



COMMISSION OF ARCHITECTURAL REVIEW

APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

PROPERTY (location of work)

Address 2909 E Broad Street, Richmond, Va, 23223

Historic district St Johns Church

Date/time rec'd: _____
Rec'd by: _____
Application #: _____
Hearing date: _____

APPLICANT INFORMATION

Check if Billing Contact

Name Chris Amey

Phone 804-938-2030

Company N/A

Email chrisamey@hotmail.com

Mailing Address 2413 East Grace Street, Richmond, Va, 23223

Applicant Type: Owner Agent
 Lessee Architect Contractor
 Other (please specify): _____

OWNER INFORMATION (if different from above)

Check if Billing Contact

Name As above

Company _____

Mailing Address _____

Phone _____

Email _____

PROJECT INFORMATION

Project Type: Alteration Demolition New Construction
(Conceptual Review Required)

Project Description: (attach additional sheets if needed)

Renovation of original historic structure. Removal of 1947 cinder block rear addition, deemed not structurally sound. Building of replacement addition and deck on rear.

See additional sheets.

ACKNOWLEDGEMENT OF RESPONSIBILITY

Compliance: If granted, you agree to comply with all conditions of the certificate of appropriateness (COA). Revisions to approved work require staff review and may require a new application and approval from the Commission of Architectural Review (CAR). Failure to comply with the conditions of the COA may result in project delays or legal action. The COA is valid for one (1) year and may be extended for an additional year, upon written request and payment of associated fee.

Requirements: A complete application includes all applicable information requested on checklists available on the CAR website to provide a complete and accurate description of existing and proposed conditions, as well as payment of the application fee. Applicants proposing major new construction, including additions, should meet with Staff to review the application and requirements prior to submitting an application. Owner contact information and signature is required. Late or incomplete applications will not be considered.

Zoning Requirements: Prior to Commission review, it is the responsibility of the applicant to determine if zoning approval is required and application materials should be prepared in compliance with zoning.

Signature of Owner Chris Amey

Date 26-Feb-2021



CERTIFICATE OF APPROPRIATENESS

ALTERATION AND ADDITION CHECKLIST

Well in advance of the COA application deadline contact staff to discuss your project, and if necessary, to make an appointment to meet with staff for a project consultation.

Complete all applicable sections and submit with the COA application form. Staff can assist you in determining what items are required for your scope of work. An incomplete application may cause delays in processing or may be deferred to the next agenda. Application materials must clearly represent current and proposed conditions. Refer to Standards for Rehabilitation outlined in Section 30.930.7(b) of the City Code, as well as, the *Richmond Old and Historic Districts Handbook and Design Review Guidelines*.

PROPERTY ADDRESS: _____

BUILDING TYPE

- | | |
|--|--|
| <input type="checkbox"/> single-family residence | <input type="checkbox"/> garage |
| <input type="checkbox"/> multi-family residence | <input type="checkbox"/> accessory structure |
| <input type="checkbox"/> commercial building | <input type="checkbox"/> other |
| <input type="checkbox"/> mixed use building | |
| <input type="checkbox"/> institutional building | |

ALTERATION TYPE

- | | |
|--|---|
| <input type="checkbox"/> addition | <input type="checkbox"/> roof |
| <input type="checkbox"/> foundation | <input type="checkbox"/> awning or canopy |
| <input type="checkbox"/> wall siding or cladding | <input type="checkbox"/> commercial sign |
| <input type="checkbox"/> windows or doors | <input type="checkbox"/> ramp or lift |
| <input type="checkbox"/> porch or balcony | <input type="checkbox"/> other |

WRITTEN DESCRIPTION

- property description, current conditions and any prior alterations or additions
- proposed work: plans to change any exterior features, and/or addition description
- current building material conditions and originality of any materials proposed to be repaired or replaced
- proposed new material description: attach specification sheets if necessary

PHOTOGRAPHS place on 8 ½ x 11 page, label photos with description and location (refer to photograph guidelines)

- elevations of all sides
- detail photos of exterior elements subject to proposed work
- historical photos as evidence for restoration work

DRAWINGS (refer to required drawing guidelines)

- | | | |
|---|--|---|
| <input type="checkbox"/> current site plan | <input type="checkbox"/> list of current windows and doors | <input type="checkbox"/> current elevations (all sides) |
| <input type="checkbox"/> proposed site plan | <input type="checkbox"/> list of proposed window and door | <input type="checkbox"/> proposed elevations (all sides) |
| <input type="checkbox"/> current floor plans | <input type="checkbox"/> current roof plan | <input type="checkbox"/> demolition plan |
| <input type="checkbox"/> proposed floor plans | <input type="checkbox"/> proposed roof plan | <input type="checkbox"/> perspective and/or line of sight |
| <input type="checkbox"/> legal "plat of survey" | | |

2909 East Broad St Renovation

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- DI.1 Schematic As-Built/Demo Plans
- AI.1 First Floor Plans
- AI.2 Second Floor Plans
- AI.3 Roof Plans
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 - A2.1 Rear Elevation, Exterior Finish Schedule
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Land Survey
Page 20 (not numbered)

Structural Engineer Report – Rear Addition.
Page 21 -23 (not numbered)

2909 East Broad St Renovation

Project Summary

My wife and I have been residents of Church Hill for over ten years, and renovated our current residence (2413 E Grace St) in 2012. This house will be our new home, along with our two young girls and a dog.

Our proposal involves the renovation of the existing two story and basement residence, at 2909 East Broad Street and includes an addition.

2909 is an existing two story with basement, brick residence, built prior to 1874, it features an iron porch and Italianate cornice. The house is in general disrepair, and is my understanding that it has not been regularly inhabited, environmentally conditioned or maintained for at least five years. It was also subjected to a relatively major fire in 1993 (confirmed by city permits and neighbors), which damaged much of the second floor woodwork and plaster.

The current 3009sf structure is over 3 levels, and includes a cinder block 384sf addition over the upper two floors. It is our understanding that this may have been converted from a deck around 1947.

The proposal includes removal of this rear addition and the rebuilding of a slightly larger structure incorporating a kitchen, master bedroom and flex space in the basement.

Historic state tax credits are being applied for with the project.



2909 E Broad St

2909 East Broad St Renovation

Major Scope Items

The following numbered paragraphs outline the major scope items that are applicable to the Commission of Architectural Review, all items will be completed in accordance with the Richmond Old and Historic Districts Handbook and design Review Guidelines, and The Secretary of the Interior's Standards for the Treatment of Historic Properties, additional information and detailed drawings can be found on the architectural plans on the latter pages:

1. Removal of structurally unsound 1947 rear addition and deck

According to Sanborn maps this cinder block addition may have been an open porch prior to 1947. As such the foundation was never designed to take the weight that was subsequently built on. The structure is experiencing severe decay, with cracking through a number of the bricks and separation from the original house. The structural nature of this building has been confirmed by review of a structural engineer, their report is included in this package at the back.

This addition has no historical value.



Rear of property, showing 1947 cinder block addition and deck.

2909 East Broad St Renovation



Picture showing view down side of house and line of demolition

Cinder block addition, to be removed

Original building



Cinder block addition

2909 East Broad St Renovation



Separation from original house of cinder block addition, up to 1".



Original house

Cinder block addition



Support under cinder block addition

2909 East Broad St Renovation

2. New three level rear addition, 16'x24'.

Incorporating kitchen, master bedroom and flex space in the basement. Smooth white HardiePlank siding (or similar). See plans for detailed information.

3. New rear deck, 23'x10'

Brick pillars, Richmond rail. Painted pickets and rail, stained decking. Stairs leading to yard. Storage below deck. See plans for detailed information

4. Renovation of front porch

Decking, composite tongue and groove (for longevity as porch is only partially covered).

Renovation of trim as necessary, painted white.

Iron work painted black.

Roof replacement, black EPDM or TPO. Roof is currently flat EPDM and cannot be seen from street.

Front door, glass replaced (currently broken), painted.

Basement door replaced (currently an interior door), painted, with high glass windows.



Picture of current front porch

2909 East Broad St Renovation



Picture of current front porch deck



Current front door, showing broken glass



Current front basement door



Design of proposed basement door

5. Roof replacement

White TPO, compliant flashing.

6. Window replacement/addition

Wood, with exterior aluminum clad, white. Window configuration as per historical record. See window schedule.



