



Property (location of work)

Property Address: 1109 W Franklin St, Richmond, VA 23220 Current Zoning: R-6
Historic District: Monument Avenue Historic District

Application is submitted for: (check one)

- Alteration
- Demolition
- New Construction

Project Description (attach additional sheets if needed):

See attached sheet

Applicant/Contact Person: Jason Norfleet

Company: FULTZ & SINGH ARCHITECTS

Mailing Address: 1212 Westover Hills Blvd

City: Richmond State: VA Zip Code: 23225

Telephone: (804) 774-5534

Email: Jason@fultzingsharchitects.com

Billing Contact? No Applicant Type (owner, architect, etc.): Architect

Property Owner: Ornwith Homes LLC

If Business Entity, name and title of authorized signee: Steven Sanderson

Mailing Address: 1415 Park Ave

City: Richmond State: VA Zip Code: 23220

Telephone: (310) 717-6580

Email: steve@ornwith.liv

Billing Contact? Yes

****Owner must sign at the bottom of this page****

Acknowledgement of Responsibility

Compliance: If granted, you agree to comply with all conditions of the certificate of appropriateness (COA). Revisions to approved work require staff review and may require a new application and approval from the Commission of Architectural Review (CAR). Failure to comply with the conditions of the COA may result in project delays or legal action. The COA is valid for one (1) year and may be extended for an additional year, upon written request and payment of associated fee.

Requirements: A complete application includes all applicable information requested on checklists available on the CAR website to provide a complete and accurate description of existing and proposed conditions, as well as payments of the application fee. Applications proposing major new construction, including additions, should meet with staff to review the application and requirements prior to submitting. Owner contact information and signature is required. Late or incomplete applications will not be considered.

Zoning Requirements: Prior to Commission review, it is the responsibility of the applicant to determine if zoning approval is required. Application materials should be prepared in compliance with zoning.

Property Owner Signature: Steven A Sanderson Digitally signed by Steven A Sanderson
DN: c=US, e=steve@ornwith.liv, cn=Steven A Sanderson
Date: 2025.10.31 11:01:19-0400 Date: 10/31/25



Property (location of work)

Property Address: 1111 W Franklin St, Richmond, VA 23220 Current Zoning: R-6
Historic District: Monument Avenue Historic District

Application is submitted for: (check one)

- Alteration
- Demolition
- New Construction

Project Description (attach additional sheets if needed):

See attached sheet

Applicant/Contact Person: Jason Norfleet
Company: FULTZ & SINGH ARCHITECTS
Mailing Address: 1212 Westover Hills Blvd
City: Richmond State: VA Zip Code: 23225
Telephone: (804) 774-5534
Email: Jason@fultzsingharchitects.com
Billing Contact? No Applicant Type (owner, architect, etc.): Architect

Property Owner: Cornwith Homes LLC
If Business Entity, name and title of authorized signee: Steven Sanderson
Mailing Address: 1415 Park Ave
City: Richmond State: VA Zip Code: 23220
Telephone: (310) 717-6580
Email: steve@cornwith.live
Billing Contact? Yes

****Owner must sign at the bottom of this page****

Acknowledgement of Responsibility

Compliance: If granted, you agree to comply with all conditions of the certificate of appropriateness (COA). Revisions to approved work require staff review and may require a new application and approval from the Commission of Architectural Review (CAR). Failure to comply with the conditions of the COA may result in project delays or legal action. The COA is valid for one (1) year and may be extended for an additional year, upon written request and payment of associated fee.

Requirements: A complete application includes all applicable information requested on checklists available on the CAR website to provide a complete and accurate description of existing and proposed conditions, as well as payments of the application fee. Applications proposing major new construction, including additions, should meet with staff to review the application and requirements prior to submitting. Owner contact information and signature is required. Late or incomplete applications will not be considered.

Zoning Requirements: Prior to Commission review, it is the responsibility of the applicant to determine if zoning approval is required. Application materials should be prepared in compliance with zoning.

Property Owner Signature: Steven A Sanderson Digitally signed by Steven A Sanderson
DN: c=US, e=steve@cornwith.live, cn=Steven A Sanderson
Date: 2025.10.31 11:00:08-0400 Date: 10/31/25



October 31, 2025

Commission of Architectural Review
Alex Dandridge, Secretary
900 E. Broad St., Room 510
Richmond, VA 23219

Project Description

1111 W Franklin St is an existing 6,112SF (including basement and finished attic) building in the Monument Avenue Historic District, currently owned by Congregation Beth Ahaba and used as a museum and office space under an existing special use permit (Ord. No. 2017-073). Cmnwlth Homes LLC is under contract to purchase the building and use a new special use permit to convert it back to its original use as a detached single-family dwelling.

Our plans call for a sensitive renovation to restore the home to its former glory adhering to the Secretary of Interior's Standards for Rehabilitation for Historic Rehabilitation Tax Credits. Therefore, a majority of the work will occur in the interior. Exterior work will primarily consist of removing a non-historic passage connecting 1109 W Franklin St and 1111 W Franklin St, separating the front porches and stairs, replacing non-historic exterior doors with more appropriate ones and restoring most windows that were bricked in during a 1968 renovation with CAR approved windows. All new fences and railing will adhere to CAR guidelines.

In the rear we plan to build a detached two-story 1,232SF garage and accessory dwelling unit in-keeping with several similar structures found on neighboring blocks. This new building would be built in a compatible contemporary style to CAR guidelines. Once completed, the combined gross living area across the primary residence and detached ADU would be 4,883SF.

1109 / 1111 W Franklin St CAR Application

October 31, 2025

Neighboring Garage / ADU Structures

1109 / 1111 W Franklin St

Richmond, VA 23220

Photographs below show two story accessory garage / adu buildings abutting alleyways in the surrounding area. A similar two-story garage / adu structure is proposed at 1109 and 1111 W Franklin St.



Figure 1: 1015 W Franklin St



Figure 2: 1103 W Franklin St



Figure 3: 1425 Grove Ave



Figure 4: 1501 Grove Ave



Figure 5: 1506 Grove Ave



Figure 6: 1510 Grove Ave

1109 / 1111 W Franklin St CAR Application

October 31, 2025

Neighboring Garage / ADU Structures

1109 / 1111 W Franklin St

Richmond, VA 23220



Figure 7: 1418 Grove Ave



Figure 8: 1111 West Ave



Figure 9: 1419 Park Ave

1109 W Franklin St CAR Application

October 31, 2025

Existing Conditions Photographs

1109 W Franklin St
Richmond, VA 23220



Figure 1: Plan east front elevation along W Franklin St



Figure 2: Plan east front elevation seen from W Franklin St. Photograph shows existing porch, railing, and stair to be reworked



Figure 3: Second level of front elevation



Figure 4: Plan west rear elevation from the rear of the building



Figure 5: Plan north side elevation seen from the rear of the building

1109 W Franklin St CAR Application

October 31, 2025

Existing Conditions Photographs

1109 W Franklin St
Richmond, VA 23220



Figure 6: Alleyway between 1109 and 1107 W Franklin St seen from W Franklin st



Figure 7: Plan south elevation seen from between 1109 and 1107 W Franklin St



Figure 8: Plan south elevation seen from between 1109 and 1107 W Franklin St



Figure 9: Proposed location of Garage and ADU seen from alleyway behind W Franklin St



Figure 10: Proposed location of Garage and ADU seen from alleyway behind W Franklin St

1111 W Franklin St CAR Application

October 31, 2025

Existing Conditions Photographs

1111 W Franklin St
Richmond, VA 23220



Figure 1: Plan east front elevation along W Franklin St



Figure 2: Plan north side elevation seen from W Franklin St



Figure 3: Plan south side elevation from the rear of the building



Figure 4: Plan west rear elevation seen from the rear alley

1111 W Franklin St CAR Application

October 31, 2025

Existing Conditions Photographs

1111 W Franklin St
Richmond, VA 23220



Figure 5: Plan south side elevation seen from between 1109 and 1111 W Franklin st



Figure 6: Front Porch showing existing railing, stair, and paved porch to be reworked



Figure 9: Proposed location of Garage and ADU seen from alleyway behind W Franklin St



Figure 10: Proposed location of Garage and ADU seen from alleyway behind W Franklin St

OWNER
 CMNWALTH HOMES LLC
 STEVE SANDERSON
 1415 PARK AVE
 RICHMOND, VA 23220
 steve@cmnwalth.live

ARCHITECT
 FULTZ & SINGH ARCHITECTS
 1212 WESTOVER HILLS BLVD
 RICHMOND, VA 23225
 amr@fultzsingharchitects.com
 jason@fultzsingharchitects.com

DRAWING LIST - ARCHITECTURAL		10/31/2025 CAR SET
SHEET	DRAWING TITLE	
CS.00	COVER SHEET	●
AS.00	SITE SURVEY	●
AS.01	CURRENT SITE PLAN	●
AS.02	PROPOSED SITE PLAN	●
EX.01	CURRENT FLOOR PLANS	●
EX.02	CURRENT FLOOR PLANS	●
AD.01	DEMOLITION PLANS	●
AD.02	DEMOLITION PLANS	●
A1.01	PROPOSED FLOOR PLANS	●
A1.02	PROPOSED FLOOR PLANS	●
AZ.01	CURRENT BUILDING ELEVATIONS	●
AZ.02	PROPOSED BUILDING ELEVATIONS	●
ADU.01	ADU FLOOR PLANS	●
ADU.02	ADU ELEVATIONS	●
ADU.03	ADU RENDERED ELEVATIONS	●

1109 W FRANKLIN ST RENOVATION

CAR APPLICATION SET - 10/31/2025

1109 W FRANKLIN ST, RICHMOND, VA 23220

1109 W FRANKLIN ST

1109 W FRANKLIN ST
 RICHMOND, VA 23220

PRELIMINARY
 NOT FOR CONSTRUCTION

DRAWING SYMBOL LEGEND

	EXTERIOR ELEVATION CALLOUT		DOOR EGRESS TAG ACTUAL DOOR WIDTH INCHES PER OCCUPANT ACTUAL OCCUPANT NUMBER OCCUPANT CAPACITY OF OPENING		LEVEL / ELEVATION REFERENCE		WINDOW / OPENING TAG - REFER TO OPENING SCHEDULE FOR ADDITIONAL INFORMATION	---XX'/YY'	DRAWING MATCHLINE
	SECTION CALLOUT		PROJECT NORTH		WALLTYPE INDICATION		FIXTURE / EQUIPMENT TAG - REFER TO A6 SERIES SCHEDULES FOR ADDITIONAL INFORMATION - SEE A10 DRAWINGS FOR LIGHTING FIXTURES	(S)	SMOKE DETECTOR - INTEGRATED INTO BUILDING FIRE ALARM SYSTEM WHERE PROVIDED
	INTERIOR ELEVATION CALLOUT *LETTER DESIGNATES DRAWING NUMBER **XX' DESIGNATES SHEET NUMBER		GEOMETRY WORKPOINT		EGRESS PATH		DOOR TAG		
	ENLARGED PLAN / SECTION CALLOUT		DRAWING NOTE		WALL RATING INDICATION DASH INDICATES RATING IN NUMBER OF HOURS [DENSE DASH INDICATES 30MIN WALL]		ROOM TAG		
	DETAIL CALLOUT		REVISION NOTE		CODE COMPLIANT ILLUMINATED EXIT SIGN INDICATOR DIRECTION [IF APPLICABLE]		MATERIAL TAG - REFER TO A0.00 FOR ADDITIONAL INFORMATION		
	GRIDLINE REFERENCE		DEMOLITION NOTE		LINEAR SHEET MATERIAL GRAIN DIRECTION INDICATION		SURFACE STEP / ELEVATION CHANGE		

VICINITY MAP

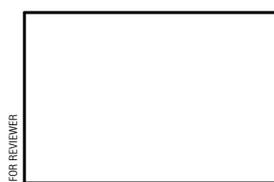
NOT TO SCALE

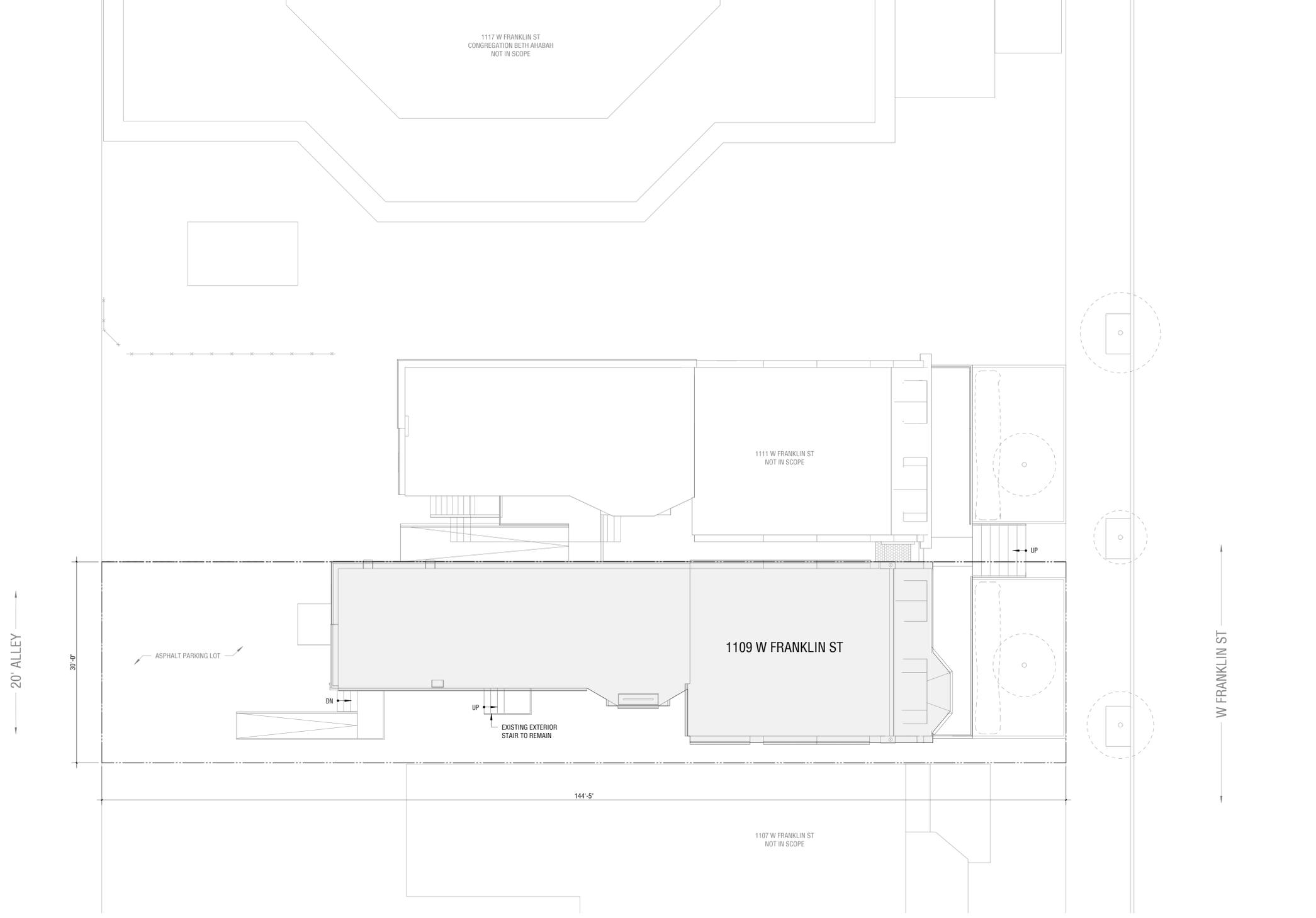
PROJECT LOCATION



JOB NUMBER / 0210	ISSUE DATE / 10/31/2025	SCALE / 12" = 1'-0"	# REVISION		DATE
			JN	AS	
			DRAWN /	CHECKED /	
COVER SHEET					
SHEET /					CS.00

FOR REVIEWER



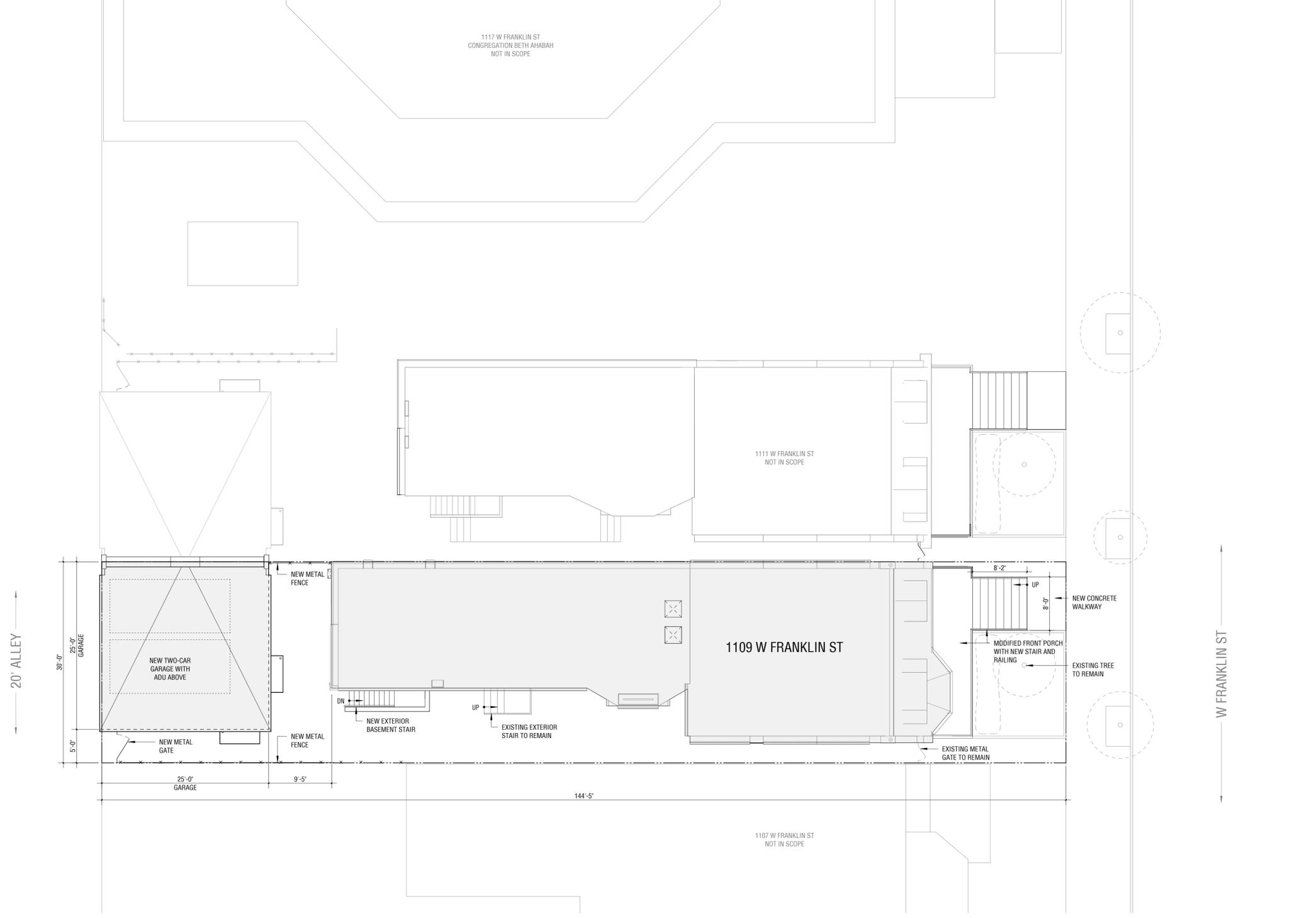


JOB NUMBER / 0210	ISSUE DATE / 10/31/2025	SCALE / 1/8" = 1'-0"	DRAWN / JIN	CHECKED / AS	# REVISION	DATE
CURRENT SITE PLAN						
SHEET / AS.01						

