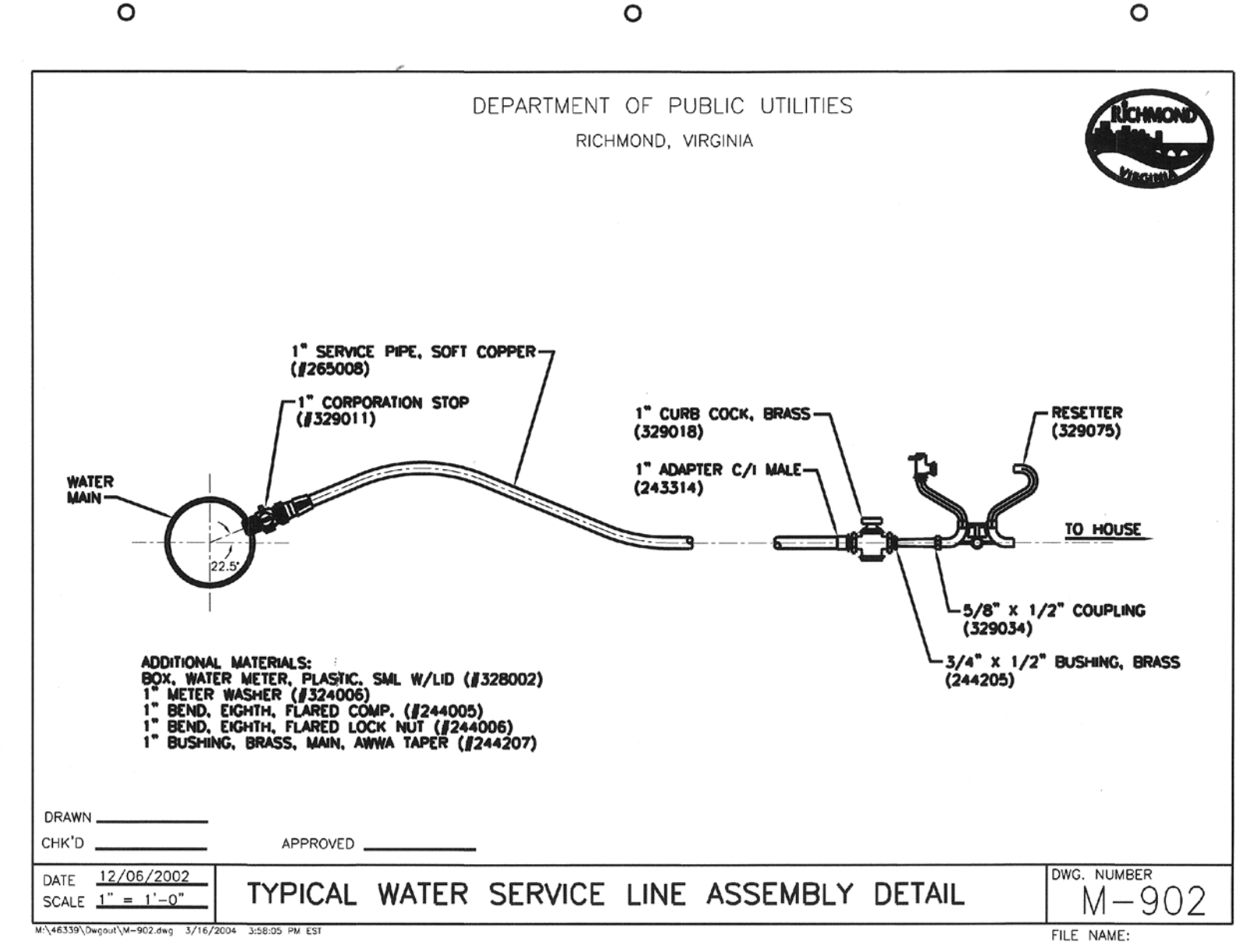
Source: Virginia Highway and Transportation Research Council (VHTRC)

III - 10



Source: Adapted from Installation of Straw and Fabric Filter Barriers for Sediment Control, Sherwood and Wyant Plate 3.05-2

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EROSION CONTROL NARRATIVE:
THE PURPOSE OF THIS LAND DISTURBING ACTIVITY IS TO REDEVELOP THE SUBJECT PROPERTY TO SINGLE FAMILY, MULTI-FAMILY AND COMMERCIAL USES. LAND DISTURBANCE WILL CONSIST OF GRADING, UTILITY CONNECTIONS, BUILDINGS, DRIVES AND REQUIRED PARKING.

THE PROPERTY WAS FORMERLY DEVELOPED AS SINGLE FAMILY HOMES WITH ALLEY WAY AND OFF STREET PARKING. SUBSEQUENT TO THE DEMOLITION OF PRIOR IMPROVEMENTS, THE SITE HAS BEEN SEEDED AND MAINTAINED WITH GRASS COVER AND MINOR SCRUB/SHRUB. IT IS ANTICIPATED THAT NO OFFSITE BORROW OR DISPOSAL WILL BE REQUIRED.

EXISTING TOPOGRAPHY IS GENTLE TO MODERATE. PROPOSED GRADING WILL MODIFY THE TOPOGRAPHY TO MODERATE TO GENTLE AS ALLOWED BY THE EXISTING STREET INFRASTRUCTURE.

THE AREA SURROUNDING THIS PROJECT IS SINGLE FAMILY AND A CITY MAINTAINED PARK WITH BASKETBALL COURT AND SAND PLAY AREA. EXISTING DRAINAGE PATTERNS WILL BE MAINTAINED BY THE PROPOSED GRADES.

EXISTING SOILS ARE ORANBURG-FACEVILLE COMPLEX, 2-6% SLOPES. SUBJECT AREA AND SURROUNDING AREAS ARE DEVELOPED URBAN USE.

AREAS OF CONCERN INVOLVE THE EXISTING PARK AND ADJACENT RESIDENTIAL HOMES.

CONSTRUCTION ENTRANCE, SILT FENCING AND SITE STABILIZATION PER SEEDING/MULCHING REQUIREMENTS STATED IN THE CURRENT VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK WILL PREVENT EROSION. ANY POTENTIAL TRACKING OF SEDIMENT ON THE PUBLIC ROADWAYS SHALL BE CLEANED IMMEDIATELY BY HAND AND SEDIMENT PLACED ON SITE WHERE IT WILL BE CONTAINED AND STABILIZED. FINAL STABILIZATION WILL BE PER THE CURRENT REQUIREMENTS OF THE VIRGINIA EROSION AND SEDIMENT CONTROL MANUAL FOR PERMANENT SEEDING, INCLUDING MULCHING, FERTILIZATION AND LIME APPLICATION.

ALL EROSION CONTROL MEASURES SHALL BE INSPECTED EVERY 4 DAYS AND SUBSEQUENT TO ANY RAINFALL PRODUCING EVENT BY THE RLD FOR THE PROJECT. ANY NECESSARY MAINTENANCE SHALL BE MADE IMMEDIATELY AND ALL INSPECTIONS, MAINTENANCE AND ADDITIONAL EROSION CONTROL REQUIRED BY INSPECTORS WILL BE LOGGED IN THE PROJECT VSPM NOTEBOOK MAINTAINED ON SITE.

ANY LAND DISTURBANCE THAT WILL REMAIN DORMANT FOR SEVEN (7) DAYS OR MORE WILL RECEIVE PERMANENT SEEDING. SEE SPECIFICATIONS SHOWN HEREON.

1992

TABLE 6-1
GENERAL EROSION AND SEDIMENT CONTROL NOTES

ES-1: Unless otherwise indicated, all vegetative and structural erosion and sediment control practices will be constructed and maintained according to minimum standards and specifications of the Virginia Erosion and Sediment Control Handbook and Virginia Regulations 4VAC50-30-1 Erosion and Sediment Control Regulations.

ES-2: The plan approving authority must be notified one week prior to the pre-construction conference, one week prior to the commencement of land disturbing activity, and one week prior to the final inspection.

ES-3: All erosion and sediment control measures are to be placed prior to or as the first step in clearing.

ES-4: A copy of the approved erosion and sediment control plan shall be maintained on the site at all times.

ES-5: Prior to commencing land disturbing activities in areas other than indicated on these plans (including, but not limited to, off-site borrow or waste areas), the contractor shall submit a supplementary erosion control plan to the owner for review and approval by the plan approving authority.

ES-6: The contractor is responsible for installation of any additional erosion control measures necessary to prevent erosion and sedimentation as determined by the plan approving authority.

ES-7: All disturbed areas are to drain to approved sediment control measures at all times during land disturbing activities and during site development until final stabilization is achieved.

ES-8: During dewatering operations, water will be pumped into an approved filtering device.

ES-9: The contractor shall inspect all erosion control measures periodically and after each runoff-producing rainfall event. Any necessary repairs or cleanup to maintain the effectiveness of the erosion control devices shall be made immediately.

