



Commission of Architectural Review SUBMISSION APPLICATION

City of Richmond, Room 510 – City Hall
900 East Broad Street, Richmond, Virginia 23219
PHONE: (804) 646-6335 FAX: (804) 646-5789

12 COPIES OF SUPPORTING DOCUMENTATION ARE REQUIRED FOR PROCESSING YOUR SUBMISSION

LOCATION OF WORK: 508 W. MARSHALL ST. DATE: 5/27/16

OWNER'S NAME: BLANE, LLC TEL NO.: 804-363-3211

AND ADDRESS: 16291 BLACKBEAR TRAIL EMAIL: DAVIDPNEELY@VERIZON.NET

CITY, STATE AND ZIP CODE: MECHANICSVILLE, VA. 23116

ARCHITECT/CONTRACTOR'S NAME: DAVID CLINGER TEL. NO.: 804-683-5718

AND ADDRESS: 300 W. FRANKLIN ST. #905E EMAIL: cclinger47@gmail.com

CITY, STATE AND ZIP CODE: RICHMOND, VA 23226

Would you like to receive your staff report via email? Yes No

REQUEST FOR CONCEPTUAL REVIEW

I hereby request Conceptual Review under the provisions of Chapter 114, Article IX, Division 4, Section 114-930.6(d) of the Richmond City Code for the proposal outlined below in accordance with materials accompanying this application. I understand that conceptual review is advisory only.

APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

I hereby make application for the issuance of a certificate under the provisions of Chapter 114, Article IX, Division 4 (Old and Historic Districts) of the Richmond City Code for the proposal outlined below in accordance with plans and specifications accompanying this application.

DETAILED DESCRIPTION OF PROPOSED WORK (Required):

STATE HOW THE DESIGN REVIEW GUIDELINES INFORM THE DESIGN OF THE WORK

PROPOSED. (Include additional sheets of description if necessary, and 12 copies of artwork helpful in describing the project. The 12 copies are not required if the project is being reviewed for an administrative approval. See instruction sheet for requirements.)

(SEE ATTACHED)

Signature of Owner or Authorized Agent: X [Signature]

Name of Owner or Authorized Agent (please print legibly): DAVID CLINGER

(Space below for staff use only)

Received by Commission Secretary **RECEIVED** 2:05 pm APPLICATION NO. _____

DATE MAY 27 2016 SCHEDULED FOR _____

Note: CAR reviews all applications on a case-by-case basis.

DAVID M. CLINGER, JR.