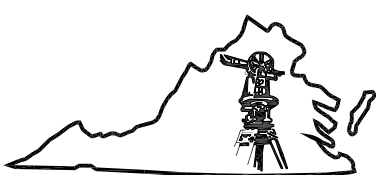
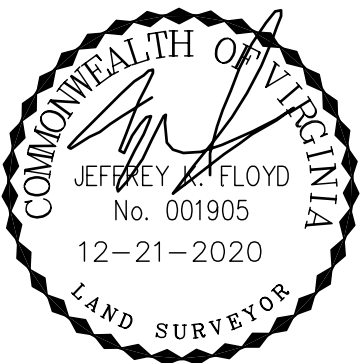
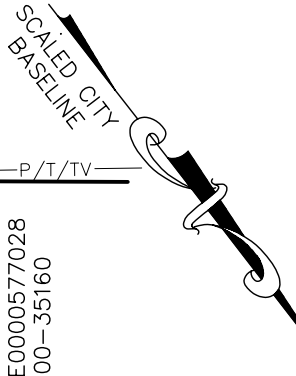
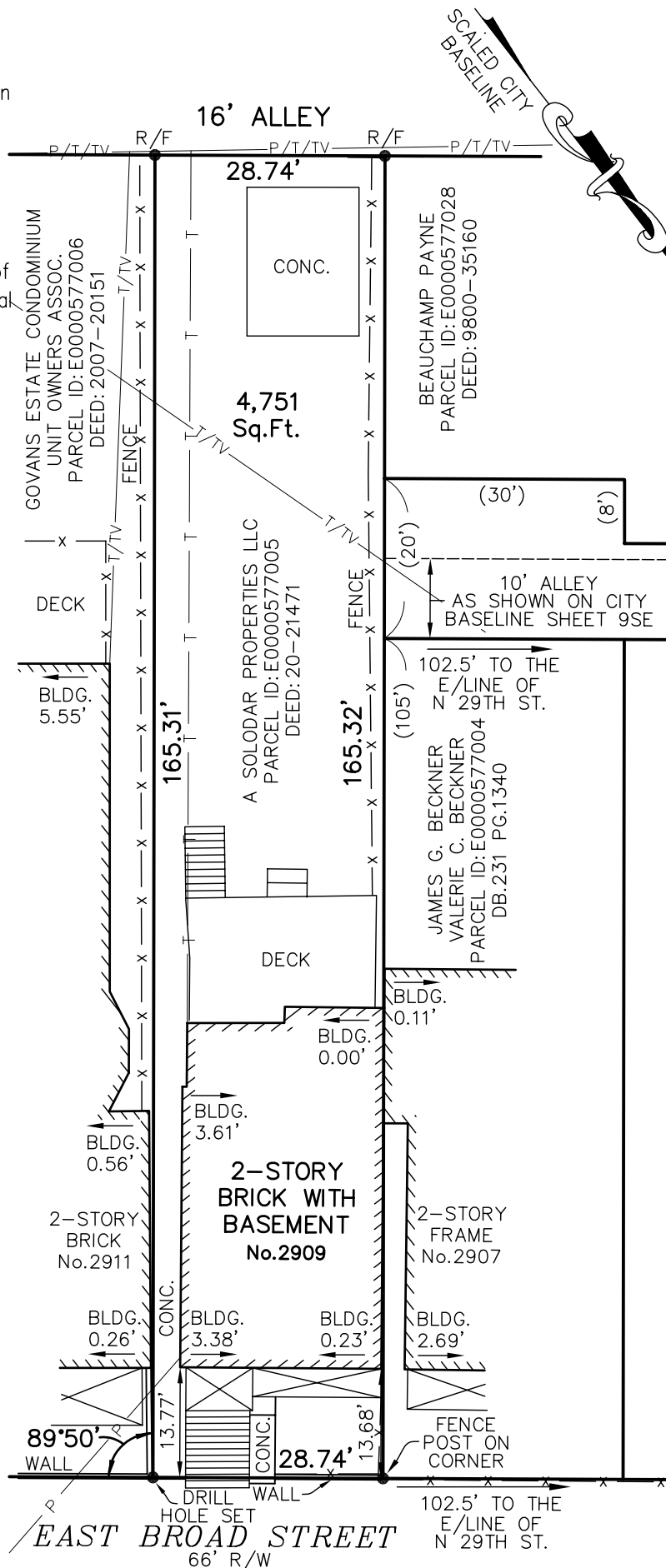
Aluminum clad windows,
Marvin or similar

7. Painting of exterior brick (currently painted)

Red SW0008

This is to certify to the PURCHASER/OWNER shown hereon, and his TITLE INSURER and Lender, that on 12-21-2020 I made an Accurate survey of the premises shown hereon and that there are no easements or encroachments visible on the ground other than those shown hereon. This survey has been made without the benefit of a title search and is subject to any uses recorded and unrecorded and other pertinent facts in which a title search may disclose. Copies of this plat without the certifying surveyor's seal with an original signature are INVALID.

This property IS NOT within a FEMA Floodway Hazard as shown on Comm. Panel # 5101290043E
Zone: "X" DATED: 7-16-2014



Virginia Surveys

P.O. BOX 118
CHESTERFIELD, VA 23832
(804) 748-9481
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*MAP SHOWING THE IMPROVEMENTS
ON No. 2909 EAST BROAD STREET
IN THE CITY OF RICHMOND, VA.*

DATE: 12-21-2020
CERTIFIED BY JEFFREY K. FLOYD
VIRGINIA CERTIFICATE NO. 001905
SCALE: 1"=20'
JOB NO. 201113792



PROJECT CONTACTS:

OWNERS:
CHRIS & CAROLINE AMEY
804-938-2030

ARCHITECT:
CHRISTOPHER WOLF
CHRIS WOLF ARCHITECTURE, PLLC
804-514-7644

ADDITION & RENOVATION TO 2-STORY SINGLE-FAMILY ATTACHED HOUSE
IN RICHMOND'S HISTORIC CHURCH HILL NEIGHBORHOOD

AMEY HOUSE

2909 EAST BROAD STREET
RICHMOND, VIRGINIA 23223

ADDITION & RENOVATION TO 2-STORY SINGLE-FAMILY ATTACHED HOUSE
IN RICHMOND'S HISTORIC CHURCH HILL NEIGHBORHOOD

AMEY HOUSE

2909 EAST BROAD STREET
RICHMOND, VIRGINIA 23223

DRAWING INDEX

DRAWINGS

NO.	SHEET TITLE
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AI.1	FIRST FLOOR PLANS
AI.2	SECOND FLOOR PLANS
AI.3	ROOF PLANS
A2.0	HOUSE FRONT CONTEXT PHOTO & NOTES
A2.1	REAR ELEVATION, LATTICE DETAIL, EXTERIOR FINISH SCHEDULE, WINDOW SCHEDULE
A2.2	LEFT SIDE EXTERIOR ELEVATIONS
A2.3	RIGHT SIDE EXTERIOR ELEVATIONS



SET/REVISION:
C.A.R. INITIAL SUBMITTAL

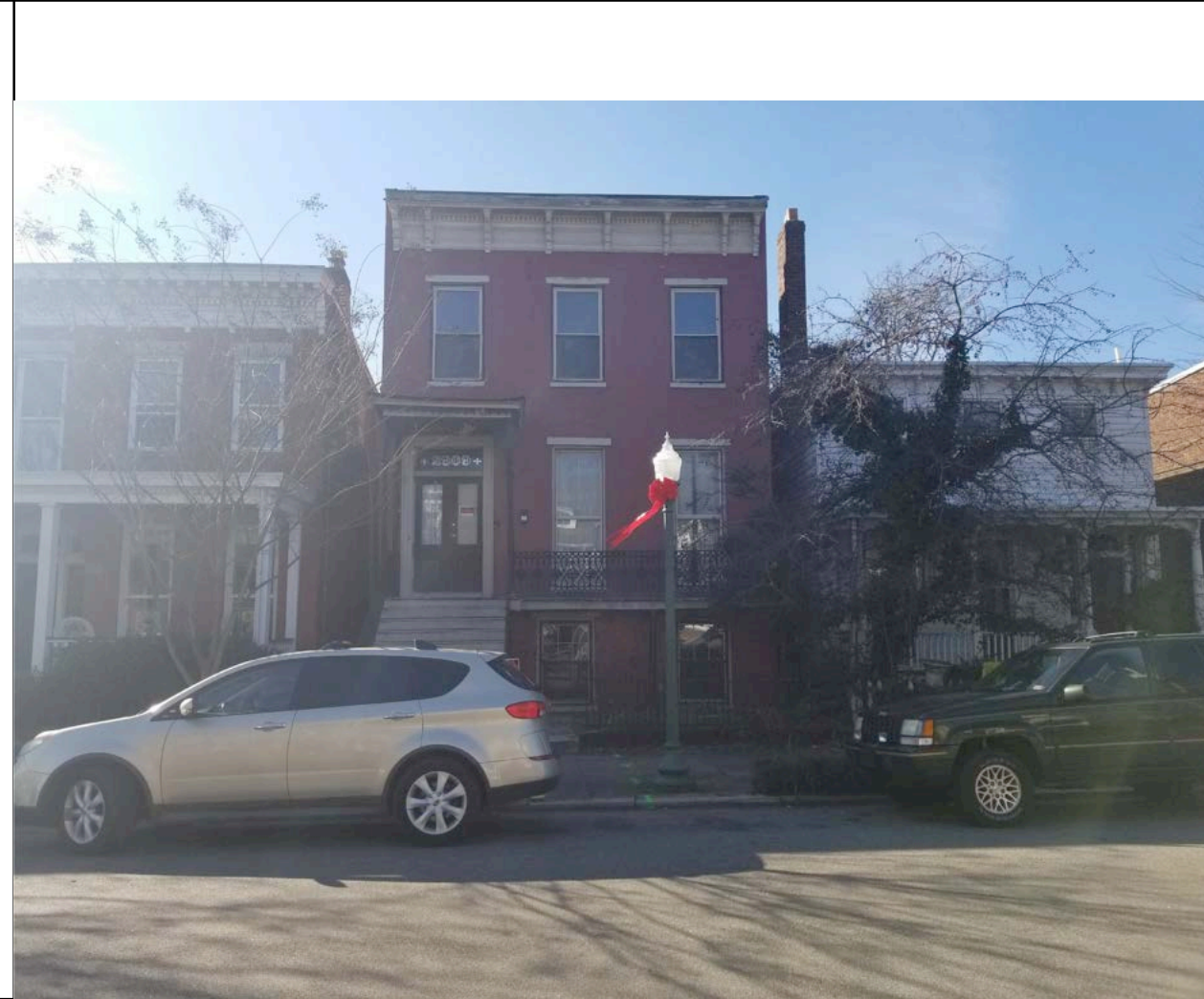
DATE/MARK:
02.26.2021

COVER SHEET

CS



2911-1/2 (LEFT OF HOUSE)