VI - 15

1992 3.32

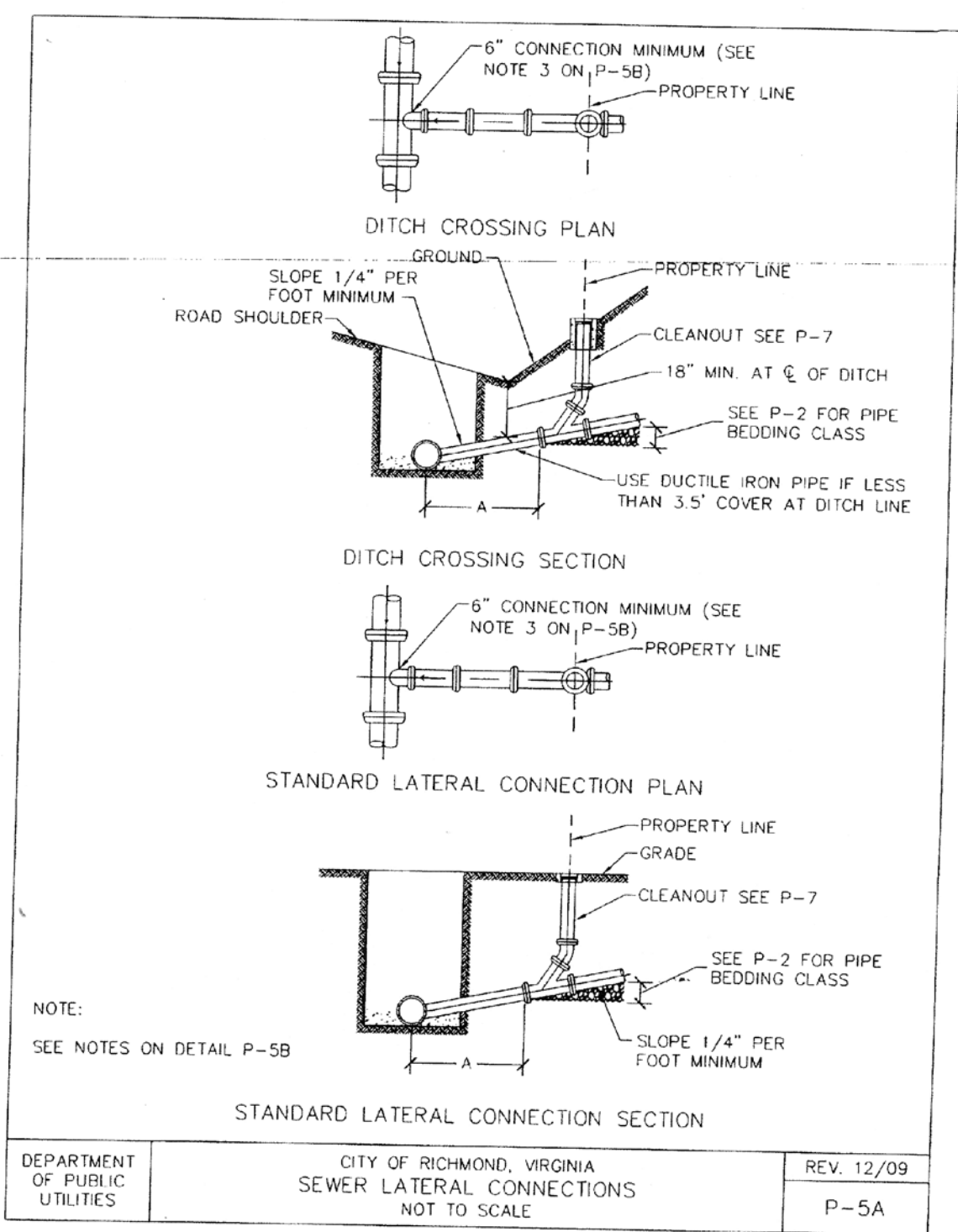
TABLE 3.32-D
SITE SPECIFIC SEEDING MIXTURES FOR PIEDMONT AREA

Minimum Care Lawn	Total Lbs. Per Acre.
- Commercial or Residential	175-200 lbs.
- Kentucky 31 or Turf-Type Tall Fescue	95-100%
- Improved Perennial Ryegrass	0-5%
- Kentucky Bluegrass	0-5%
High-Maintenance Lawn	200-250 lbs.
- Kentucky 31 or Turf-Type Tall Fescue	100%
General Slope (3:1 or less)	
- Kentucky 31 Fescue	128 lbs.
- Red Top Grass	2 lbs.
- Seasonal Nurse Crop *	20 lbs.
	150 lbs.
Low-Maintenance Slope (Steeper than 3:1)	
- Kentucky 31 Fescue	108 lbs.
- Red Top Grass	2 lbs.
- Seasonal Nurse Crop *	20 lbs.
- Crownvetch **	20 lbs.
	150 lbs.

* Use seasonal nurse crop in accordance with seeding dates as stated below:
February 16th through April Annual Rye
May 1st through August 15th Foxtail Millet
August 16th through October Annual Rye
November through February 15th Winter Rye

** Substitute *Sericea lespedeza* for Crownvetch east of Farmville, Va. (May through September use hulled *Sericea*, all other periods, use unhulled *Sericea*). If *Flaitepa* is used in lieu of Crownvetch, increase rate to 30 lbs./acre. All legume seed must be properly inoculated. Weeping Lovegrass may be added to any slope or low-maintenance mix during warmer seeding periods; add 10-20 lbs./acre in mixes.