1109 W FRANKLIN ST

1109 W FRANKLIN ST
RICHMOND, VA 23220

PRELIMINARY
NOT FOR CONSTRUCTION



JOB NUMBER / 0210	ISSUE DATE / 10/31/2025	SCALE / 1/8" = 1'-0"	DRAWN / JIN	CHECKED / AS	# REVISION	DATE
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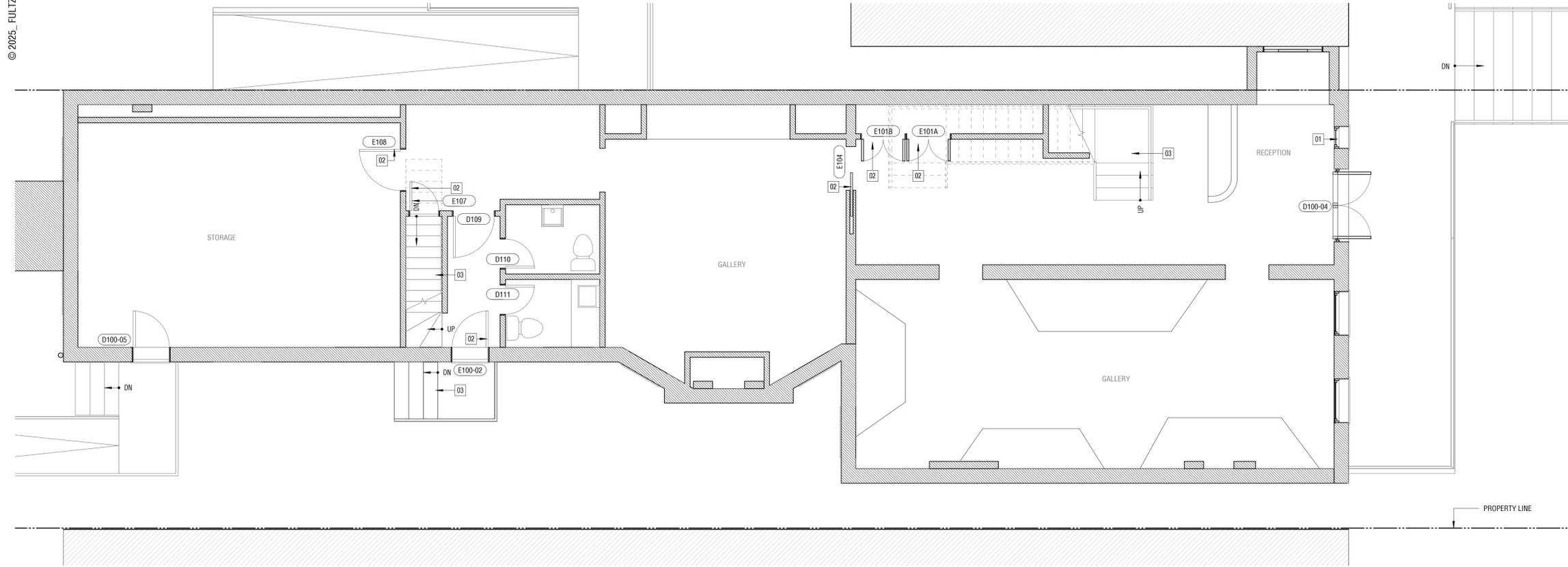
PROPOSED SITE PLAN

SHEET /
AS.02

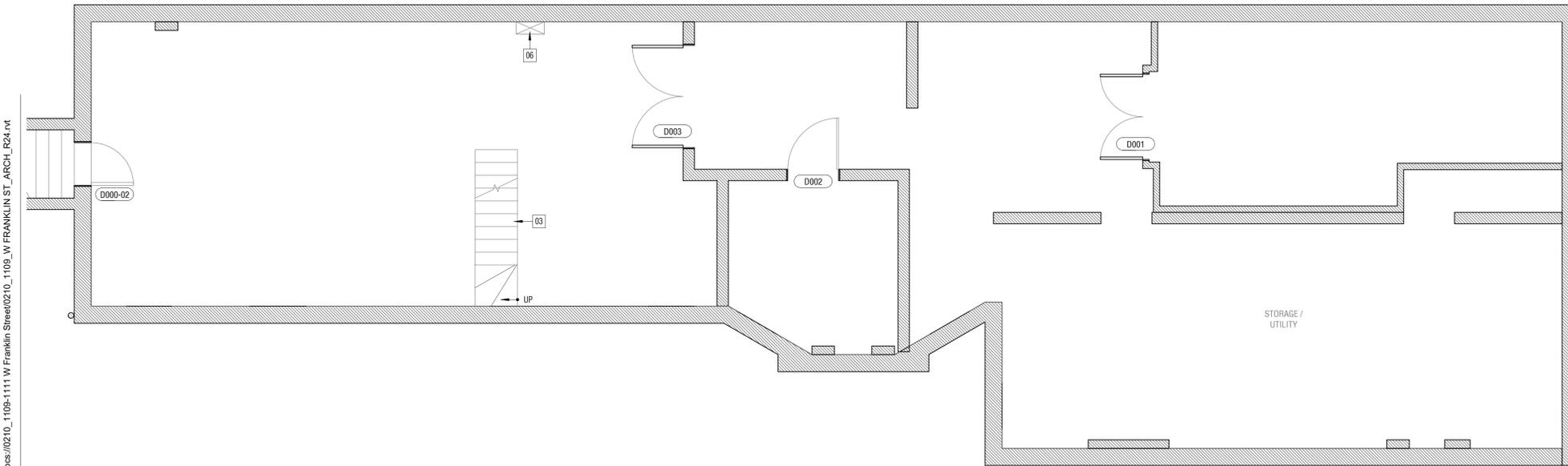
PRELIMINARY
NOT FOR CONSTRUCTION

1109 W FRANKLIN ST

1109 W FRANKLIN ST
RICHMOND, VA 23220



02 CURRENT FLOOR PLAN - LEVEL 01
SCALE: 1/4" = 1'-0"



01 CURRENT FLOOR PLAN - LEVEL 00
SCALE: 1/4" = 1'-0"

FLOOR PLAN LEGEND

- NEW CONSTRUCTION
- EXISTING TO REMAIN
- ADJACENT PROPERTY NOT IN SCOPE

PRELIMINARY
NOT FOR CONSTRUCTION

EXISTING DOOR SCHEDULE

DOOR NO.	INT / EXT.	DIMENSIONS			MATERIAL	FINISH	REMARKS
		WIDTH	HEIGHT	THICKNESS			
D000-02	Exterior	2'-6"	6'-8"	2"	WD	PT	DEMOLISH
D100-04	Exterior	4'-9"	7'-0"	2"	ALLIGLAS	MFR S	DEMOLISH
D100-05	Exterior	2'-6"	6'-8"	2"	WD	PT	DEMOLISH
E100-02	Exterior	2'-6"	6'-8"	2"	WD	PT	EXISTING TO REMAIN
D001	Interior	5'-0"	6'-8"	1 3/4"	WD	PT	DEMOLISH
D002	Interior	3'-0"	6'-8"	1 1/2"	WD	PT	DEMOLISH
D003	Interior	6'-0"	6'-8"	1 3/4"	WD	PT	DEMOLISH
D109	Interior	2'-10"	6'-8"	1 3/4"	WD	PT	DEMOLISH
D110	Interior	2'-0"	6'-8"	1 3/4"	WD	PT	DEMOLISH
D111	Interior	2'-0"	6'-8"	1 3/4"	WD	PT	DEMOLISH
E101A	Interior	3'-0"	8'-0"	1 3/4"	WD	PT	EXISTING TO REMAIN
E101B	Interior	3'-0"	8'-0"	1 3/4"	WD	PT	EXISTING TO REMAIN
E104	Interior	3'-0"	8'-0"	1 3/4"	WD	PT	EXISTING TO REMAIN
E107	Interior	2'-0"	6'-8"	1 3/4"	WD	PT	EXISTING TO REMAIN
E108	Interior	2'-10"	7'-0"	1 3/4"	WD	PT	EXISTING TO REMAIN
D210	Interior	2'-6"	6'-8"	1 3/4"	WD	PT	DEMOLISH
D211	Interior	2'-6"	6'-8"	1 3/4"	WD	PT	DEMOLISH
D212	Interior	2'-0"	6'-8"	1 3/4"	WD	PT	DEMOLISH
E202	Interior	2'-6"	6'-8"	1 3/4"	WD	PT	EXISTING TO REMAIN
E205	Interior	2'-6"	6'-8"	1 3/4"	WD	PT	EXISTING TO REMAIN
E207	Interior	2'-0"	6'-8"	1 3/4"	WD	PT	EXISTING TO REMAIN
E208	Interior	2'-0"	6'-8"	1 3/4"	WD	PT	EXISTING TO REMAIN
E209	Interior	2'-6"	6'-8"	1 3/4"	WD	PT	EXISTING TO REMAIN
Grand total: 23							

- EXISTING NOTES
- 01 EXISTING WINDOW TO REMAIN
 - 02 EXISTING DOOR TO REMAIN
 - 03 EXISTING STAIR TO REMAIN
 - 04 EXISTING ATTIC HATCH TO REMAIN
 - 05 EXISTING METAL GATE TO REMAIN
 - 06 EXISTING ELECTRICAL PANEL

REVISIONS

#	REVISION	DATE

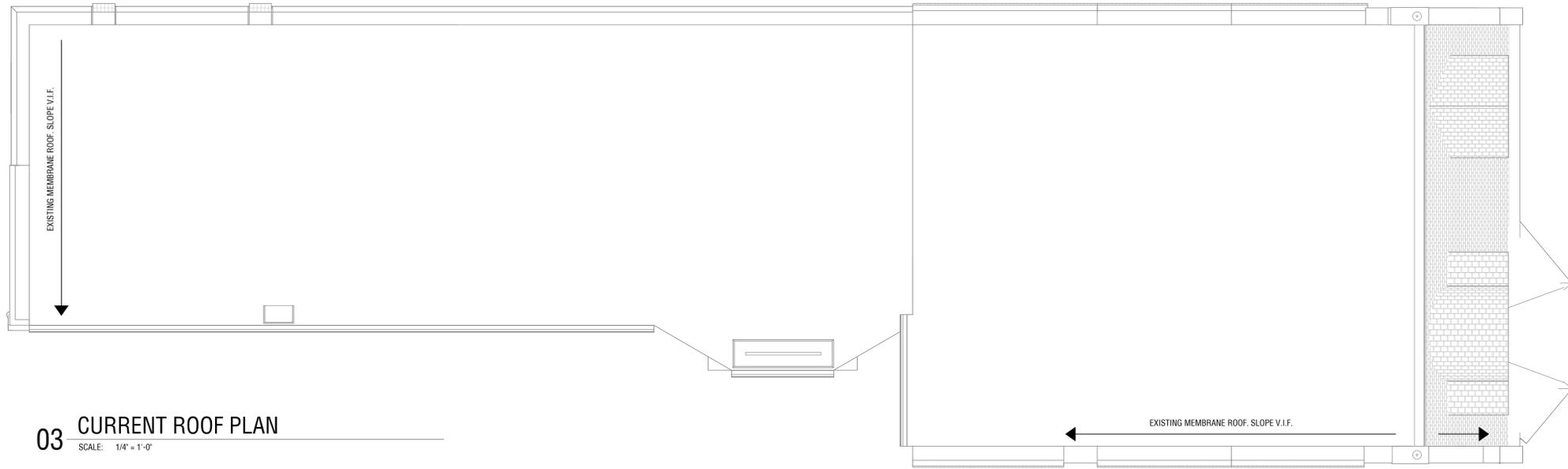
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ISSUE DATE: 10/31/2025

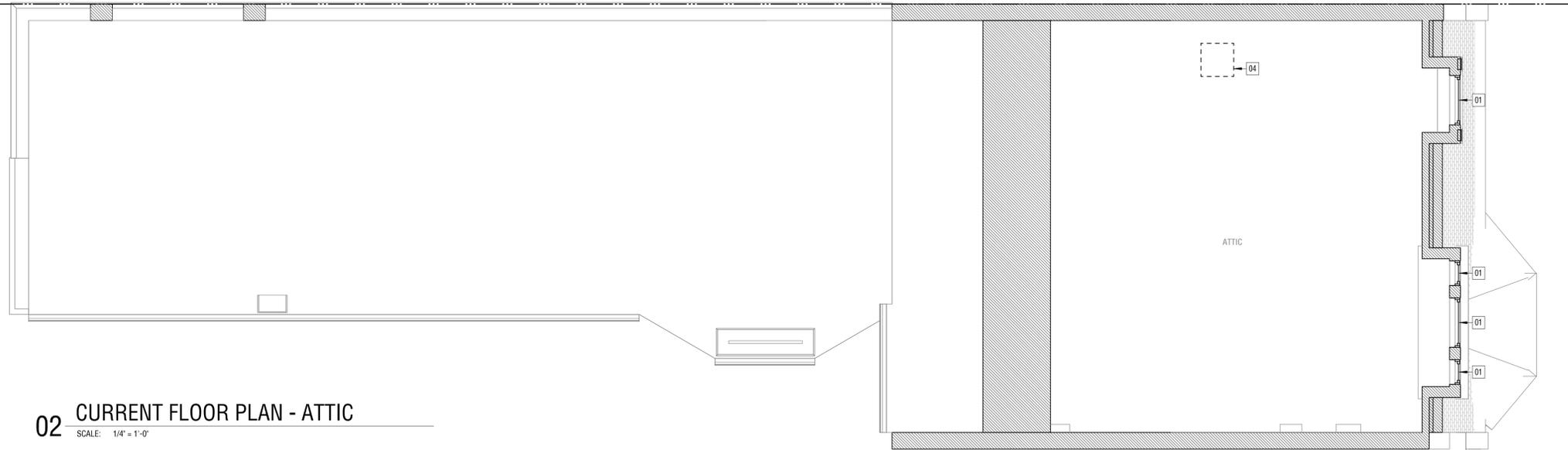
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SHEET: EX.01

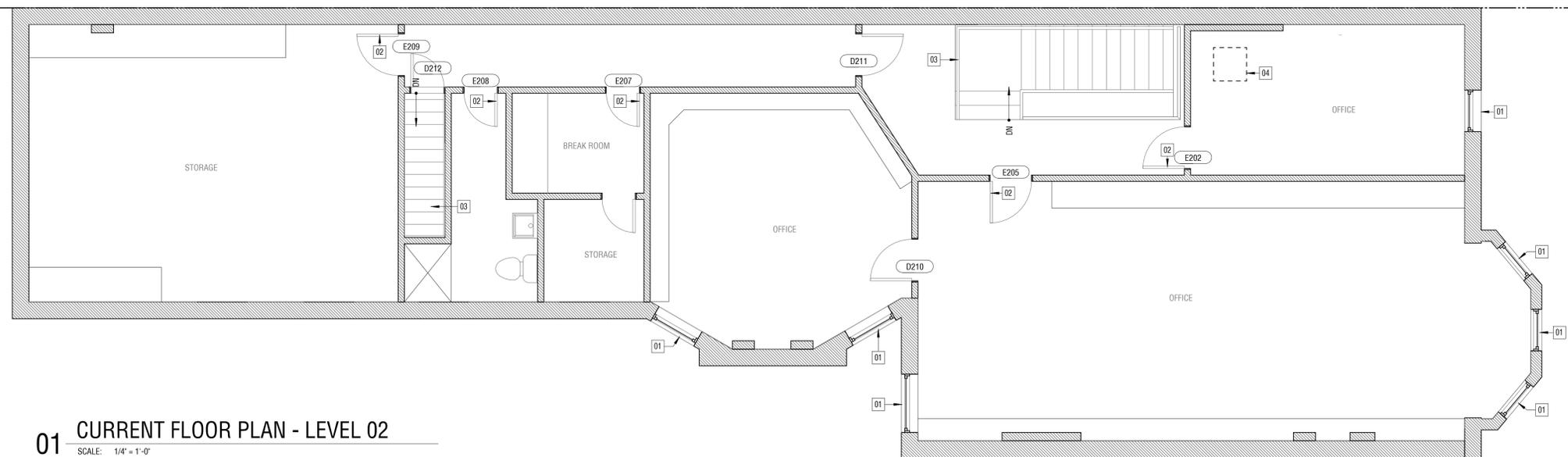
CURRENT FLOOR PLANS



03 CURRENT ROOF PLAN
SCALE: 1/4" = 1'-0"



02 CURRENT FLOOR PLAN - ATTIC
SCALE: 1/4" = 1'-0"



01 CURRENT FLOOR PLAN - LEVEL 02
SCALE: 1/4" = 1'-0"

FLOOR PLAN LEGEND

- NEW CONSTRUCTION
- EXISTING TO REMAIN
- ADJACENT PROPERTY NOT IN SCOPE

PRELIMINARY
NOT FOR CONSTRUCTION

EXISTING DOOR SCHEDULE

DOOR NO.	INT / EXT	DIMENSIONS			MATERIAL	FINISH	REMARKS
		WIDTH	HEIGHT	THICKNESS			
D000-02	Exterior	2'-6"	6'-8"	2"	WD	PT	DEMOLISH
D100-04	Exterior	4'-9"	7'-0"	2"	ALLIGLAS S	MFR	DEMOLISH
D100-05	Exterior	2'-6"	6'-8"	2"	WD	PT	DEMOLISH
E100-02	Exterior	2'-6"	6'-8"	2"	WD	PT	EXISTING TO REMAIN
D001	Interior	5'-0"	6'-8"	1 3/4"	WD	PT	DEMOLISH
D002	Interior	3'-0"	6'-8"	1 1/2"	WD	PT	DEMOLISH
D003	Interior	6'-0"	6'-8"	1 3/4"	WD	PT	DEMOLISH
D109	Interior	2'-10"	6'-8"	1 3/4"	WD	PT	DEMOLISH
D110	Interior	2'-0"	6'-8"	1 3/4"	WD	PT	DEMOLISH
D111	Interior	2'-0"	6'-8"	1 3/4"	WD	PT	DEMOLISH
E101A	Interior	3'-0"	8'-0"	1 3/4"	WD	PT	EXISTING TO REMAIN
E101B	Interior	3'-0"	8'-0"	1 3/4"	WD	PT	EXISTING TO REMAIN
E104	Interior	3'-0"	8'-0"	1 3/4"	WD	PT	EXISTING TO REMAIN
E107	Interior	2'-0"	6'-8"	1 3/4"	WD	PT	EXISTING TO REMAIN
E108	Interior	2'-10"	7'-0"	1 3/4"	WD	PT	EXISTING TO REMAIN
D210	Interior	2'-6"	6'-8"	1 3/4"	WD	PT	DEMOLISH
D211	Interior	2'-6"	6'-8"	1 3/4"	WD	PT	DEMOLISH
D212	Interior	2'-0"	6'-8"	1 3/4"	WD	PT	DEMOLISH
E202	Interior	2'-6"	6'-8"	1 3/4"	WD	PT	EXISTING TO REMAIN
E205	Interior	2'-6"	6'-8"	1 3/4"	WD	PT	EXISTING TO REMAIN
E207	Interior	2'-0"	6'-8"	1 3/4"	WD	PT	EXISTING TO REMAIN
E208	Interior	2'-0"	6'-8"	1 3/4"	WD	PT	EXISTING TO REMAIN
E209	Interior	2'-6"	6'-8"	1 3/4"	WD	PT	EXISTING TO REMAIN
Grand total: 23							

EXISTING NOTES

- 01 EXISTING WINDOW TO REMAIN
- 02 EXISTING DOOR TO REMAIN
- 03 EXISTING STAIR TO REMAIN
- 04 EXISTING ATTIC HATCH TO REMAIN
- 05 EXISTING METAL GATE TO REMAIN
- 06 EXISTING ELECTRICAL PANEL

