



COMMISSION OF ARCHITECTURAL REVIEW

APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

PROPERTY (location of work)

Address _____
Historic district _____

Date/time rec'd: _____
Rec'd by: _____
Application #: _____
Hearing date: _____

APPLICANT INFORMATION

Check if Billing Contact

Name _____
Company _____
Mailing Address _____

Phone _____
Email _____
Applicant Type: Owner Agent
 Lessee Architect Contractor
 Other (please specify): _____

OWNER INFORMATION (if different from above)

Check if Billing Contact

Name _____
Mailing Address _____

Company _____
Phone _____
Email _____

PROJECT INFORMATION

Project Type: Alteration Demolition New Construction
(Conceptual Review Required)

Project Description: (attach additional sheets if needed)

ACKNOWLEDGEMENT OF RESPONSIBILITY

Compliance: If granted, you agree to comply with all conditions of the certificate of appropriateness (COA). Revisions to approved work require staff review and may require a new application and approval from the Commission of Architectural Review (CAR). Failure to comply with the conditions of the COA may result in project delays or legal action. The COA is valid for one (1) year and may be extended for an additional year, upon written request and payment of associated fee.

Requirements: A complete application includes all applicable information requested on checklists available on the CAR website to provide a complete and accurate description of existing and proposed conditions, as well as payment of the application fee. Applicants proposing major new construction, including additions, should meet with Staff to review the application and requirements prior to submitting an application. Owner contact information and signature is required. Late or incomplete applications will not be considered.

Zoning Requirements: Prior to Commission review, it is the responsibility of the applicant to determine if zoning approval is required and application materials should be prepared in compliance with zoning.

Signature of Owner K. Yearly

Date 09/28/2020

2006 Venable St. – Renovation Scope of Work:

Renovate existing SFA Home at 2006 Venable Street. Interior - all new plumbing, electrical, mechanical systems. Various interior layout changes. All new finishes. Install firewall between adjacent property.

Exterior:

- Remove asphalt shingle siding and replace with smooth Hardi Plank, color TBD and selected from CAR list of approved colors.
- Replace existing windows (beyond repair) in kind with wood windows, same mullion pattern (see attached window survey).
 - If acceptable by CAR, reduce size of 1st floor front elevations by 18" to pull off of floor and eliminate safety hazard.
- Replace existing roof (not visible from ground). HVAC unit to be on roof, not visible from ground.
- Replace existing porch roof (visible from front elevation), material TBD based on input from CAR.
- Replace existing porch boards and railing.
 - Steps and porch to be composite material.
 - Rail to be traditional Richmond rail, painted color TBD (will select from list of acceptable colors).
- Replace front door with half light door and transom (see attached).
- Exterior cornice to be repaired as needed.

In rear of building, add wood privacy fence around rear yard, and build PT wood deck at ground level (approx 18" above grade). Change (1) window into door, and (1) door into window to accommodate new interior layout.



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Company _____

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PROJECT INFORMATION

Project Type:

Alteration

Demolition

New Construction

(Conceptual Review Required)

Project Description: (attach additional sheets if needed)

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Requirements: A complete application includes all applicable information requested on checklists available on the CAR website to provide a complete and accurate description of existing and proposed conditions, as well as payment of the application fee. Applicants proposing major new construction, including additions, should meet with Staff to review the application and requirements prior to submitting an application. Owner contact information and signature is required. Late or incomplete applications will not be considered.

Zoning Requirements: Prior to Commission review, it is the responsibility of the applicant to determine if zoning approval is required and application materials should be prepared in compliance with zoning.

Signature of Owner

Date

09/28/2020

2008 Venable St. – Renovation Scope of Work:

Renovate existing SFA Home at 2008 Venable Street. Interior - all new plumbing, electrical, mechanical systems. Various interior layout changes. All new finishes. Install firewall between adjacent property.

Exterior:

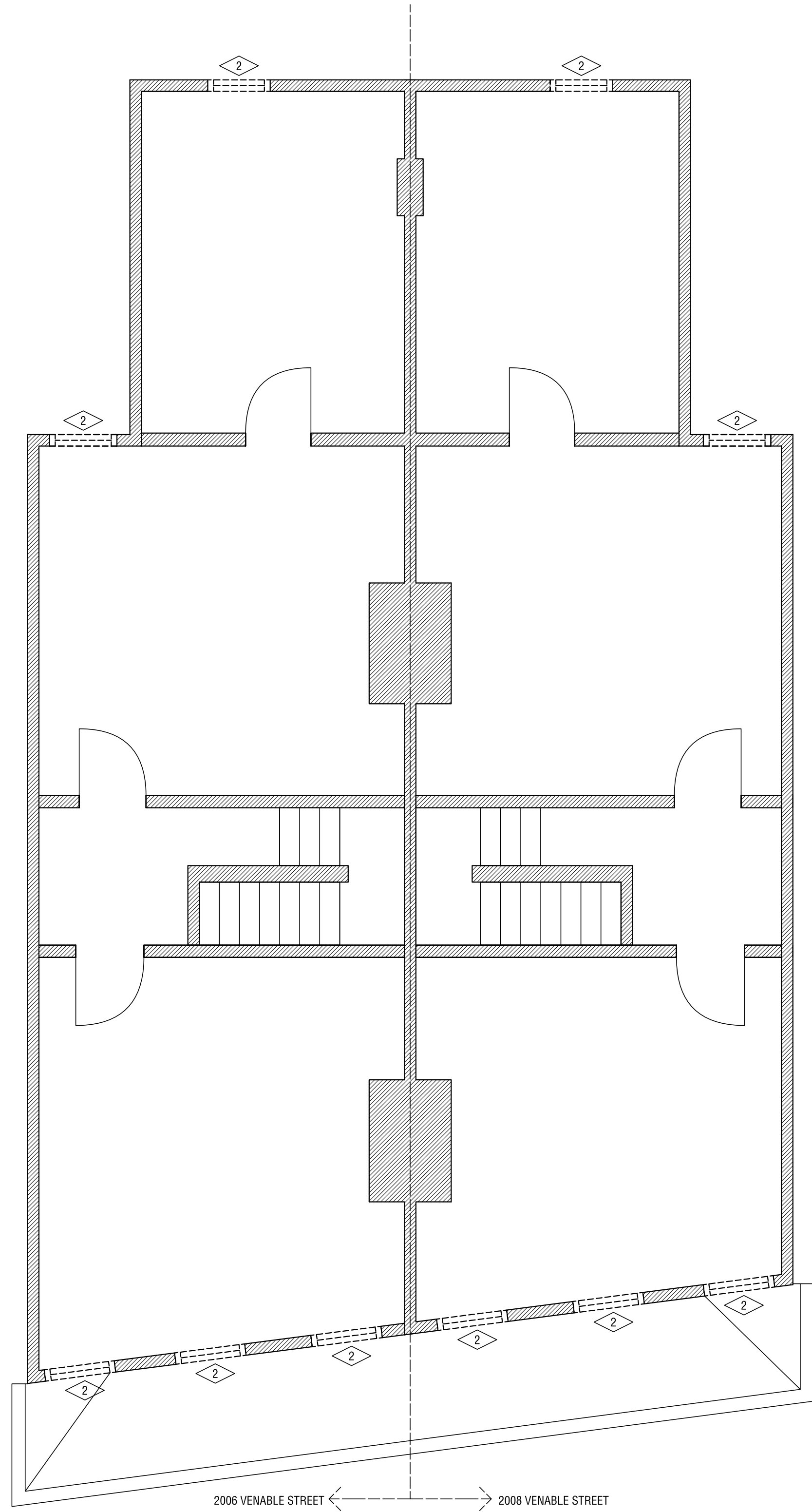
- Remove asphalt shingle siding and replace with smooth Hardi Plank, color TBD and selected from CAR list of approved colors.
- Replace existing windows (beyond repair) in kind with wood windows, same mullion pattern (see attached window survey).
 - If acceptable by CAR, reduce size of 1st floor front elevations by 18" to pull off of floor and eliminate safety hazard.
- Replace existing roof (not visible from ground). HVAC unit to be on roof, not visible from ground.
- Replace existing porch roof (visible from front elevation), material TBD based on input from CAR.
- Replace existing porch boards and railing.
 - Steps and porch to be composite material.
 - Rail to be traditional Richmond rail, painted color TBD (will select from list of acceptable colors).
- Replace front door with half light door and transom (see attached).
- Exterior cornice to be repaired as needed.