2909 - PROJECT

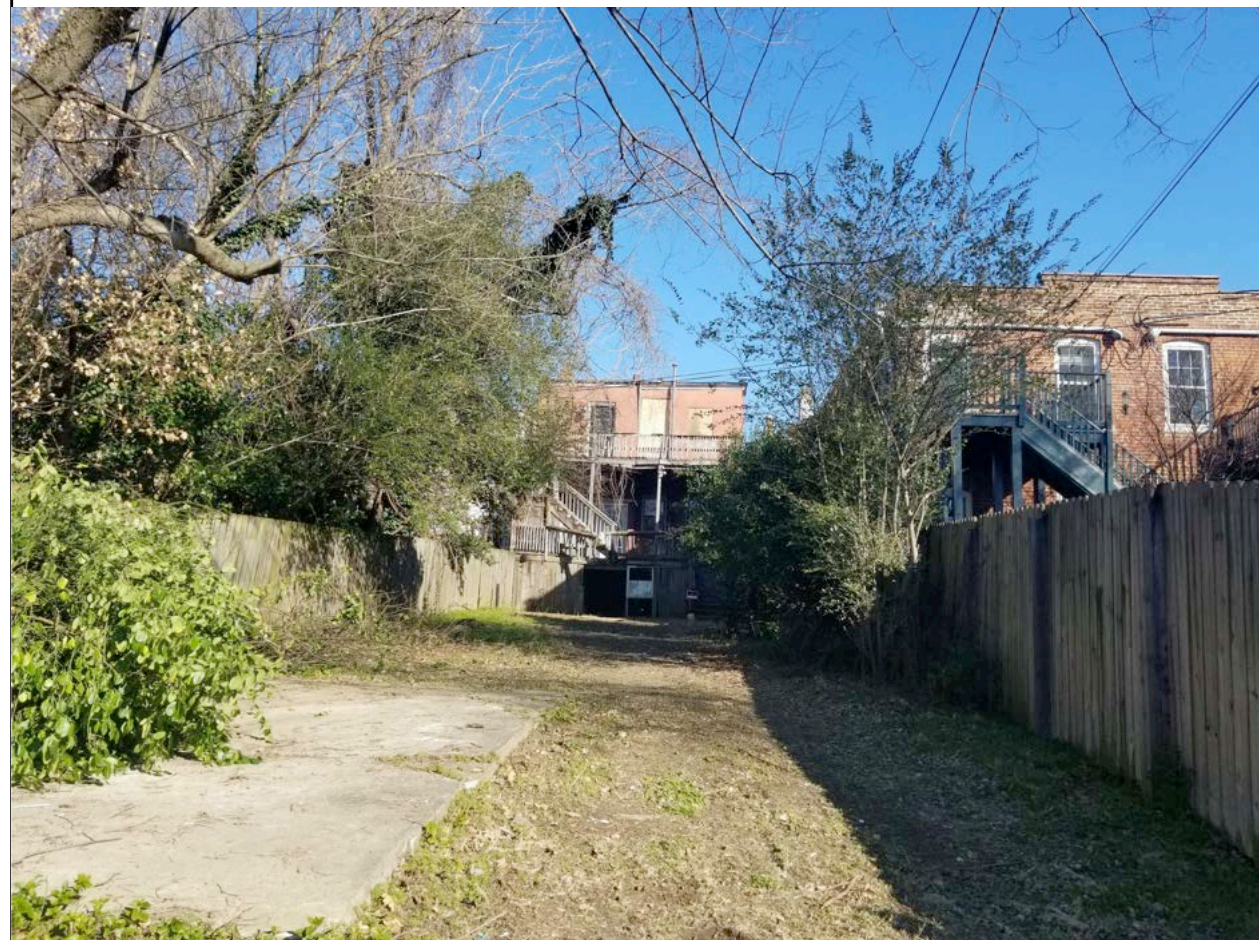


2907 (RIGHT OF HOUSE)

PROJECT CONTACTS:

OWNERS:
CHRIS & CAROLINE AMEY
804-938-2030

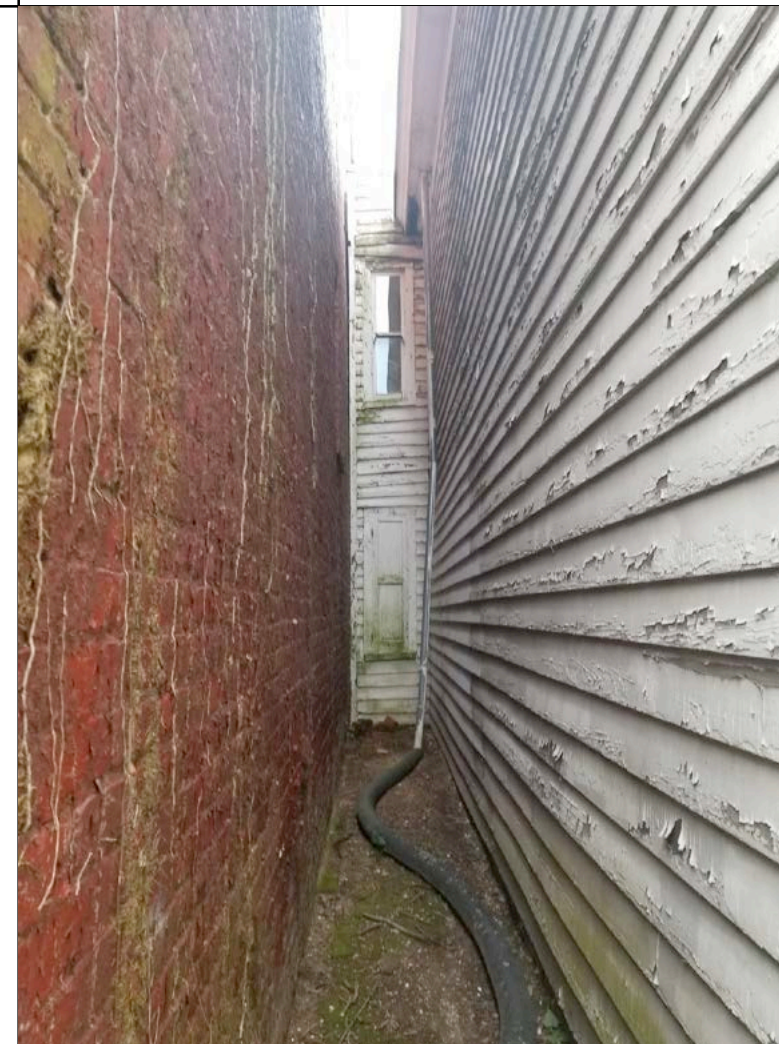
ARCHITECT:
CHRISTOPHER WOLF
CHRIS WOLF ARCHITECTURE, PLLC
804-514-7644



BACK YARD FROM ALLEY



CLOSE-UP OF FRONT PORCH AREA



ATTACHED HOUSE (VIEW FROM FRONT)

ADDITION & RENOVATION TO 2-STORY SINGLE-FAMILY ATTACHED HOUSE
IN RICHMOND'S HISTORIC CHURCH HILL NEIGHBORHOOD

AMEY HOUSE

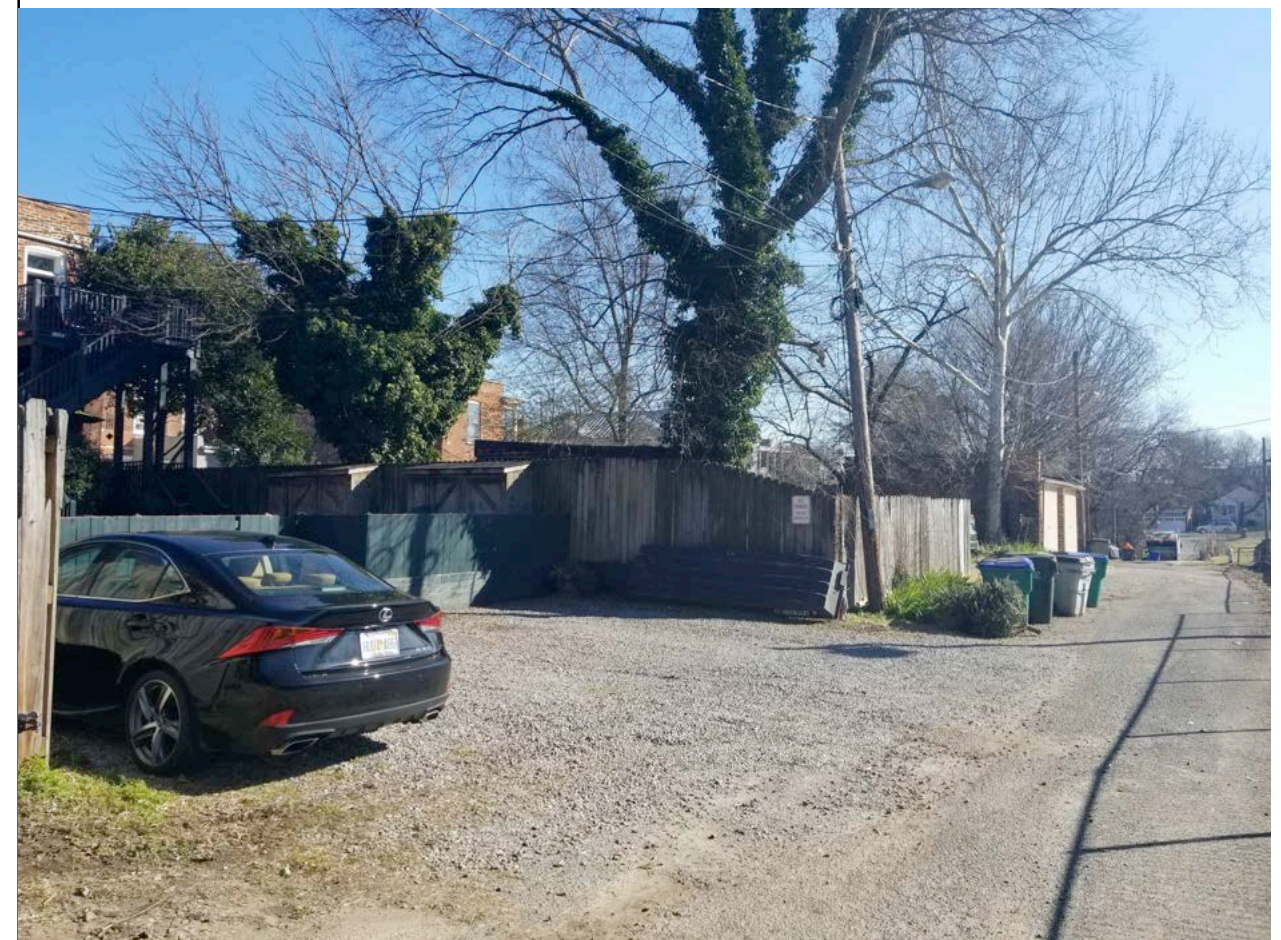
2909 EAST BROAD STREET
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REAR VIEW OF EXISTING HOUSE