CURRENT FLOOR PLANS

EX.02

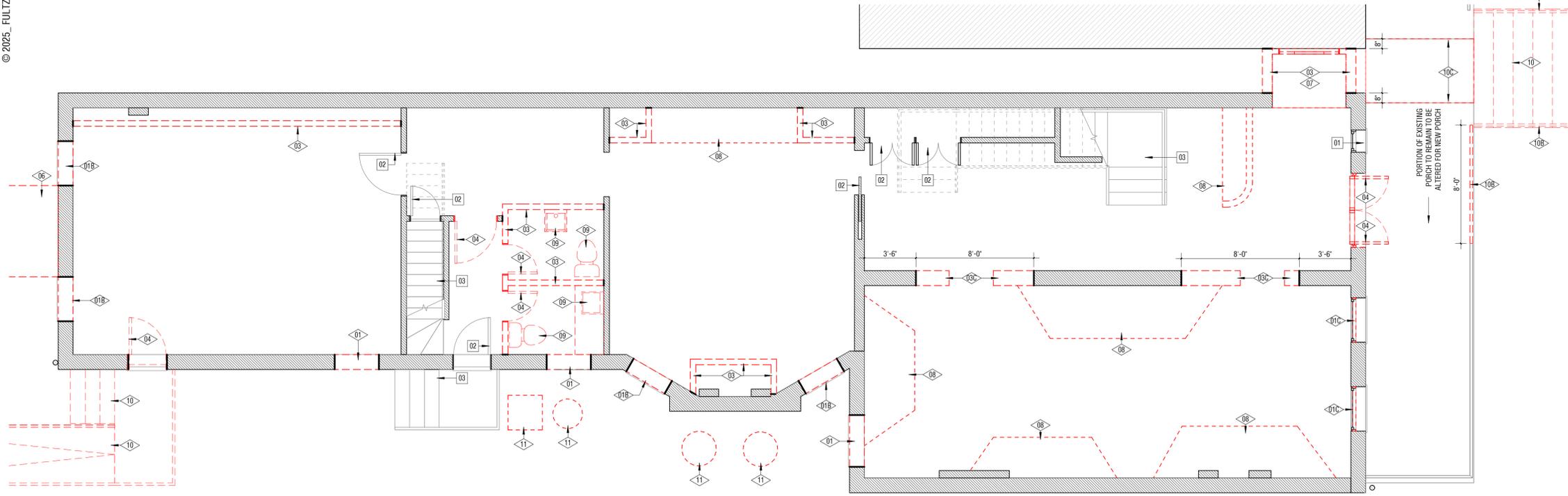
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ISSUE DATE / 10/31/2025

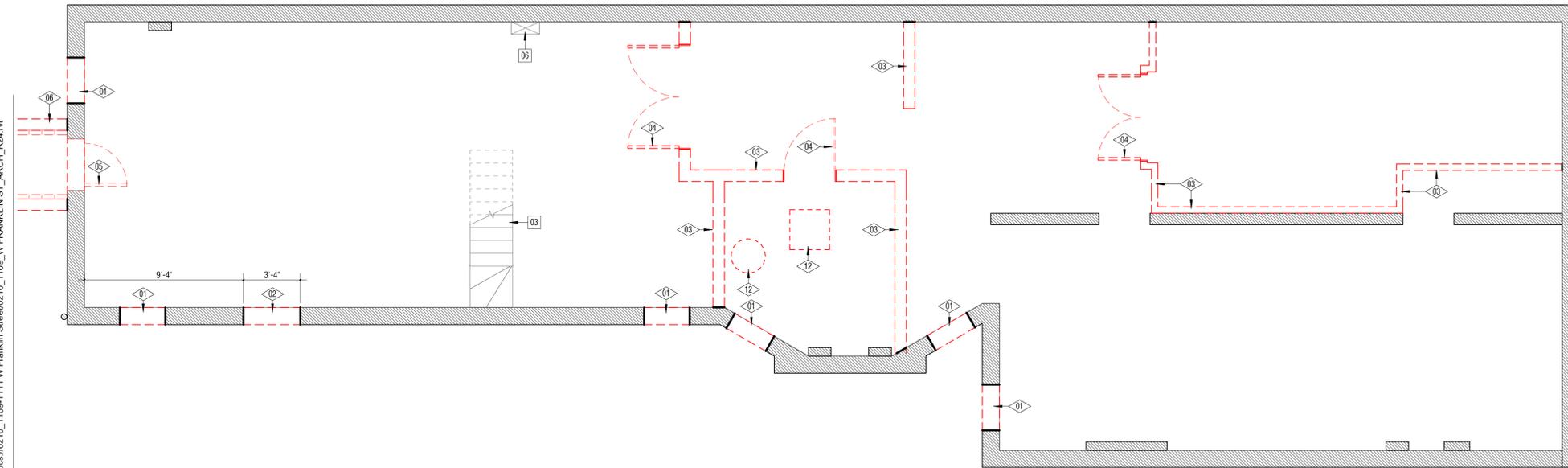
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DRAWN / CHECKED /

REVISION / DATE



02 DEMOLITION PLAN - LEVEL 01
SCALE: 1/4" = 1'-0"



01 DEMOLITION PLAN - LEVEL 00
SCALE: 1/4" = 1'-0"

DEMOLITION PLAN LEGEND

- EXISTING TO BE DEMOLISHED
- EXISTING TO REMAIN
- ADJACENT PROPERTY NOT IN SCOPE

EXISTING NOTES

- 01 EXISTING WINDOW TO REMAIN
- 02 EXISTING DOOR TO REMAIN
- 03 EXISTING STAIR TO REMAIN
- 04 EXISTING ATTIC HATCH TO REMAIN
- 05 EXISTING METAL GATE TO REMAIN
- 06 EXISTING ELECTRICAL PANEL

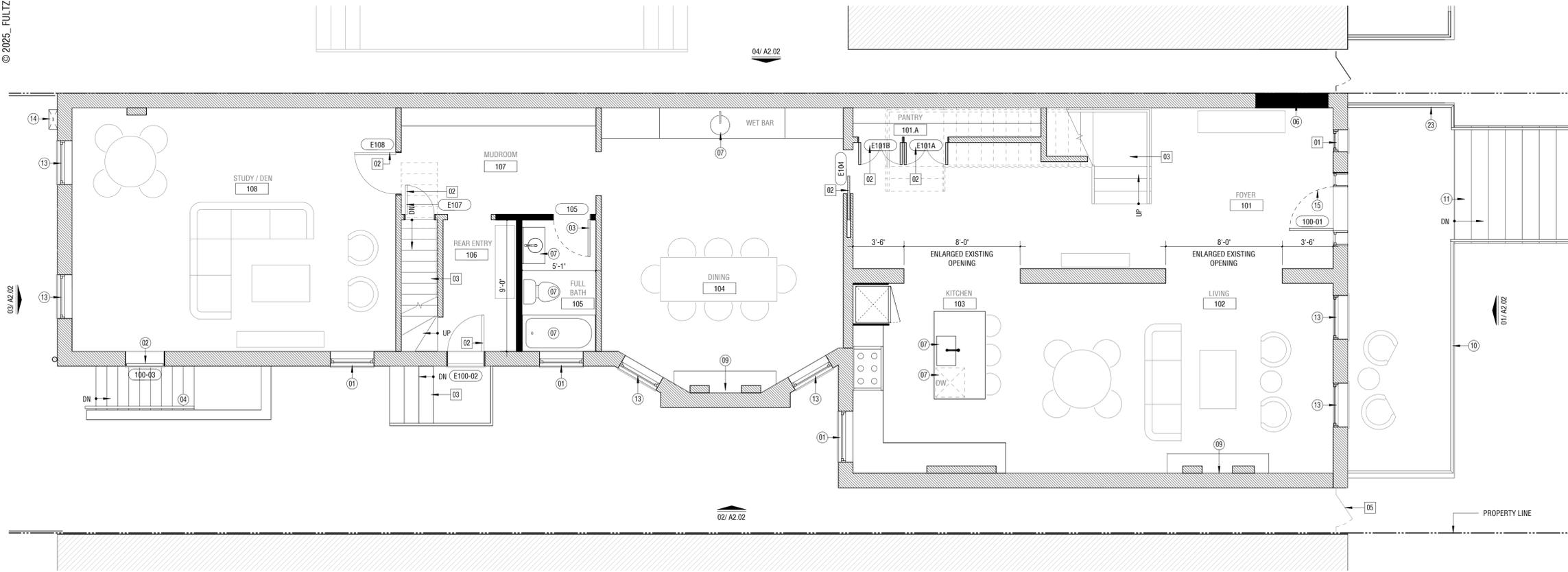
DEMOLITION NOTES

- 01 REOPEN BRICKED IN OPENING FOR NEW WINDOW
- 01B REOPEN COVERED OPENING FOR NEW WINDOW
- 01C REOPEN COVERED OPENING. EVALUATE EXISTING WINDOWS FOR REPAIR
- 02 NEW DOOR OPENING IN MASONRY WALL
- 03 REMOVE INDICATED PORTION OF WALL
- 03B REMOVE INDICATED PORTION OF WALL FOR NEW DOOR OPENING
- 03C REMOVE INDICATED PORTION OF WALL FOR NEW CASED OPENING
- 04 REMOVE DOOR
- 05 REMOVE DOOR. PATCH AND REPAIR TO MATCH ADJACENT WALL AND PREPARE FOR NEW CLERESTORY WINDOW
- 06 REMOVE EXTERIOR STAIR AND ASSOCIATE HARDWARE, HATCH, AND AWNING
- 07 REMOVE WALLS, FLOOR, FOUNDATIONS, CEILING AND ROOF OF THE CONNECTING AREA BETWEEN 1109 AND 1111 W FRANKLIN IN ITS ENTIRETY
- 08 REMOVE CASEWORK
- 09 REMOVE PLUMBING FIXTURE
- 10 REMOVE EXTERIOR STAIR, RAMP, PORCH AND RAILING
- 10B REMOVE PORTION OF EXISTING RAILING
- 10C REMOVE PORTION OF EXTERIOR PORCH
- 11 REMOVE HVAC AND ASSOCIATED ELECTRIC, REFRIGERANT LINES, AND DUCTWORK. MECHANICAL SYSTEMS TO BE REWORKED IN ENTIRETY
- 12 REMOVE PLUMBING EQUIPMENT

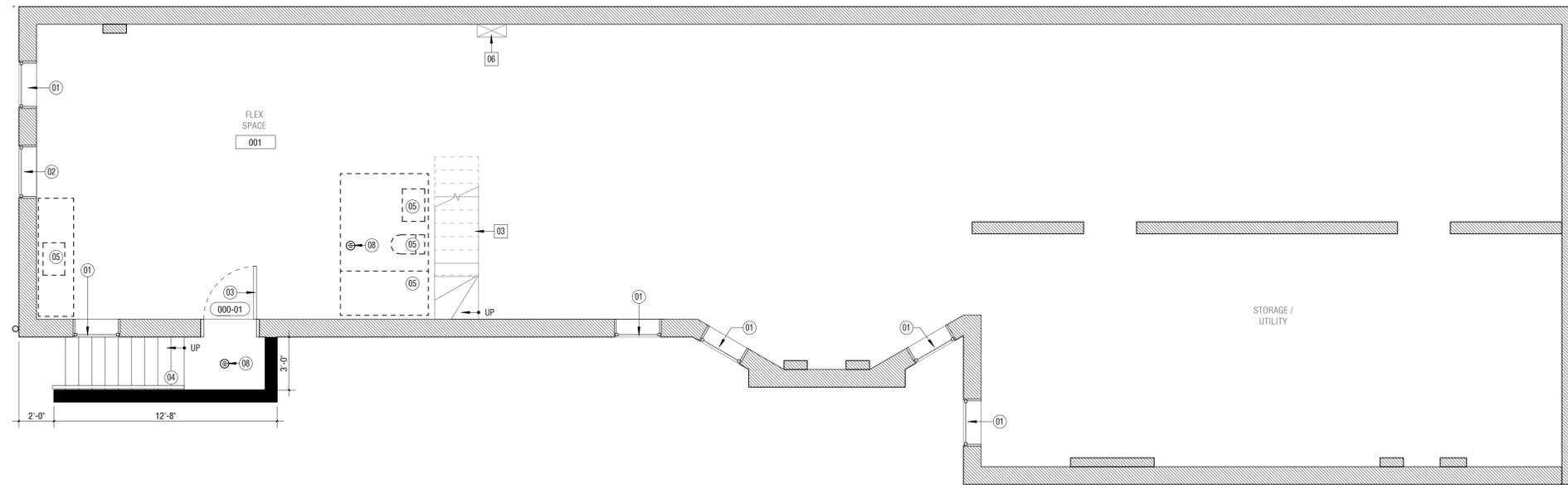
PRELIMINARY
NOT FOR CONSTRUCTION

JOB NUMBER / SHEET	ISSUE DATE /	SCALE /	DRAWN /	# REVISION		DATE
				JN	AS	
0210	10/31/2025	1/4" = 1'-0"	CHECKED /			

DEMOLITION PLANS



02 FLOOR PLAN - LEVEL 01
 SCALE: 1/4" = 1'-0"



01 FLOOR PLAN - LEVEL 00
 SCALE: 1/4" = 1'-0"

FLOOR PLAN LEGEND

- NEW CONSTRUCTION
- EXISTING TO REMAIN
- ADJACENT PROPERTY NOT IN SCOPE

GROSS LIVING AREA	
LEVEL 01	1,977 SF
LEVEL 02	2,012 SF
TOTAL	3,989 SF

ADU	
LEVEL 01 ENTRY	16 SF
LEVEL 02	616 SF
TOTAL	632 SF

GROSS SQUARE FOOTAGE	
LEVEL 00	1,977 SF
LEVEL 01	1,977 SF
LEVEL 02	2,012 SF
TOTAL	5,966 SF

GARAGE / ADU	
LEVEL 01	616 SF
LEVEL 02	616 SF
TOTAL	1,232 SF

GRAND TOTAL	
	7,198 SF

DOOR SCHEDULE

DOOR NO.	INT / EXT	SIZE	DIMENSIONS			MATERIAL	FINISH	REMARKS
			WIDTH	HEIGHT	THICKNESS			
000-01	Exterior	3'-0"	6'-8"	2"	WD	WD		
100-01	Exterior	3'-0"	7'-0"	2"	WD	PT		
100-03	Exterior	2'-6"	6'-8"	2"	WD/GLASS	PT	GLASS DOOR PINNED IN PLACE. HISTORIC OPENING	
E100-02	Exterior	2'-6"	6'-8"	2"	WD	PT	EXISTING TO REMAIN	
105	Interior	2'-6"	6'-8"	1 3/4"	WD	PT		
E101A	Interior	3'-0"	8'-0"	1 3/4"	WD	PT	EXISTING TO REMAIN	
E101B	Interior	3'-0"	8'-0"	1 3/4"	WD	PT	EXISTING TO REMAIN	
E104	Interior	3'-0"	8'-0"	1 3/4"	WD	PT	EXISTING TO REMAIN	
E107	Interior	2'-0"	6'-8"	1 3/4"	WD	PT	EXISTING TO REMAIN	
E108	Interior	2'-10"	7'-0"	1 3/4"	WD	PT	EXISTING TO REMAIN	
202A	Interior	3'-0"	6'-8"	1 3/4"	WD	PT		
203A	Interior	3'-0"	6'-8"	1 3/4"	WD	PT		
204	Interior	2'-6"	6'-8"	1 3/4"	WD	PT		
205A	Interior	4'-0"	6'-8"	1 3/4"	WD	PT		
206	Interior	2'-6"	6'-8"	1 3/4"	WD	PT		
206A	Interior	4'-0"	6'-8"	1 3/4"	WD	PT		
210	Interior	2'-6"	6'-8"	1 3/4"	WD	PT		
E202	Interior	2'-6"	6'-8"	1 3/4"	WD	PT	EXISTING TO REMAIN	
E205	Interior	2'-6"	6'-8"	1 3/4"	WD	PT	EXISTING TO REMAIN	
E207	Interior	2'-0"	6'-8"	1 3/4"	WD	PT	EXISTING TO REMAIN	
E208	Interior	2'-0"	6'-8"	1 3/4"	WD	PT	EXISTING TO REMAIN	
E209	Interior	2'-6"	6'-8"	1 3/4"	WD	PT	EXISTING TO REMAIN	
Grand total: 22								

EXISTING NOTES

- 01 EXISTING WINDOW TO REMAIN
- 02 EXISTING DOOR TO REMAIN
- 03 EXISTING STAIR TO REMAIN
- 04 EXISTING ATTIC HATCH TO REMAIN
- 05 EXISTING METAL GATE TO REMAIN
- 06 EXISTING ELECTRICAL PANEL

NEW CONSTRUCTION NOTES

- 01 NEW WINDOW IN BRICKED IN OPENING
- 02 NEW WINDOW IN EXISTING DOOR OPENING
- 03 NEW DOOR OPENING
- 04 NEW EXTERIOR CONCRETE STAIR AND HANDRAIL
- 05 ROUGH IN FOR FUTURE PLUMBING FIXTURE
- 06 INFILL EXISTING OPENING WITH BRICK AND MATCH ADJACENT WALL FINISH
- 07 NEW PLUMBING FIXTURE
- 08 NEW FLOOR DRAIN
- 09 EXISTING FIREPLACE TO BE UNCOVERED/EVALUATED FOR REPAIR
- 10 EXISTING FRONT PORCH TO BE ALTERED WITH NEW STAIR AND HANDRAIL TO MATCH EXISTING
- 11 NEW FRONT PORCH STAIR AND HANDRAILS
- 12 INFILL EXISTING OPENING TO MATCH ADJACENT WALL ASSEMBLY
- 13 UNCOVER EXISTING WINDOW. REPAIR/REPLACE AS NEEDED
- 14 NEW ELECTRIC METER
- 15 NEW SOLID PAINTED FRONT DOOR AND SIDELIGHTS