In rear of building, add wood privacy fence around rear yard, and build PT wood deck at ground level (approx 18" above grade). Change (1) window into door, and (1) door into window to accommodate new interior layout.

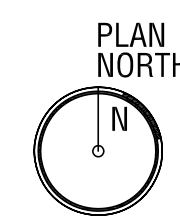
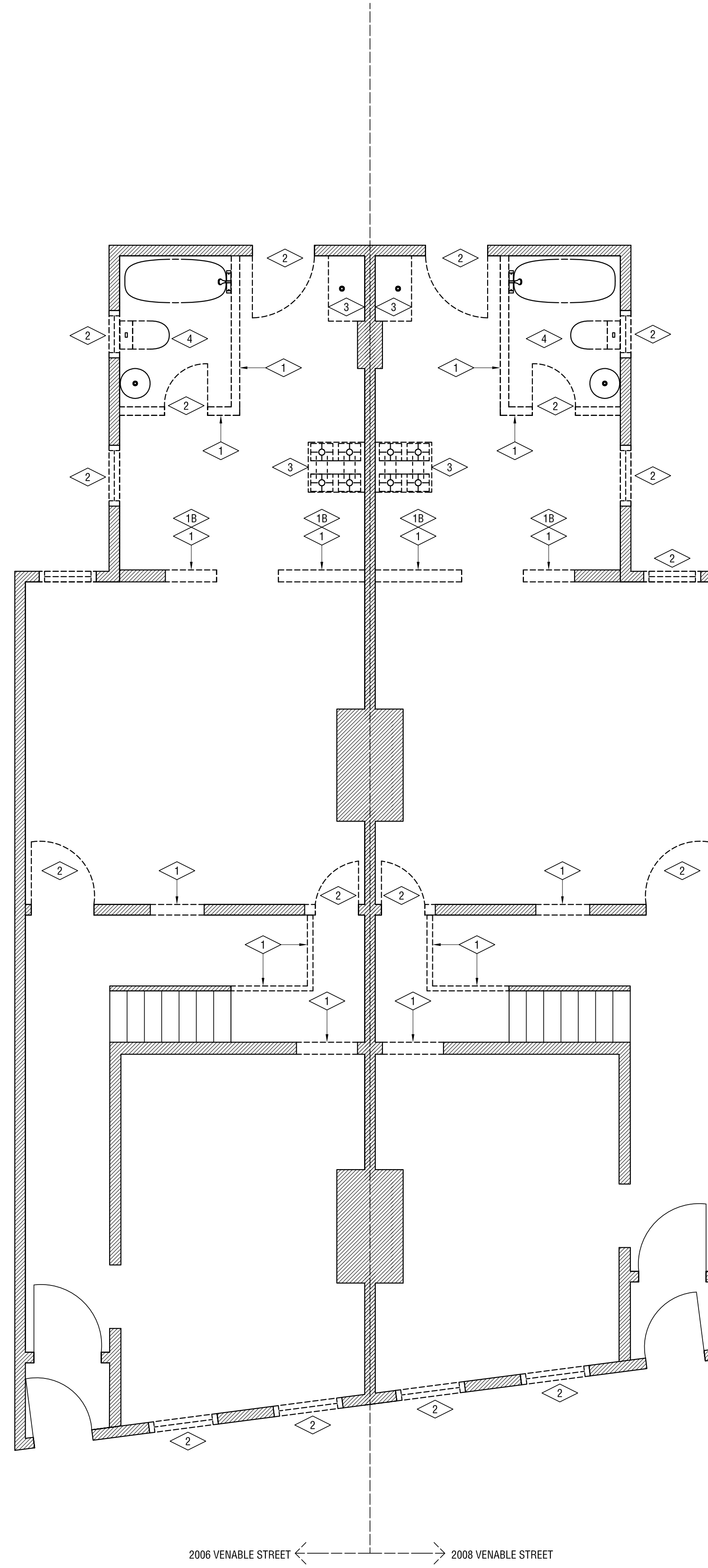
GENERAL NOTES