FENCE & NEIGHBOR



ALLEY

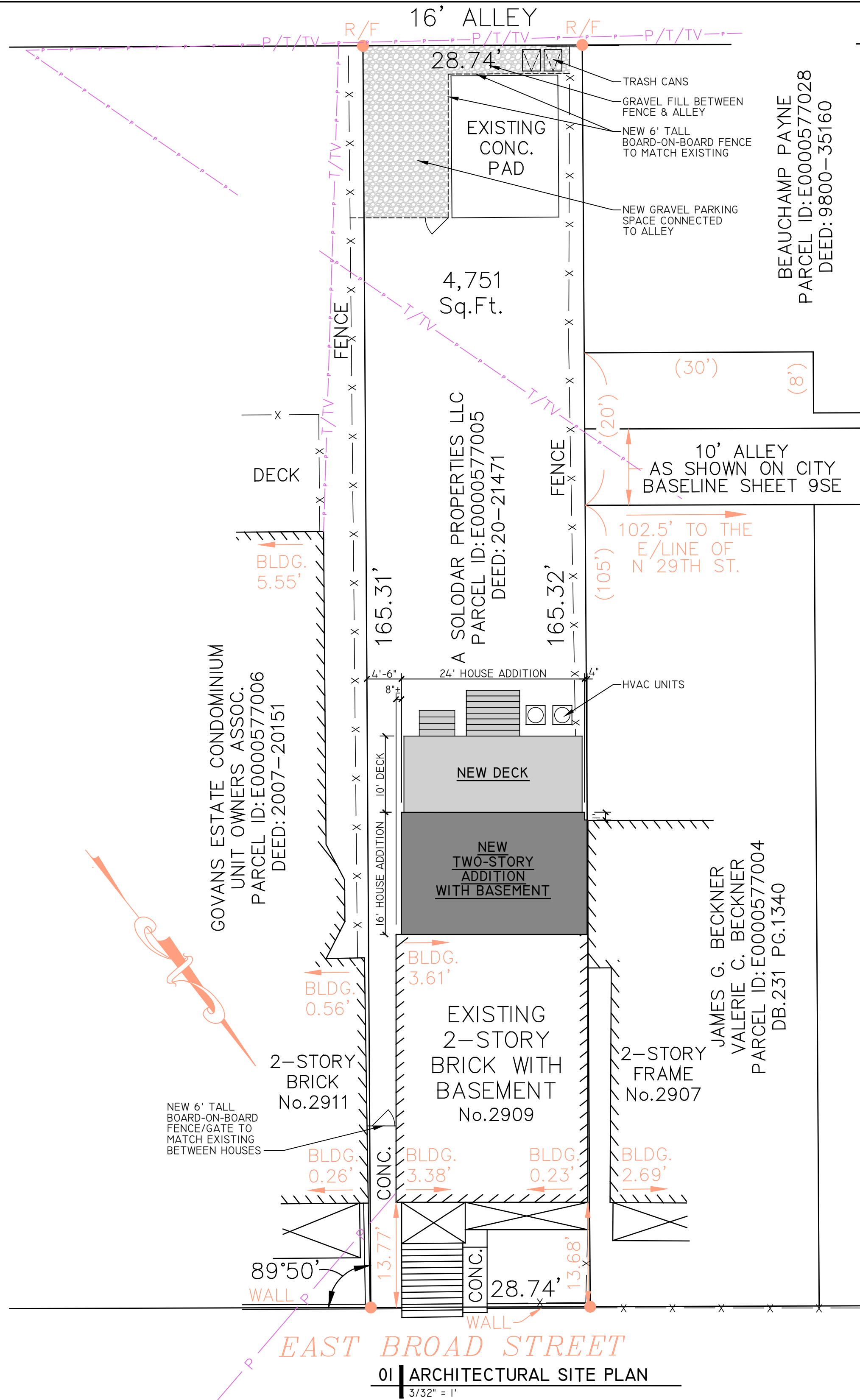


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C.A.R. INITIAL SUBMITTAL

DATE/MARK:
02.26.2021

SITE PHOTOS

XI.1



01 ARCHITECTURAL SITE PLAN
3/32" = 1"

PROJECT CONTACTS:
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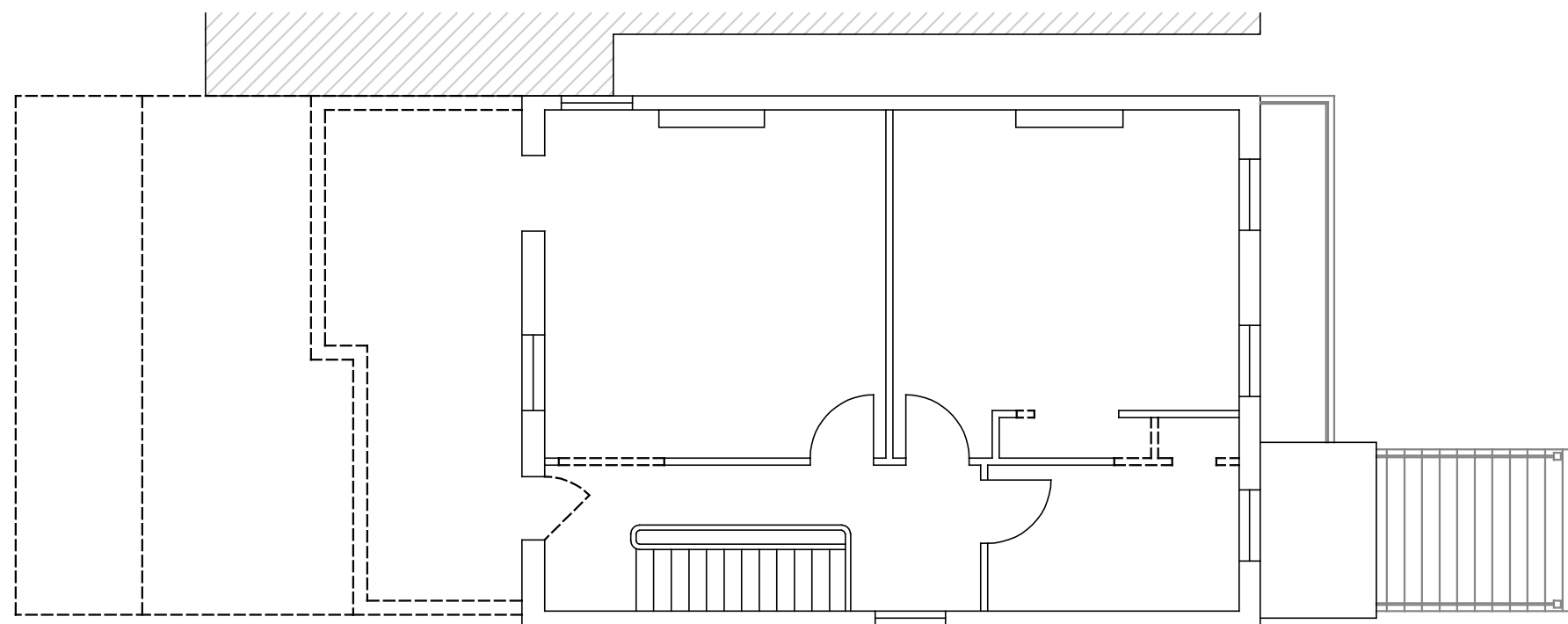


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ARCHITECTURAL
SITE PLAN

CI.I

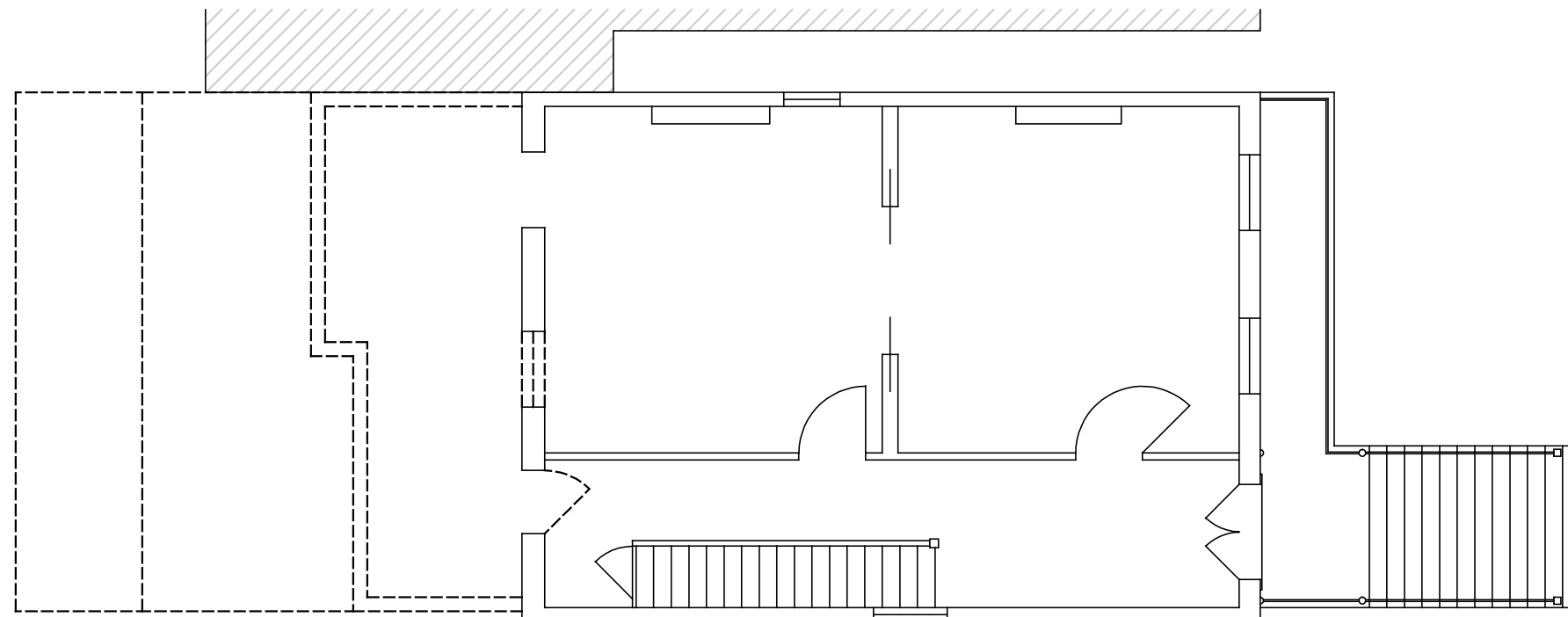


BLOCK ADDITION & DECKS
TO BE DEMOLISHED-
SEE ENGINEER LETTER

ORIGINAL BRICK
HOUSE TO REMAIN

02 | AS-BUILT/DEMO SECOND FLOOR PLAN

1/8" = 1'