1109 W FRANKLIN ST

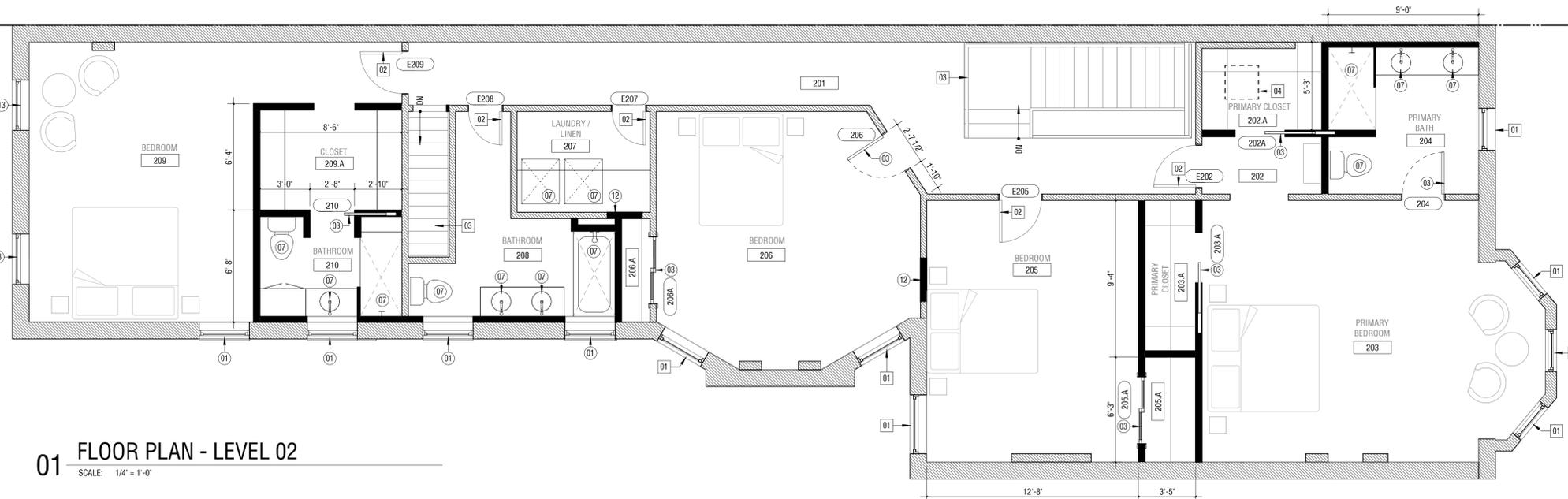
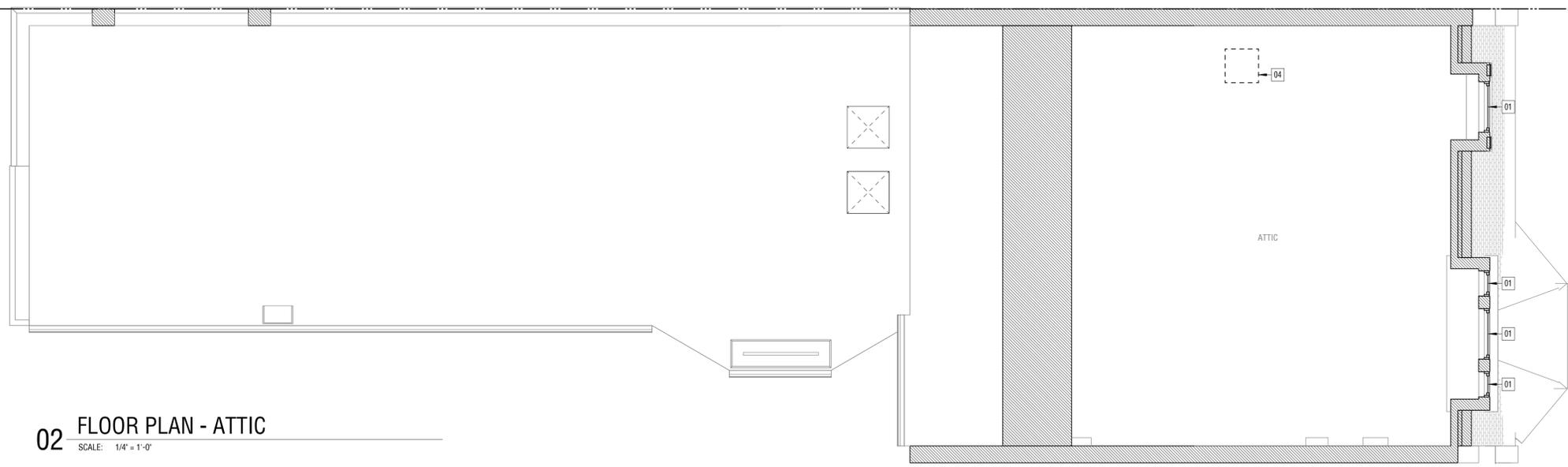
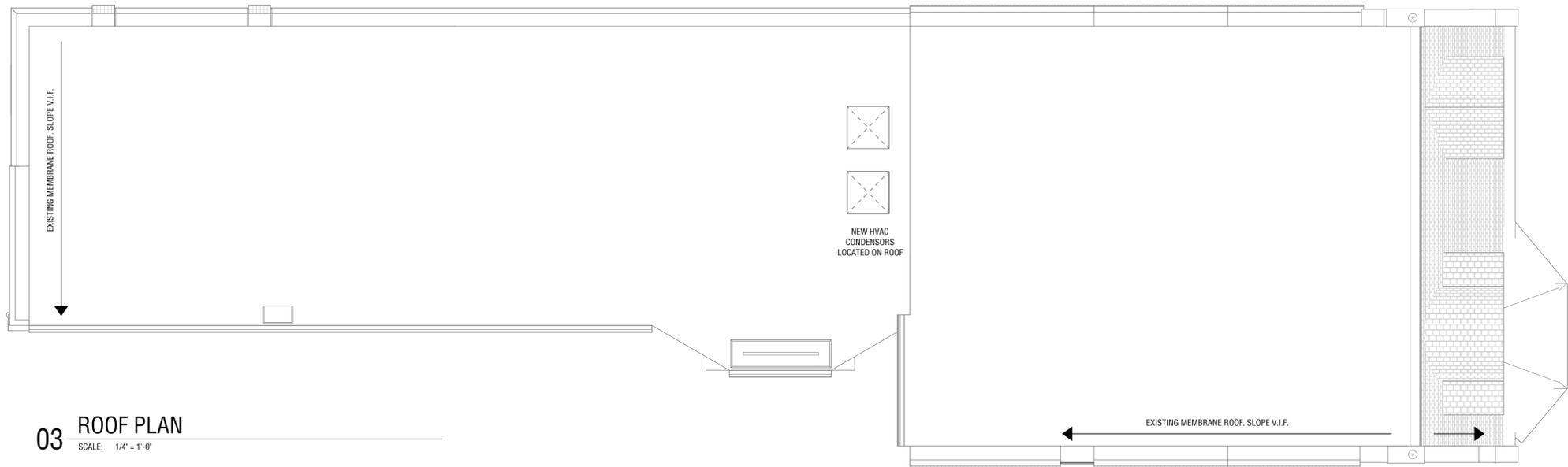
1109 W FRANKLIN ST
 RICHMOND, VA 23220

PRELIMINARY
 NOT FOR CONSTRUCTION

JOB NUMBER / SHEET /	ISSUE DATE /	SCALE /	DRAWN /	# REVISION		DATE
				IN	AS	
0210	10/31/2025	1/4" = 1'-0"				

PROPOSED FLOOR PLANS

A1.01



FLOOR PLAN LEGEND

- NEW CONSTRUCTION
- EXISTING TO REMAIN
- ADJACENT PROPERTY NOT IN SCOPE

GROSS LIVING AREA

LEVEL 01	1,977 SF
LEVEL 02	2,012 SF
TOTAL	3,989 SF

ADU

LEVEL 01 ENTRY	16 SF
LEVEL 02	616 SF
TOTAL	632 SF

GROSS SQUARE FOOTAGE

LEVEL 00	1,977 SF
LEVEL 01	1,977 SF
LEVEL 02	2,012 SF
TOTAL	5,966 SF

GARAGE / ADU

LEVEL 01	616 SF
LEVEL 02	616 SF
TOTAL	1,232 SF

GRAND TOTAL 7,198 SF

DOOR SCHEDULE

DOOR NO.	INT / EXT	DIMENSIONS			MATERIAL	FINISH	REMARKS
		WIDTH	HEIGHT	THICKNESS			
000-01	Exterior	3'-0"	6'-8"	2"	WD	WD	
100-01	Exterior	3'-0"	7'-0"	2"	WD	PT	
100-03	Exterior	2'-6"	6'-8"	2"	WD/GLASS	PT	GLASS DOOR PINNED IN PLACE. HISTORIC OPENING
E100-02	Exterior	2'-6"	6'-8"	2"	WD	PT	EXISTING TO REMAIN
105	Interior	2'-6"	6'-8"	1 3/4"	WD	PT	
E101A	Interior	3'-0"	8'-0"	1 3/4"	WD	PT	EXISTING TO REMAIN
E101B	Interior	3'-0"	8'-0"	1 3/4"	WD	PT	EXISTING TO REMAIN
E104	Interior	3'-0"	8'-0"	1 3/4"	WD	PT	EXISTING TO REMAIN
E107	Interior	2'-0"	6'-8"	1 3/4"	WD	PT	EXISTING TO REMAIN
E108	Interior	2'-10"	7'-0"	1 3/4"	WD	PT	EXISTING TO REMAIN
202A	Interior	3'-0"	6'-8"	1 3/4"	WD	PT	
203A	Interior	3'-0"	6'-8"	1 3/4"	WD	PT	
204	Interior	2'-6"	6'-8"	1 3/4"	WD	PT	
205A	Interior	4'-0"	6'-8"	1 3/4"	WD	PT	
206	Interior	2'-6"	6'-8"	1 3/4"	WD	PT	
206A	Interior	4'-0"	6'-8"	1 3/4"	WD	PT	
210	Interior	2'-6"	6'-8"	1 3/4"	WD	PT	
E202	Interior	2'-6"	6'-8"	1 3/4"	WD	PT	EXISTING TO REMAIN
E205	Interior	2'-6"	6'-8"	1 3/4"	WD	PT	EXISTING TO REMAIN
E207	Interior	2'-0"	6'-8"	1 3/4"	WD	PT	EXISTING TO REMAIN
E208	Interior	2'-0"	6'-8"	1 3/4"	WD	PT	EXISTING TO REMAIN
E209	Interior	2'-6"	6'-8"	1 3/4"	WD	PT	EXISTING TO REMAIN
Grand total: 22							

EXISTING NOTES

- 01 EXISTING WINDOW TO REMAIN
- 02 EXISTING DOOR TO REMAIN
- 03 EXISTING STAIR TO REMAIN
- 04 EXISTING ATTIC HATCH TO REMAIN
- 05 EXISTING METAL GATE TO REMAIN
- 06 EXISTING ELECTRICAL PANEL

NEW CONSTRUCTION NOTES

- 01 NEW WINDOW IN BRICKED IN OPENING
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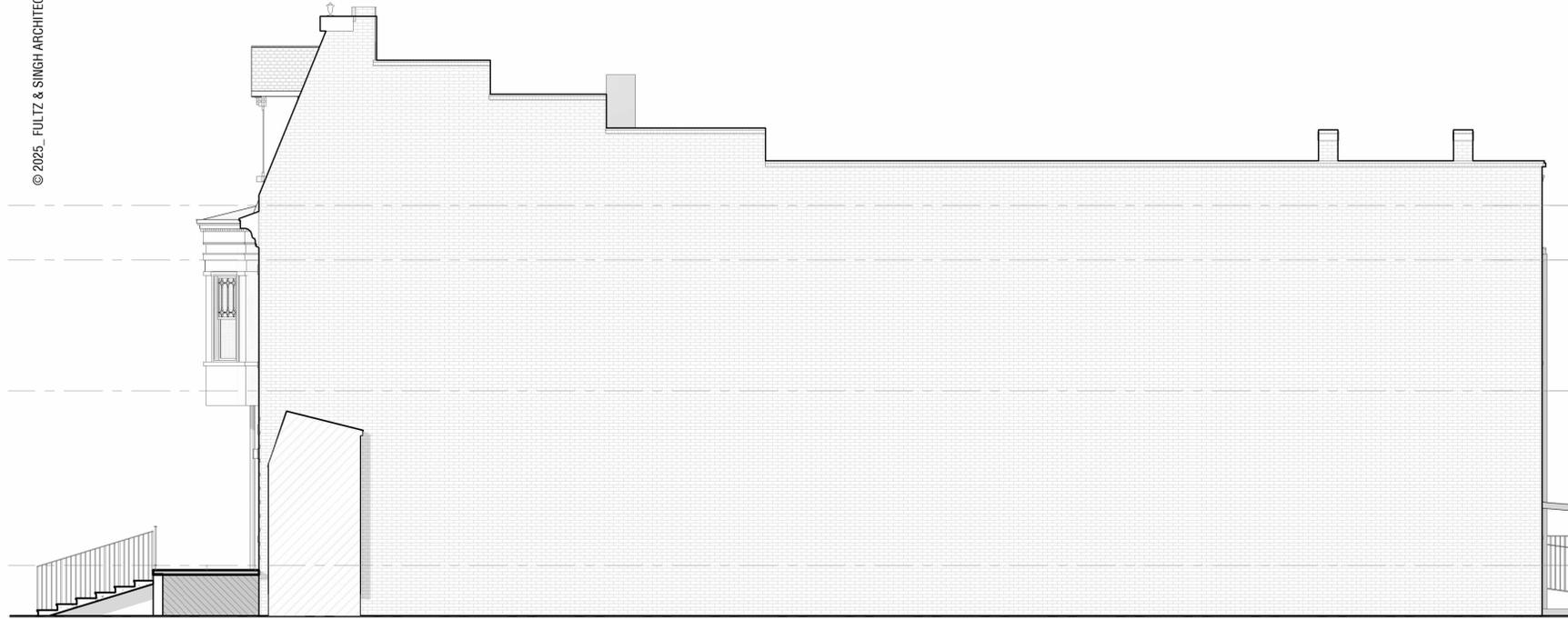
1109 W FRANKLIN ST

1109 W FRANKLIN ST
 RICHMOND, VA 23220

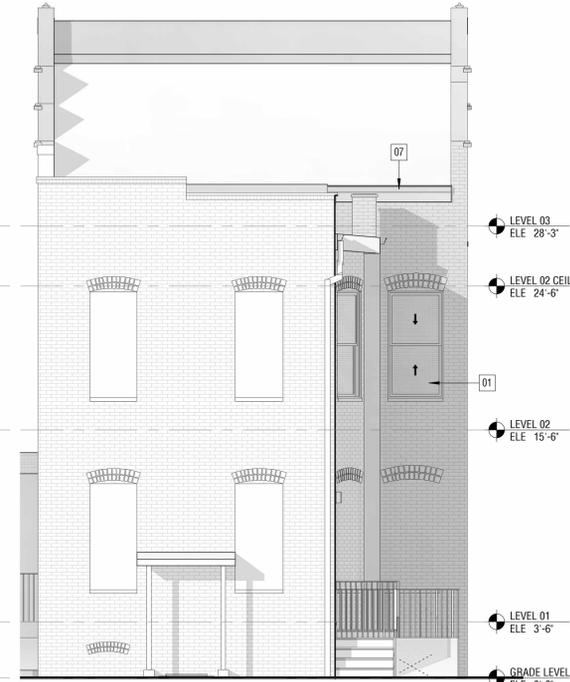
PRELIMINARY
 NOT FOR CONSTRUCTION

JOB NUMBER / SHEET /	ISSUE DATE /	SCALE /	DRAWN /	REVISION		DATE
				IN	AS	
0210 / A1.02	10/31/2025	1/4" = 1'-0"				

PROPOSED FLOOR PLANS



04 BUILDING ELEVATION - NORTH
SCALE: 3/16" = 1'-0"

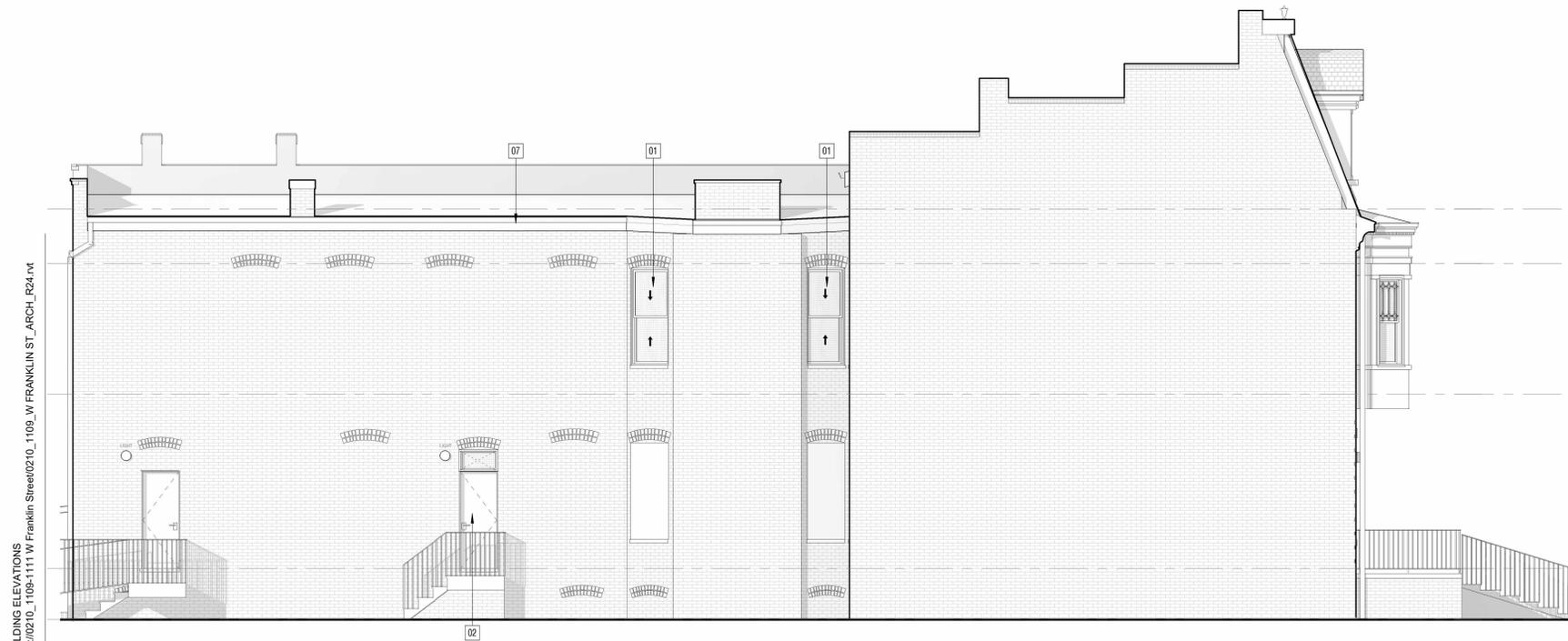


03 BUILDING ELEVATION - WEST
SCALE: 3/16" = 1'-0"

ELEVATION LEGEND

-  EXISTING PAINTED BRICK
-  GLASS
-  EXISTING SLATE ROOF

- LEVEL 03
ELE 28'-3"
- LEVEL 02 CEILING
ELE 24'-6"
- LEVEL 02
ELE 15'-6"
- LEVEL 01
ELE 3'-6"
- GRADE LEVEL
ELE 0'-0"



02 BUILDING ELEVATION - SOUTH Copy 1
SCALE: 3/16" = 1'-0"



01 BUILDING ELEVATION - EAST
SCALE: 3/16" = 1'-0"

EXISTING NOTES

- 01 EXISTING WINDOW TO REMAIN
- 02 EXISTING DOOR TO REMAIN
- 03 EXISTING STAIR TO REMAIN
- 04 EXISTING ATTIC HATCH TO REMAIN
- 05 EXISTING METAL GATE TO REMAIN
- 06 EXISTING ELECTRICAL PANEL

NEW CONSTRUCTION NOTES

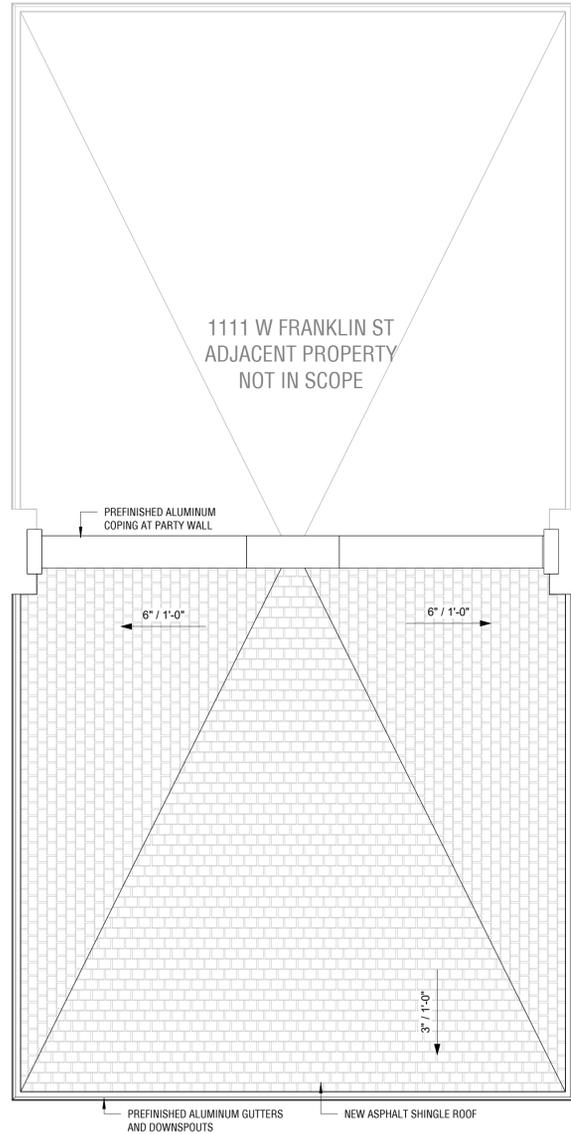
- 01 NEW WINDOW IN BRICKED IN OPENING
- 02 NEW WINDOW IN EXISTING DOOR OPENING
- 03 NEW DOOR OPENING
- 04 NEW EXTERIOR CONCRETE STAIR AND HANDRAIL
- 05 ROUGH IN FOR FUTURE PLUMBING FIXTURE
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- 14 NEW ELECTRIC METER
- 15 NEW SOLID PAINTED FRONT DOOR AND SIDELIGHTS