- All work, materials, and equipment shall comply with 2012 Virginia Uniform Statewide Building Code and applicable local building codes. Where applicable, comply with all requirements of the 2010 ADA Standard for Accessible Design.
- The Contractor shall be responsible for obtaining & paying for all the required permits, inspections, etc.
- Contractor and all sub-Contractors shall take out & maintain workman's compensation insurance, and public liability & property damage insurance acceptable to the Owner & local governing authorities having jurisdiction.
- The Contractor shall be responsible for locating all existing underground utilities. Where encountered, make all necessary arrangements for support, shore-up, re-route or utility disconnections as required by applicable local or private utility companies.
- Contractor shall provide temporary facilities, service utilities, and protection as required to safely executing all work. Protect adjacent construction, and inhabitants. Comply with all applicable requirements of governing authorities including, but not limited to public utilities. Provide 48-hour notification of any discontinuity of utility services with Owner.
- Information shown on the drawings has been obtained through the review of information taken in the field. Contractor shall verify and coordinate all new and existing conditions and dimensions at job site for comparison with drawings and specifications prior to bidding, at start of, and during construction. If any discrepancies, inconsistencies or omissions are found, the Architect shall be notified, in writing for clarification prior to proceeding with work.
- Do not scale drawings. Contractor shall rely on written dimensions as given. The Contractor shall notify the Architect for clarifications. All dimensions shall be field verified by Contractor and coordinated with all of the work of all trades. If discrepancies are found, the Contractor shall notify the Architect in writing for clarification before proceeding.
- The Architect shall not be responsible where construction deviates from these drawings or from written recommendations. Changes to the plan by the Owner and/ or Contractor shall be the responsibility of the persons making such changes.
- The Architect shall not be responsible for construction means, methods, techniques, sequences, or procedures, for safety precautions & programs in connection with the work, for the acts or omissions of the Contractor, subContractor, for any other persons performing any of the work, or for the failure of any of them to carry out the work in accordance with the contract documents.
- All interior dimensions are to face of finished wall, unless noted otherwise. Interior partitions are dimensioned to nominal thickness on floor plans. See partition types on Sheet A3.01 for actual thickness.
- Abbreviations throughout the plans are those in common use. Notify the Architect of any abbreviations in question. The abbreviation "AFF" stands for "above finished floor". This indicates the dimension above the final floor finish [i.e. carpet, ceramic tile, VCT, etc.] The Contractor shall review and coordinate any required final floor finish with any heights required before the installation of the floor finish.
- Provide tempered glazing where glazing in fixed or operable panels adjacent to a door where the nearest exposed edge of the glazing is within 24 inches of either vertical edge of the door in a closed position and where the bottom exposed edge of the glazing is less than 18 inches above the walking surface.
- Install all products in accordance with the manufacturer's instruction, recommendations & the standard of recognized agencies & associations. Provide all anchors, fasteners, & accessories required for a complete installation. Allow for thermal expansion/contraction & building movement. Install products under appropriate environmental conditions [air temperature, surface temperature, relative humidity, etc.] To ensure quality and durability, maintain proper protection during drying/curing.
- The Contractor shall, without delay & prior to fabrication or installation, bring to the attention of the Architect and Tenant representative (if applicable) any discrepancies between the manufacturer's specifications or recommendations, applicable code provisions, and the contract documents.
- Separate incompatible materials with suitable materials or spacing. Protect aluminum surfaces from contact with masonry or other metals and prevent corrosion. Provide control joints at materials & isolation joints between materials/ structure as indicated & as required by manufacturer or recognized industry standards.
- The Contractor shall select products which comply with the contract documents & which are compatible with one another, with existing work, & the products selected by other Contractors. Provide manufacturers information, samples, etc. when requested.
- Submission of a substitution request by the Contractor, where permitted on the contract documents, shall constitute a representation by the Contractor that he has investigated the proposed product or conditions & determined that it is equal to or better than the specified product or condition, including warranty coverage, & that he will coordinate the installation & make other changes, including modification and coordination of other work affected by the change, which may be required for their work to be complete in all aspects.
- Contractor shall check verify & maintain all dimensions, grades, levels & other conditions before proceeding with fabrication & construction. Coordinate exact locations of equipment, fixtures & outlets with finished elements. Where necessary or where specifically indicated, the Contractor shall provide shop drawings & detailed component design as required for the proper fabrication, installation, and coordination with other trades.
- Contractor shall provide Submittals [3 copies] for all fixtures, materials, and finishes, including but not limited to; Paint, Flooring, Wood Finishes, Door Hardware, Plumbing, and Lighting.
- Contractor shall provide building code compliant Engineered Shop Drawings [3 copies] for all structural work, including but not limited to; Expanded Masonry Openings, New Stairs and Guardrails, New Storefront and New Structural Framing.
- Contractor shall furnish shop drawings for all shop fabricated items & where customarily required & submit four sets of shop drawings for review. The Contractor shall be responsible for checking the shop drawings for accuracy, coordination with other trades, & compliance with the contract documents before being submitted for approval.
- Architect's or engineer's approval of shop drawings shall constitute review & approval of the general arrangement of components to comply with the general intent of the construction documents & in no way relieves the Contractor from his responsibility for compliance with the contract documents, even if such items are not shown on the shop drawings. All revisions to shop drawings after the first submission must be properly identified on subsequent submissions.
- Prior to performing any work, the Contractor shall examine the applicable conditions & substrates & correct any unsatisfactory conditions before proceeding with the work. Verify that substrates are compatible with new work. Work performed over any surface constitutes acceptance of that surface for the specified quality of the work being performed thereon. Include all cutting & patching for penetrations through floors, walls ceilings and roofs. Do not cut or notch any structural member to reduce its load carrying capacity.
- Notify the Architect in all cases where cutting into an existing structural portion of any building is either expedient or necessary. Prior to proceeding with work, reinforcement and/or support satisfactory to Architect and structural engineer shall be provided by Contractor prior to cutting into structural portions of any building.
- Should unforeseen conditions be encountered that affect design or function of the project, Contractor shall investigate fully and notify the Architect immediately.
- When it is necessary to interrupt any existing utility service to make corrections and/or connection, a minimum of 48 hours advance notice shall be given the Owner. Interruptions in utility services shall be of the shortest possible duration for the work at hand and shall be approved in advance by the Owner.
- Contractor shall fill all voids in masonry and concrete created around all penetrations with construction to match surrounding conditions. Contractor is responsible for painting all exposed steel, decking, piping, conduit, sprinkler piping and ducts which are exposed in areas with no ceilings and scheduled to receive paint finish as indicated on interior finish notes.
- Contractor shall follow OSHA Lead Paint Inspection and Compliance Procedures [OSHA 29CFR 1926.62] if lead paint is encountered on the job site.
- Any work installed in conflict with the contract documents shall be corrected by the Contractor at his expense and at no additional expense to the Owner, Architect, or Consultants.
- The Contractor shall furnish all materials, labor, equipment, transportation and services necessary for the satisfactory completion of work unless designated (N.I.C.). All equipment, work and materials shall comply with all current and local applicable codes and governing regulations, and the contract documents.
- The Contractor shall protect all finish work and surfaces from damage during the course of construction and shall replace and/or repair all damaged surfaces caused by Contractor or Sub-contractor personnel to the satisfaction of the Owner and Architect.
- All Contractors performing work on the premises shall be responsible for initiating, maintaining and supervising a reasonable and prudent safety program including but not limited to the isolation of work areas and the prompt removal of any debris or tools which might endanger visitors and staff of the Owner or Architect.
- Contractor shall coordinate the installation of the various trade items within the space above all ceilings [including, but not limited to: structural members, mechanical ducts and insulation, conduits, raceways, sprinkler system, light fixtures, ceiling systems, and any special structural supports required] and shall be responsible for maintaining the finish ceiling height above the finish floor indicated in the drawings and the finish schedule. [Ceiling height dimensions are to the finish surface of ceiling].
- Contractor shall provide and install all blocking, stiffeners, back-up plates and supporting brackets required for the installation of all ceilings, casework, toilet accessories and of all floor-mounted or suspended mechanical and electrical equipment.
- Access panels shall be provided and installed wherever required by building code or for the proper operation or maintenance of mechanical or electrical equipment, whether or not indicated on the drawings. Contractor shall coordinate size, location, and type of access panel with other Contractors' work and receive approval of the Architect. Access panel shall be as specified. No access panel shall be located, framed or installed without the expressed approval of the Architect.
- Required exits shall not be blocked at any time. All exit doors shall open from the inside without the use of a key or any special knowledge or effort and shall be accessible by the handicapped.
- All exit doors serving the building shall swing in the direction of exit travel, when required by code. Provide approved panic hardware assemblies on all exit doors, where required by code.
- Provide illuminated exit sign at all required exits signs at all required exits and where otherwise necessary in order to indicate the direction of egress. Signs are to be illuminated at any time the building is occupied. The exit sign system is to be installed in accordance with the requirements of the electrical code.
- Provide an approved emergency exit lighting which illuminates all exit pathways an which receives its power supply from storage batteries or an emergency power generator.
- All electrical work shall be carried out by a licensed electrician only. All work shall conform to the provisions of the National Electric Code of NFPA, latest edition.
- All plumbing work shall be carried out by a licensed plumber. All equipment and fixtures to conform to the National Standard Plumbing Code, latest edition.
- All Sub-contractors are responsible for maintaining the integrity of fire-rated assemblies that their scope of work penetrates.
- The Contractor shall verify all electrical and plumbing rough-in locations for any special equipment with the supplier of such equipment.
- See Mechanical, Electrical and Plumbing drawings for layouts of and specifications for equipment and design of these respective systems. Information included but not limited to lighting, wiring, switching, HVAC, and sprinkler systems.
- Contractor shall notify the Owner and Architect (if applicable) of any conflicts with lighting fixtures, fire sprinklers, and HVAC grills to be located on suspended ceiling grid system prior to installation.
- Coordinate openings through partitions above the ceilings for HVAC supply and return requirements with the HVAC contract and drawings.
- Contractor shall coordinate locations of light fixtures, sprinkler heads, registers, etc. with the electrical, HVAC, plumbing, and sprinkler sub-Contractors. Contractor shall also coordinate light fixtures, sprinkler heads, registers, etc. All sprinkler heads, diffusers and registers shall be centered with suspended acoustical panels, unless other wise noted on drawings.
- Where switches are shown adjacent to each other, they shall be ganged and covered with a single plate.
- The Contractor shall prepare & maintain a complete set of record construction drawings indicating all actual work, modification & revisions to the work delineated on the constructions drawings as well as any concealed construction work.
- Contractor shall procure final certificate of occupancy upon substantial completion of the project and forward to the Owner. Contractor shall remove and legally dispose of all materials from the job site, clean the premises, test applicable systems, and leave ready for occupancy.
- Unless otherwise indicated, Contractor is to provide written warranty for a period of one year from the date of substantial completion. The warranty shall state all work has been completed in conformance with the contract documents, applicable codes, and enforcing authorities and that all work is free from defects of material and workmanship. Provide contact information of product representatives to be contacted for service, provide operating maintenance brochures, and guarantees as required.
- Drawings and specifications as instruments of service remain the property of Architect and are protected under common law copyright provisions. They are not to be reused except by written agreement and with the agreed compensation to the Architect. If reused without permission, the Architect shall be indemnified and held harmless from all liability, legal exposure, claims, damages, losses & expenses. Drawings shall not be used for issuance of a building permit unless signed & sealed by the Architect.