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parkerllc@comcast.net

COMMONWEALTH OF VIRGINIA
PHILIP PARKER, Sr.
No. 2541
PROFESSIONAL

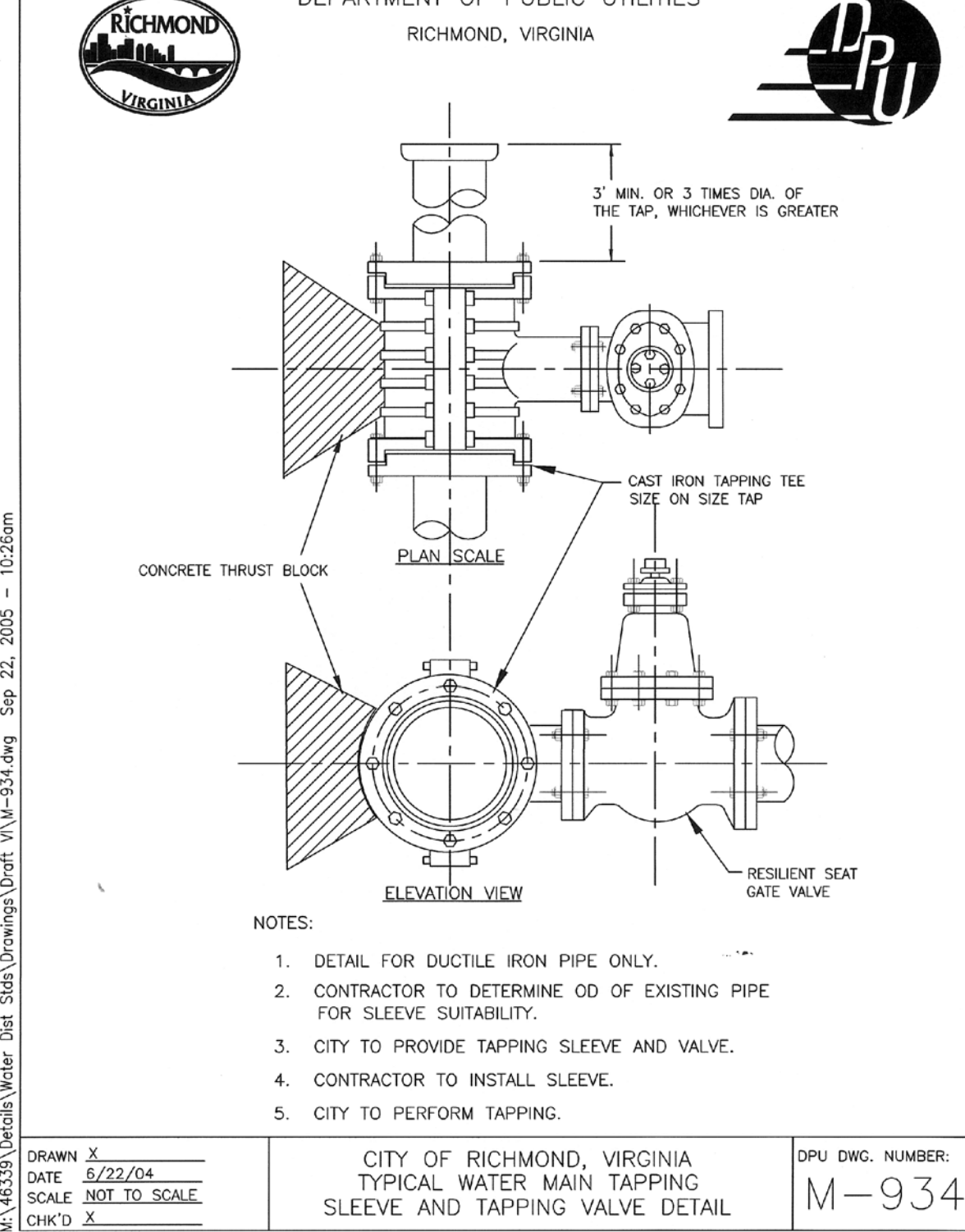
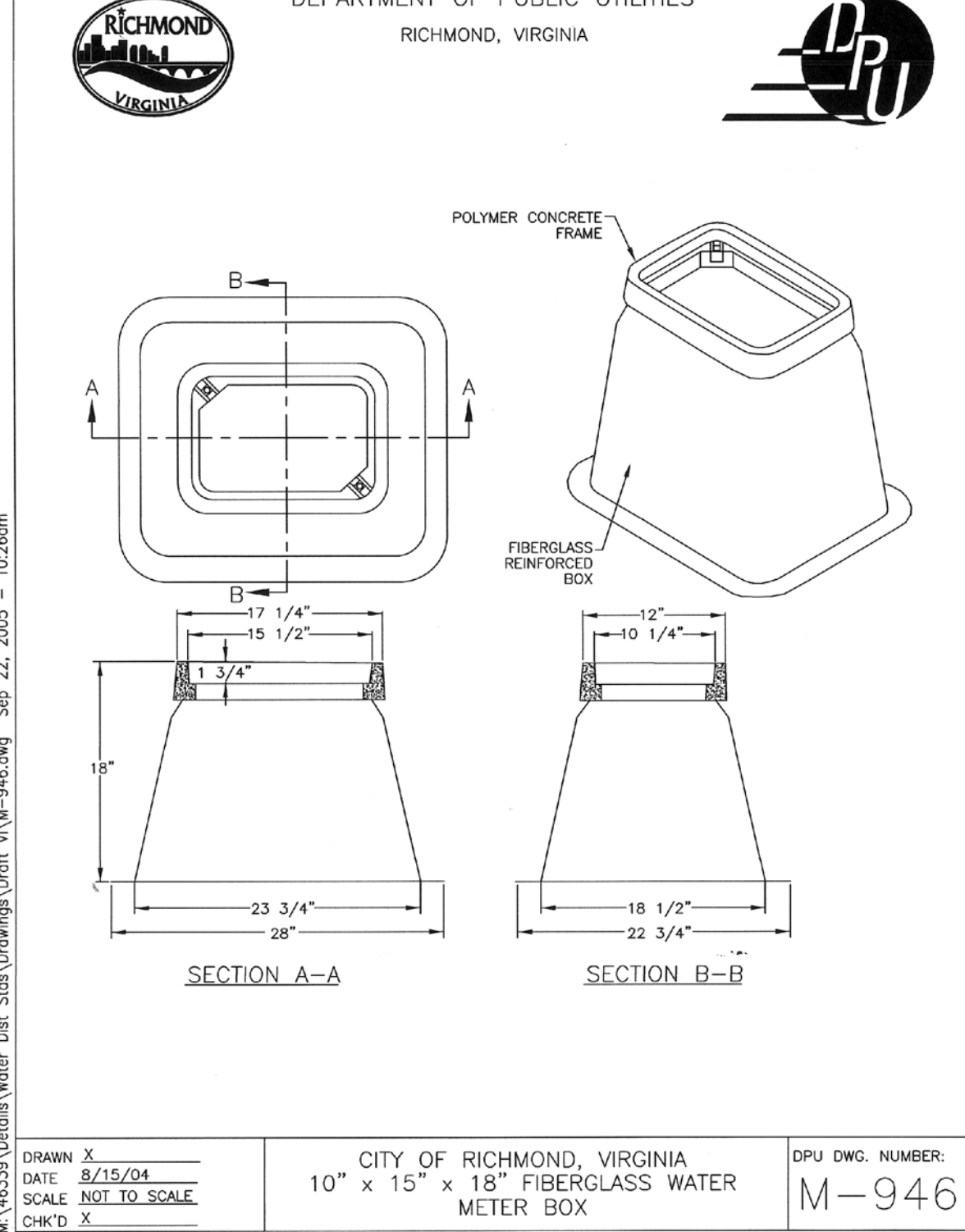
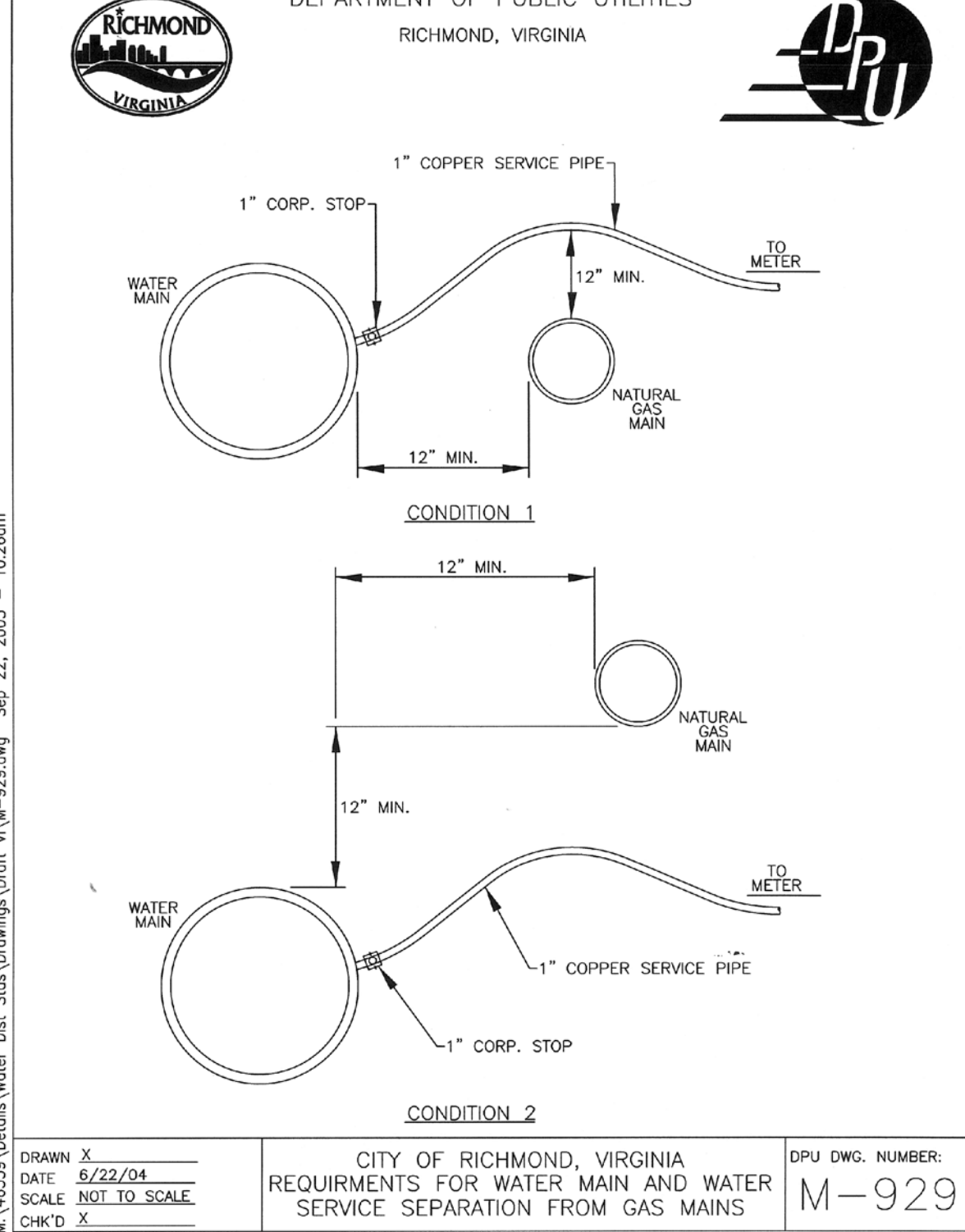