300 West Franklin Street, 905E Richmond, Virginia 23220

804.683.5718

cclinger47@gmail.com

27 May 2016

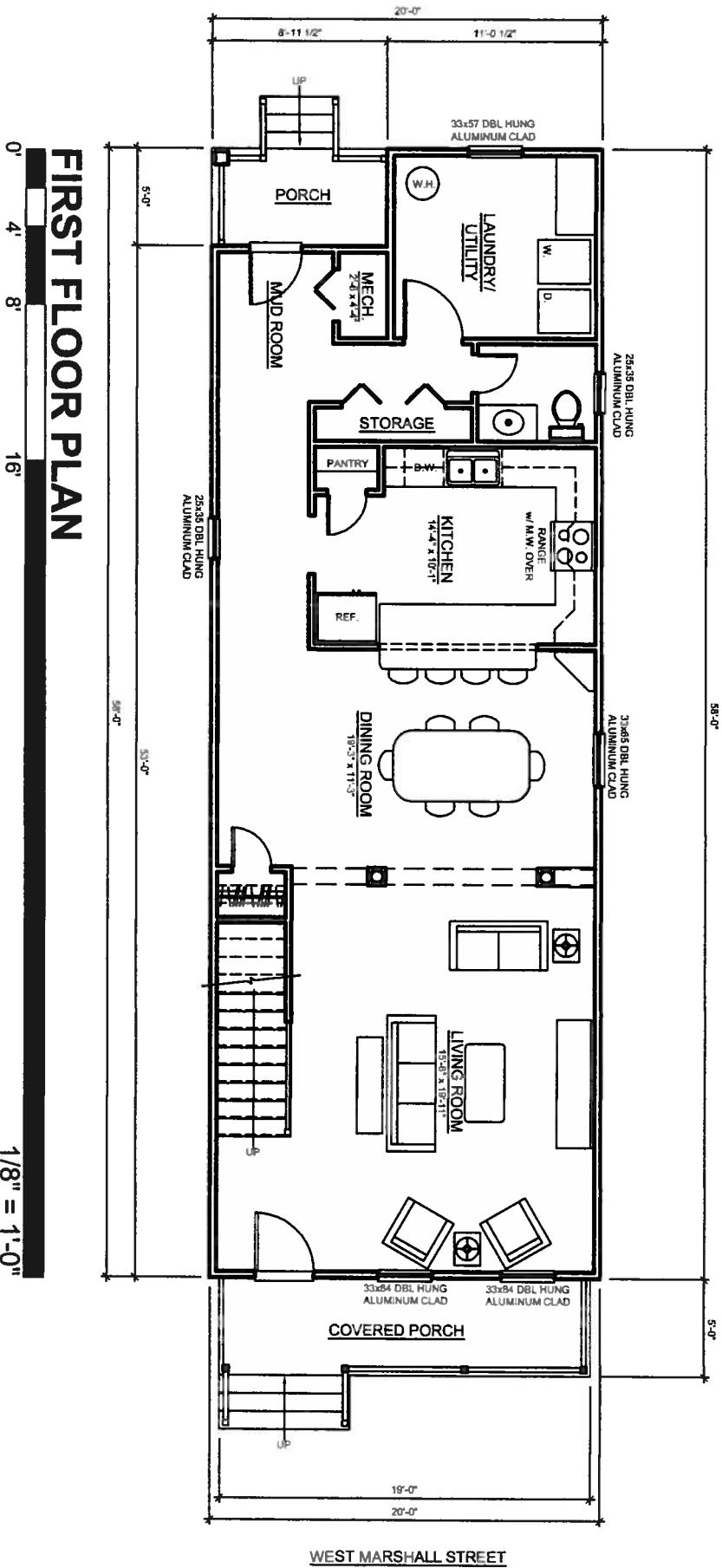
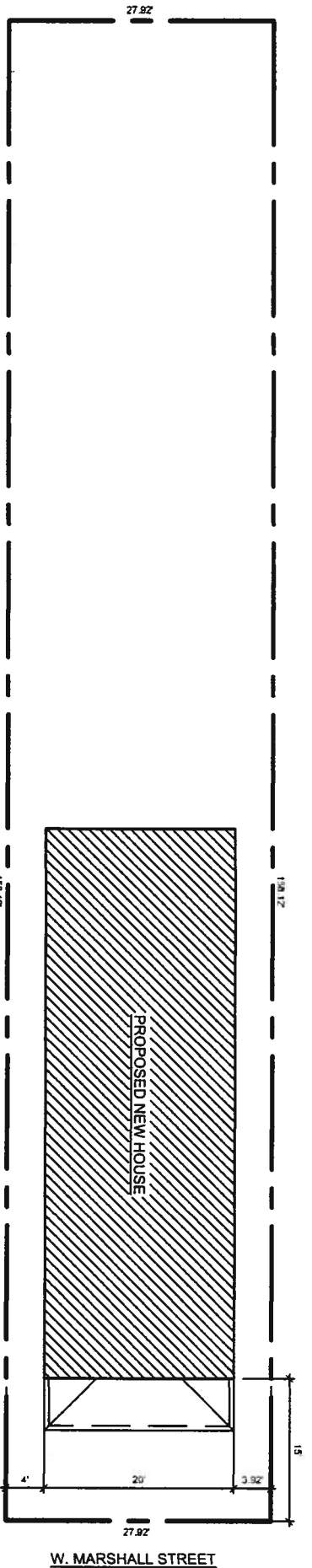
Project Description

Proposed New House, 508 W. Marshall Street

The current owners of the above mentioned property are proposing to construct a new house on the property. The house will be a two-story single family home consisting of a total of approximately 2,320 square feet. The style of the house is intended to mimic the adjacent houses. The height (25'-5" +/-) and proximity of the house to grade will be similar to existing homes at either end of the block. The two adjacent properties have raised first floors due to the English Basements they contain. This proposed house will have no basement, thus will conform more to the houses that flank the block. The first floor level may be slightly higher than the other examples on the block due to current code requirements dictating the distance from grade required for non-treated lumber.

The exterior material is intended to be cementitious siding painted in a C.A.R. approved color, with accents and trim to be painted in a C.A.R. approved color palette. The exterior railings will be constructed of Richmond railing.

The fenestration will consist of aluminum clad windows with sizes to reflect the adjacent houses. The front first floor windows are proposed to be 7'-0" tall (almost floor-to-ceiling) to reflect adjacent architecture. In keeping with the character of the adjacent houses the windows will be 1/1 (no grilles/muntins).