JOB NUMBER / 2006-2008	DATE / 01 SEPT 2020	SCALE / NTS	DRAWN / APS		REVISIONS /
			CHECKED / APS		
SHEET / CS.01	GENERAL NOTES				



02 SECOND FLOOR PLAN
SCALE: 1/4"=1'-0"



01 FIRST FLOOR PLAN
SCALE: 1/4"=1'-0"

DEMOLITION LEGEND

- EXISTING CONSTRUCTION TO REMAIN
- EXISTING CONSTRUCTION TO BE REMOVED

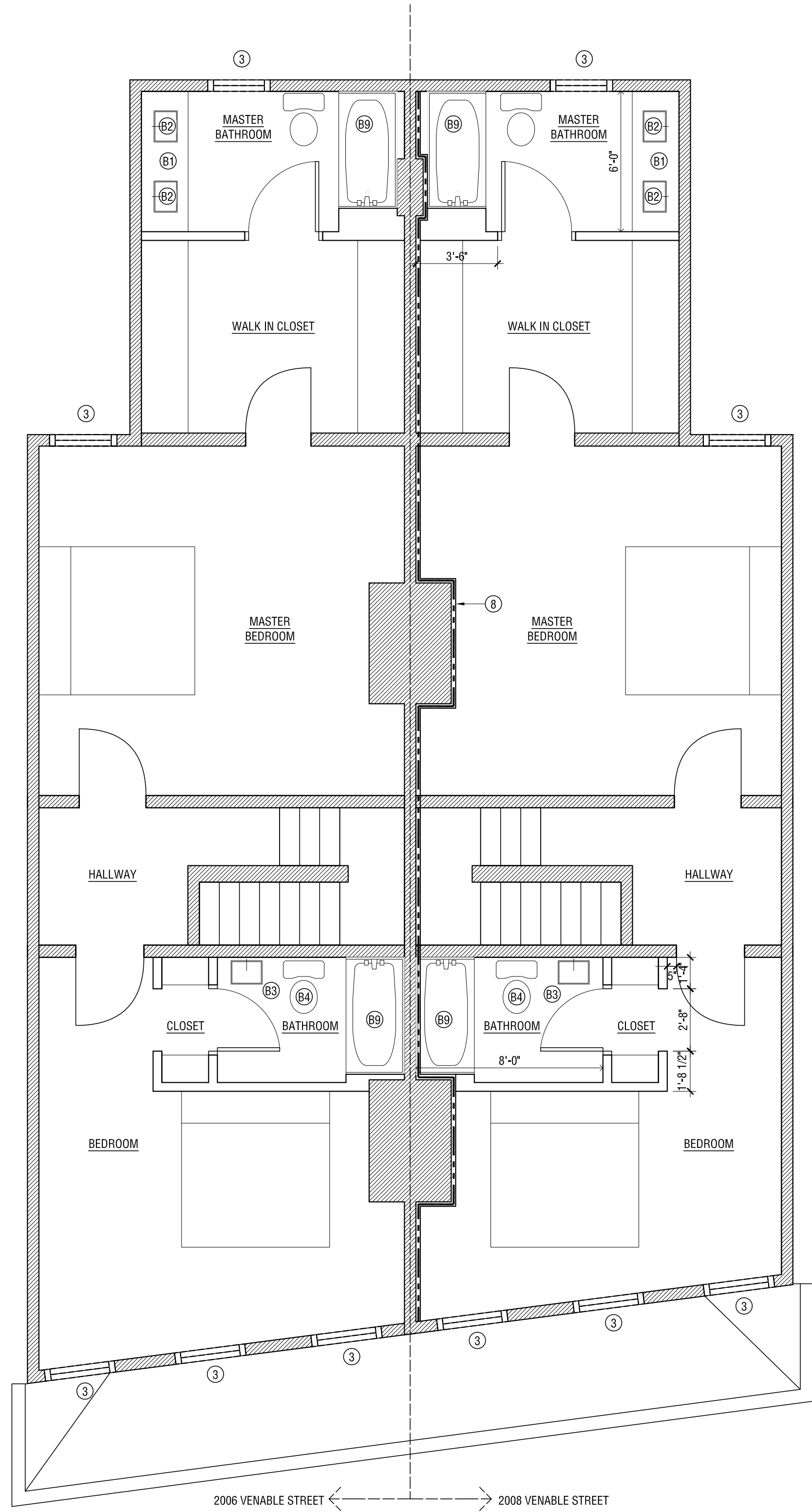
DEMOLITION PLAN NOTES

- 1 REMOVE EXISTING WALLS AS INDICATED, INCLUDING ALL ASSOCIATED WIRING, RECEPTACLES, FIXTURES, SWITCHES, ETC. PATCH & REPAIR ALL ASSOCIATED SUBSTRATES AND FINISHES TO MATCH EXISTING.
- 1B REMOVE PARTIAL SECTION OF EXISTING BEARING WALL AND PREPARE FOR NEW HEADER. PROVIDE NECESSARY PROTECTION AND STRUCTURAL BRACING TO SECURE OPENING BEFORE REMOVING. PATCH & REPAIR ALL ASSOCIATED SUBSTRATES AND FINISHES TO MATCH EXISTING.
- 2 REMOVE EXISTING DOOR/WINDOW, TRIM AND ALL ASSOCIATED HARDWARE. SALVAGE PER OWNER'S REQUEST.
- 3 REMOVE EXISTING APPLIANCES.
- 4 REMOVE EXISTING PLUMBING FIXTURES CAP PLUMBING LINES BELOW THE FINISH FLOOR.