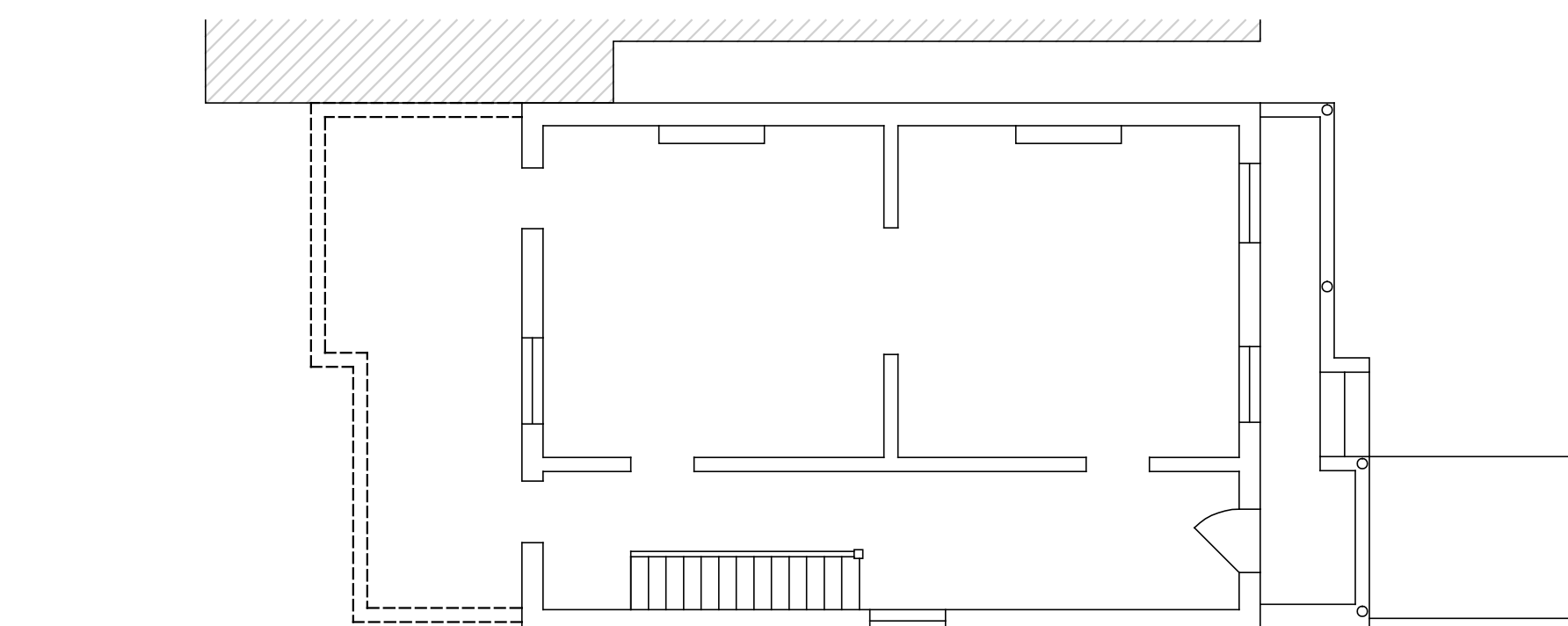


BLOCK ADDITION & DECKS
TO BE DEMOLISHED-
SEE ENGINEER LETTER

ORIGINAL BRICK
HOUSE TO REMAIN

01 | AS-BUILT/DEMO FIRST FLOOR PLAN

1/8" = 1'



BLOCK ADDITION & DECKS
TO BE DEMOLISHED-
SEE ENGINEER LETTER

ORIGINAL BRICK
HOUSE TO REMAIN

00 | AS-BUILT/DEMO BASEMENT PLAN

1/8" = 1'

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ADDITION & RENOVATION TO 2-STORY SINGLE-FAMILY ATTACHED HOUSE
IN RICHMOND'S HISTORIC CHURCH HILL NEIGHBORHOOD

AMEY HOUSE

2909 EAST BROAD STREET
RICHMOND, VIRGINIA 23223

NOT FOR
CONSTRUCTION

SET/REVISION:
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DATE/MARK:
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SCHEMATIC AS-BUILT/
DEMO PLANS

DI.1

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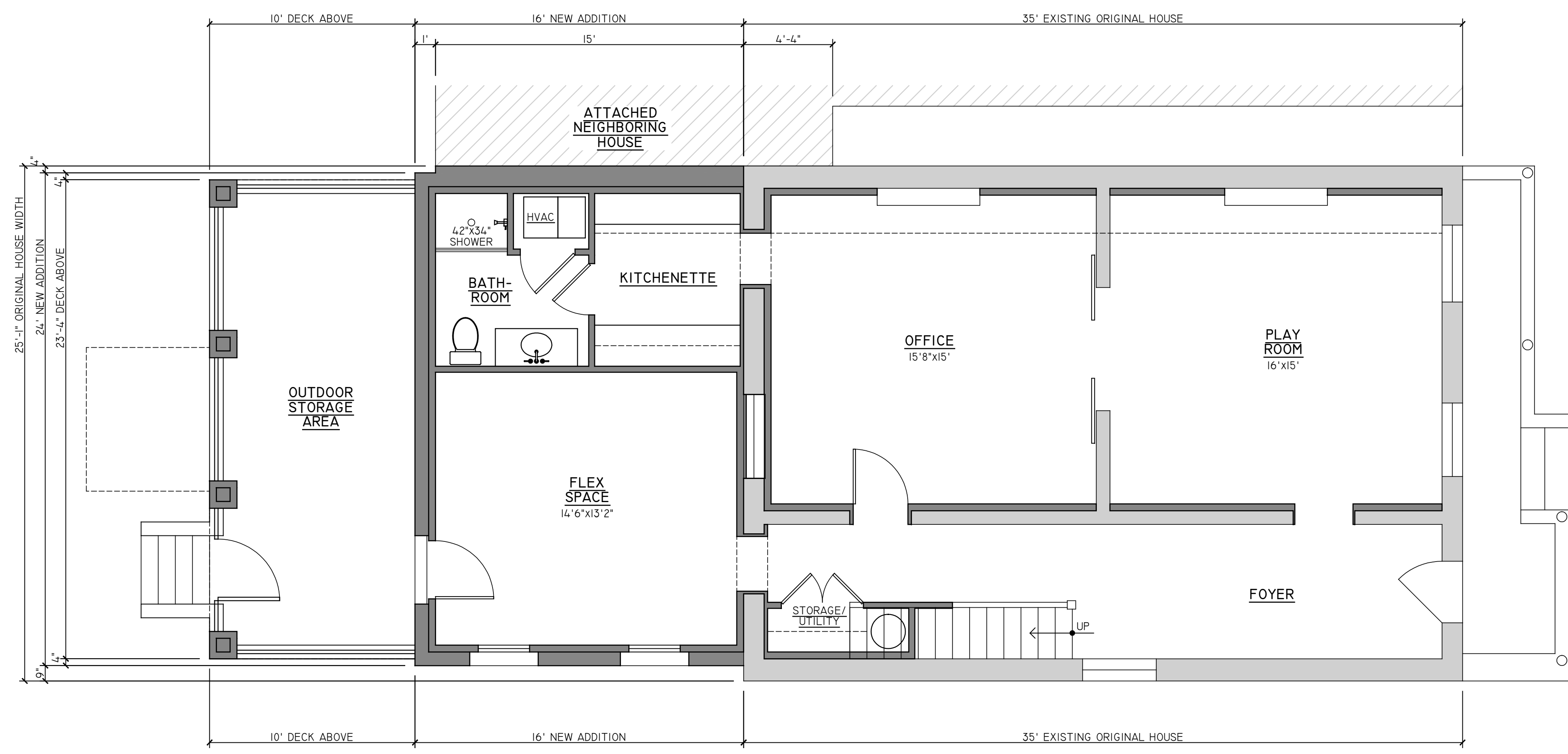
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BASEMENT PLAN

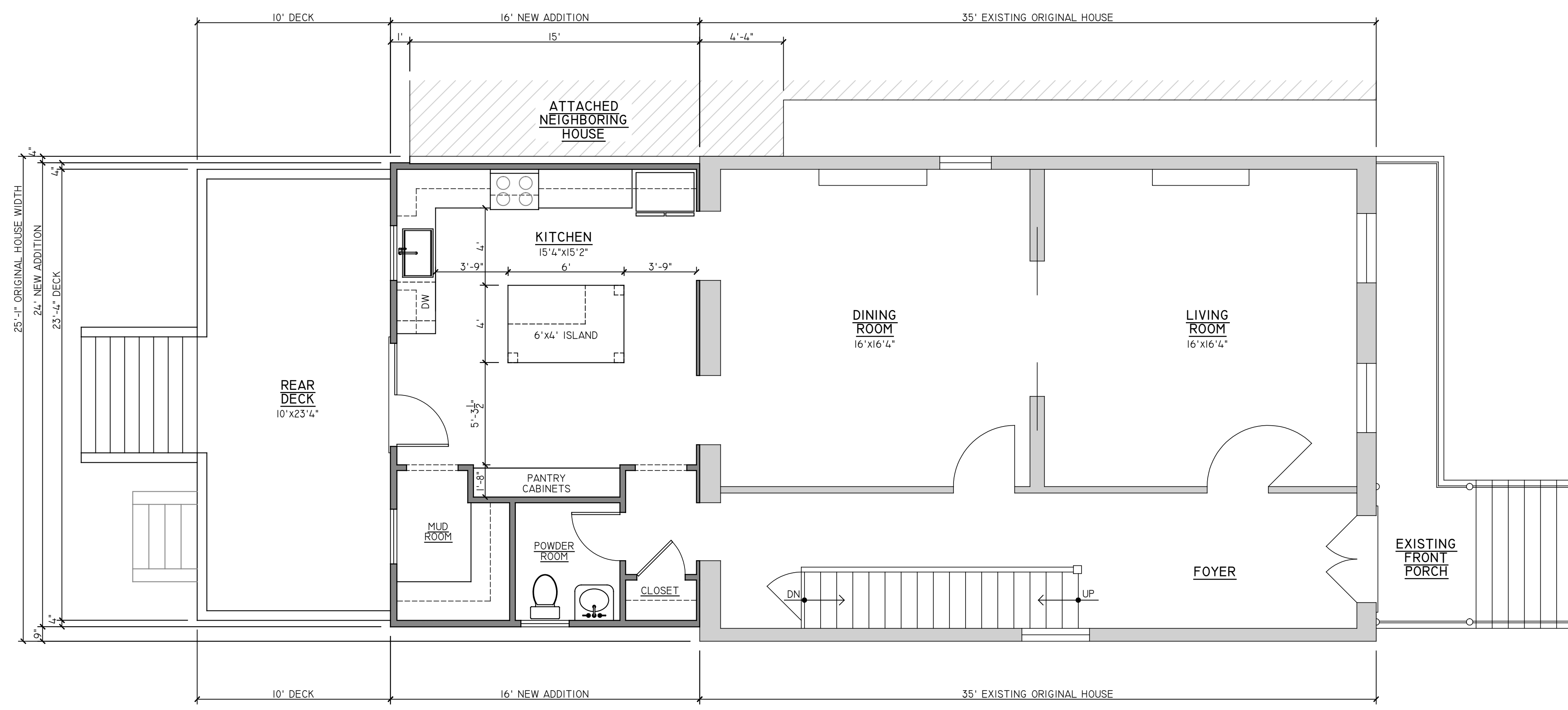
AI.0



01 | BASEMENT PLAN
1/4" = 1'