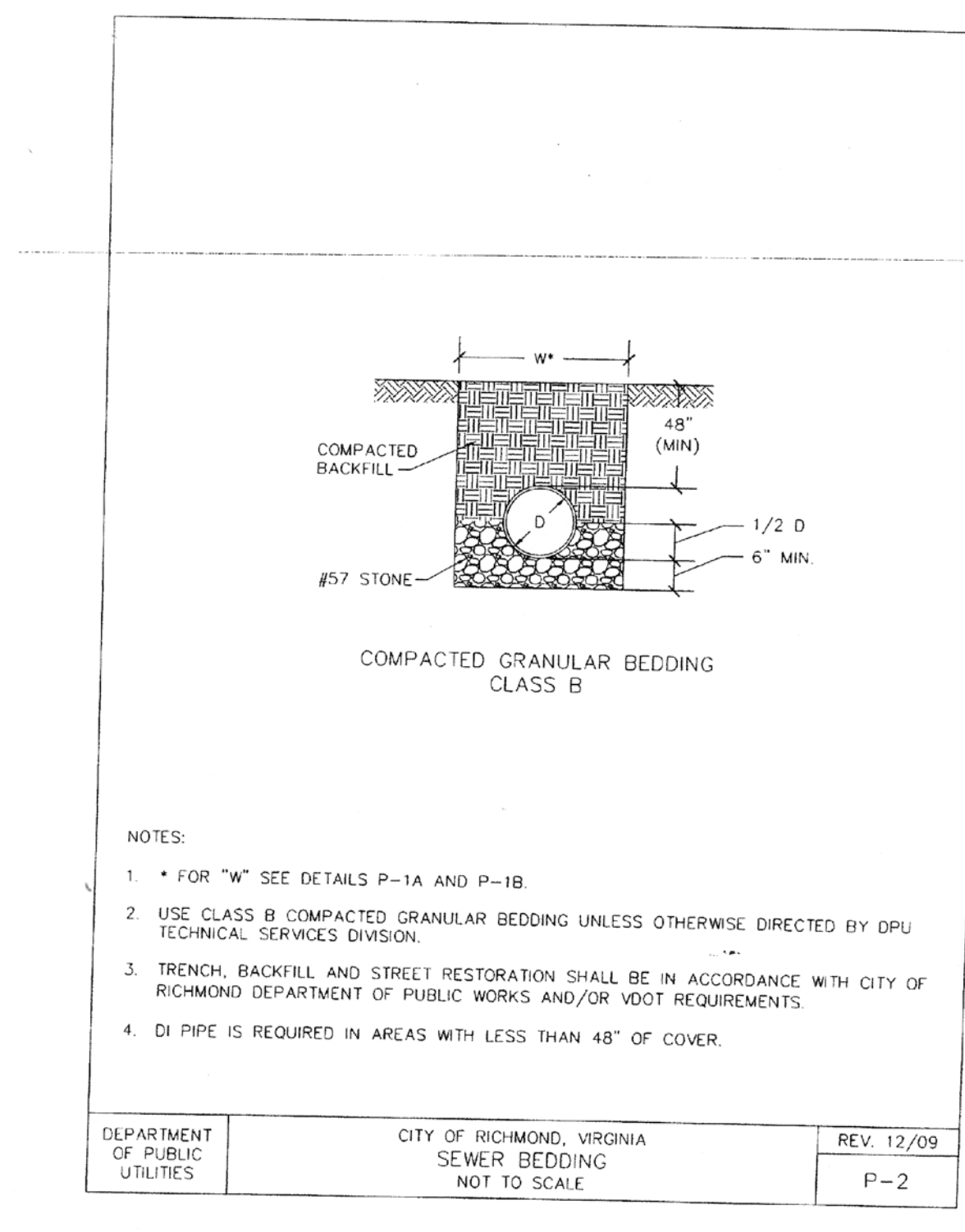
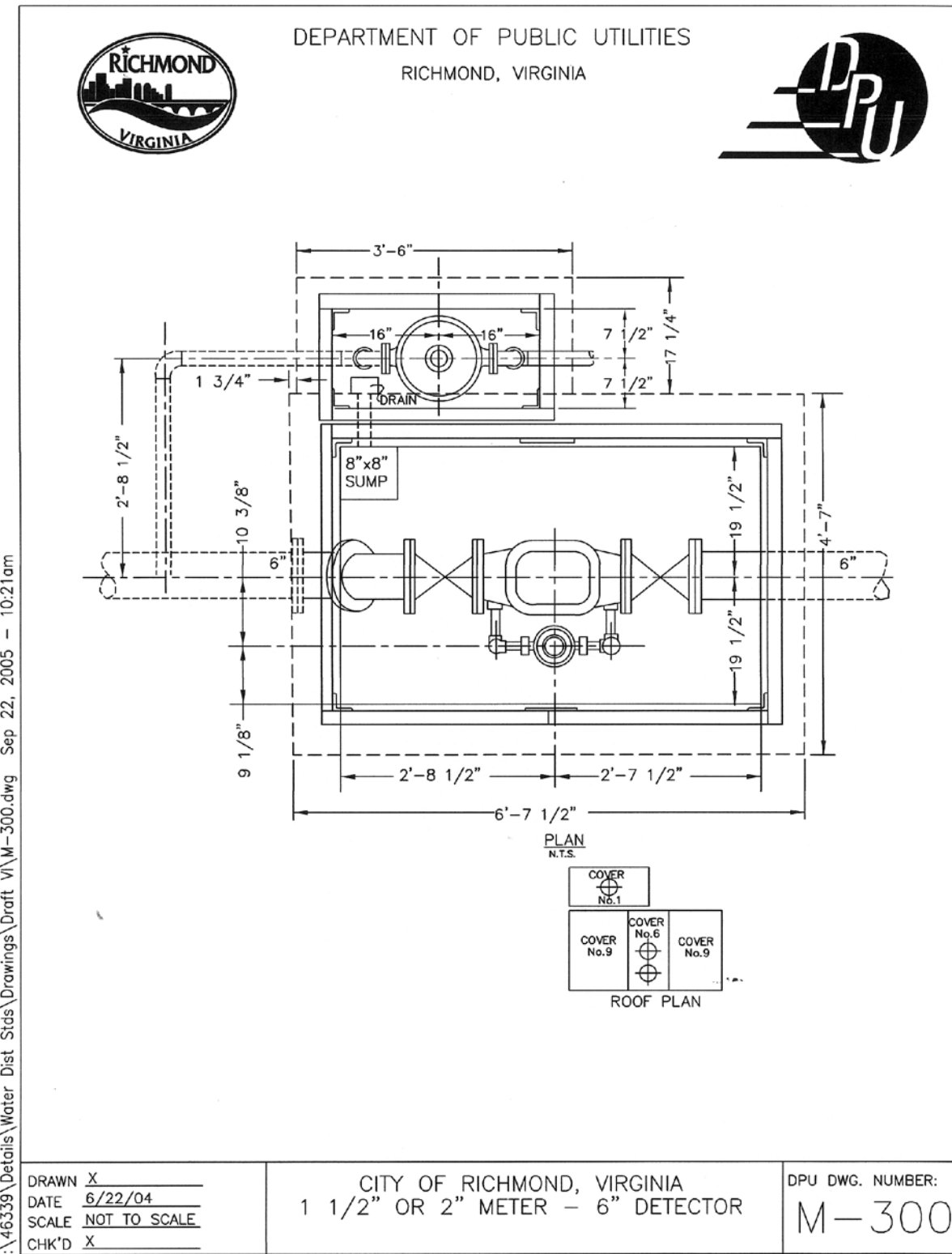
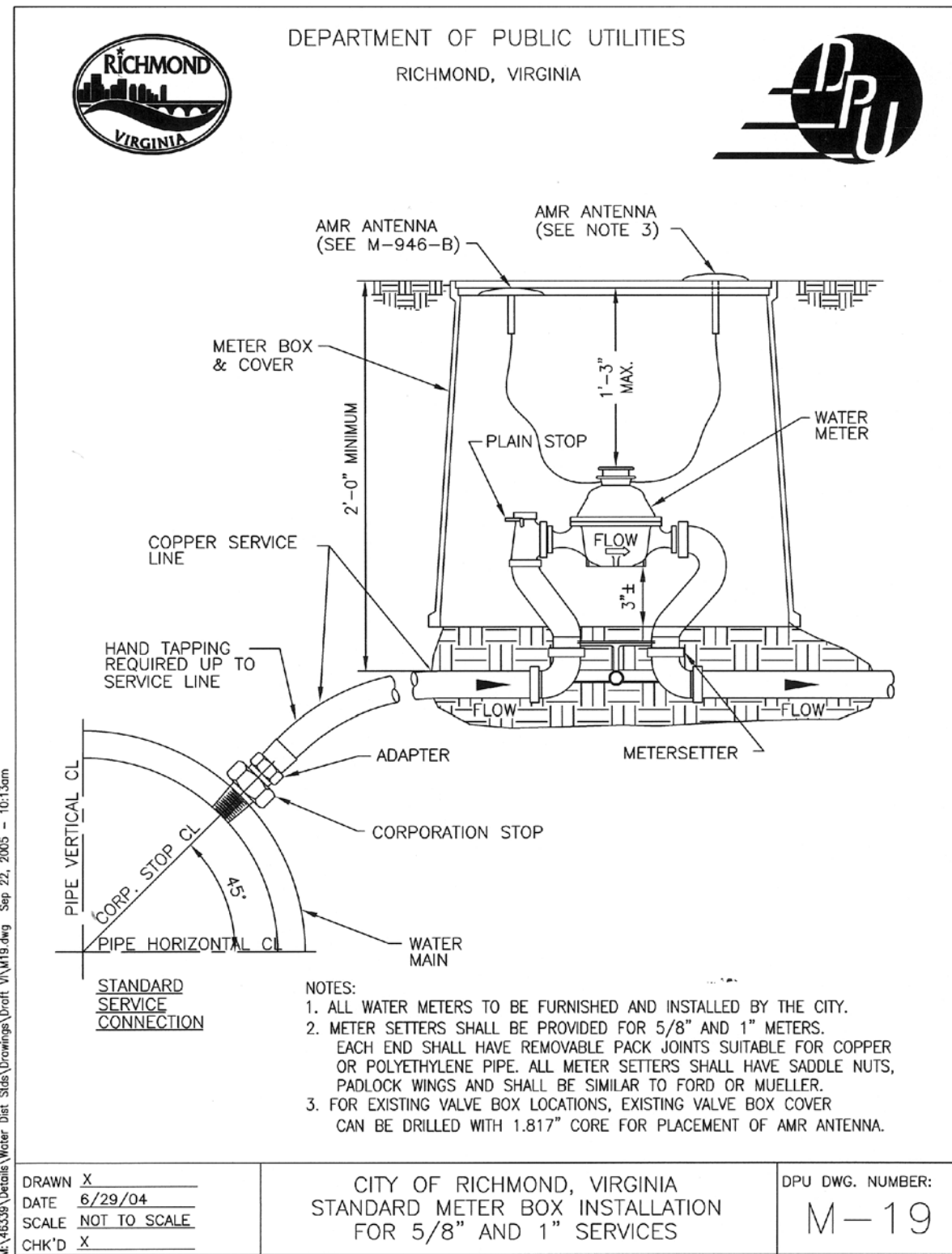
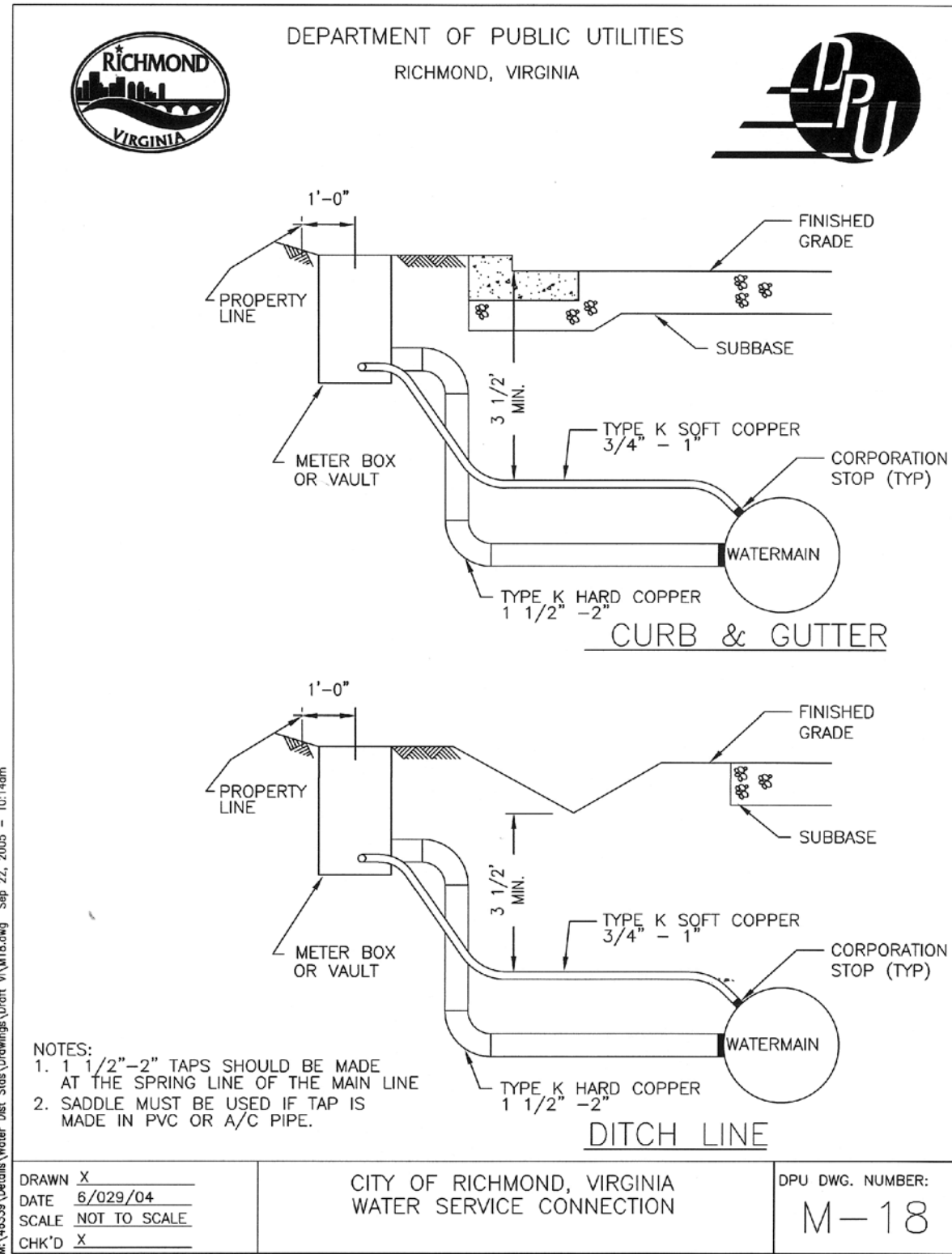
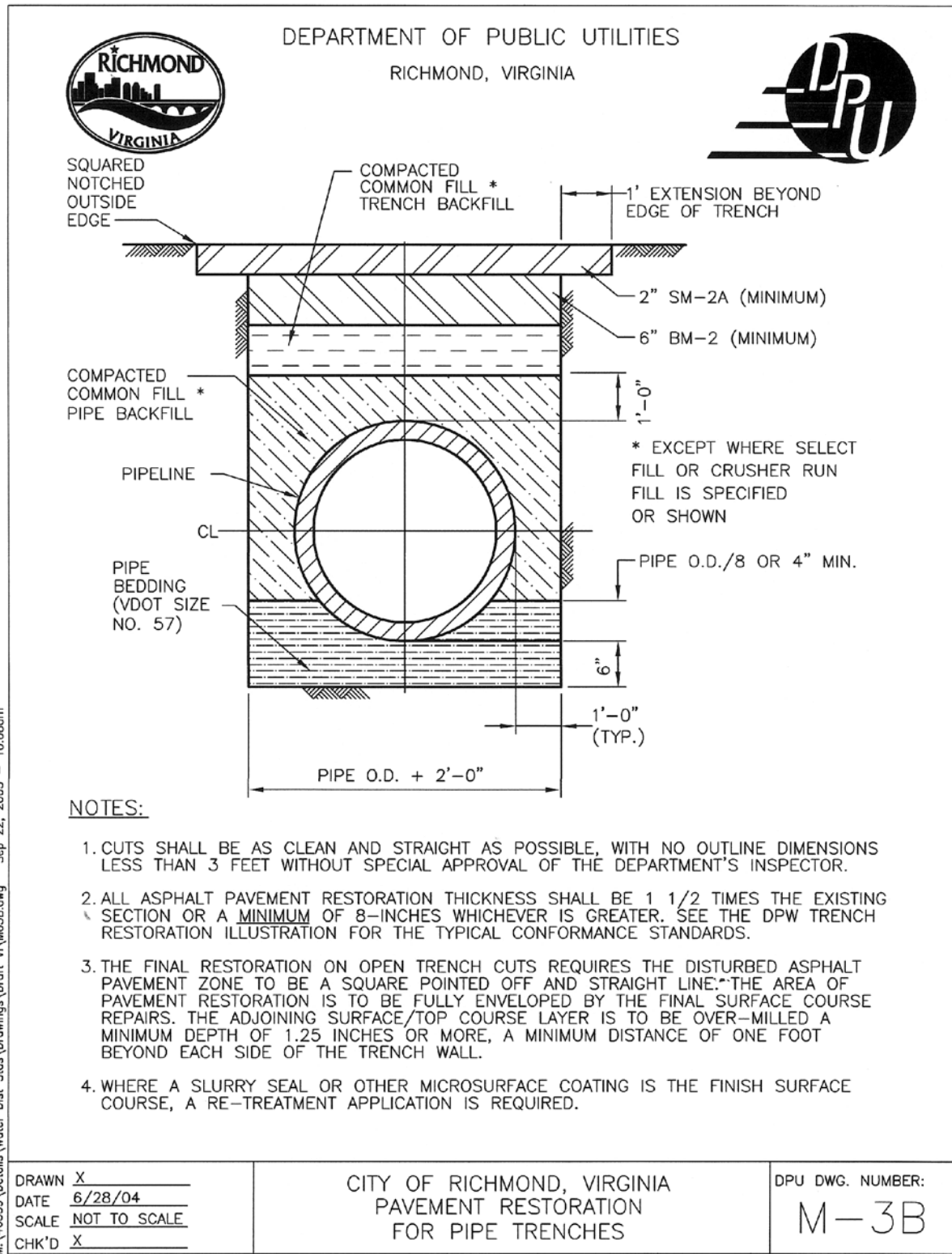
McDONOUGH GREEN
SECTIONS 1 AND 2
SINGLE FAMILY AND SPECIAL USE PERMIT
CITY OF RICHMOND, VIRGINIA