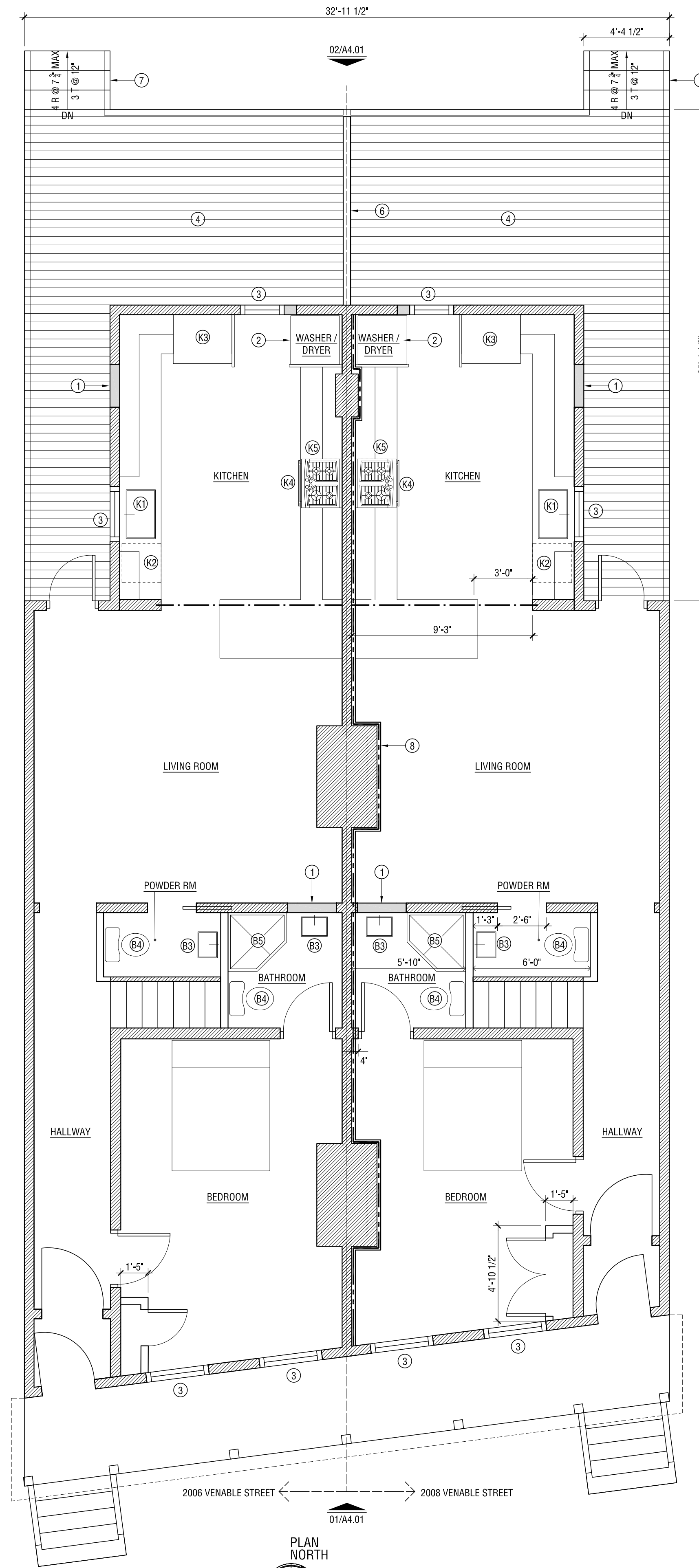
DEMOLITION PLAN NOTES

- 1 COORDINATE ALL CONSTRUCTION ACTIVITIES AND SCHEDULE WITH THE OWNER PRIOR TO DEMOLITION COMMENCEMENT.
- 2 THE CONTRACTOR SHALL NOT CONSIDER DEMOLITION AND ALTERATION NOTES TO BE ALL-INCLUSIVE. IT IS CONTRACTOR'S RESPONSIBILITY TO INSPECT AND ASSESS EACH AREA AND TO FULFILL THE INTENT OF THE DESIGN INDICATED BY THE CONTRACT DOCUMENTS.
- 3 THE CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS WITHIN THE CONTRACT LIMITS AND NOTIFY THE ARCHITECT IMMEDIATELY IN WRITING OF ANY DEVIATION FROM CONTRACT DOCUMENTS NECESSITATED BY FIELD CONDITIONS OR ITEMS NOT COVERED.
- 4 THE CONTRACTOR SHALL REMOVE EXISTING WALLS, ASSOCIATED CONSTRUCTION, AND OTHER ITEMS AS INDICATED BY DASHED LINES AND NOTES.
- 5 VERIFY AND COORDINATE LOCATION AND EXTENT OF DEMOLITION WITH NEW CONSTRUCTION DRAWINGS. PATCH & REPAIR EXISTING ADJOINING AREAS TO REMAIN. ALL WORK, WHICH IS TO REMAIN IN PLACE, SHALL BE PROTECTED FROM DAMAGE, AND IF DAMAGED, SHALL BE REPAIRED AT NO COST TO THE OWNER.
- 6 FOR ALL SURFACES SCHEDULED TO REMAIN, PATCH AND MATCH SURFACES DISTURBED BY DEMOLITION OR REMOVAL OF EQUIPMENT OR UTILITIES. INSTALL PATCHING TO MATCH ADJACENT WORK IN FINISH, STRUCTURAL QUALITIES, COURSEING OF MASONRY, AND OTHER CHARACTERISTICS.
- 7 PROVIDE TEMPORARY PARTITIONS/DUST PROTECTION AS REQUIRED. REVIEW LOCATIONS OF TEMPORARY PARTITIONS/DUST PROTECTION WITH OWNER AND ARCHITECT PRIOR TO START OF WORK.
- 8 PRIOR TO ANY DEMOLITION, THE CONTRACTOR SHALL COORDINATE BRACING AND MAINTAIN THE STRUCTURAL INTEGRITY OF THE REMAINING ELEMENTS OF THE BUILDING AND ITS SYSTEMS AS REQUIRED. THE CONTRACTOR SHALL PROVIDE ALL TEMPORARY SHORING, SCAFFOLDING, ETC., WHICH ARE NECESSARY TO PREVENT COLLAPSE, SUBSIDENCE, DEFLECTION OR ANY OTHER TYPE OF DAMAGE.
- 9 ANY FLOOR OPENINGS SHALL BE COVERED DURING DEMOLITION AND CONSTRUCTION.
- 10 ANY ROOF DEMOLITION SHALL BE MADE STRUCTURALLY SOUND, TEMPORARILY PATCHED, AND APPROPRIATELY WATERPROOFED FOR DURATION OF CONSTRUCTION UNTIL INSTALLATION OF NEW ROOF MEMBRANE AND ASSOCIATED WATERPROOFING DETAILS.
- 11 THE CONTRACTOR SHALL REMOVE ALL DEMOLISHED DEBRIS AND RUBBISH FROM SITE AS PRACTICAL UNLESS NOTED OTHERWISE. DO NOT ACCUMULATE DEBRIS AT THE SITE.