PROJECT CONTACTS:
 OWNERS:
 CHRIS & CAROLINE AMEY
 804-938-2030
 ARCHITECT:
 CHRISTOPHER WOLF
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AMEY HOUSE
 2909 EAST BROAD STREET
 RICHMOND, VIRGINIA 23223



01 | FIRST FLOOR PLAN
 1/4" = 1'

NOT FOR CONSTRUCTION

SET/REVISION:
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FIRST FLOOR PLAN
AI.1

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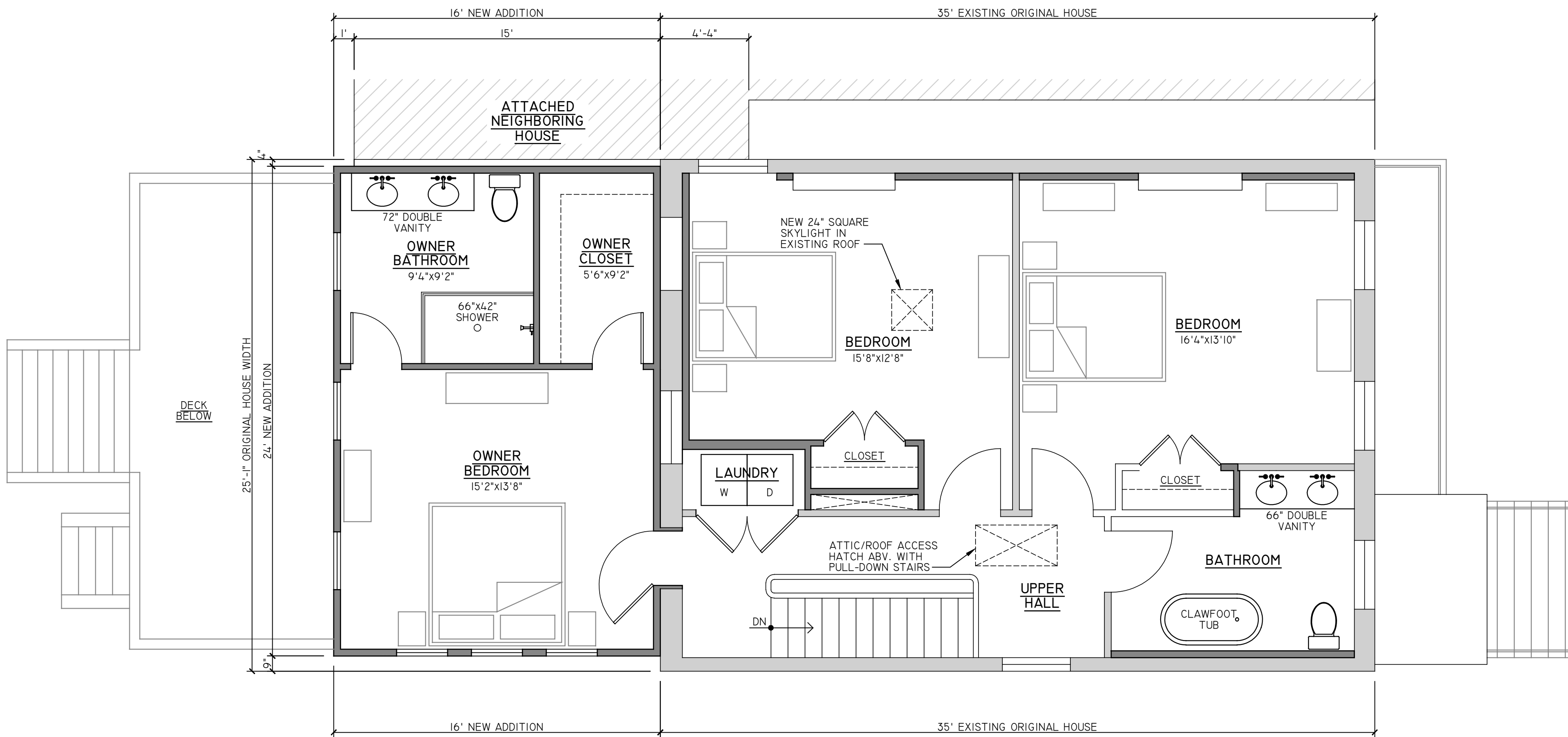
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SECOND FLOOR PLAN

AI.2



01 | SECOND FLOOR PLAN
1/4" = 1'



01 | FRONT VIEW

EXISTING HOUSE FINISHES TO REMAIN AS-IS EXCEPT:
 - RE-PAINT BRICK PER EXTERIOR FINISH SCHEDULE
 - REMOVE ALL EXISTING WINDOWS (VINYL REPLACEMENTS) & REPLACE WITH C.A.R.-COMPLIANT CLAD WOOD WINDOWS WITH MULLION PATTERN TO MATCH ORIGINAL (ADDITIONAL RESEARCH REQUIRED).
 - RE-PAINT ALL WOODWORK/TRIM PER EXTERIOR FINISH SCHEDULE
 - EXISTING FRONT PORCH STAIRS TO BE REPLACED AS REQUIRED DUE TO DAMAGE- SEE EXTERIOR FINISH SCHEDULE
 - EXISTING FRONT PORCH DECKING TO BE REPLACED PER EXTERIOR FINISH SCHEDULE
 - ALL RAILING & COLUMNS TO REMAIN
 - REPLACE DAMAGED FRONT PORCH ROOFING WITH NEW BLACK TPO ROOFING
 - REPLACE DAMAGED MAIN ROOF WITH NEW WHITE TPO ROOFING
 - PATCH & REPAIR AS REQUIRED

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DATE/MARK:
 02.26.2021

FRONT VIEW

A2.0

PROJECT CONTACTS:

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804-938-2030

ARCHITECT:
CHRISTOPHER WOLF
CHRIS WOLF ARCHITECTURE, PLLC
804-514-7644

DOOR/WINDOW SCHEDULE (PER UNIT)

EXTERIOR DOORS				
NO.	QTY.	SIZE (NOM.)	TYPE	REMARKS
101	01	EXIST. PAIR 2'4" DOORS W/ TRANSOM	HALF GLASS	REPAIR, REPLACE GLASS, PAINT
102	01	NEW PAIR 2'8"x8" W/ 14" TRANSOM	FULL GLASS	PAINT, G.C. COORDINATE TRANSOM HEIGHT WITH WINDOW HEADS
001	01	REPLACE 3' WIDE FRONT BASEMENT DOOR	HIGH GLASS	PAINT (COLOR T.B.D.), G.C. COORDINATE SIZE/HEIGHT
002	01	NEW 2'10"x6'8" REAR BASEMENT DOOR	HALF GLASS	PAINT

NEW WINDOWS (ADDITION)				
NO.	QTY.	SIZE (NOM.)	TYPE	REMARKS
A	02	2'10"x5'6"	DOUBLE HUNG	
B	03	2'10"x6'	DOUBLE HUNG	
C	02	2'6"x2'6"	FIXED	
D	01	2'6"x5'6"	DOUBLE HUNG	
E	03	2'6"x1'4"	FIXED	

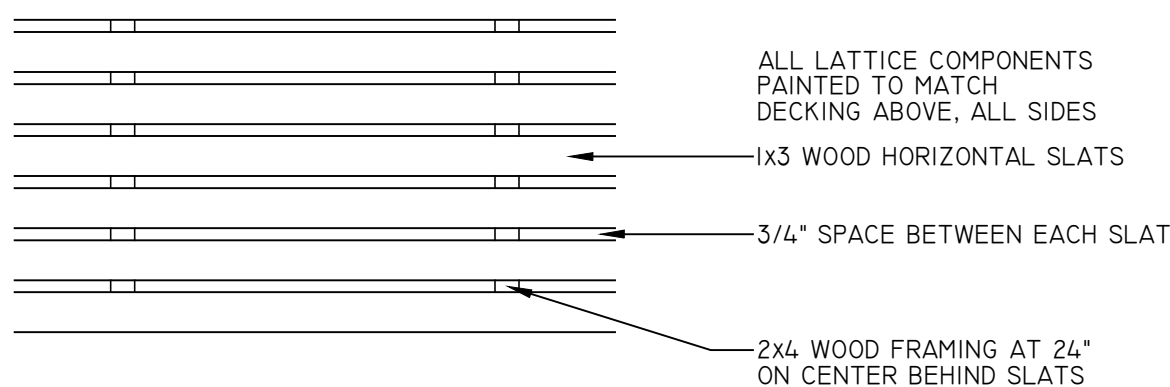
- ALL WINDOWS SHALL BE APPROVED BY C.A.R. PRIOR TO ORDERING.
- ALL EXISTING WINDOWS (VINYL REPLACEMENTS) TO BE REMOVED & REPLACED WITH NEW C.A.R.-COMPLIANT CLAD WOOD WINDOWS
- EXISTING EXTERIOR DOORS & WINDOWS - G.C. VERIFY EXISTING OPENING SIZES & COORDINATE REPLACEMENT SIZE WITH SPECIFIC MANUFACTURER REQUIREMENTS PRIOR TO ORDERING.
- SEE EXTERIOR FINISH SCHEDULE FOR FINISH/COLOR INFORMATION.
- NEW WINDOWS I/I MULLIONS, REPLACEMENT WINDOWS TO MATCH ORIGINAL MULLION PATTERN- MORE RESEARCH REQUIRED