PRELIMINARY
NOT FOR CONSTRUCTION

JOB NUMBER / SHEET /	ISSUE DATE /	SCALE /	DRAWN /	# REVISION		DATE
				IN	AS	
0210	10/31/2025	3/16" = 1'-0"				

CURRENT BUILDING ELEVATIONS

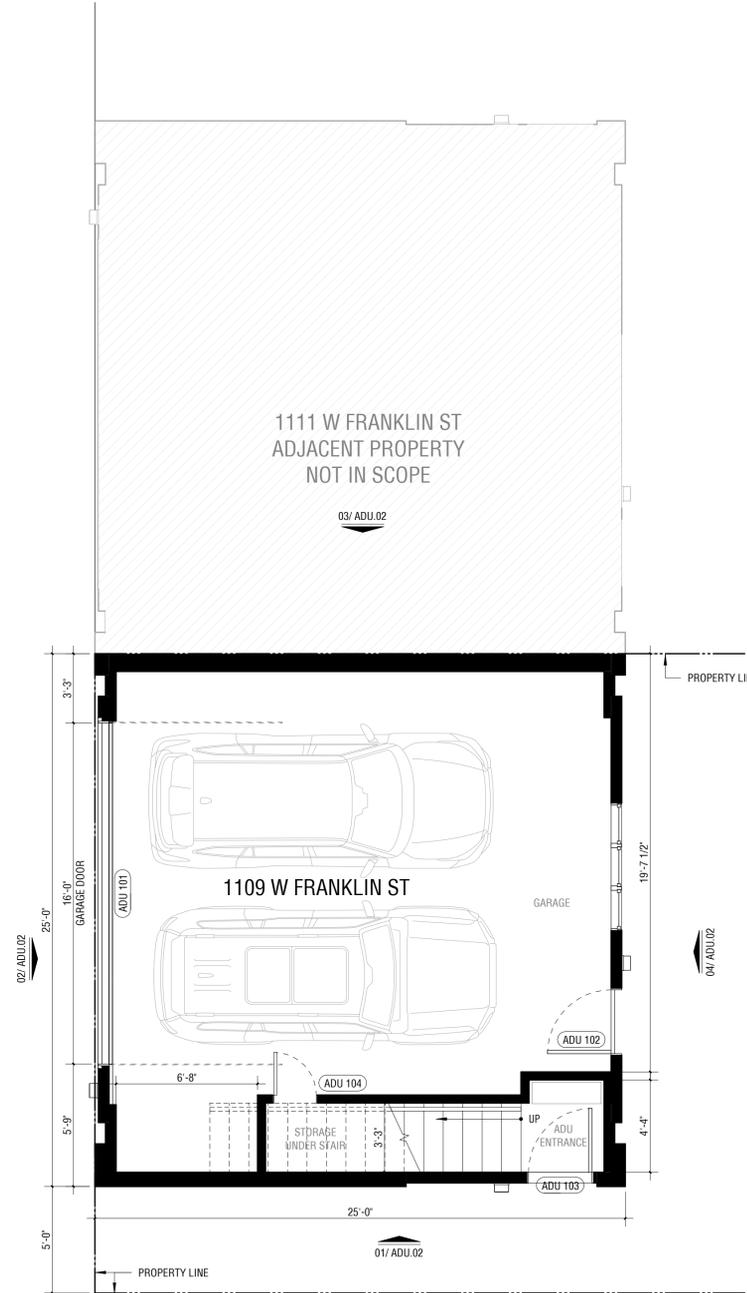
A2.01



03 ADU ROOF PLAN
SCALE: 1/4" = 1'-0"



02 ADU LEVEL 02 FLOOR PLAN
SCALE: 1/4" = 1'-0"



01 ADU LEVEL 01 FLOOR PLAN
SCALE: 1/4" = 1'-0"

FLOOR PLAN LEGEND

- NEW CONSTRUCTION
- EXISTING TO REMAIN
- ADJACENT PROPERTY NOT IN SCOPE

GROSS LIVING AREA

LEVEL 01	1,977 SF
LEVEL 02	2,012 SF
TOTAL	3,989 SF

ADU LEVEL 01 ENTRY	16 SF
LEVEL 02	616 SF
TOTAL	632 SF

GROSS SQUARE FOOTAGE

LEVEL 00	1,977 SF
LEVEL 01	1,977 SF
LEVEL 02	2,012 SF
TOTAL	5,966 SF

GARAGE / ADU LEVEL 01	616 SF
LEVEL 02	616 SF
TOTAL	1,232 SF

GRAND TOTAL	7,198 SF
--------------------	-----------------

DOOR SCHEDULE ADU

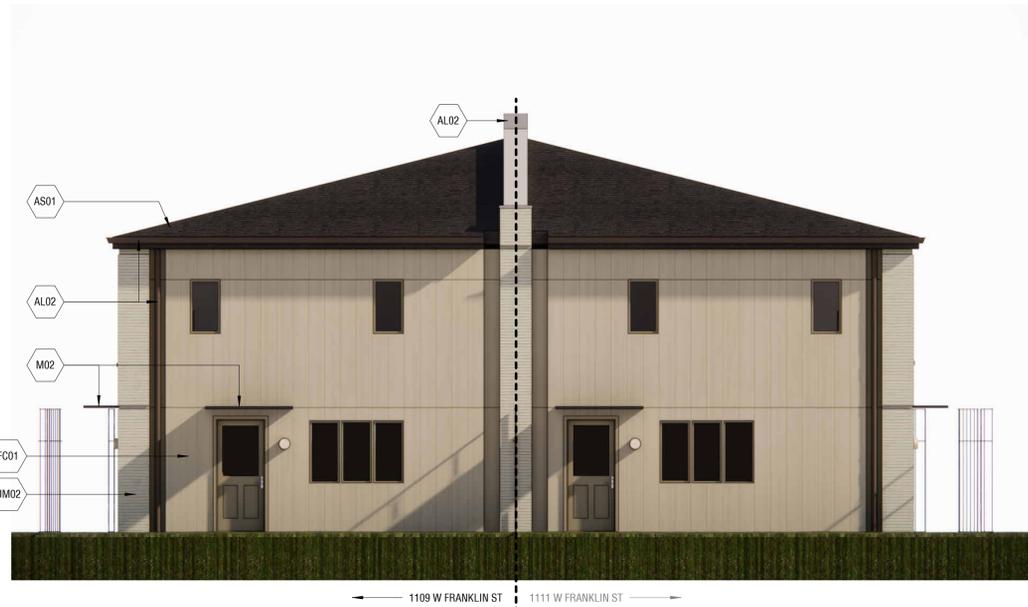
DOOR NO.	INT / EXT	DIMENSIONS				MATERIAL	FINIS	REMARKS
		WIDTH	HEIGHT	THICKNESS				
ADU 101	Exterior	16'-0"	7'-0"	2"	ALU/GLASS	MFR	GARAGE DOOR	
ADU 102	Exterior	3'-0"	7'-0"	2"	WD/GLASS	PT		
ADU 103	Exterior	3'-0"	7'-0"	2"	WD/GLASS	PT		
ADU 104	Interior	2'-0"	6'-8"	1 3/4"	WD	PT		
ADU 201	Interior	2'-0"	6'-8"	1 3/4"	WD	PT		
ADU 202	Interior	2'-6"	6'-8"	1 3/4"	WD	PT		
ADU 203	Interior	2'-4"	6'-8"	1 3/4"	WD	PT		
Grand total: 7								

1109 W FRANKLIN ST

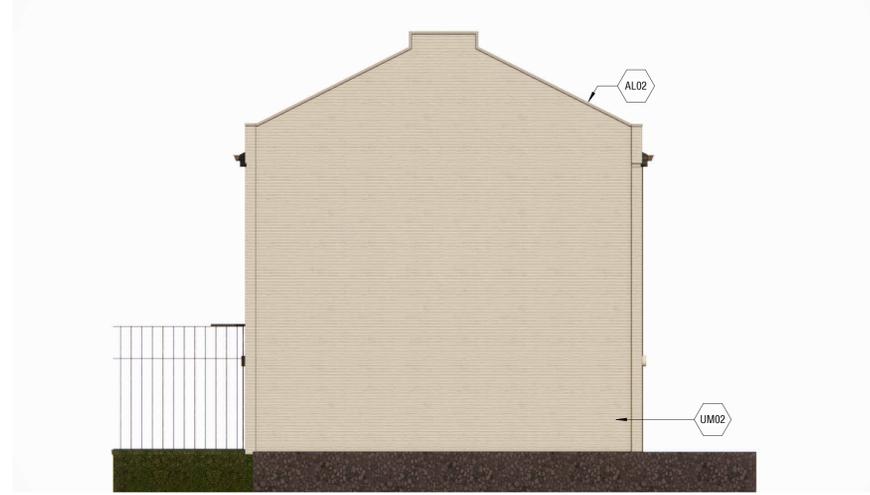
1109 W FRANKLIN ST
RICHMOND, VA 23220

PRELIMINARY
NOT FOR CONSTRUCTION

JOB NUMBER / SHEET	ISSUE DATE /	SCALE /	DRAWN /	REVISION		DATE
				IN	AS	
0210 / ADU.01	10/31/2025	1/4" = 1'-0"				



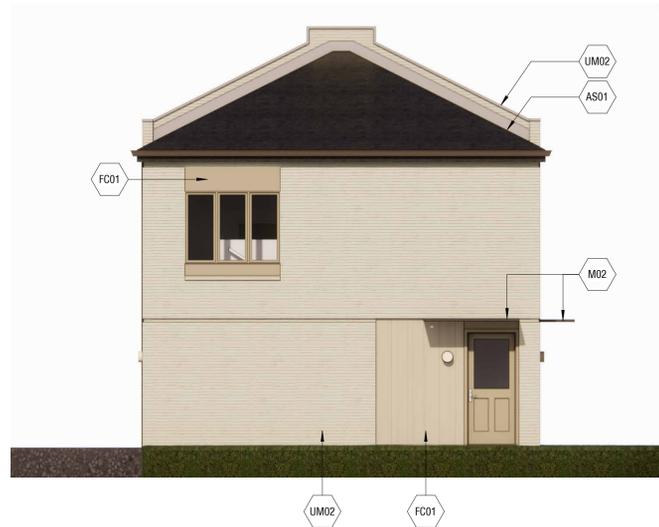
04 RENDERED EAST ELEVATION
SCALE: 3/16" = 1'-0"



03 RENDERED NORTH ELEVATION
SCALE: 3/16" = 1'-0"



02 RENDERED WEST ELEVATION
SCALE: 3/16" = 1'-0"



01 RENDERED SOUTH ELEVATION
SCALE: 3/16" = 1'-0"

ADU ELEVATION LEGEND

-  BRICK
-  GLASS
-  ASPHALT SHINGLE ROOF
-  VERTICAL SIDING
-  ADJACENT PROPERTY NOT IN SCOPE

EXTERIOR MATERIALS

-  UM02 NEW BRICK WALL PAINTED OFF-WHITE TO MATCH PRIMARY STRUCTURE
-  FC01 SMOOTH FIBER CEMENT PANEL SIDING PAINTED OFF-WHITE
-  M02 POWDER COATED STEEL AWNING
-  AL01 PREFINISHED ALUMINUM GARAGE DOORS
-  AL02 PREFINISHED ALUMINUM GUTTERS AND COPING

PRELIMINARY
NOT FOR CONSTRUCTION

JOB NUMBER / SHEET /	ISSUE DATE /	SCALE /	DRAWN /	# REVISION		DATE
				JN	AS	
0210	10/31/2025	3/16" = 1'-0"				
ADU RENDERED ELEVATIONS						
ADU.03						

OWNER
 CMNWALTH HOMES LLC
 STEVE SANDERSON
 1415 PARK AVE
 RICHMOND, VA 23220
 steve@cmnwalth.live

ARCHITECT
 FULTZ & SINGH ARCHITECTS
 1212 WESTOVER HILLS BLVD
 RICHMOND, VA 23225
 amr@fultzsingharchitects.com
 jason@fultzsingharchitects.com

DRAWING LIST - ARCHITECTURAL		10/31/2025 CAR SET
SHEET	DRAWING TITLE	
CS.00	COVER SHEET	●
AS.00	SITE SURVEY	●
AS.01	CURRENT SITE PLAN	●
AS.02	PROPOSED SITE PLAN	●
EX.01	CURRENT FLOOR PLANS	●
EX.02	CURRENT FLOOR PLANS	●
AD.01	DEMOLITION PLANS	●
AD.02	DEMOLITION PLANS	●
A1.01	PROPOSED FLOOR PLANS	●
A1.02	PROPOSED FLOOR PLANS	●
AZ.01	CURRENT BUILDING ELEVATIONS	●
AZ.02	PROPOSED BUILDING ELEVATIONS	●
ADU.01	ADU FLOOR PLANS	●
ADU.02	ADU ELEVATIONS	●
ADU.03	ADU RENDERED ELEVATIONS	●

1111 W FRANKLIN ST RENOVATION

CAR APPLICATION SET - 10/31/2025

1111 W FRANKLIN ST, RICHMOND, VA 23220

1111 W FRANKLIN ST

1111 W FRANKLIN ST
 RICHMOND, VA 23220

PRELIMINARY
 NOT FOR CONSTRUCTION

DRAWING SYMBOL LEGEND

	EXTERIOR ELEVATION CALLOUT		DOOR EGRESS TAG ACTUAL DOOR WIDTH INCHES PER OCCUPANT ACTUAL OCCUPANT NUMBER OCCUPANT CAPACITY OF OPENING		LEVEL / ELEVATION REFERENCE		WINDOW / OPENING TAG - REFER TO OPENING SCHEDULE FOR ADDITIONAL INFORMATION	---XX'/YY'---	DRAWING MATCHLINE
	SECTION CALLOUT		PROJECT NORTH		WALLTYPE INDICATION		FIXTURE / EQUIPMENT TAG - REFER TO A6 SERIES SCHEDULES FOR ADDITIONAL INFORMATION - SEE A10 DRAWINGS FOR LIGHTING FIXTURES	(S)	SMOKE DETECTOR - INTEGRATED INTO BUILDING FIRE ALARM SYSTEM WHERE PROVIDED
	INTERIOR ELEVATION CALLOUT *LETTER DESIGNATES DRAWING NUMBER **'XX' DESIGNATES SHEET NUMBER		GEOMETRY WORKPOINT		EGRESS PATH		DOOR TAG		
	ENLARGED PLAN / SECTION CALLOUT		DRAWING NOTE		WALL RATING INDICATION DASH INDICATES RATING IN NUMBER OF HOURS [DENSE DASH INDICATES 30MIN WALL]		ROOM TAG		
	DETAIL CALLOUT		REVISION NOTE		CODE COMPLIANT ILLUMINATED EXIT SIGN INDICATOR DIRECTION [IF APPLICABLE]		MATERIAL TAG - REFER TO A0.00 FOR ADDITIONAL INFORMATION		
	GRIDLINE REFERENCE		DEMOLITION NOTE		LINEAR SHEET MATERIAL GRAIN DIRECTION INDICATION		SURFACE STEP / ELEVATION CHANGE		

VICINITY MAP

NOT TO SCALE

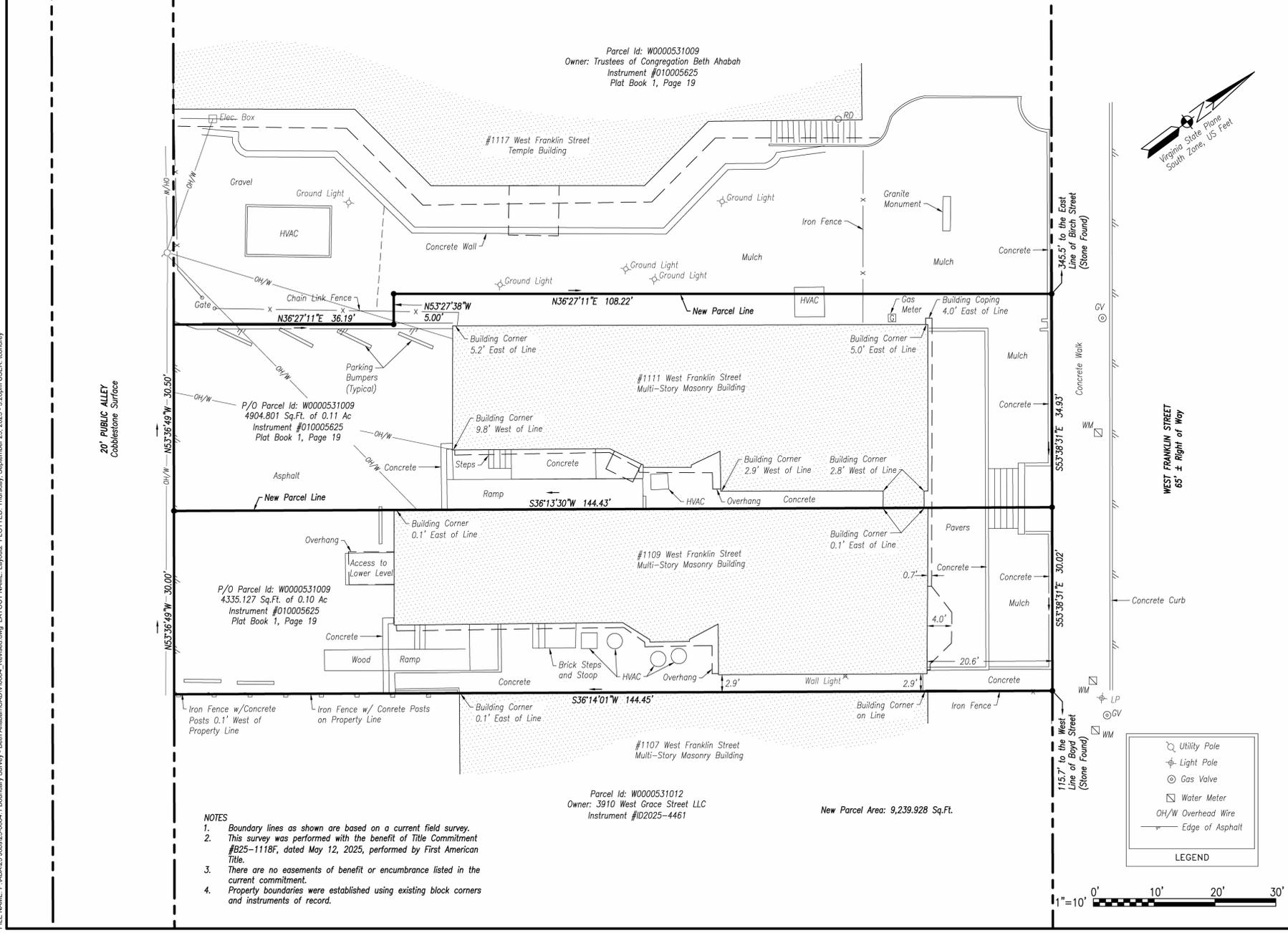
PROJECT LOCATION



#	REVISION		DATE
	JN	AS	
	DRAWN /	CHECKED /	
	SCALE /	12" = 1'-0"	
	ISSUE DATE /	10/31/2025	
JOB NUMBER /	COVER SHEET		
0210	CS.00		

FOR REVIEWER

FILE NAME: P:\ABA\25 jobs\25-0684.1 Boundary Survey - Beth Ahabah\CAD\01\0684_1_0109-1111 W Franklin Street\0210_1111_W FRANKLIN ST_ARCH_R24.rvt
LAYOUT NAME: Layout2 PLOTTED Thursday, September 25, 2025 - 3:28pm USER: boudrey