DETAILS

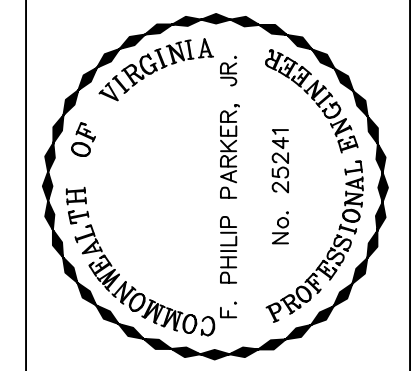
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McDONOUGH
SHEET 6 OF 8

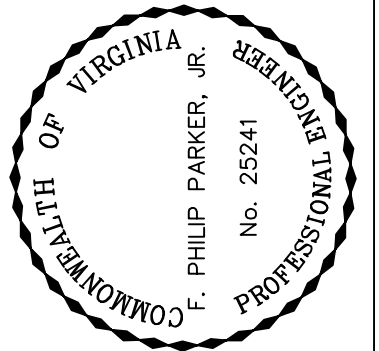


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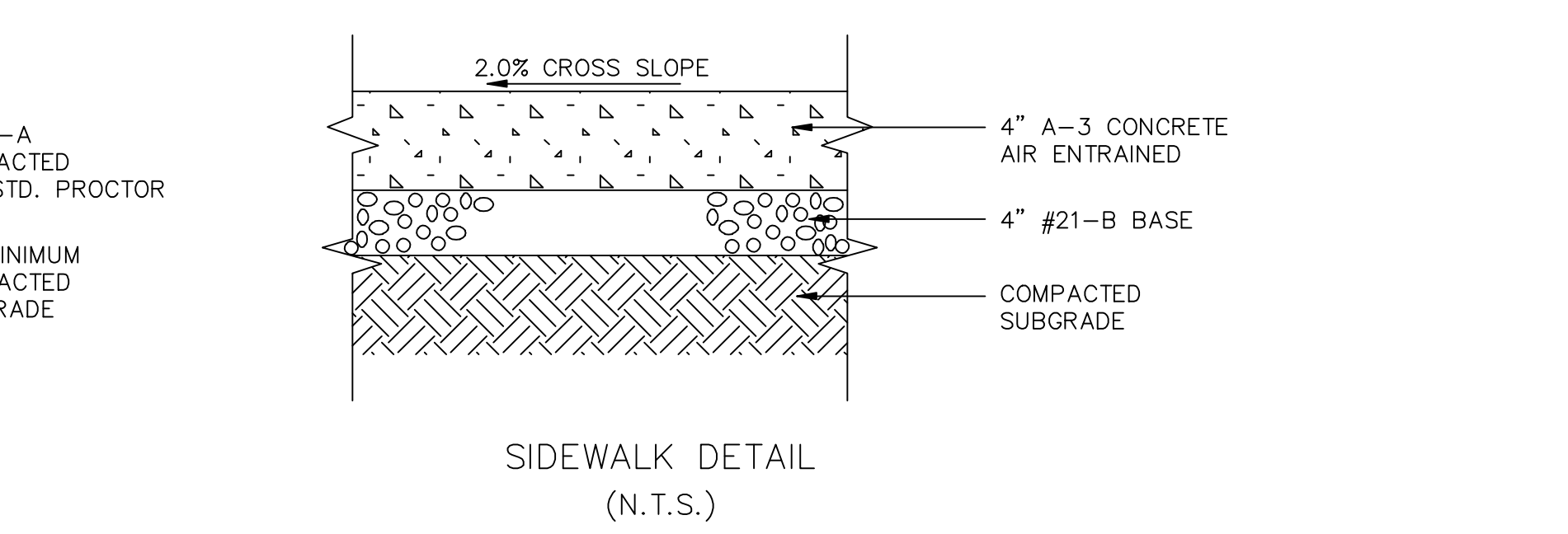
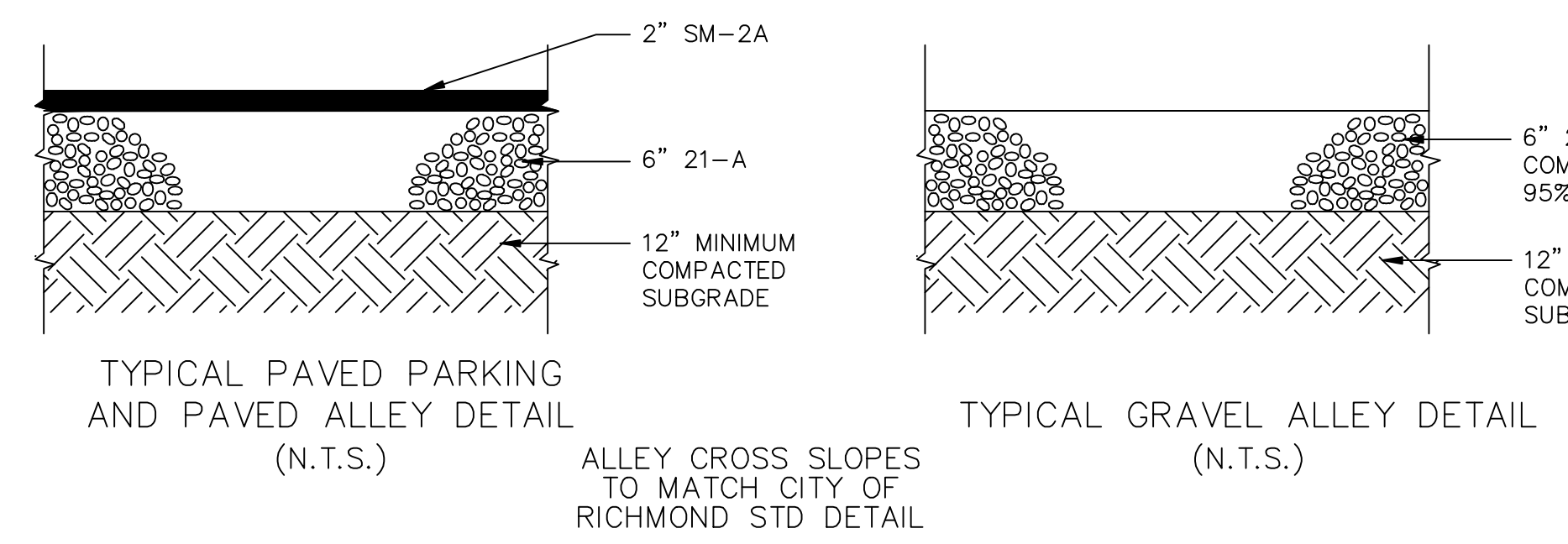