JOB NUMBER / 2006-2008	DATE / 01 SEPT 2020	SCALE / 1/4"=1'-0"	DRAWN / APS	REVISIONS /
			CHECKED / APS	
DEMOLITION FLOOR PLAN				
AD.01				SHEET /



02 SECOND FLOOR PLAN
SCALE: 1/4"=1'-0"



01 FIRST FLOOR PLAN
SCALE: 1/4"=1'-0"

LEGEND

- EXISTING CONSTRUCTION TO REMAIN
- NEW WALL CONSTRUCTION
- SOUND BATT INSULATION

PLAN NOTES

- 1 NEW WALL GPDW WALL. MATCH EXISTING WALL THICKNESS WHERE REQUIRED
- 2 WASHER / DRYER PROVIDE NEW WATER SUPPLY AND VENT
- 3 NEW WINDOW REFERENCE ELEVATIONS FOR SIZE
- 4 NEW PRESSURE TREATED DECK
- 5 NEW PRESSURE TREATED GUARDRAIL
- 6 NEW PRESSURE TREATED DIVIDER WALL
- 7 NEW PRESSURE TREATED STAIRS 7 3/4" MAX RISER HEIGHT
- 8 NEW 2 - HOUR FIRE RATED ASSEMBLY (UL DES U415)

KITCHEN

- K1 SINK @ FAUCET
- K2 DISHWASHER
- K3 REFRIGERATOR
- K4 OVEN AND RANGE
- K5 MICROWAVE HOOD COMBO

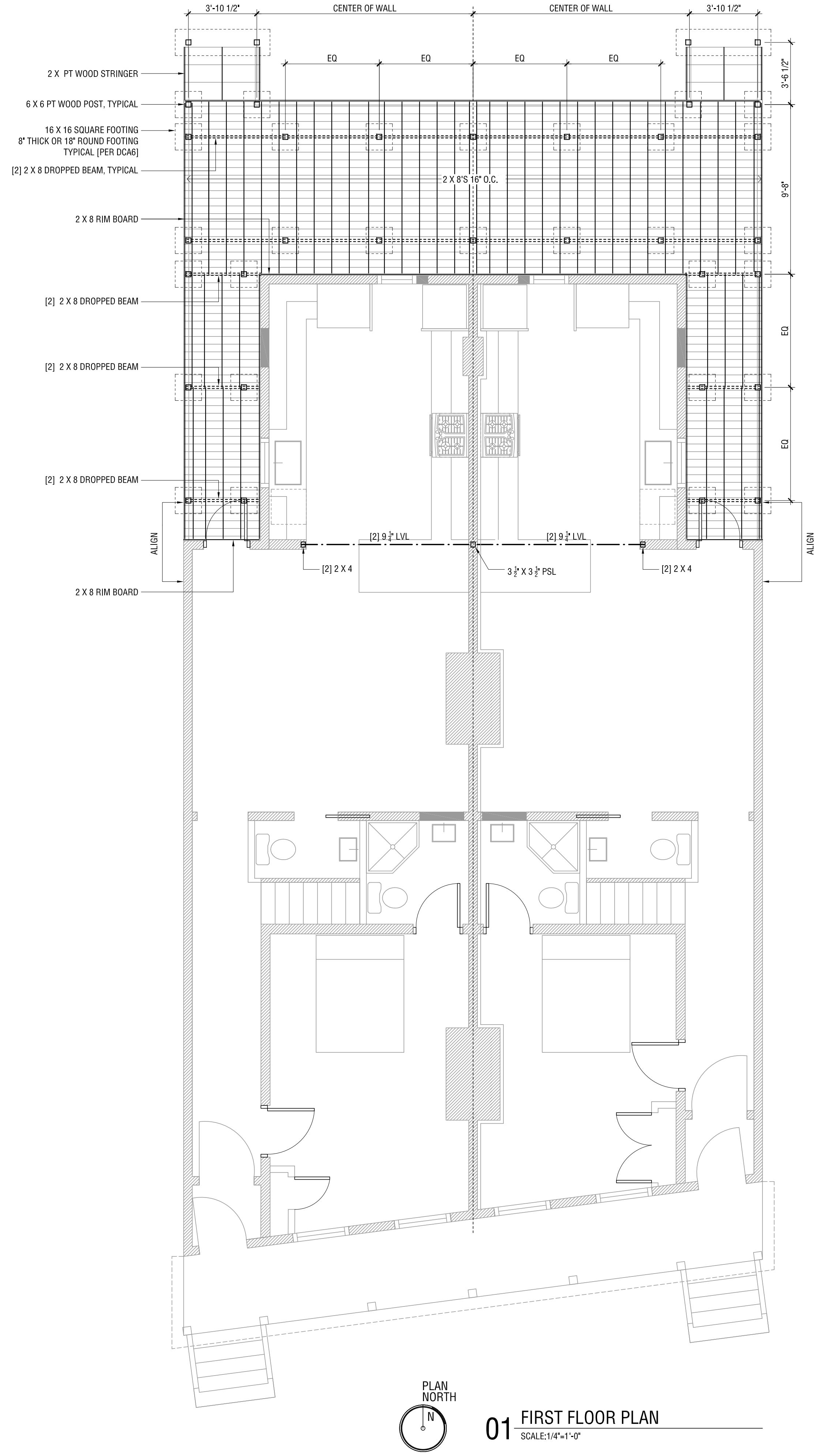
BATHROOMS

- B1 NEW VANITY W/ SOLID SURFACE COUNTERTOP
 - B2 NEW SINK W/ FAUCET
 - B3 NEW WALL MOUNTED SINK WITH DECK MOUNTED FAUCET
 - B4 NEW TOILET
 - B5 PREFABRICATED SHOWER WITH FAUCET
 - B6 NEW TUB AND FAUCET
- EXISTING
- E1 EXISTING WINDOW

GENERAL NOTES

- 1 GC TO NOTIFY ARCHITECT WITH ANY DISCREPANCIES, CONFLICTS OR QUESTIONS FOR DIRECTIONS PRIOR TO PROCEEDING WITH ANY WORK.
- 2 ALL DECK CONNECTIONS NOT NOTED SHALL BE PER LOCAL JURISDICTION REQUIREMENTS OR DCA 6.

JOB NUMBER / 2006-2008	DATE / 01 SEPT 2020	SCALE / 1/4"=1'-0"	REVISIONS /
			APPS
SHEET / A1.01	FLOOR PLAN	CHECKED /	APPS
		DRAWN /	APPS



CONTRACTOR TO REFERENCE DECK CONSTRUCTION GUIDE (DCA6) FOR ALL FOOTING, POST, BEAM, JOIST, BLOCKING, GUARDRAIL, STAIRS AND CONNECTIONS



01 FIRST FLOOR PLAN
SCALE: 1/4"=1'-0"

JOB NUMBER / 2006-2008	DATE / 01 SEPT 2020	SCALE / 1/4"=1'-0"	DRAWN /	APPS	REVISIONS /
			CHECKED /	APPS	
SHEET / AF.01			FRAMING PLAN		


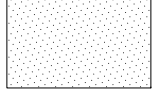
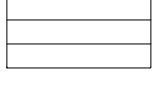
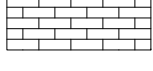
RENOVATION 2006 - 2008 VENABLE STREET