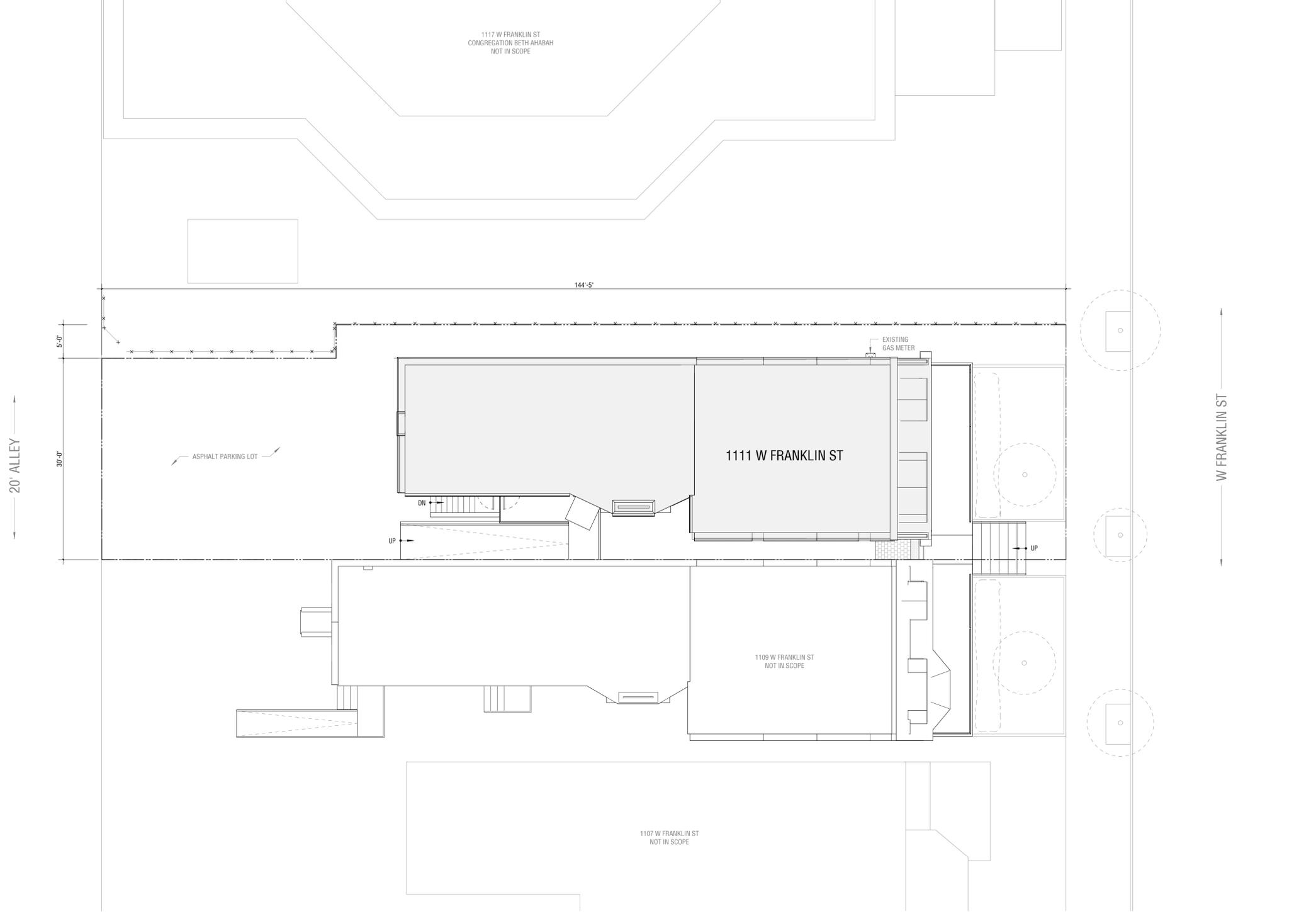
- NOTES
- Boundary lines as shown are based on a current field survey.
 - This survey was performed with the benefit of Title Commitment #B25-1118F, dated May 12, 2025, performed by First American Title.
 - There are no easements of benefit or encumbrance listed in the current commitment.
 - Property boundaries were established using existing block corners and instruments of record.

<p>STRATUS 1011 Boulder Springs Drive, Suite 200 Richmond, VA, 23225 804.592.3900 main 804.592.3901 fax www.stratus.com</p>	CLIENT	CBA
	DESIGN	TAC
	APPROVED	TAC
	O.C. REVIEW	TAC
JOB NO. 25-0684 DATE 9/25/25 SCALE 1"= 10'		DRAWN TAC DESIGN TAC APPROVED TAC O.C. REVIEW TAC PMW
BOUNDARY SURVEY PLAT SHOWING TWO PARCELS OF LAND BEING A PORTION OF PARCEL #W000531009 OWNED BY THE TRUSTEES OF THE CONGREGATION OF BETH AHABAH CITY OF RICHMOND VIRGINIA		
SHEET NO 1 of 1		

JOB NUMBER / 0210	ISSUE DATE / 10/31/2025	SCALE /	DATE
SHEET / AS.00	SITE SURVEY		
PRELIMINARY NOT FOR CONSTRUCTION			

1111 W FRANKLIN ST

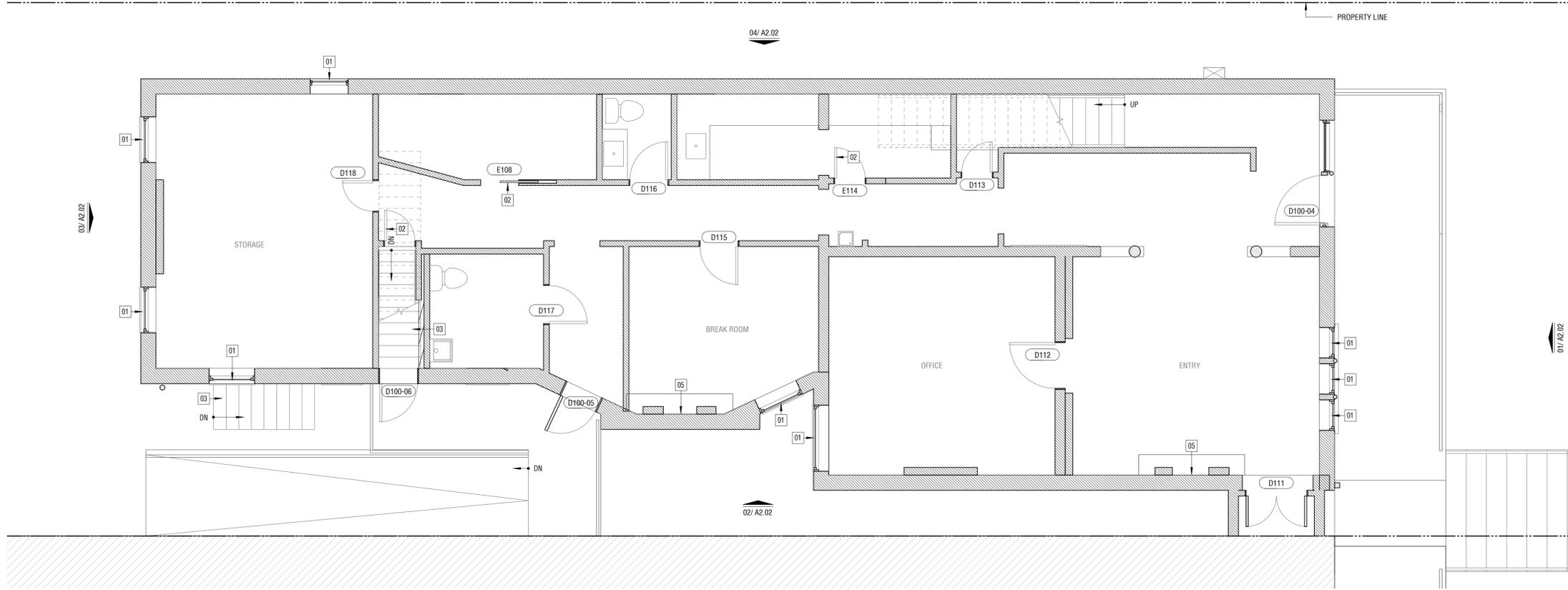
1111 W FRANKLIN ST
RICHMOND, VA 23220



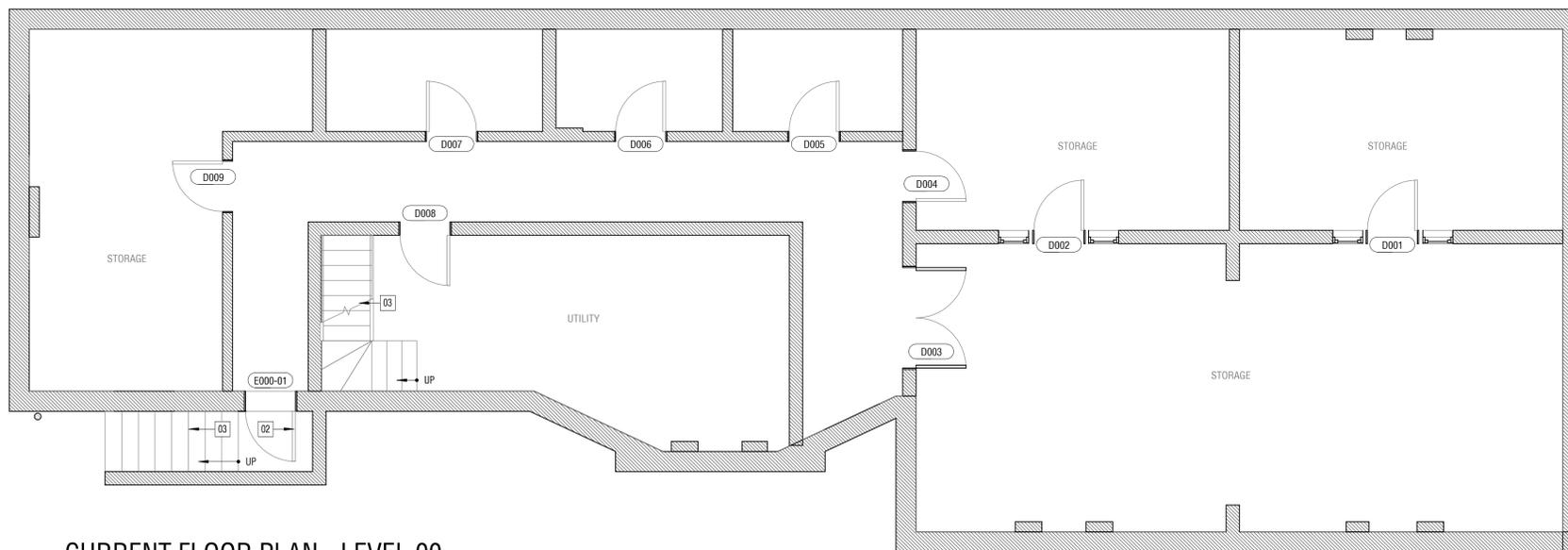
JOB NUMBER / 0210	ISSUE DATE / 10/31/2025	SCALE / 1/8" = 1'-0"	DRAWN / JIN	CHECKED / AS	# REVISION	DATE
SHEET / AS.01	CURRENT SITE PLAN					

PRELIMINARY
NOT FOR CONSTRUCTION

1111 W FRANKLIN ST
RICHMOND, VA 23220



02 CURRENT FLOOR PLAN - LEVEL 01
 SCALE: 1/4" = 1'-0"



01 CURRENT FLOOR PLAN - LEVEL 00
 SCALE: 1/4" = 1'-0"

FLOOR PLAN LEGEND

- NEW CONSTRUCTION
- EXISTING TO REMAIN
- ADJACENT PROPERTY NOT IN SCOPE

EXISTING DOOR SCHEDULE

DOOR NO.	INT / EXT	DOOR SIZE		THICKNESS	MATERIAL	FINISH	REMARKS
		WIDTH	HEIGHT				
E000-01	Exterior	2'-6"	6'-8"	2"	WD	PT	EXISTING TO REMAIN
D100-04	Exterior	3'-3 1/4"	8'-0"	2"	ALU/GLS	MFR	DEMOLISH
D100-05	Exterior	2'-6"	6'-8"	2"	WD	PT	DEMOLISH
D100-06	Exterior	2'-6"	6'-8"	2"	WD	PT	DEMOLISH
D001	Interior	2'-6"	6'-8"	1 3/4"	WD	PT	DEMOLISH
D002	Interior	2'-6"	6'-8"	1 3/4"	WD	PT	DEMOLISH
D003	Interior	5'-0"	6'-8"	1 3/4"	WD	PT	DEMOLISH
D004	Interior	2'-6"	6'-8"	1 3/4"	WD	PT	DEMOLISH
D005	Interior	2'-6"	6'-8"	1 3/4"	WD	PT	DEMOLISH
D006	Interior	2'-6"	6'-8"	1 3/4"	WD	PT	DEMOLISH
D007	Interior	2'-6"	6'-8"	1 3/4"	WD	PT	DEMOLISH
D008	Interior	2'-6"	6'-8"	1 3/4"	WD	PT	DEMOLISH
D009	Interior	2'-6"	6'-8"	1 3/4"	WD	PT	DEMOLISH
D111	Interior	4'-0"	7'-0"	1 3/4"	WD	PT	DEMOLISH
D112	Interior	3'-0"	6'-8"	1 3/4"	WD	PT	DEMOLISH
D113	Interior	2'-0"	6'-8"	1 3/4"	WD	PT	DEMOLISH
D115	Interior	2'-6"	6'-8"	1 3/4"	WD	PT	DEMOLISH
D116	Interior	2'-6"	6'-8"	1 3/4"	WD	PT	DEMOLISH
D117	Interior	2'-6"	6'-8"	1 3/4"	WD	PT	DEMOLISH
D118	Interior	2'-0"	6'-8"	1 3/4"	WD	PT	DEMOLISH
E108	Interior	2'-6"	6'-8"	1 3/8"	WD	PT	EXISTING TO REMAIN
E109	Interior	2'-0"	6'-8"	1 3/4"	WD	PT	EXISTING TO REMAIN
E114	Interior	2'-0"	6'-8"	1 3/4"	WD	PT	EXISTING TO REMAIN
D211	Interior	2'-6"	6'-8"	1 3/4"	WD	PT	DEMOLISH
D212	Interior	2'-6"	6'-8"	1 3/4"	WD	PT	DEMOLISH
D213	Interior	2'-6"	6'-8"	1 3/4"	WD	PT	DEMOLISH
E201	Interior	2'-0"	6'-8"	1 3/4"	WD	PT	FIN HISTORIC DOOR SHUT
E202	Interior	2'-6"	6'-8"	1 3/4"	WD	PT	EXISTING TO REMAIN
E203.A	Interior	2'-6"	6'-8"	1 3/4"	WD	PT	EXISTING TO REMAIN
E204	Interior	2'-0"	6'-8"	1 3/4"	WD	PT	EXISTING TO REMAIN
E205	Interior	2'-6"	6'-8"	1 3/4"	WD	PT	EXISTING TO REMAIN
E208	Interior	2'-0"	6'-8"	1 3/4"	WD	PT	EXISTING TO REMAIN
E209	Interior	2'-6"	6'-8"	1 3/4"	WD	PT	EXISTING TO REMAIN
E210	Interior	2'-6"	6'-8"	1 3/4"	WD	PT	EXISTING TO REMAIN
Grand total: 34							

EXISTING NOTES

- 01 EXISTING WINDOW TO REMAIN
- 02 EXISTING DOOR TO REMAIN
- 03 EXISTING STAIR TO REMAIN
- 04 EXISTING MIRROR AND TRIM TO REMAIN
- 05 EXISTING FIREPLACE TO REMAIN
- 06 EXISTING CUBBY DOOR AND TRIM TO REMAIN
- 07 EXISTING PORTION OF HANDRAIL TO REMAIN
- 08 EXISTING GUTTER AND DOWNSPOUTS TO REMAIN. REPAIR / REPLACE AS NEEDED

1111 W FRANKLIN ST

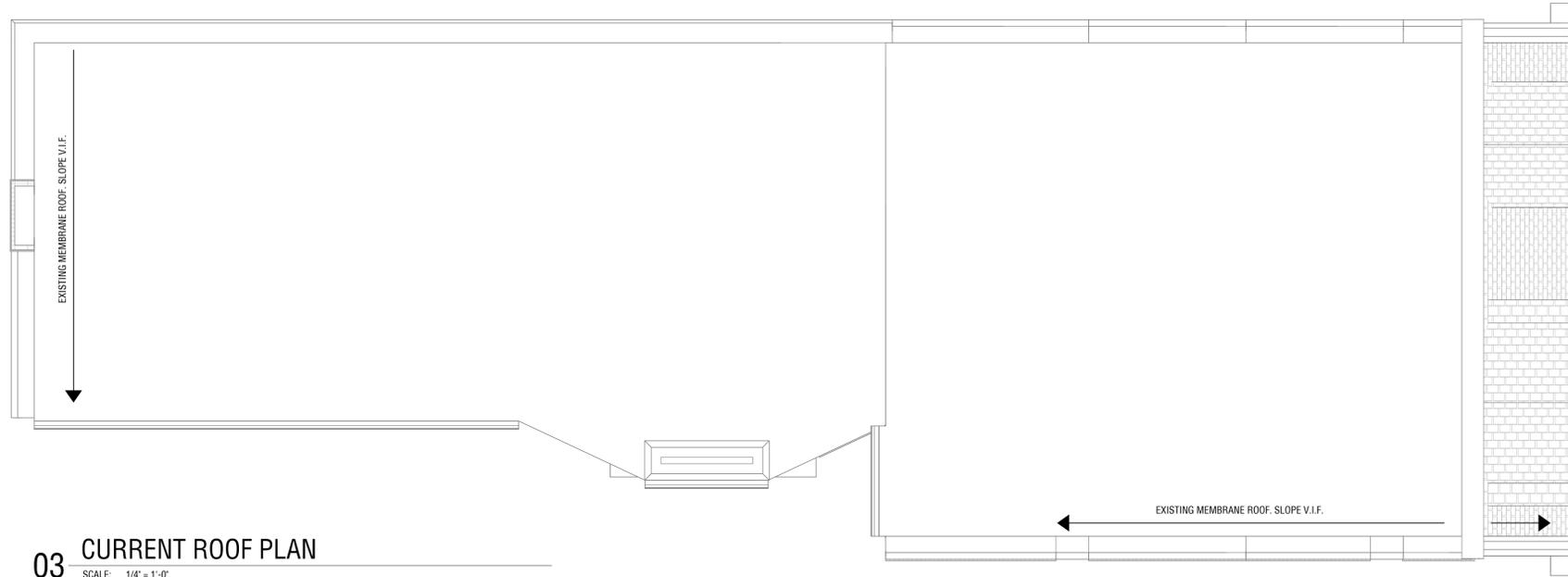
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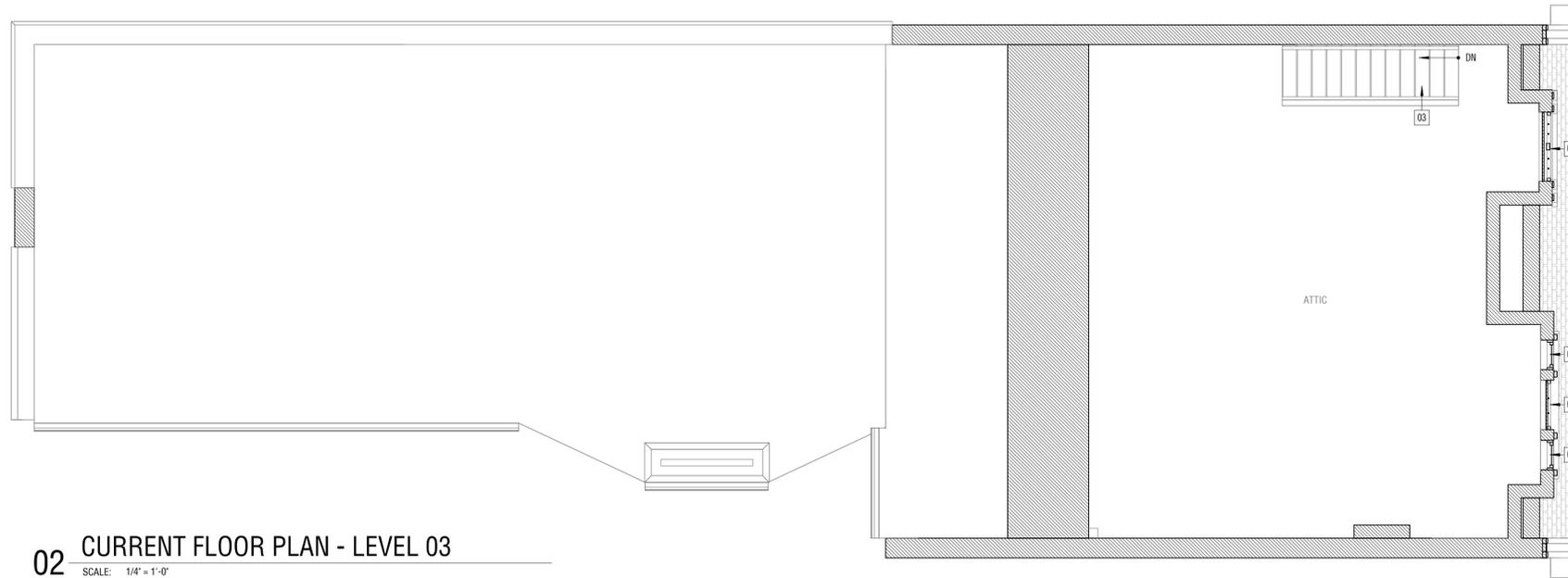
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DRWN / JIN
 CHECKED / AS
 SCALE / 1/4" = 1'-0"
CURRENT FLOOR PLANS