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 Architectural
 Design &
 Planning
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 Richmond, Va. 23220
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Proposed New Residence
508 WEST MARSHALL STREET
 Richmond, Virginia 23220
 (Owner: Blane, LLC)

DATE: 5/27/16

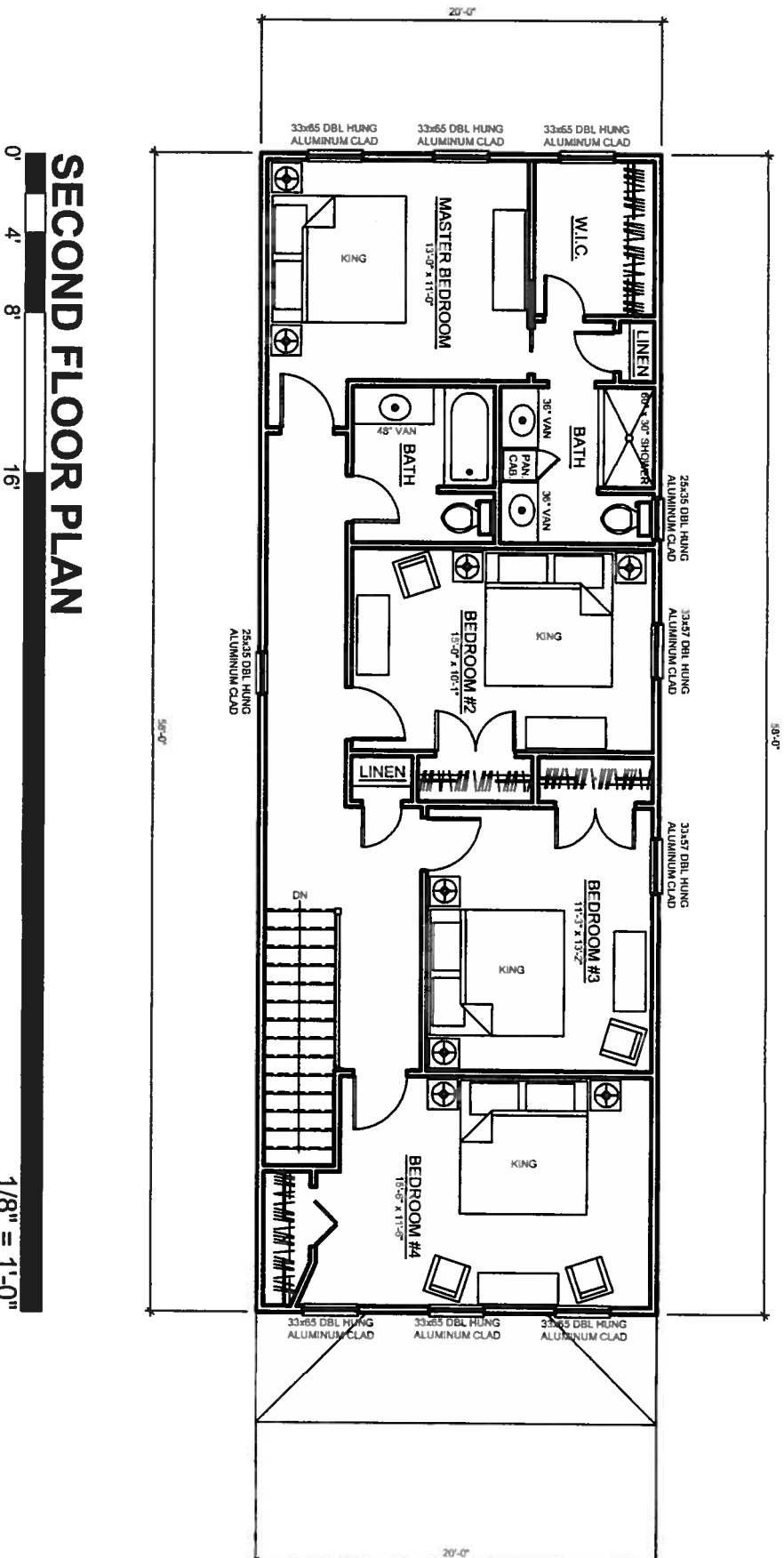
A-1
 SITE &
 FIRST FLOOR

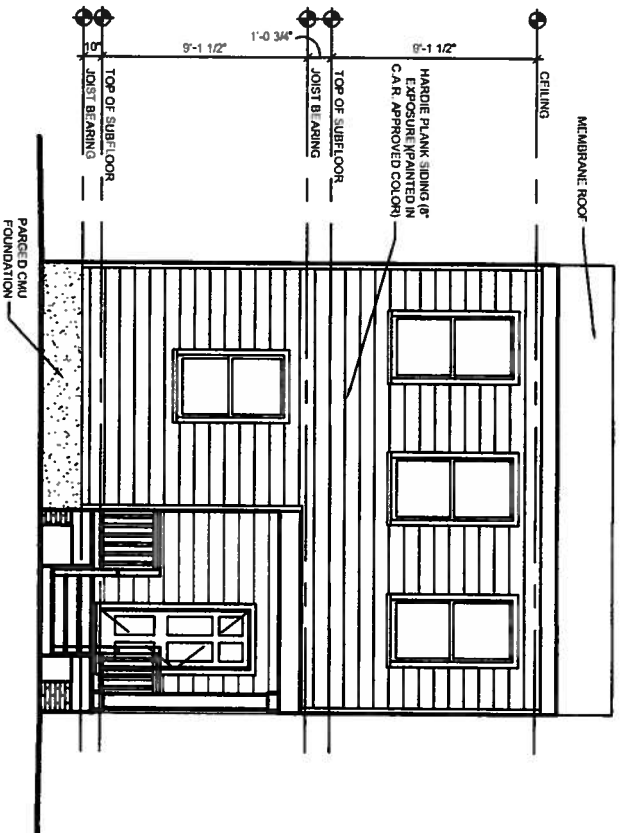
Proposed New Residence
508 WEST MARSHALL STREET
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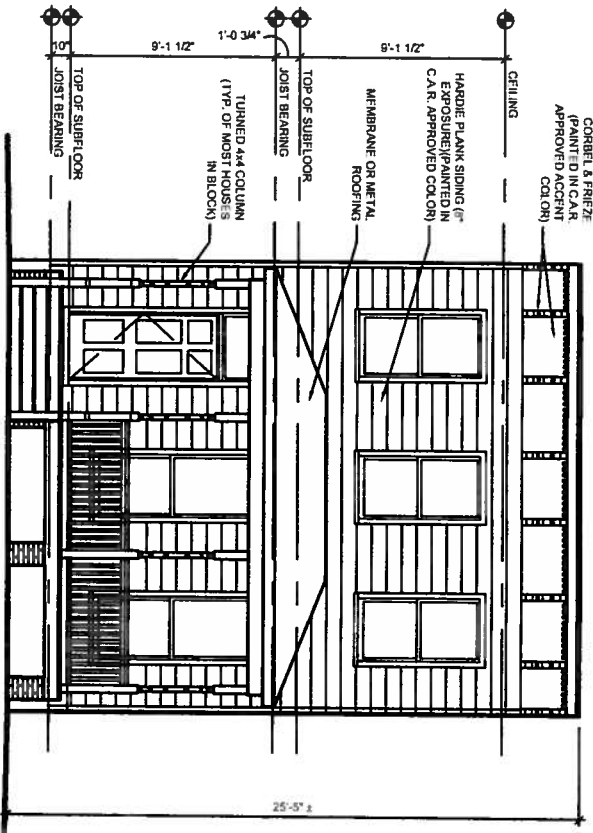
A-2