2006 - 2008 VENABLE STREET_RICHMOND VA 23230



fultzsingharchitects.com
3412 W LEIGH STREET
SUITE 200
RICHMOND VA 23230

INTERIOR ELEVATION LEGEND

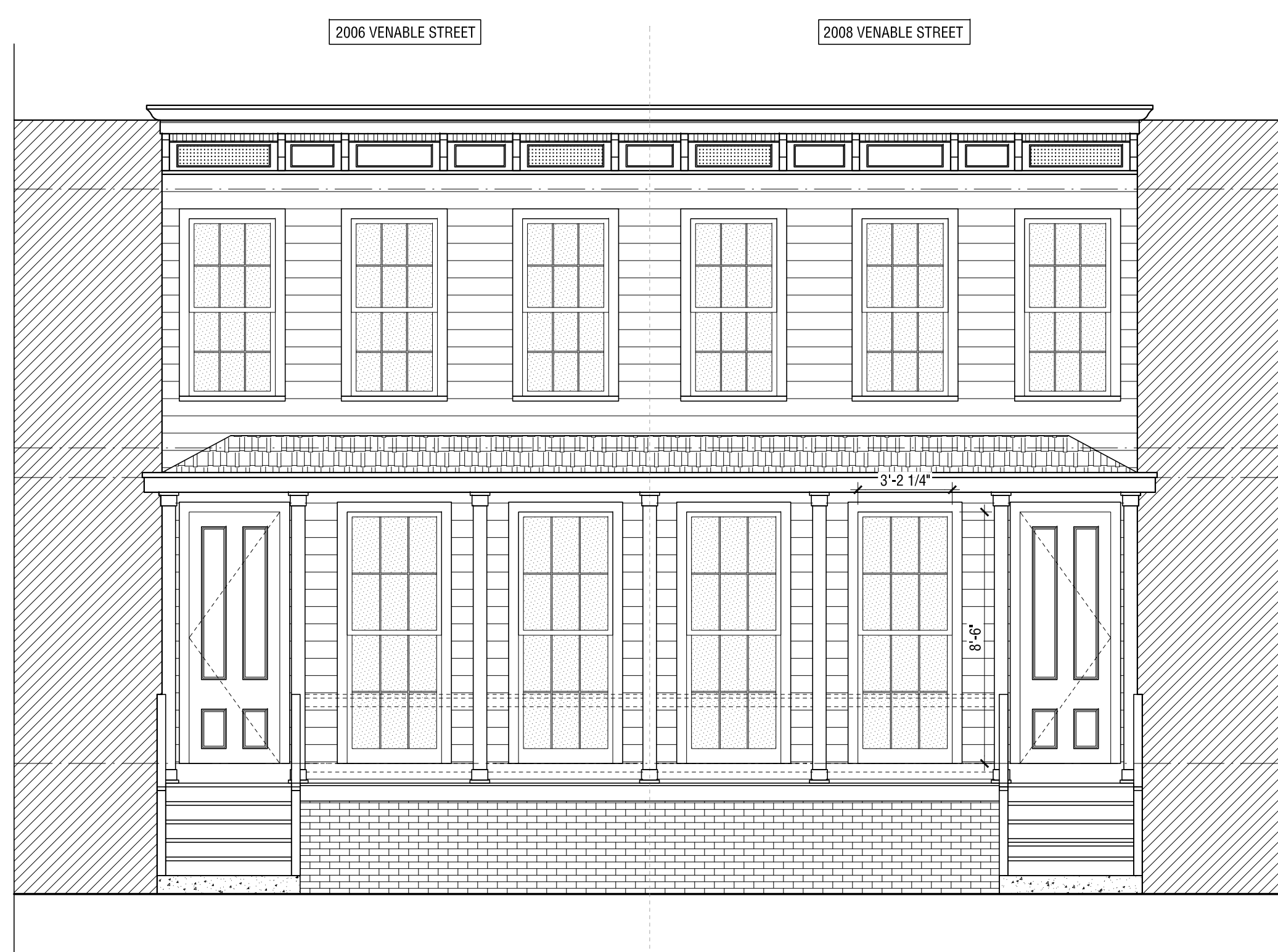
-  ADJACENT PROPERTY
-  GLASS
-  HARDIE BOARD LAP SIDING 7" EXPOSURE (PNT-X)
-  EXISTING BRICK

EXTERIOR ELEVATION NOTES

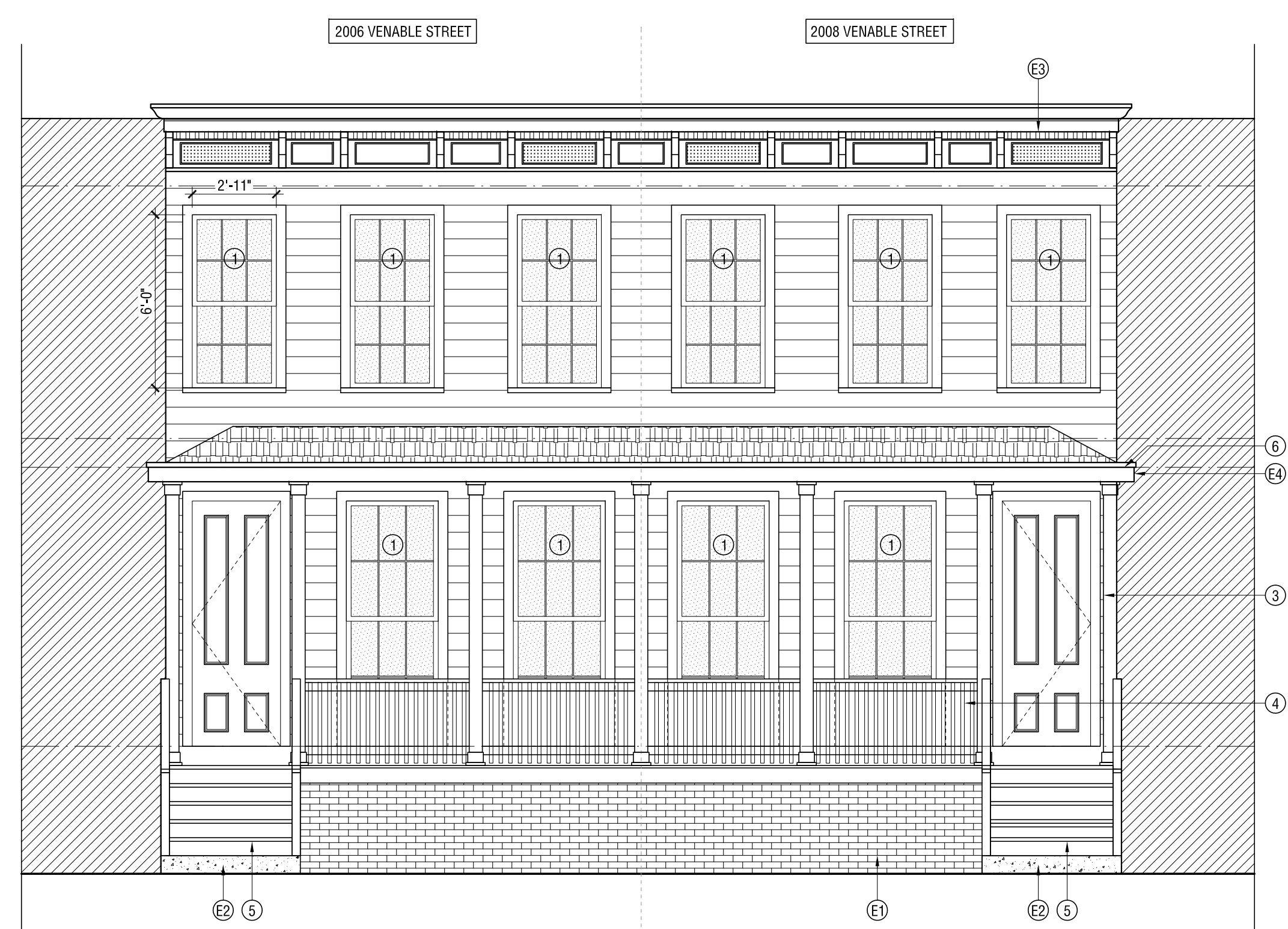
- 1 NEW WINDOW, REFERENCE ELEVATION FOR WINDOW SIZE
 - 2 NEW DOOR WITH GLASS LITE
 - 3 NEW 6 X 6 WOOD PT POST (PNT)
 - 4 NEW PT GUARDRAIL (PNT)
 - 5 NEW PT WOOD STAIR
 - 6 NEW METAL FASCIA
 - 7 NEW METAL GUTTER WITH DOWNSPOUT
 - 8 NEW PT WOOD DECK
 - 9 NEW PT GUARDRAIL - DASHED FOR CLARITY
- FRAMING**
- F1 16" X 16" X 8" CONCRETE FOOTING - OR - 18" ROUND FOOTING PER DCA6
 - F2 6 X 6 PT POST ATTACH PER DCA6
 - F3 2 X 8 PT RIM JOIST
- EXISTING**
- E1 EXISTING MASONRY WALL (PNT-X)
 - E2 EXISTING CONCRETE STEP
 - E3 EXISTING WOOD CORNICE, PATCH / REPAIR AND REPAINT
 - E4 EXISTING PORCH ROOF, PATCH / REPAIR AND REPAINT