EXTERIOR FINISH SCHEDULE

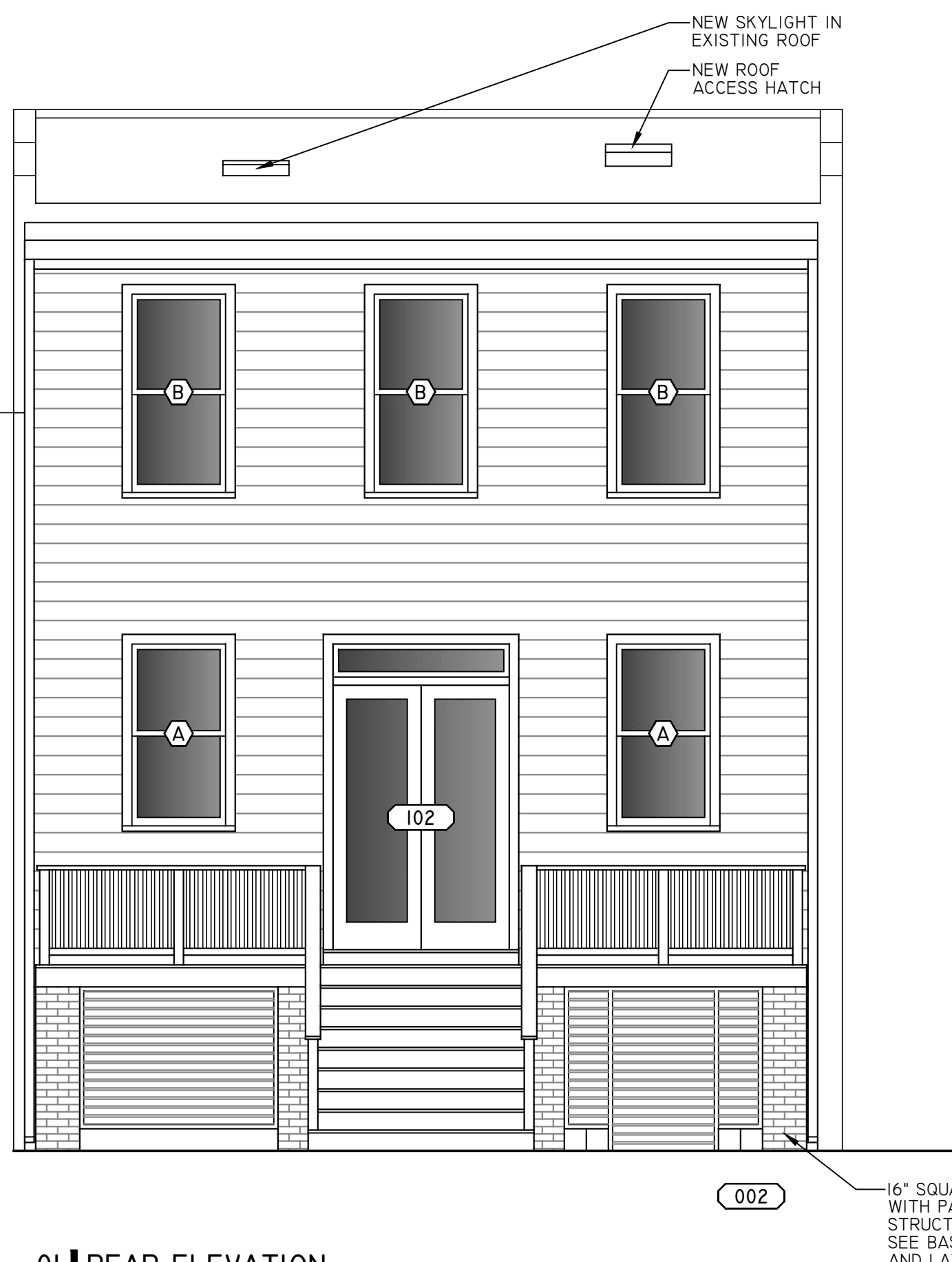
EXISTING HOUSE		
NO.	COMPONENT/MATERIAL	COLOR/FINISH
01	BRICK	PAINT RED - SW0008
02	REPLACEMENT WINDOWS - SEE NOTES A2.0	FACTORY WHITE
03	WOODWORK & TRIM	PAINTED ARCTIC WHITE
04	EXISTING METAL RAILS/COLUMNS	PAINTED BLACK
05	FRONT PORCH DECKING - COMPOSITE T&G	PEWTER GRAY
06	PORCH ROOFING - REPLACE WITH TPO OR EPDM	FACTORY BLACK
07	MAIN ROOF - REPLACE WITH TPO	FACTORY WHITE

NEW ADDITION		
NO.	COMPONENT/MATERIAL	COLOR/FINISH
01	PARGED FOUNDATION	THRU-COLOR GRAY
02	HARDIE 7" EXPOSURE LAP SIDING	PAINTED ARCTIC WHITE
03	COMPOSITE/HARDIE TRIM	PAINTED ARCTIC WHITE
04	COMPOSITE/HARDIE VENTED SOFFITS	PAINTED ARCTIC WHITE
05	NEW DOORS	PAINTED - COLOR T.B.D.
06	WINDOWS (SEE NOTES BELOW)	PREFINISHED WHITE
07	MAIN ROOF - TPO	FACTORY WHITE
08	ALUMINUM GUTTER & DOWNSPOUTS	PREFINISHED WHITE
09	WALL-MOUNTED LANTERNS AT DOORS	BLACK
10	6' TALL PRIVACY FENCE (SEE SITE PLAN)	NATURAL TREATED WOOD
11	REAR DECK - BRICK PIERS	"RICHMOND RED"
12	REAR DECK - "RICHMOND" RAILING	PAINTED ARCTIC WHITE, TOP RAIL PAINTED TO MATCH DECKING
13	REAR DECK - FRAMING	PAINTED ARCTIC WHITE
14	REAR DECK - WOOD DECKING	OPAQUE STAINED DARK GRAY

- ALL MATERIALS & COLORS MUST MEET GENERAL C.A.R. REQUIREMENTS.
- EXTERIOR ELEVATION NOTES ARE TYPICAL ACROSS ALL EXTERIOR ELEVATIONS UNLESS NOTED OTHERWISE.
- GRADES SHOWN APPROXIMATE. V.I.F.
- SEE NOTES ON A2.0 FOR NOTES CONCERNING RENOVATIONS TO EXISTING HOUSE.
- WINDOWS IN NEW ADDITION SHALL BE "1 OVER 1" (I/I) C.A.R.-COMPLIANT CLAD WOOD WINDOWS. NEW WINDOWS DOUBLE HUNG OR FIXED (INOPERABLE).



02 | LATTICE DETAIL
1" = 1"



01 | REAR ELEVATION
1/4" = 1"

ADDITION & RENOVATION TO 2-STORY SINGLE-FAMILY ATTACHED HOUSE
IN RICHMOND'S HISTORIC CHURCH HILL NEIGHBORHOOD

AMEY HOUSE

2909 EAST BROAD STREET
RICHMOND, VIRGINIA 23223

NOT FOR CONSTRUCTION

SET/REVISION:
C.A.R. INITIAL SUBMITTAL

DATE/MARK:
02.26.2021

REAR ELEV.,
EXT. FINISH SCHEDULE

A2.1

PROJECT CONTACTS:

OWNERS:
CHRIS & CAROLINE AMEY
804-938-2030

ARCHITECT:
CHRISTOPHER WOLF
CHRIS WOLF ARCHITECTURE, PLLC
804-514-7644

ADDITION & RENOVATION TO 2-STORY SINGLE-FAMILY ATTACHED HOUSE
IN RICHMOND'S HISTORIC CHURCH HILL NEIGHBORHOOD

AMEY HOUSE

2909 EAST BROAD STREET
RICHMOND, VIRGINIA 23223

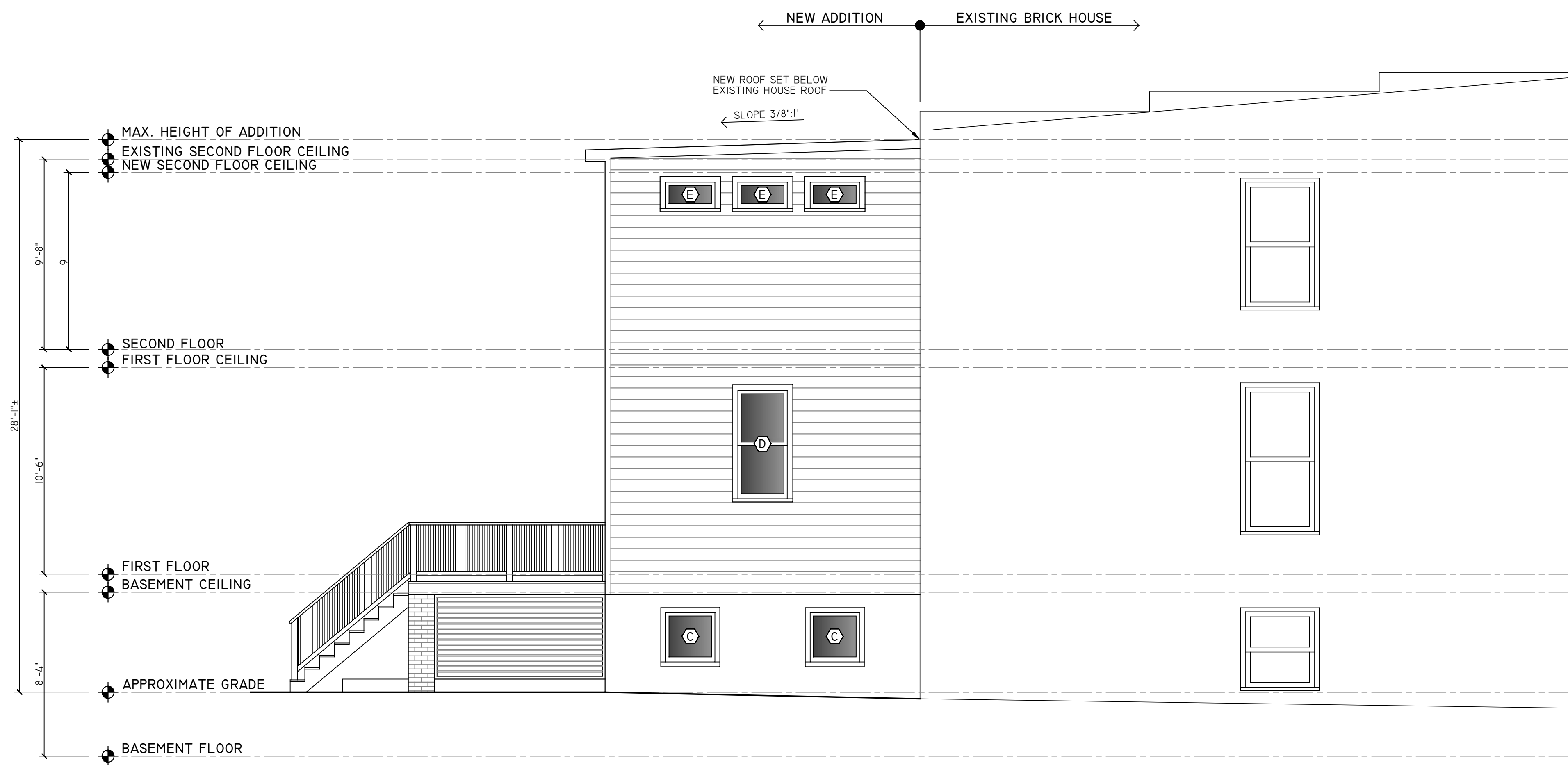
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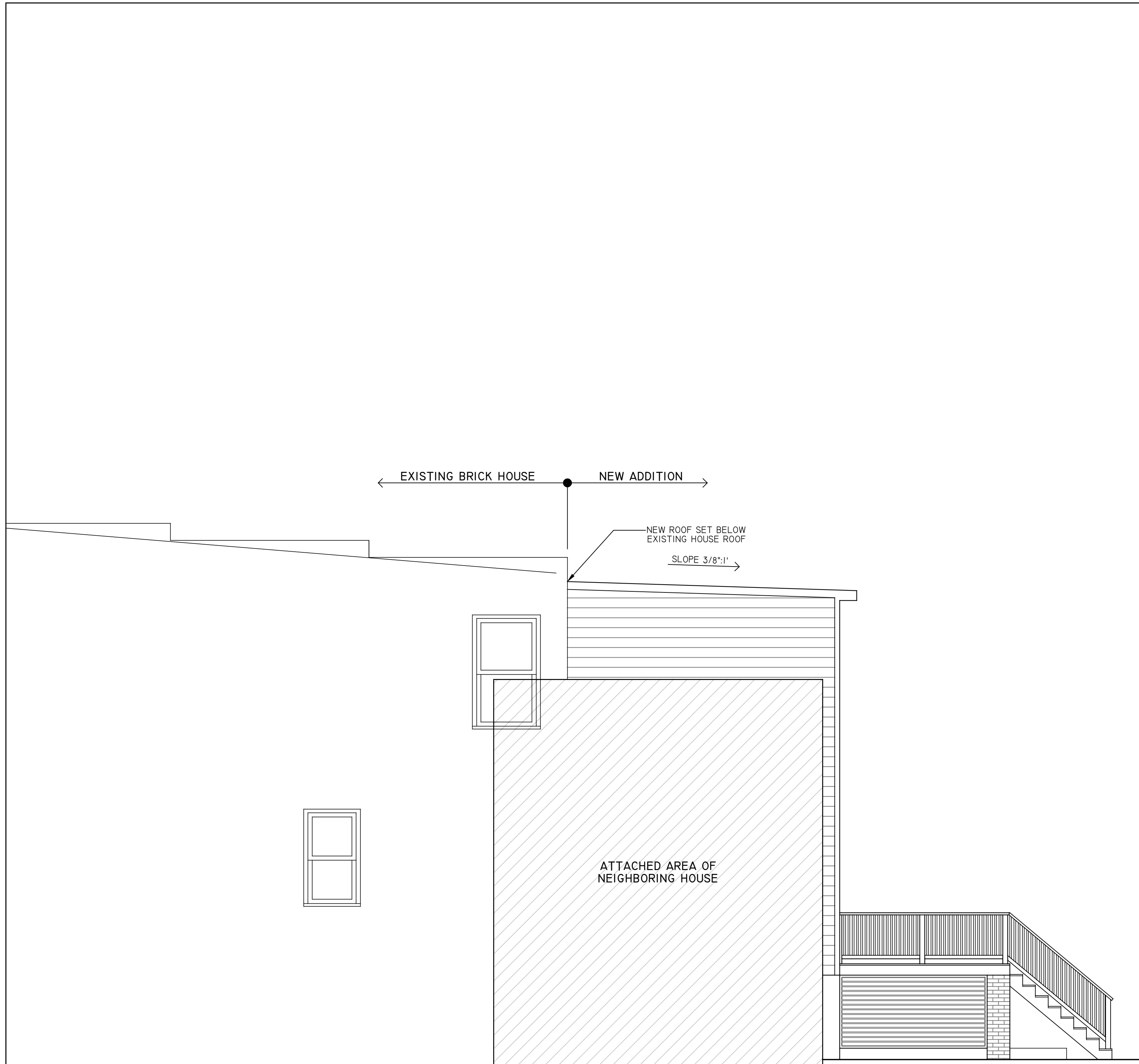
DATE/MARK:
02.26.2021

LEFT SIDE
EXTERIOR ELEVATION

A2.2



01 | LEFT SIDE ELEVATION
1/4" = 1'



01 | RIGHT SIDE ELEVATION
1/4" = 1'

PROJECT CONTACTS:

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804-938-2030

ARCHITECT:
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RIGHT SIDE
EXTERIOR ELEVATION

A2.3

Project:	2909 East Broad Street, Richmond, Virginia 23229		
Client:	Chris Amey	Inspected by:	Charles R. Field, P.E.
Date:	February 16, 2021	Time:	9:00AM
Weather:	N/A	Temperature Range:	N/A

Services Provided – Check all that apply

- Site Reconnaissance
- Earth Work - Cut to Fill, Compaction
- Foundations
- Structural – Commercial
- Structural – Residential
- Fine Grading/Pavement Section
- Utilities & Trenching
- Other - Listed Below

Primary Contractor Responsible for Work

Contractor: _____

Superintendent: _____

Other Responsible

Parties On-Site: **Justin Watson**

General: The client is renovating an existing structure located at 2909 East Broad Street, in Richmond, Virginia. The client has requested a structural evaluation of a previous building addition on the rear portion of the home.



General Description of Activities and Test Results:

Observations

Exterior inspection of the home finds that an addition was constructed on to the back of the existing home located at 2909 East Broad Street. The addition to the residential structure was constructed from concrete masonry units (CMU) and rests on an exposed above ground stacked brick footing.

The CMU wall shows stair stepping cracks on the back wall and appears to be pulling away from the original structure of the home.

The stacked brick foundation under the CMU wall appears to be crumbling, with many bricks showing signs of deterioration.

Conclusions

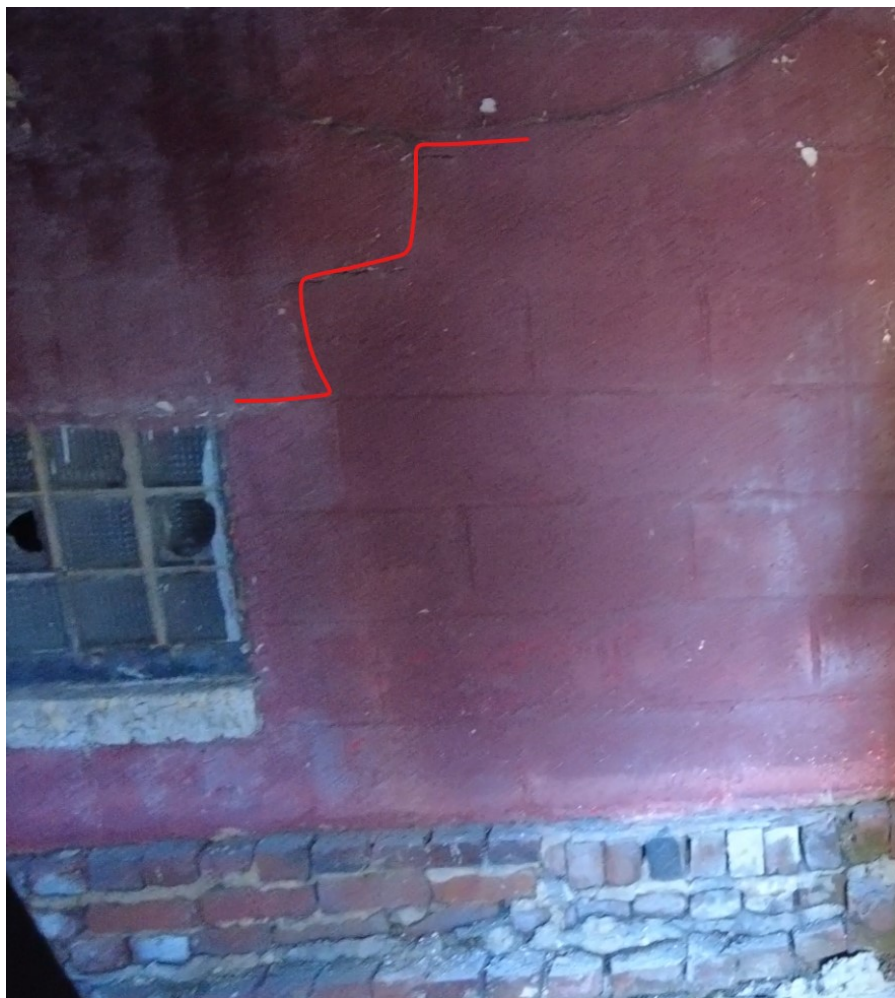
The CMU building addition appears to have been constructed without the benefit of a building permit. The deteriorating brick footing and the supported CMU wall is in danger of collapse was not built to building code compliance when previously constructed.

Renovation of the home in conjunction with the existing CMU wall addition is not recommended due to the condition of the CMU wall and existing brick footing, as well as methods of construction used at that time.

Recommendations

The CMU wall and brick footing should be demolished and rebuilt with a solid concrete footing. The wall should be reconstructed in a code compliant manner, using a brick and mortar method to preserve and match the historical architectural style of the home's period.

Photos



Existing CMU addition showing stair stepping cracks radiating towards the deteriorating brick foundation.



Photo above showing the brick footing in declining condition.