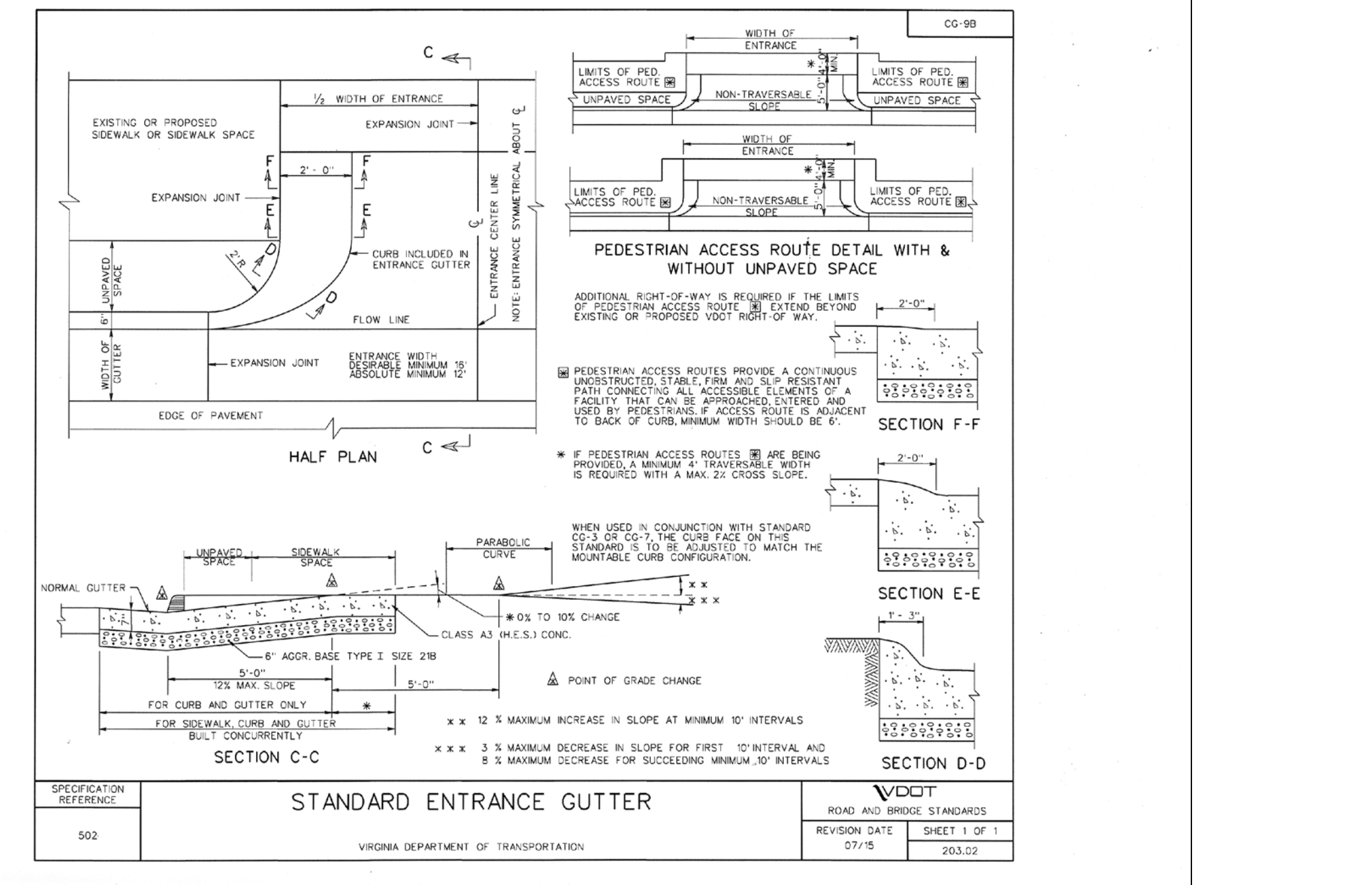
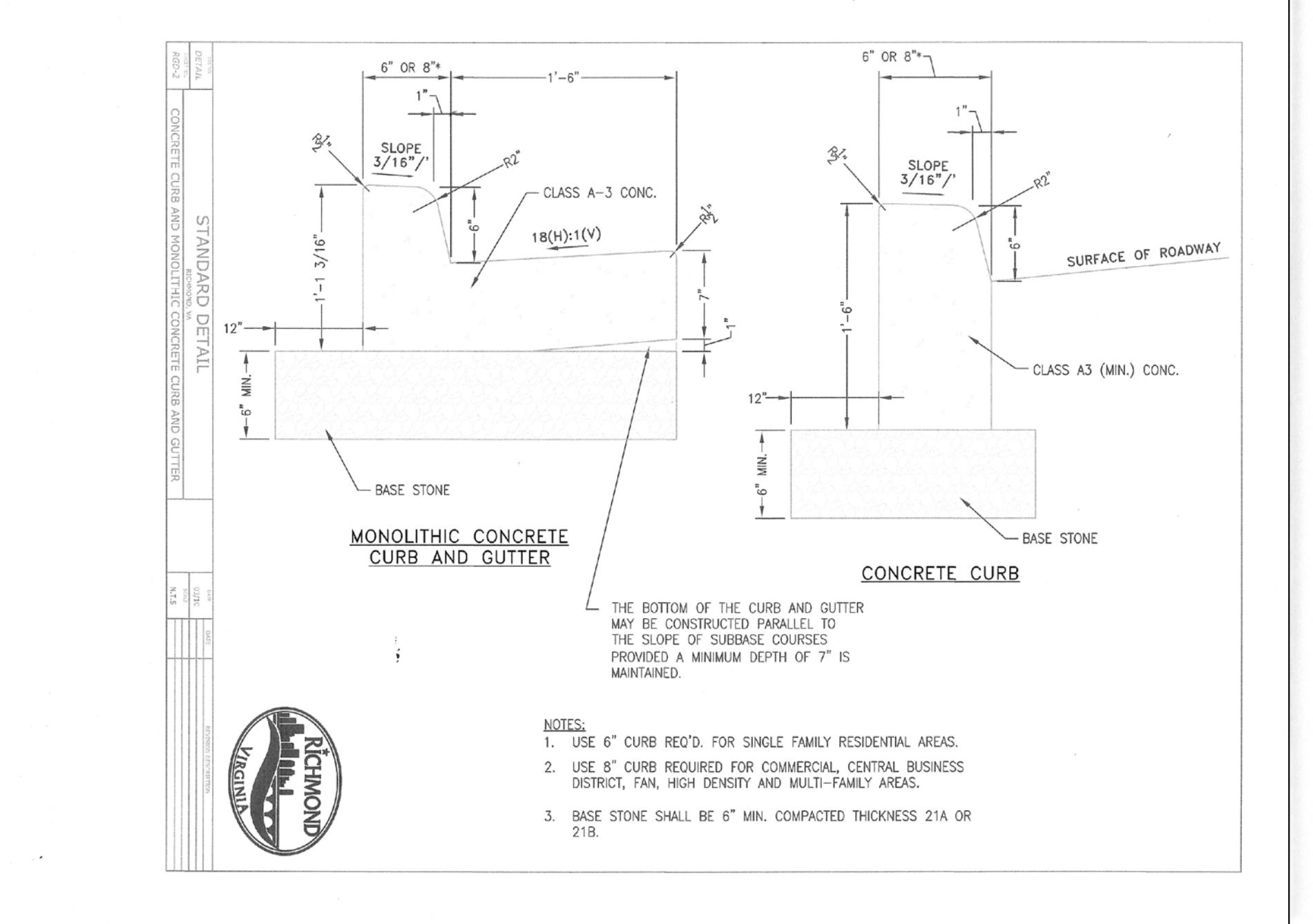
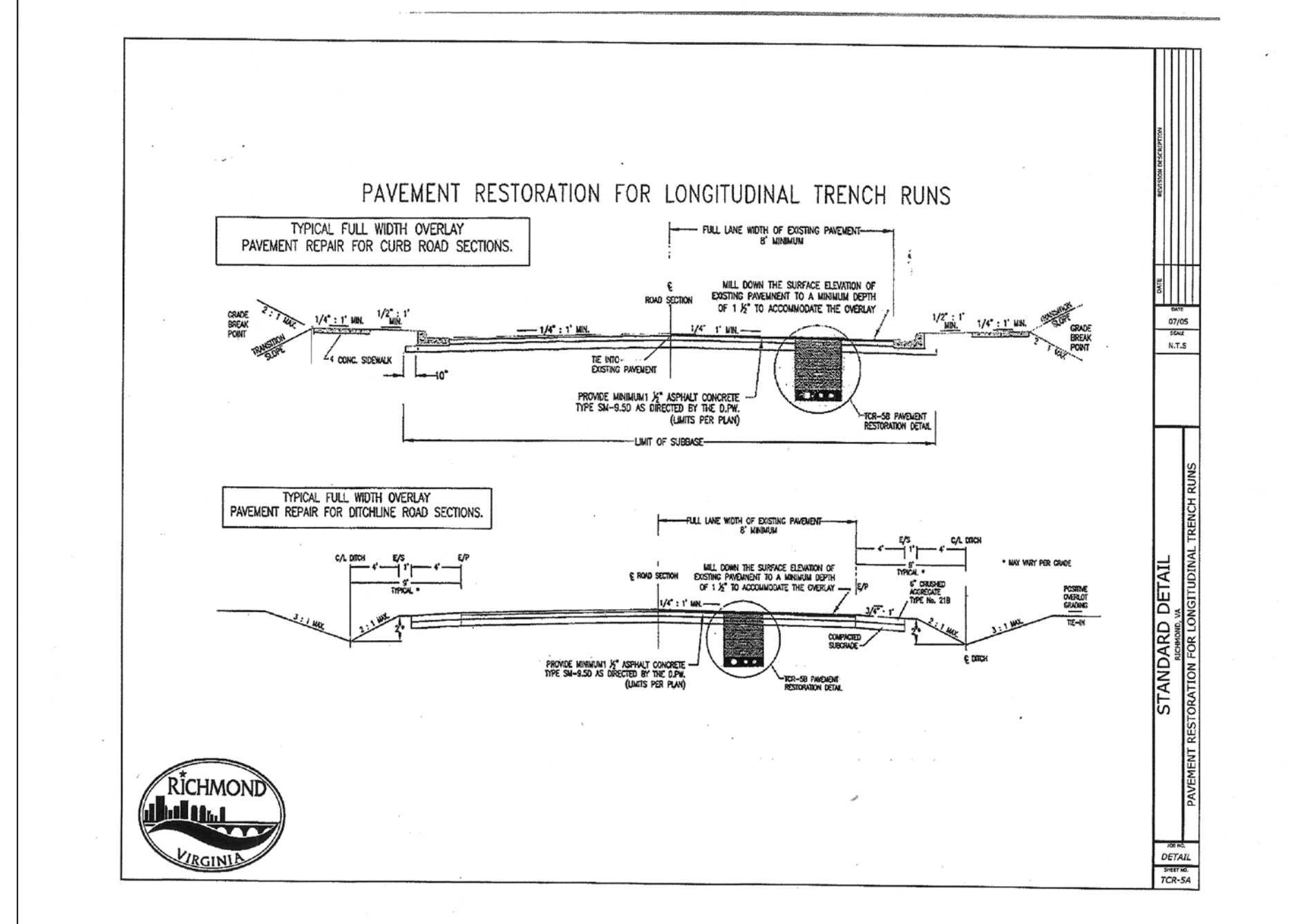
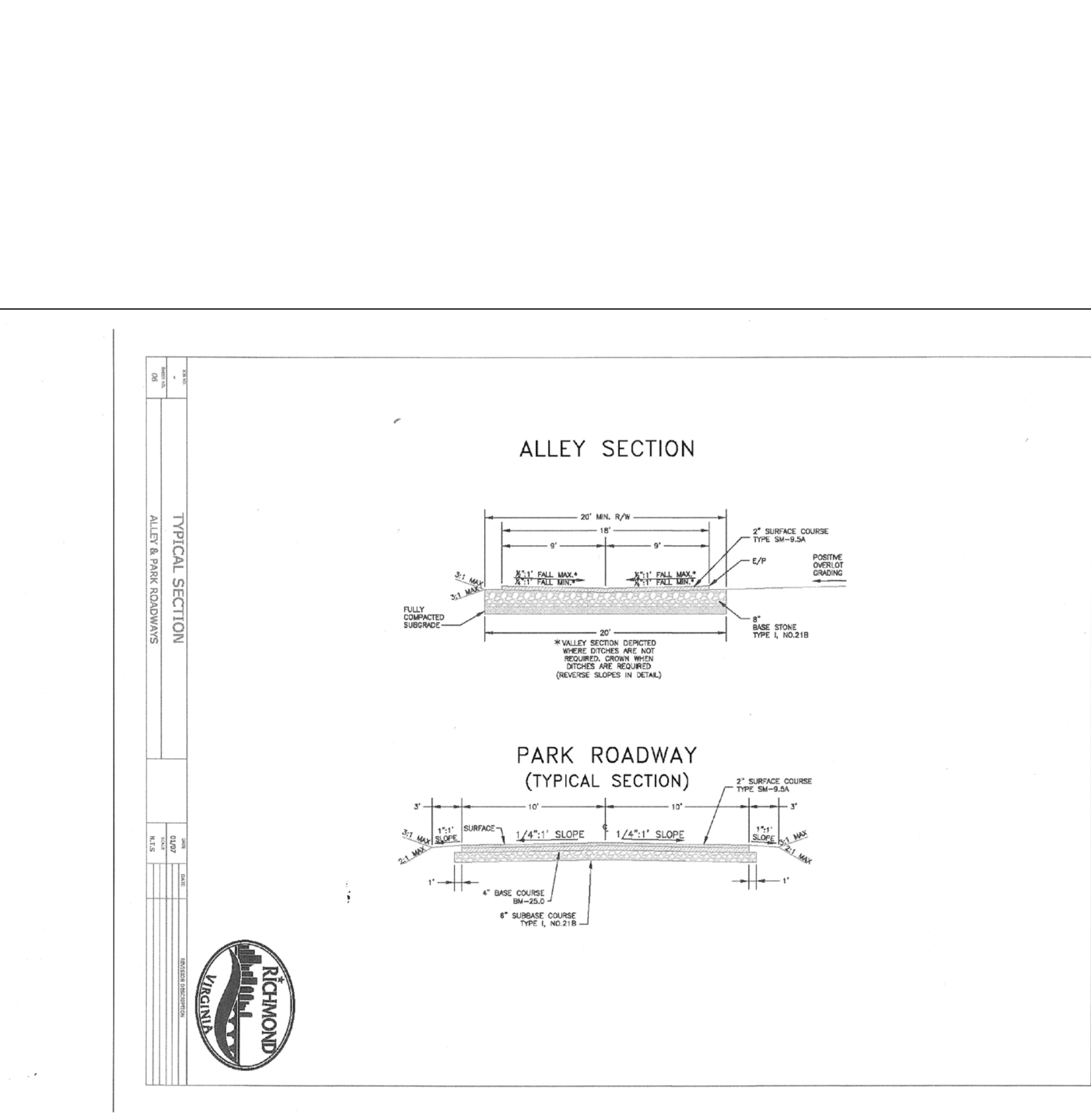
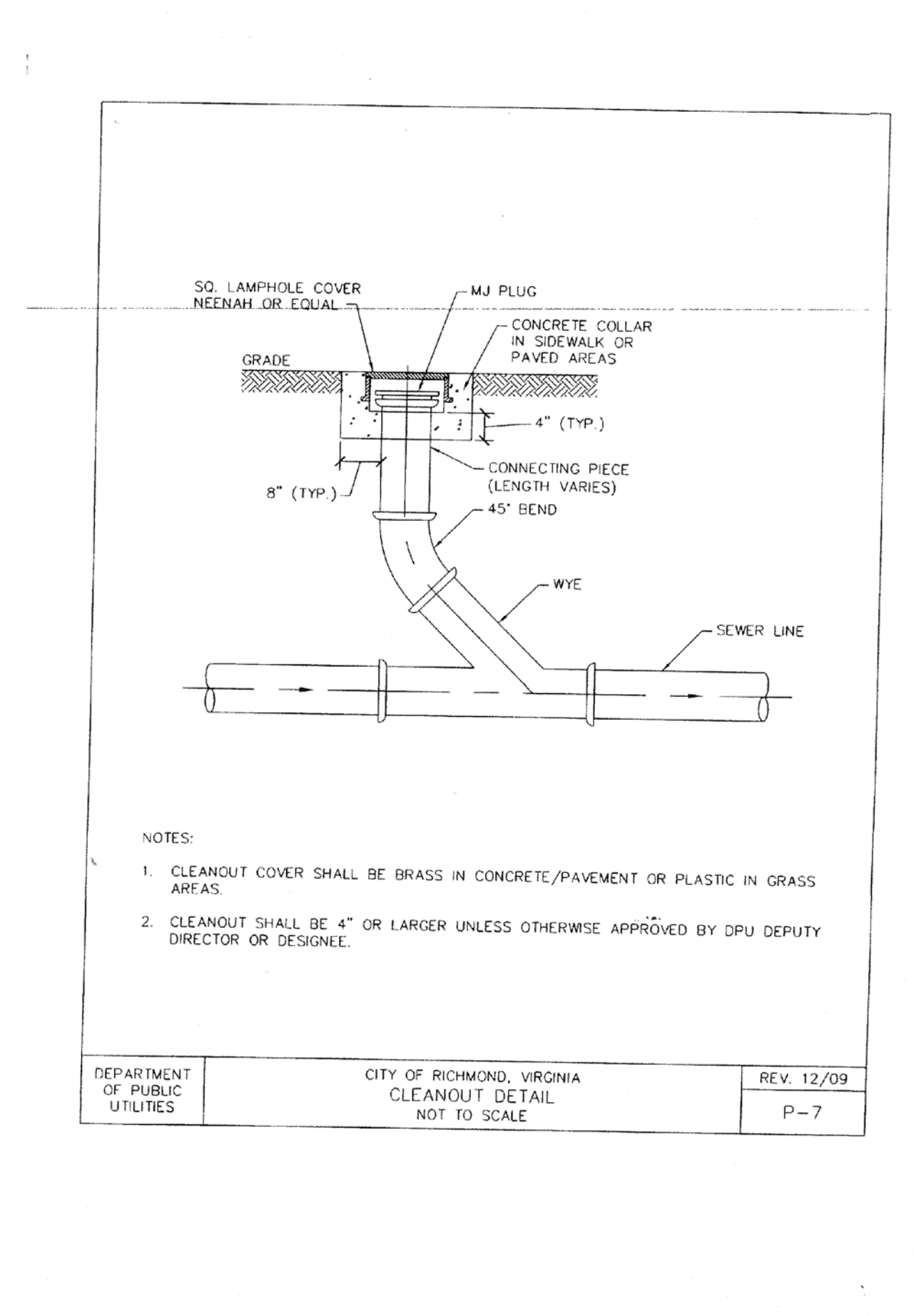
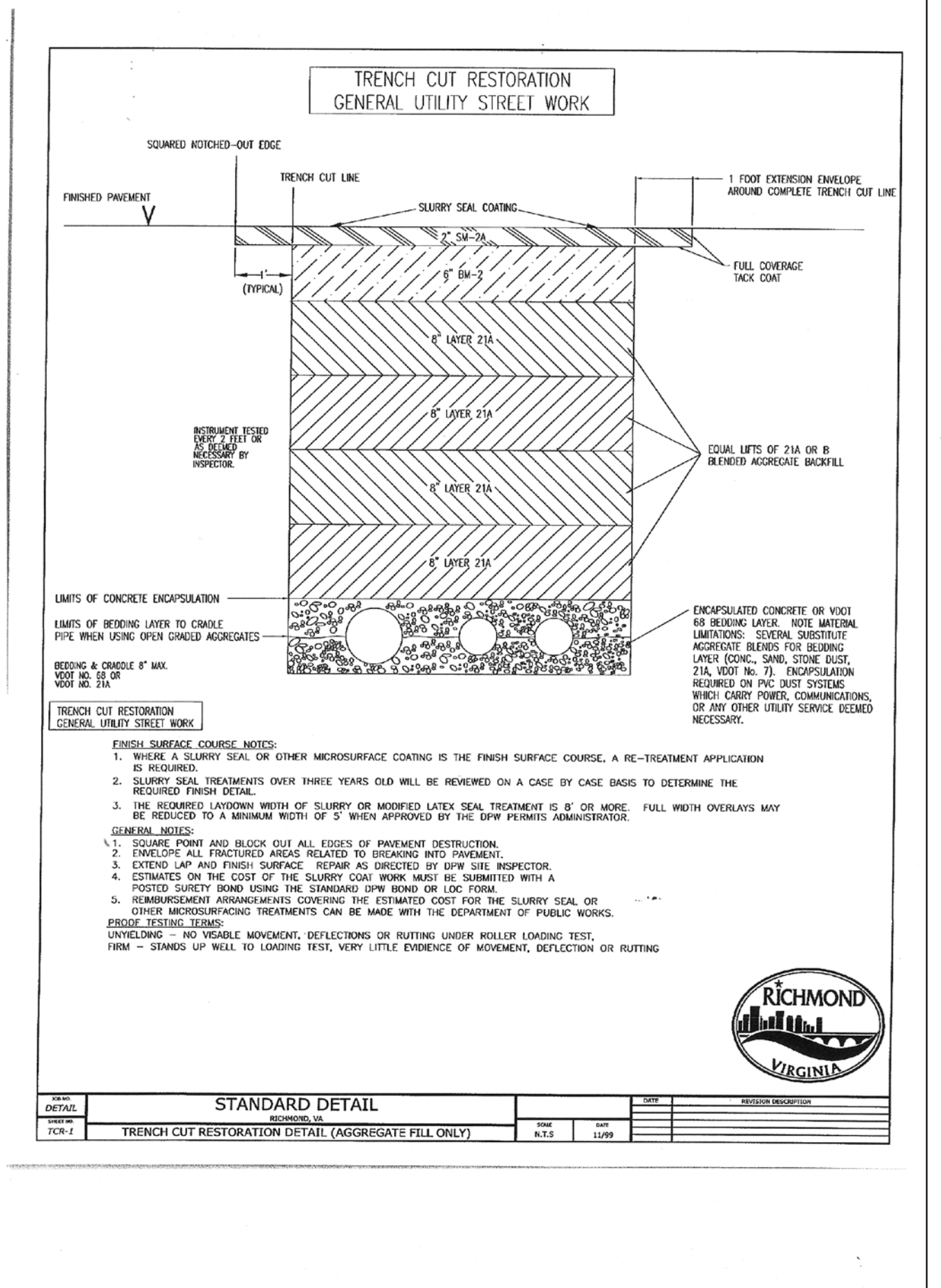
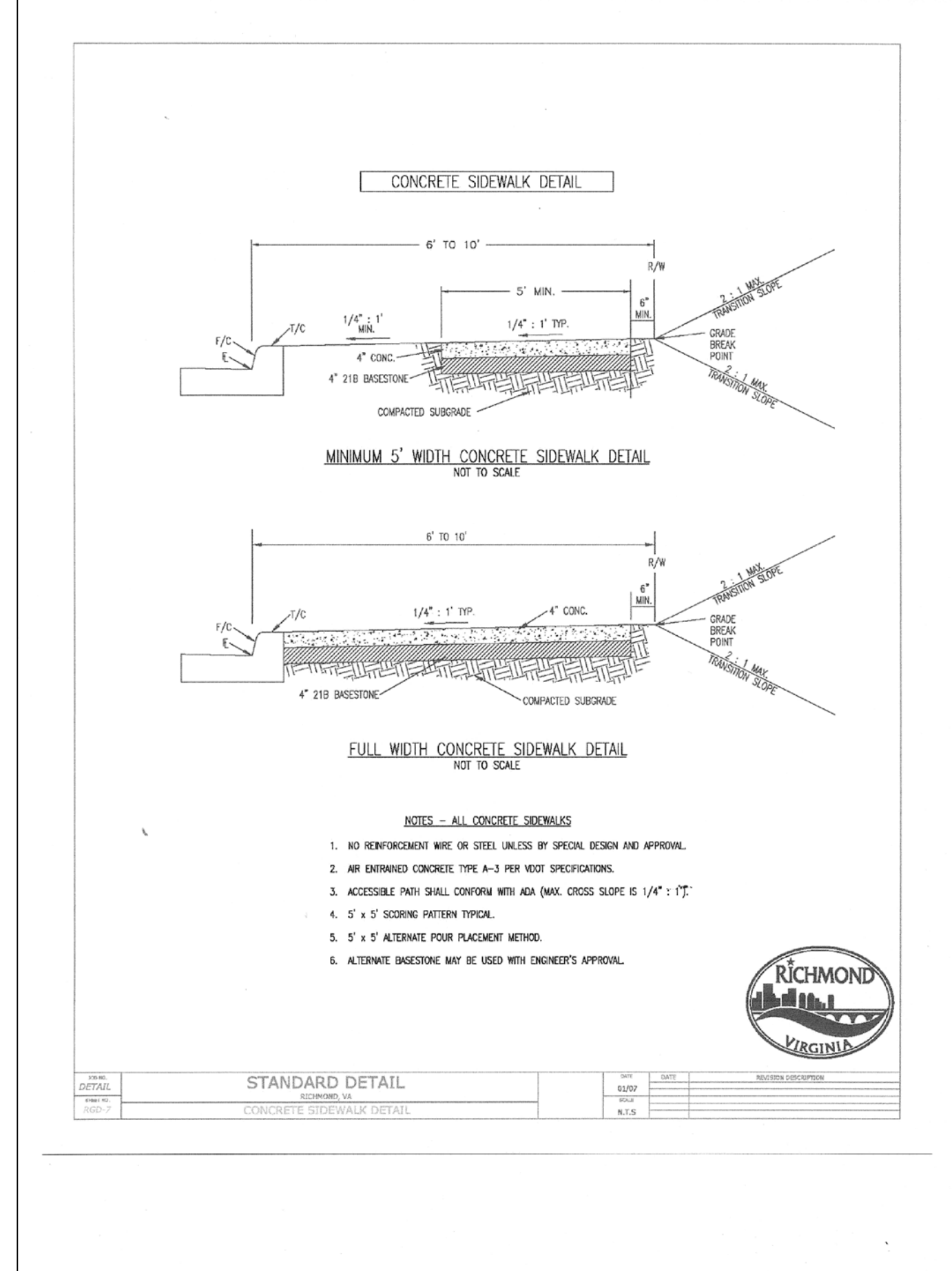