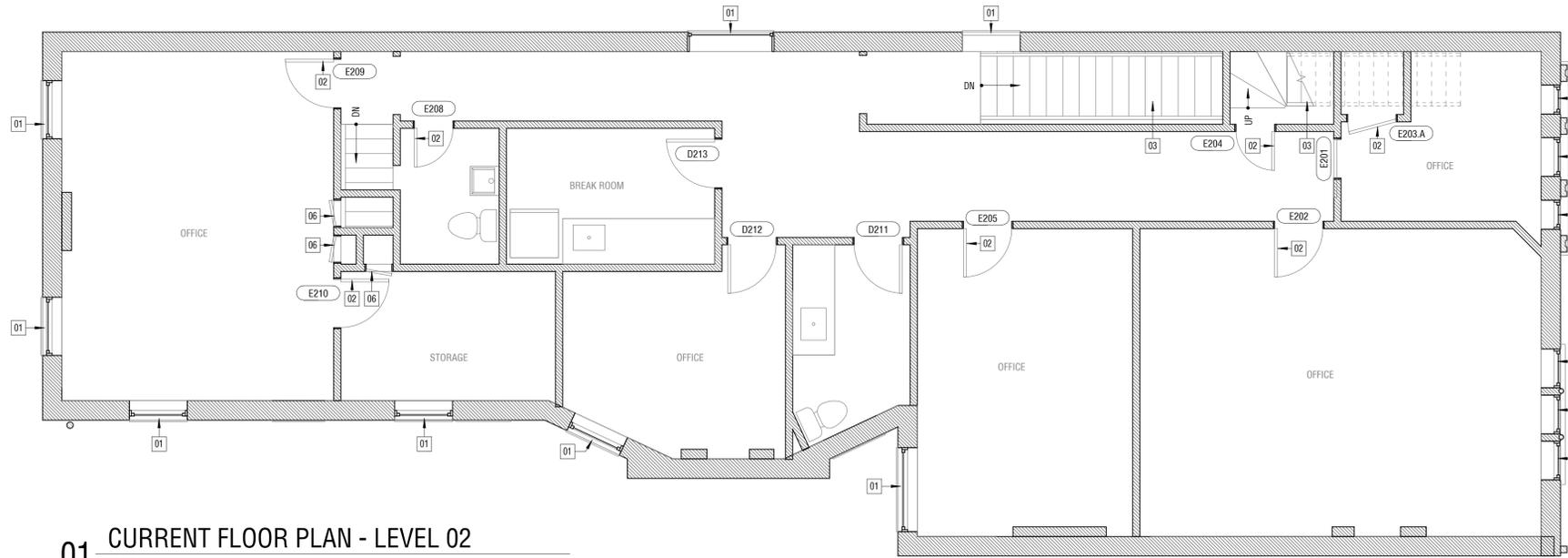
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 JOB NUMBER / 0210
 SHEET / **EX.01**



03 CURRENT ROOF PLAN
 SCALE: 1/4" = 1'-0"



02 CURRENT FLOOR PLAN - LEVEL 03
 SCALE: 1/4" = 1'-0"



01 CURRENT FLOOR PLAN - LEVEL 02
 SCALE: 1/4" = 1'-0"

FLOOR PLAN LEGEND

- NEW CONSTRUCTION
- EXISTING TO REMAIN
- ADJACENT PROPERTY NOT IN SCOPE

EXISTING DOOR SCHEDULE

DOOR NO.	DOOR		THICKNESS	MATERIAL	FINISH	REMARKS	
	INT / EXT	SIZE					
E000-01	Exterior	2'-6"	6'-8"	2"	WD	PT	EXISTING TO REMAIN
D100-04	Exterior	3'-3 1/4"	8'-0"	2"	ALU/GLS	MFR	DEMOLISH
D100-05	Exterior	2'-6"	6'-8"	2"	WD	PT	DEMOLISH
D100-06	Exterior	2'-6"	6'-8"	2"	WD	PT	DEMOLISH
D001	Interior	2'-6"	6'-8"	1 3/4"	WD	PT	DEMOLISH
D002	Interior	2'-6"	6'-8"	1 3/4"	WD	PT	DEMOLISH
D003	Interior	5'-0"	6'-8"	1 3/4"	WD	PT	DEMOLISH
D004	Interior	2'-6"	6'-8"	1 3/4"	WD	PT	DEMOLISH
D005	Interior	2'-6"	6'-8"	1 3/4"	WD	PT	DEMOLISH
D006	Interior	2'-6"	6'-8"	1 3/4"	WD	PT	DEMOLISH
D007	Interior	2'-6"	6'-8"	1 3/4"	WD	PT	DEMOLISH
D008	Interior	2'-6"	6'-8"	1 3/4"	WD	PT	DEMOLISH
D009	Interior	2'-6"	6'-8"	1 3/4"	WD	PT	DEMOLISH
D111	Interior	4'-0"	7'-0"	1 3/4"	WD	PT	DEMOLISH
D112	Interior	3'-0"	6'-8"	1 3/4"	WD	PT	DEMOLISH
D113	Interior	2'-0"	6'-8"	1 3/4"	WD	PT	DEMOLISH
D115	Interior	2'-6"	6'-8"	1 3/4"	WD	PT	DEMOLISH
D116	Interior	2'-6"	6'-8"	1 3/4"	WD	PT	DEMOLISH
D117	Interior	2'-6"	6'-8"	1 3/4"	WD	PT	DEMOLISH
D118	Interior	2'-0"	6'-8"	1 3/4"	WD	PT	DEMOLISH
E108	Interior	2'-6"	6'-8"	1 3/8"	WD	PT	EXISTING TO REMAIN
E109	Interior	2'-0"	6'-8"	1 3/4"	WD	PT	EXISTING TO REMAIN
E114	Interior	2'-0"	6'-8"	1 3/4"	WD	PT	EXISTING TO REMAIN
D211	Interior	2'-6"	6'-8"	1 3/4"	WD	PT	DEMOLISH
D212	Interior	2'-6"	6'-8"	1 3/4"	WD	PT	DEMOLISH
D213	Interior	2'-6"	6'-8"	1 3/4"	WD	PT	DEMOLISH
E201	Interior	2'-0"	6'-8"	1 3/4"	WD	PT	FIN HISTORIC DOOR SHUT
E202	Interior	2'-6"	6'-8"	1 3/4"	WD	PT	EXISTING TO REMAIN
E203.A	Interior	2'-6"	6'-8"	1 3/4"	WD	PT	EXISTING TO REMAIN
E204	Interior	2'-0"	6'-8"	1 3/4"	WD	PT	EXISTING TO REMAIN
E205	Interior	2'-6"	6'-8"	1 3/4"	WD	PT	EXISTING TO REMAIN
E208	Interior	2'-0"	6'-8"	1 3/4"	WD	PT	EXISTING TO REMAIN
E209	Interior	2'-6"	6'-8"	1 3/4"	WD	PT	EXISTING TO REMAIN
E210	Interior	2'-6"	6'-8"	1 3/4"	WD	PT	EXISTING TO REMAIN
Grand total: 34							

EXISTING NOTES

- 01 EXISTING WINDOW TO REMAIN
- 02 EXISTING DOOR TO REMAIN
- 03 EXISTING STAIR TO REMAIN
- 04 EXISTING MIRROR AND TRIM TO REMAIN
- 05 EXISTING FIREPLACE TO REMAIN
- 06 EXISTING CUBBY DOOR AND TRIM TO REMAIN
- 07 EXISTING PORTION OF HANDRAIL TO REMAIN
- 08 EXISTING GUTTER AND DOWNSPOUTS TO REMAIN. REPAIR / REPLACE AS NEEDED

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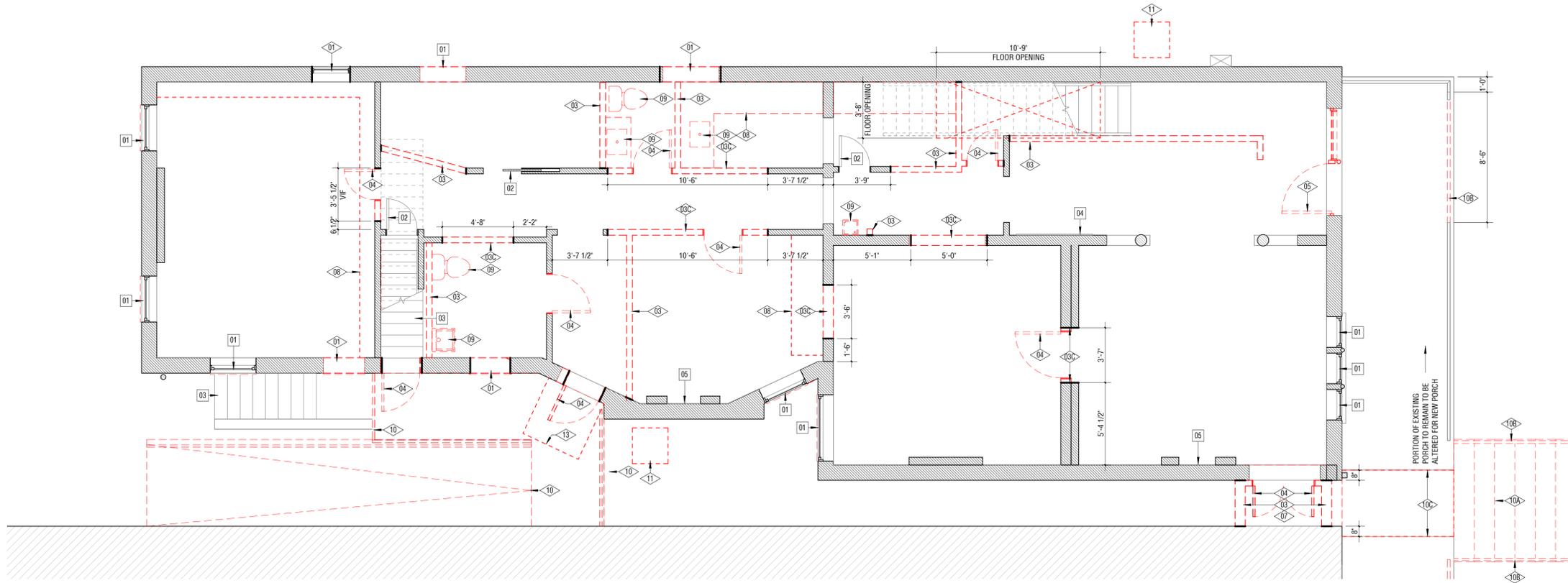
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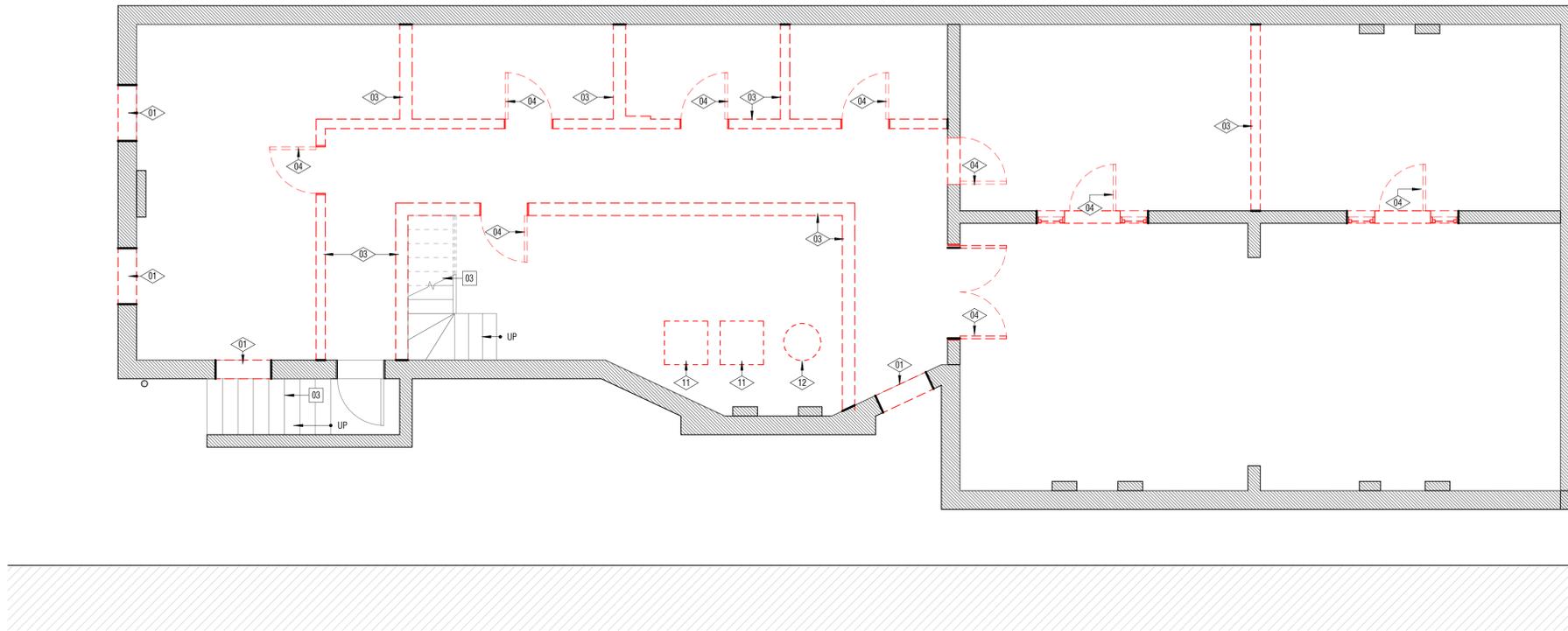
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CURRENT FLOOR PLANS

EX.02



02 DEMOLITION PLAN - LEVEL 01
 SCALE: 1/4" = 1'-0"



01 DEMOLITION PLAN - LEVEL 00
 SCALE: 1/4" = 1'-0"

DEMOLITION PLAN LEGEND

- EXISTING TO BE DEMOLISHED
- EXISTING TO REMAIN
- ADJACENT PROPERTY NOT IN SCOPE

EXISTING NOTES

- 01 EXISTING WINDOW TO REMAIN
- 02 EXISTING DOOR TO REMAIN
- 03 EXISTING STAIR TO REMAIN
- 04 EXISTING MIRROR AND TRIM TO REMAIN
- 05 EXISTING FIREPLACE TO REMAIN
- 06 EXISTING CURBY DOOR AND TRIM TO REMAIN
- 07 EXISTING PORTION OF HANDRAIL TO REMAIN
- 08 EXISTING GUTTER AND DOWNSPOUTS TO REMAIN. REPAIR / REPLACE AS NEEDED

DEMOLITION NOTES

- 01 REOPEN BRICKED IN OPENING FOR NEW WINDOW
- 02 REOPEN BRICKED IN OPENING FOR NEW PINNED DOOR WITH GLAZING. EXISTING TRIM TO REMAIN
- 03 REMOVE INDICATED PORTION OF WALL
- 03B REMOVE INDICATED PORTION OF WALL FOR NEW DOOR OPENING
- 03C REMOVE INDICATED PORTION OF WALL FOR NEW CASED OPENING
- 04 REMOVE DOOR
- 05 REMOVE STOREFRONT DOOR AND SIDELIGHT
- 07 REMOVE WALLS, FLOOR, FOUNDATIONS, CEILING AND ROOF OF THE CONNECTING AREA BETWEEN 1109 AND 1111 W FRANKLIN IN ITS ENTIRETY
- 08 REMOVE CASEWORK
- 09 REMOVE PLUMBING FIXTURE
- 10 REMOVE EXTERIOR STAIR, RAMP, PORCH AND RAILING
- 10A REMOVE EXTERIOR STAIR
- 10B REMOVE PORTION OF EXTERIOR RAILING
- 10C REMOVE PORTION OF EXTERIOR PORCH
- 11 REMOVE HVAC AND ASSOCIATED ELECTRIC, REFRIGERANT LINES, AND DUCTWORK. MECHANICAL SYSTEMS TO BE REWORKED IN ENTIRETY
- 12 REMOVE PLUMBING EQUIPMENT
- 13 REMOVE METAL AWNING AND SUPPORTS