SECOND FLOOR





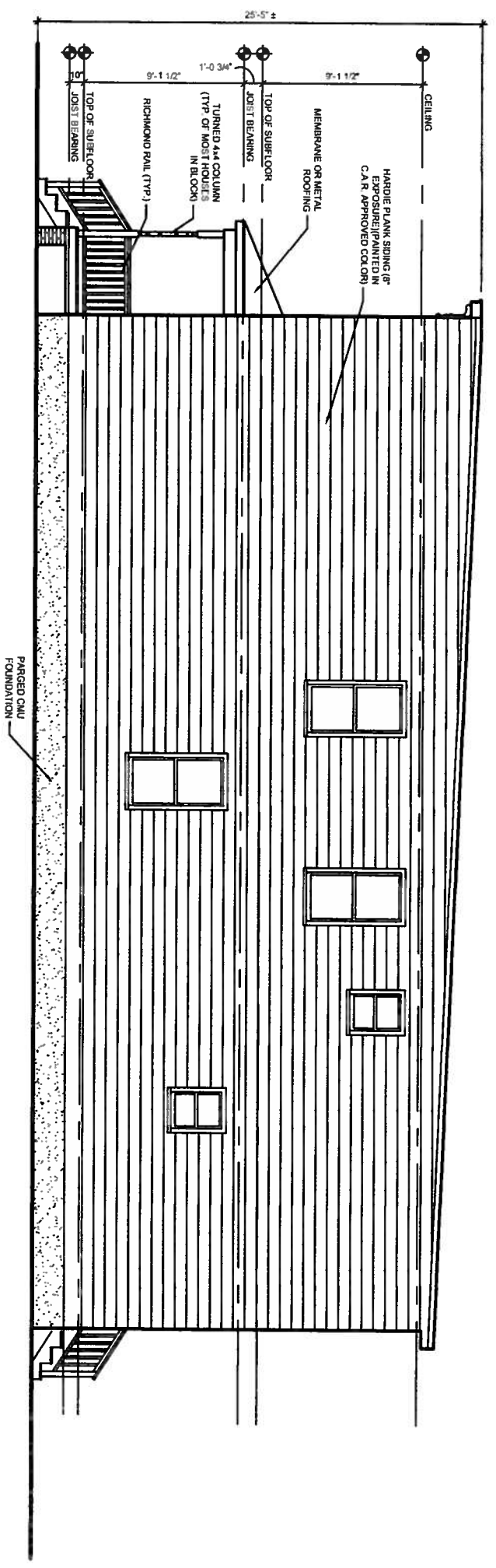
NORTH ELEVATION
 0' 4' 8' 16' 1/8" = 1'-0"



SOUTH ELEVATION
 0' 4' 8' 16' 1/8" = 1'-0"

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EAST ELEVATION

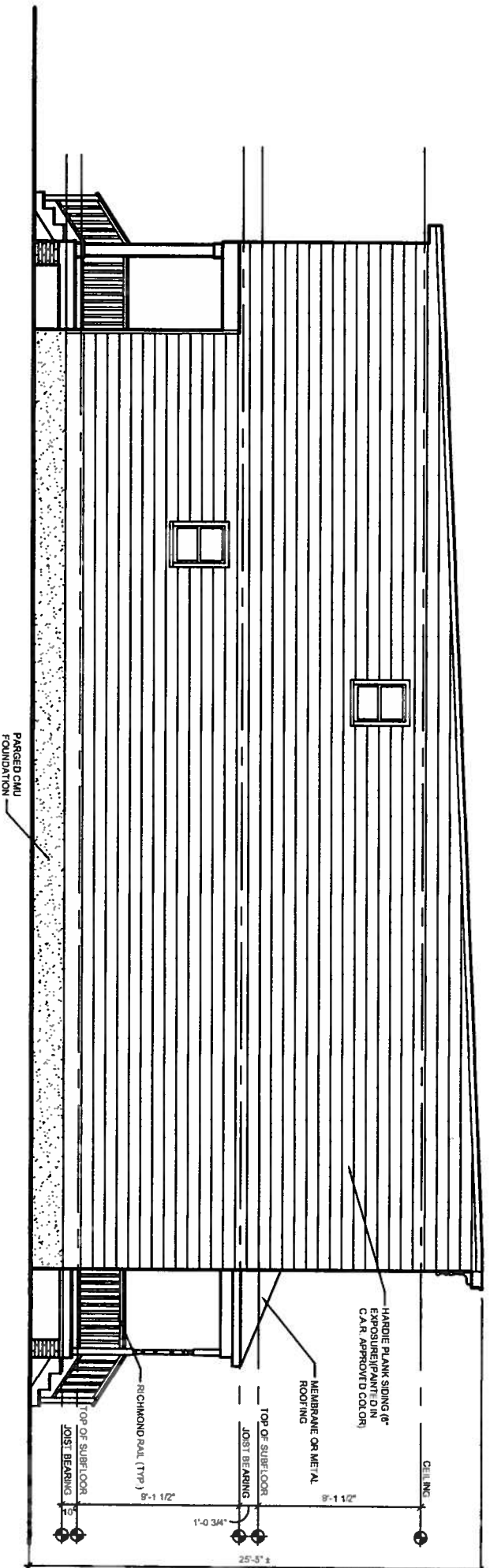
0' 4' 8' 16'

1/8" = 1'-0"

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WEST ELEVATION
 0' 4' 8' 16'
 1/8" = 1'-0"

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 ELEVATION