McDONOUGH GREEN
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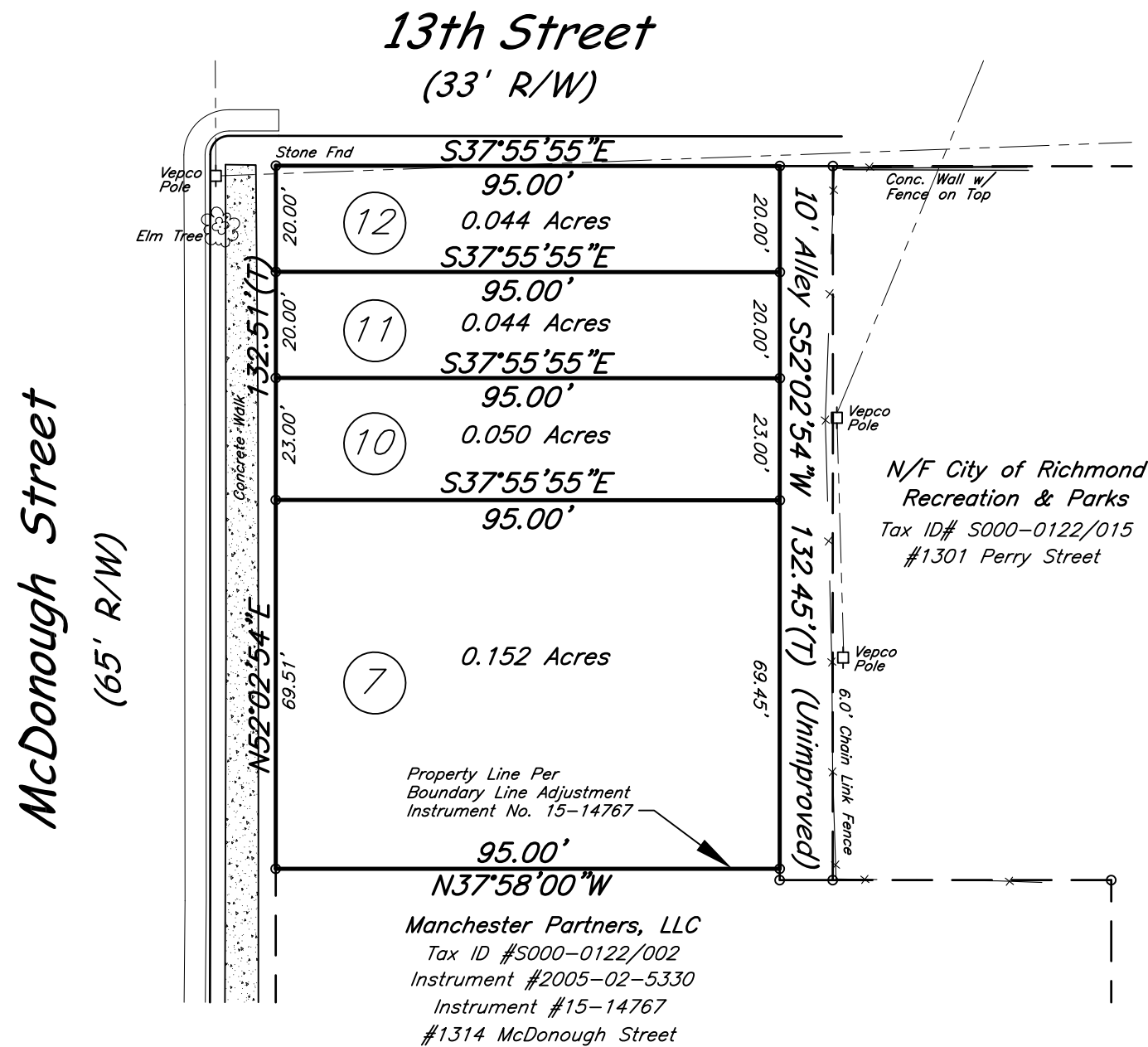
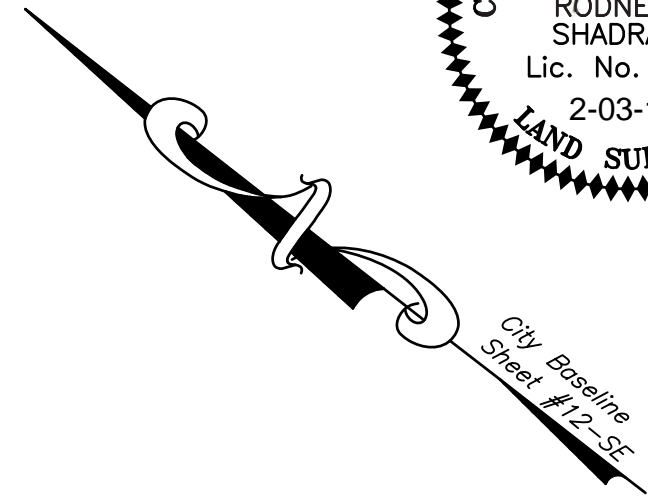
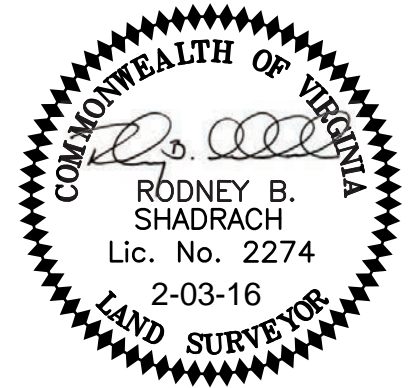
DATE	REVISION	CHECK BY
07/28/16	PER CITY REVIEW	07/21/16