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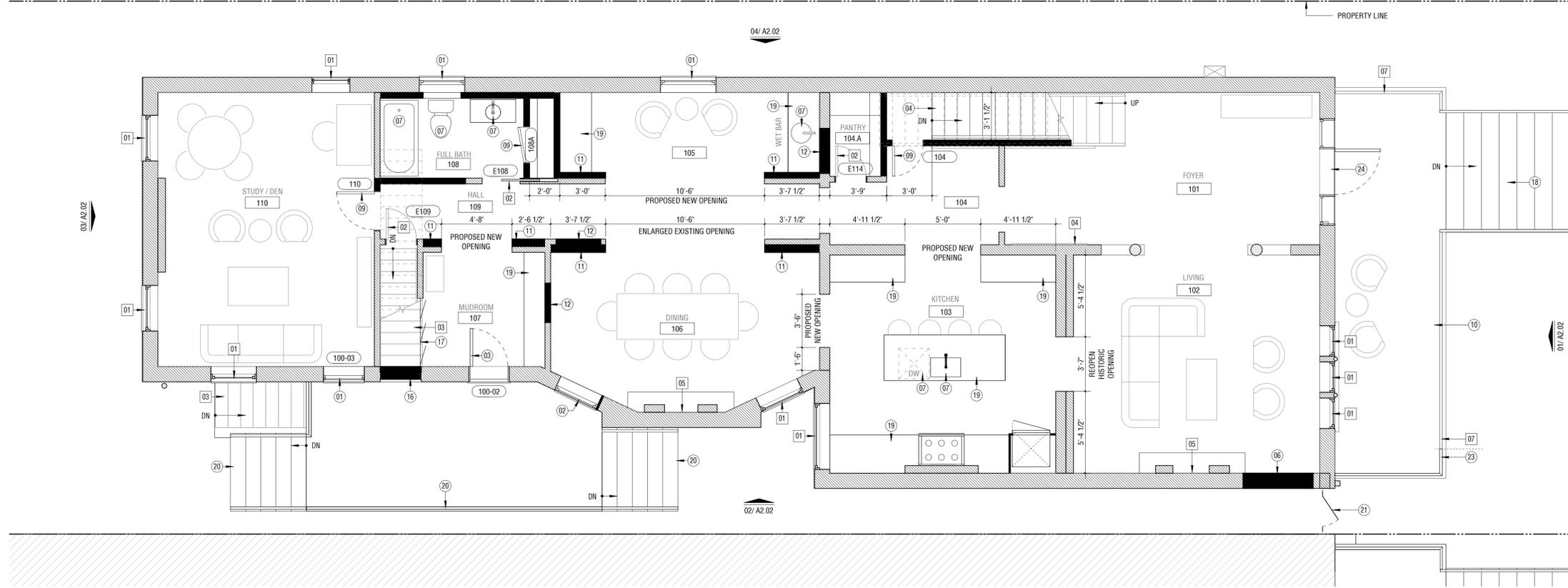
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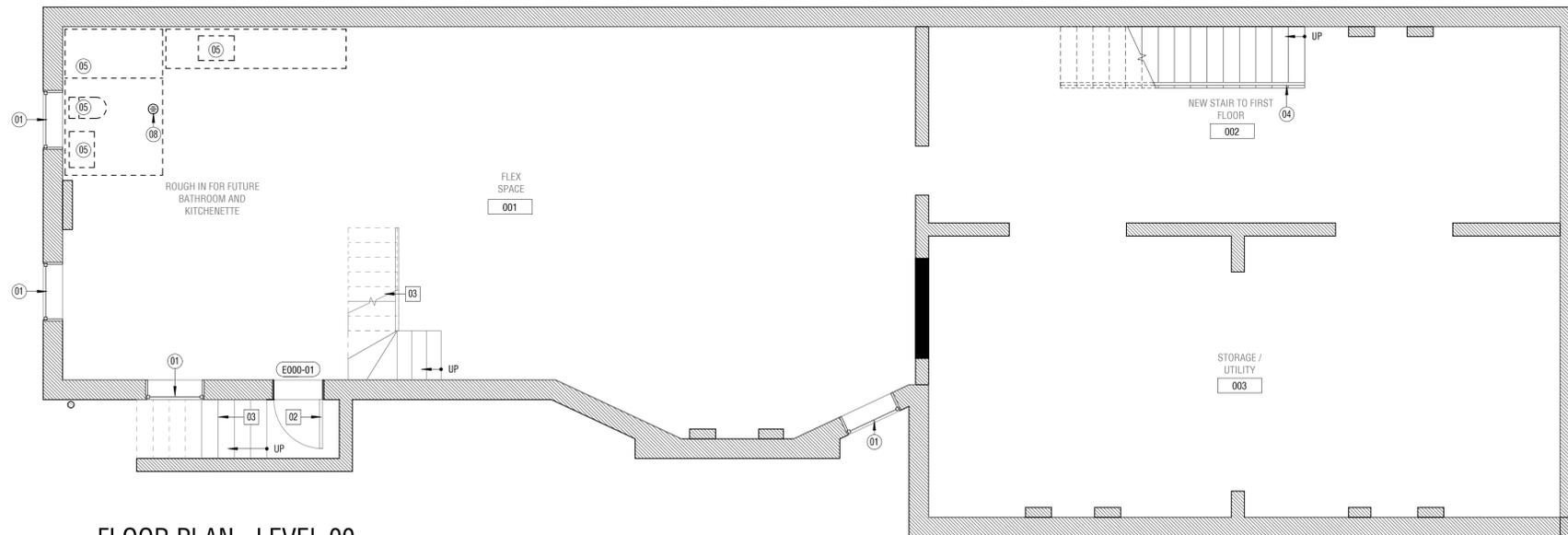
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0210	10/31/2025	1/4" = 1'-0"				

DEMOLITION PLANS

AD.01



02 FLOOR PLAN - LEVEL 01
SCALE: 1/4" = 1'-0"



01 FLOOR PLAN - LEVEL 00
SCALE: 1/4" = 1'-0"

FLOOR PLAN LEGEND

- NEW CONSTRUCTION
- EXISTING TO REMAIN
- ADJACENT PROPERTY NOT IN SCOPE

GROSS LIVING AREA

LEVEL 01	1,854 SF
LEVEL 02	1,854 SF
LEVEL 03	550 SF
TOTAL	4,258 SF

ADU

LEVEL 01 ENTRY	16 SF
LEVEL 02	816 SF
TOTAL	632 SF

GROSS SQUARE FOOTAGE

LEVEL 00	1,854 SF
LEVEL 01	1,854 SF
LEVEL 02	1,854 SF
LEVEL 03	550 SF
TOTAL	6,112 SF

GARAGE / ADU

LEVEL 01	616 SF
LEVEL 02	816 SF
TOTAL	1,232 SF

GRAND TOTAL 7,344 SF

DOOR SCHEDULE

DOOR NO.	INT / EXT	DOOR SIZE		THICKNESS	MATERIAL	FINISH	REMARKS
		WIDTH	HEIGHT				
E000-01	Exterior	2'-6"	6'-8"	2"	WD	PT	EXISTING TO REMAIN
100-01	Exterior	3'-0"	8'-0"	2"	WD	PT	
100-02	Exterior	2'-6"	6'-8"	2"	WD	PT	
100-03	Exterior	2'-6"	6'-8"	2"	WD/GLS	PT	PIN GLASS DOOR IN HISTORIC OPENING
200-01	Exterior	2'-6"	6'-8"	2"	WD/GLS	PT	PIN GLASS DOOR IN HISTORIC OPENING
104	Interior	2'-0"	6'-8"	1 3/4"	WD	PT	
108A	Interior	2'-4"	6'-8"	1 3/4"	WD	PT	
110	Interior	2'-6"	6'-8"	1 3/4"	WD	PT	
E108	Interior	2'-6"	6'-8"	1 3/8"	WD	PT	EXISTING TO REMAIN
E109	Interior	2'-0"	6'-8"	1 3/4"	WD	PT	EXISTING TO REMAIN
E114	Interior	2'-0"	6'-8"	1 3/4"	WD	PT	EXISTING TO REMAIN
202A	Interior	3'-0"	6'-8"	1 3/8"	WD	PT	
203	Interior	2'-6"	6'-8"	1 3/4"	WD	PT	
205A	Interior	2'-6"	6'-8"	1 3/4"	WD	PT	
206	Interior	3'-0"	6'-8"	1 3/4"	WD	PT	
206A	Interior	4'-0"	6'-8"	1 3/4"	WD	PT	
207	Interior	2'-6"	6'-8"	1 3/4"	WD	PT	
209A	Interior	4'-0"	6'-8"	1 3/4"	WD	PT	
E201	Interior	2'-0"	6'-8"	1 3/4"	WD	PT	PIN HISTORIC DOOR SHUT
E202	Interior	2'-6"	6'-8"	1 3/4"	WD	PT	EXISTING TO REMAIN
E203A	Interior	2'-6"	6'-8"	1 3/4"	WD	PT	EXISTING TO REMAIN
E204	Interior	2'-0"	6'-8"	1 3/4"	WD	PT	EXISTING TO REMAIN
E205	Interior	2'-6"	6'-8"	1 3/4"	WD	PT	EXISTING TO REMAIN
E208	Interior	2'-0"	6'-8"	1 3/4"	WD	PT	EXISTING TO REMAIN
E209	Interior	2'-6"	6'-8"	1 3/4"	WD	PT	EXISTING TO REMAIN
E210	Interior	2'-6"	6'-8"	1 3/4"	WD	PT	EXISTING TO REMAIN
301	Interior	3'-0"	6'-8"	1 3/4"	WD	PT	

Grand total: 27

- EXISTING NOTES**
- 01 EXISTING WINDOW TO REMAIN
 - 02 EXISTING DOOR TO REMAIN
 - 03 EXISTING STAIR TO REMAIN
 - 04 EXISTING MIRROR AND TRIM TO REMAIN
 - 05 EXISTING FIREPLACE TO REMAIN
 - 06 EXISTING CUBBY DOOR AND TRIM TO REMAIN
 - 07 EXISTING PORTION OF HANDRAIL TO REMAIN
 - 08 EXISTING GUTTER AND DOWNSPOUTS TO REMAIN. REPAIR / REPLACE AS NEEDED
- NEW CONSTRUCTION NOTES**
- 01 NEW WINDOW IN BRICKED IN OPENING
 - 02 NEW WINDOW IN EXISTING DOOR OPENING
 - 03 NEW DOOR IN BRICKED IN OPENING
 - 04 NEW WOOD FRAMED STAIR AND HANDRAIL
 - 05 ROUGH IN FOR FUTURE PLUMBING FIXTURE
 - 06 INFILL EXISTING OPENING WITH BRICK AND MATCH ADJACENT WALL FINISH
 - 07 NEW PLUMBING FIXTURE
 - 08 NEW FLOOR DRAIN
 - 09 NEW DOOR OPENING
 - 10 EXISTING FRONT PORCH TO BE ALTERED WITH NEW STAIR AND HANDRAIL TO MATCH EXISTING
 - 11 FURR OUT PORTION OF WALL
 - 12 INFILL EXISTING OPENING WITH BRICK AND MATCH ADJACENT WALL FINISH
 - 13 PIN EXISTING DOOR SHUT AND FINISH INTERIOR FACE TO MATCH ADJACENT WALLS
 - 14 NEW WOOD RAILING
 - 15 FLOOR OVER EXISTING STAIR TO LEVEL 01. LEAVE STAIR IN PLACE
 - 16 INFILL EXISTING OPENING WITH BRICK WHERE EXISTING DOOR WAS REMOVED. INSET BRICK TO SHOW PREVIOUS OPENING
 - 17 NEW CASEWORK BUILT OVER FLOORED OVER STAIR
 - 18 NEW FRONT PORCH STAIR AND HANDRAILS
 - 19 NEW CASEWORK
 - 20 NEW REAR PORCH, STAIRS, AND RAILINGS
 - 21 NEW METAL GATE
 - 22 NEW PINNED DOOR WITH GLAZING IN HISTORIC DOOR OPENING. HISTORIC TRIM TO REMAIN
 - 23 NEW PORTION OF HANDRAIL TO MATCH EXISTING
 - 24 NEW PAINTED SOLID WOOD FRONT DOOR AND SIDELIGHTS

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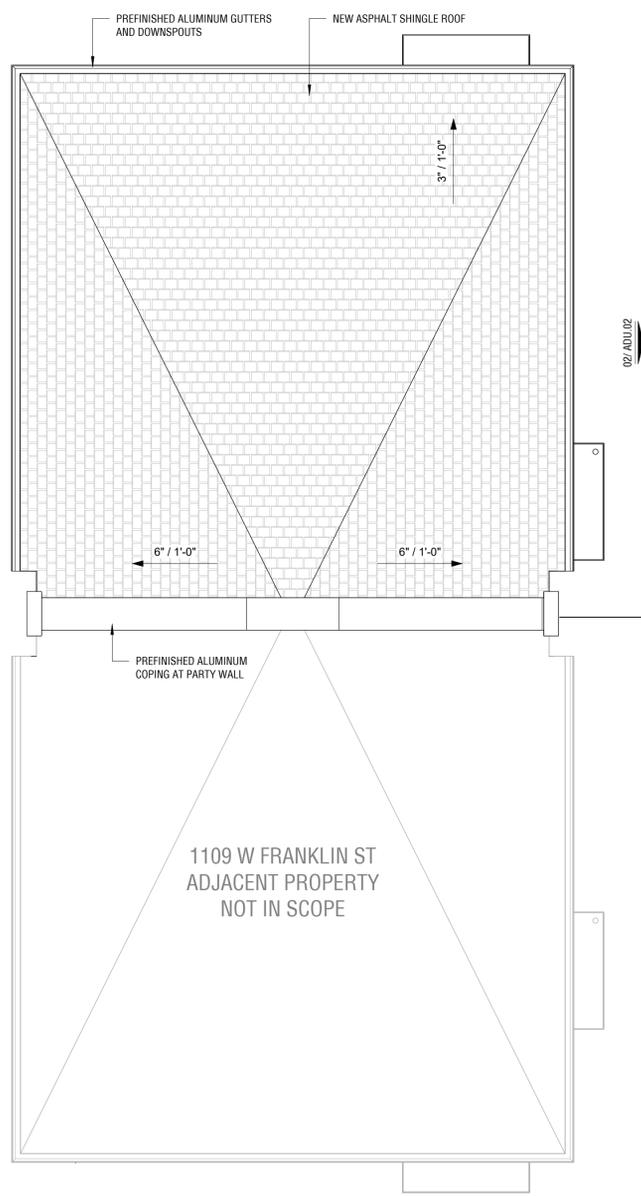
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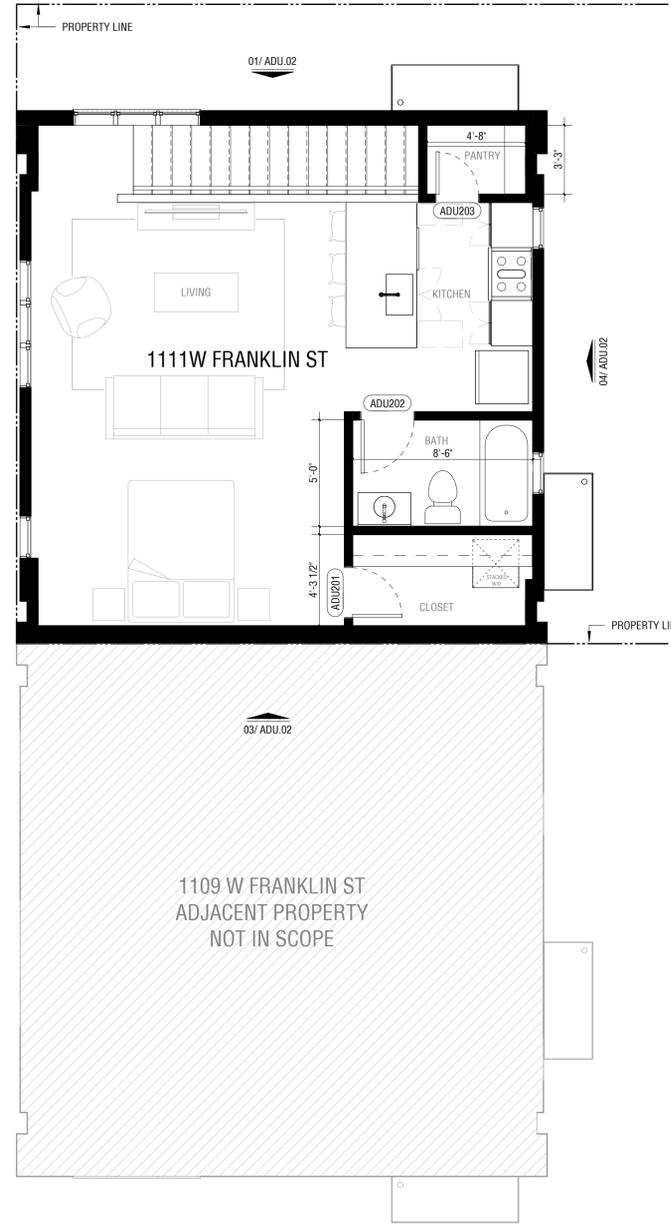
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0210	10/31/2025	1/4" = 1'-0"					

PROPOSED FLOOR PLANS

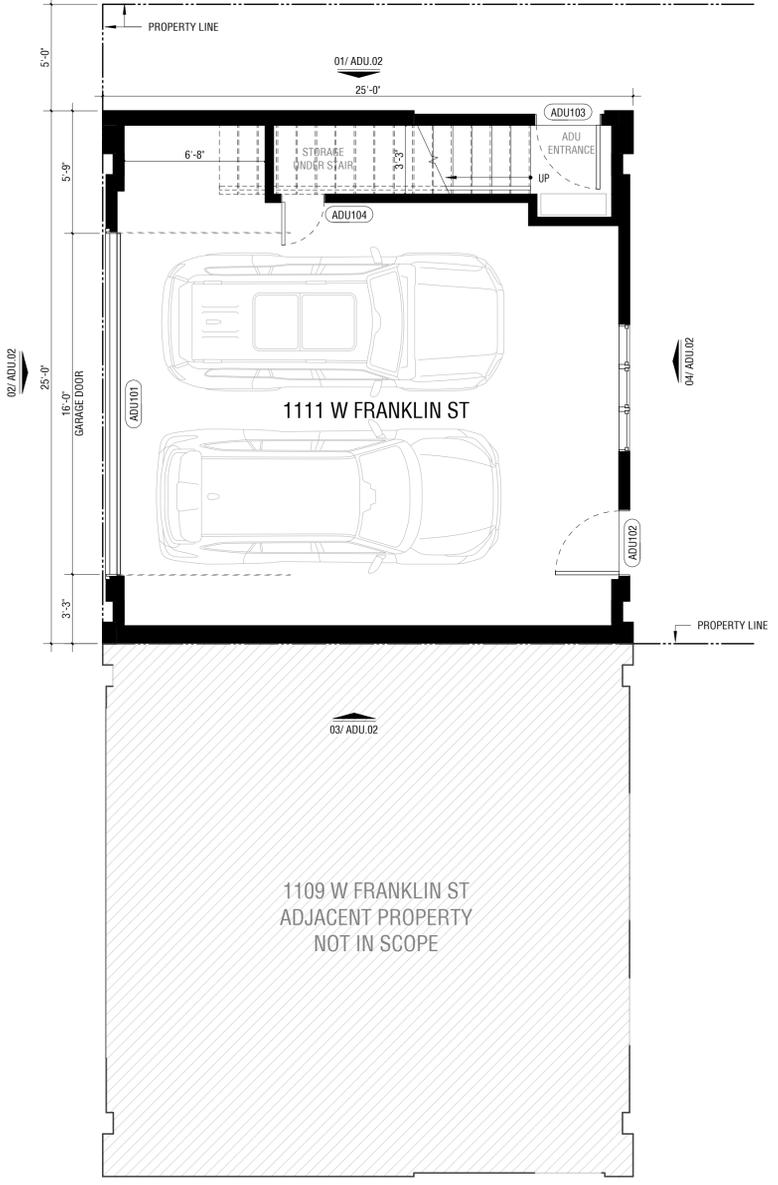
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03 ADU ROOF PLAN
SCALE: 1/4" = 1'-0"



02 ADU LEVEL 02 FLOOR PLAN
SCALE: 1/4" = 1'-0"



01 ADU LEVEL 01 FLOOR PLAN
SCALE: 1/4" = 1'-0"

FLOOR PLAN LEGEND

- NEW CONSTRUCTION
- EXISTING TO REMAIN
- ADJACENT PROPERTY NOT IN SCOPE

GROSS LIVING AREA

LEVEL 01	1,854 SF
LEVEL 02	1,854 SF
LEVEL 03	550 SF
TOTAL	4,258 SF

ADU LEVEL 01 ENTRY	16 SF
LEVEL 02	616 SF
TOTAL	632 SF

GROSS SQUARE FOOTAGE

LEVEL 00	1,854 SF
LEVEL 01	1,854 SF
LEVEL 02	1,854 SF
LEVEL 03	550 SF
TOTAL	6,112 SF

GARAGE / ADU LEVEL 01	616 SF
LEVEL 02	616 SF
TOTAL	1,232 SF

GRAND TOTAL 7,344 SF

DOOR SCHEDULE ADU

DOOR NO.	INT / EXT	SIZE	DOOR			MATERIAL	FINISH
			WIDTH	HEIGHT	THICKNESS		
ADU101	Exterior	16'-0"	7'-0"	2"	ALU/GLS	MFR	
ADU102	Exterior	3'-0"	7'-0"	2"	WD/GLS	PT	
ADU103	Exterior	3'-0"	7'-0"	2"	WD/GLS	PT	
ADU104	Interior	2'-0"	6'-8"	1 3/4"	WD	PT	
ADU201	Interior	2'-4"	6'-8"	1 3/4"	WD	PT	
ADU202	Interior	2'-6"	6'-8"	1 3/4"	WD	PT	
ADU203	Interior	2'-0"	6'-8"	1 3/4"	WD	PT	
Grand total: 7							

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0210 / ADU.01	10/31/2025	1/4" = 1'-0"				