02 EXTERIOR ELEVATION
SCALE: 1/4"=1'-0"



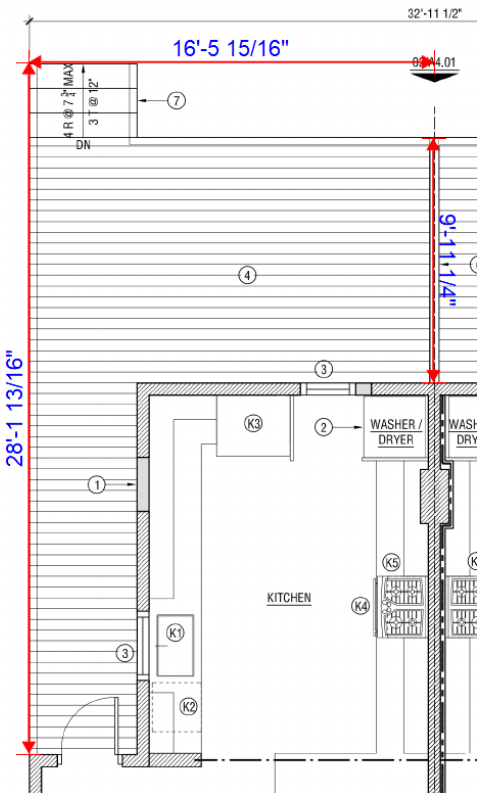
1B EXTERIOR ELEVATION
SCALE: 1/4"=1'-0"
GUARDRAIL REMOVED FOR CLARITY



01 EXTERIOR ELEVATION
SCALE: 1/4"=1'-0"

JOB NUMBER / 2006-2008	DATE / 01 SEPT 2020	SCALE / 1/4"=1'-0"	DRAWN /	APPS	REVISIONS /
			CHECKED /	APPS	
SHEET / A4.01			EXTERIOR ELEVATION		

Yellow lines represent 6' Privacy fence along property line. Defer to CAR on whether they prefer painted or unpainted.



Deck to be built from PT lumber on rear elevation, will not be visible from public ROW behind future privacy fence. Finished elevation only +/- 18" above grade.

Snapshot from A1.01 in building plans



COMMISSION OF ARCHITECTURAL REVIEW

WINDOW ASSESSMENT FORM

2006 Venable Street

Property Address: _____

Window Information				General Condition				Window Assessment							Proposed treatment
Window #	Style	Width and Height	Material	Paint condition?	Square?	Operable?	Missing or broken panes?	Sill and Lintel	Jams	Rails	Stiles	Muntins	Panes and Glazing Putty	Total Value	
Ex.	Double-hung 2/2	36" x 78"	Wood	Poor	Yes	No	Yes	2	1	2	1	1	3	10	Replace and reglaze broken panes, waterproof and repaint wood.
A	N/A - Window Missing	36" x 72"	Wood	Poor	Yes	No	Yes	N/A - Window Missing							Replace in kind with new wood, double hung, 3 over 2 window to be painted.
B	Double Hung - (Bottom Sash Missing)	36" x 72"	Wood	Poor	Yes	No	Yes	4	4	4	4	4	4	24	Replace in kind - based on adjacent building it appears this should be a 3 over 2 grid pattern
C	N/A - Window Missing	36" x 72"	Wood	Poor	Yes	No	Yes	N/A - Window Missing							Replace in kind with new wood, double hung, 3 over 2 window to be painted.
D	Double Hung - 2/0	36" x 102"	Wood	Poor	Yes	No	No	4	4	4	4	4	4	24	Replace in kind with new wood windows - identical grid pattern. See attached for requested size reduction for safety where view is obscured by rails from public ROW
E	Double Hung - 2/0	36" x 102"	Wood	Poor	Yes	No	No	4	4	4	4	4	4	24	Replace in kind with new wood windows - identical grid pattern. See attached for requested size reduction for safety where view is obscured by rails from public ROW



COMMISSION OF ARCHITECTURAL REVIEW

WINDOW ASSESSMENT FORM

Property Address: 2006 Venable Street

Window Information				General Condition				Window Assessment							Proposed treatment
Window #	Style	Width and Height	Material	Paint condition?	Square?	Operable?	Missing or broken panes?	Sill and Lintel	Jambs	Rails	Stiles	Muntins	Panes and Glazing Putty	Total Value	
Ex.	Double-hung 2/2	36" x 78"	Wood	Poor	Yes	No	Yes	2	1	2	1	1	3	10	Replace and reglaze broken panes, waterproof and repaint wood.
F	N/A - Window Missing	36" x 72"	Wood	Poor	Yes	No	Yes	N/A - Window Missing							Replace in kind with new wood, double hung, 3 over 2 window to be painted.
G	Door														Reduce opening size to 36"x72" and install new window (same as F) to accommodate new layout.
H	N/A - Window Missing	24" X 18"													Infill window and cover with siding to accomodate new layout. Window not visible from public ROW
I	Double Hung - (Bottom Sash Missing)	36" x 72"	Wood	Poor	Yes	No	Yes								Reduce window opening size to fit above new kitchen sink. Replace in kind to match others. Window not visible from public ROW
J															Remove window and install door to accomodate new layout - window not visible from public ROW.
K	N/A - Window Missing	36" x 72"	Wood	Poor	Yes	No	Yes	N/A - Window Missing							Replace in kind with new wood, double hung, 3 over 2 window to be painted. Window not visible from public ROW.

FRONT ELEVATION - AS SEEN FROM PUBLIC ROW (VENABLE ST.)



Proposed reduction in window size for safety at windows D & E



REAR ELEVATION - AS SEEN FROM PUBLIC ROW (alley behind)



2006 Venable Street