DATE	REVISION	CHECK BY
01/28/16	PER CITY REVIEW	01/21/16



I hereby certify that this boundary survey, to the best of my professional knowledge and belief, is correct and complies with the minimum procedures and standards established by the Virginia State Board of Architects, Professional Engineers, Land Surveyors and Landscape

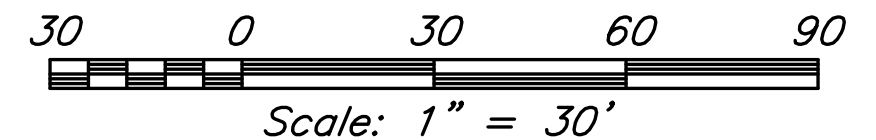


LEGAL REFERENCE

Manchester Partners, LLC

- 7 Tax ID #S000-0122/007
Instrument #2005-02-5330
Instrument #15-14767
#1306 McDonough Street
0.152 Acres
- 10 Tax ID #S000-0122/010
Instrument #2005-02-5330
#1304 McDonough Street
0.050 Acres
- 11 Tax ID #S000-0122/011
Instrument #2005-02-5330
#1302 McDonough Street
0.044 Acres
- 12 Tax ID #S000-0122/012
Instrument #2005-02-5330
#1300 McDonough Street
0.044 Acres

SURVEY PLAT
SHOWING EXISTING IMPROVEMENTS
TO #1300-#1306 MCDONOUGH STREET
CITY OF RICHMOND, VIRGINIA
DATE: FEBRUARY 3, 2016



Shadrach & Associates LLC

LAND SURVEYING
430 Southlake Blvd., Suite 10-B • Richmond, Virginia 23236
Phone: (804)379-9300 • Fax: (804)379-9301

Notes

1. This survey plat represents a current and accurate field transit survey of the premises shown hereon.
Date of last physical survey: July 8, 2015
2. This survey was made without the benefit of a Title Report, therefore there may be encumbrances which are not shown hereon.
3. The subject property appears not to be located within the limits of the 100 Year Flood Plain Boundary as defined by The Federal Insurance Administration Community Panel #510129-0039-E, effective date: July 16, 2014. (Zone X).