

INTRODUCED: January 8, 2018

AN ORDINANCE No. 2018-016

As Amended

To authorize the special use of the property known as 900 St. James Street for the purpose of a building with non-residential uses on the first floor and up to 12 dwelling units on the upper floors, upon certain terms and conditions.

Patron – Mayor Stoney (By Request)

Approved as to form and legality
by the City Attorney

PUBLIC HEARING: FEB 12 2018 AT 6 P.M.

WHEREAS, the owner of the property known as 900 St. James Street, which is situated in a R-53 Multifamily Residential District, desires to use such property for the purpose of a building with non-residential uses on the first floor and up to 12 dwelling units on the upper floors, which use, among other things, is not currently allowed by section 30-418.1 of the Code of the City of Richmond (2015), as amended; and

WHEREAS, in accordance with section 17.11 of the Charter of the City of Richmond (2010), as amended, it has been made to appear that, if granted subject to the terms and conditions set forth in this ordinance, the special use granted by this ordinance will not be detrimental to the safety, health, morals and general welfare of the community involved, will not tend to create

AYES: 8 NOES: 0 ABSTAIN: _____

ADOPTED: MAR 12 2018 REJECTED: _____ STRICKEN: _____

congestion in streets, roads, alleys and other public ways and places in the area involved, will not create hazards from fire, panic or other dangers, will not tend to overcrowding of land and cause an undue concentration of population, will not adversely affect or interfere with public or private schools, parks, playgrounds, water supplies, sewage disposal, transportation or other public requirements, conveniences and improvements, and will not interfere with adequate light and air; and

WHEREAS, (i) the City Planning Commission has conducted a public hearing to investigate the circumstances and conditions upon which the Council is empowered to authorize such use, (ii) the City Planning Commission has reported to the Council the results of such public hearing and investigation and its recommendations with respect thereto, and (iii) the Council has conducted a public hearing on this ordinance at which the person in interest and all other persons have had an opportunity to be heard;

NOW, THEREFORE,

THE CITY OF RICHMOND HEREBY ORDAINS:

§ 1. **Finding.** Pursuant to section 30-1050.1 of the Code of the City of Richmond (2015), as amended, the Council hereby finds that the special use set forth in and subject to the terms and conditions of this ordinance will not (i) be detrimental to the safety, health, morals and general welfare of the community involved, (ii) tend to create congestion in streets, roads, alleys and other public ways and places in the area involved, (iii) create hazards from fire, panic or other dangers, (iv) tend to overcrowding of land and cause an undue concentration of population, (v) adversely affect or interfere with public or private schools, parks, playgrounds, water supplies, sewage disposal, transportation or other public requirements, conveniences and improvements, or (vi) interfere with adequate light and air.

§ 2. **Grant of Special Use Permit.**

(a) Subject to the terms and conditions set forth in this ordinance, the property known as 900 St. James Street and identified as Tax Parcel No. N000-0107/015 in the 2018 records of the City Assessor, being more particularly described in a survey entitled “Lot Consolidation Detail,” prepared by The Bay Companies, Inc., dated March 13, 2017, and last revised November 22, 2017, provided as an inset on sheet C5 of the plans entitled “St. Luke Building, 900 St. James Street, North District, City of Richmond, Virginia,” prepared by The Bay Companies, Inc., dated March 13, 2017, and last revised November 22, 2017, a copy of which is attached to and made a part of this ordinance, hereinafter referred to as “the Property,” is hereby permitted to be used for the purpose of a building with non-residential uses on the first floor and up to 12 dwelling units on the upper floors, hereinafter referred to as “the Special Use,” substantially as shown on the plans entitled “St. Luke Building, 900 St. James Street, North District, City of Richmond, Virginia,” prepared by The Bay Companies, Inc., dated March 13, 2017, and last revised November 22, 2017, and on the plans entitled “St. Luke Building, Richmond, VA 23220,” prepared by Commonwealth Architects, with a coversheet dated October 17, 2017, and sheets A2.00, A2.01, A2.02, A2.03, A2.04, A3.00, A3.01, A3.02 A4.00, A5.01, A5.02, A5.03, A5.04, and A5.05, dated October 26, 2016, and last revised September 29, 2017, hereinafter referred to collectively as “the Plans,” copies of which are attached to and made a part of this ordinance.

(b) The adoption of this ordinance shall constitute the issuance of a special use permit for the Property. The special use permit shall inure to the benefit of the owner or owners of the fee simple title to the Property as of the date on which this ordinance is adopted and their successors in fee simple title, all of which are hereinafter referred to as “the Owner.” The conditions contained in this ordinance shall be binding on the Owner.

§ 3. **Special Terms and Conditions.** This special use permit is conditioned on the following special terms and conditions:

(a) The Special Use of the Property shall be as a mixed-use building containing up to 12 dwelling units, substantially as shown on the Plans. The first floor of the building shall be [a] an office or medical office use, a day nursery use meeting the requirements of the underlying zoning, or uses permitted on corner lots in the R-63 Multifamily Urban Residential District by section 30-419.3 of the Code of the City of Richmond (2015), as amended. The second, third, and fourth floors of the Property shall contain up to four dwelling units per floor, substantially as shown on the Plans.

(b) Outdoor lighting shall be located, directed, or shielded so as not to shine directly on adjoining properties or create a traffic hazard by means of glare or similarity to or confusion with traffic signals, warning lights or lighting on emergency vehicles.

(c) All mechanical equipment serving the Property shall be located or screened so as not to be visible from any public right-of-way.

(d) Outdoor storage for no fewer than five bicycles shall be provided, substantially as shown on the Plans. Secure storage for no fewer than nine bicycles shall be provided within the building for use by the dwelling units, substantially as shown on the Plans.

(e) Up to 37 off-street parking spaces shall be provided on the Property, substantially as shown on the Plans.

(f) Signage on the Property shall be limited to (i) those signs permitted in all districts by section 30-505 of the Code of the City of Richmond (2015), as amended, (ii) those signs permitted in R-1, R-2, R-3, R-4, R-5, R-5A, R-6, R-7, and R-8 districts by section 30-506 of the Code of the City of Richmond (2015), as amended, (iii) wall signs, suspended signs and awning and canopy signs, provided that the aggregate area of all signs directed toward or intended to be

to be viewed from any street frontage shall not exceed one square foot for each linear foot of building frontage along such street, or in any case 16 square feet, and projecting signs, provided that (a) no projecting sign shall exceed six square feet in area or be located within 25 feet of another projecting sign on the same building wall, (b) no projecting sign, other than a noncommercial flag, shall project greater than three feet from the face of the building or extend above the height of the wall to which it is attached, and (c) the area of the projecting signs shall be included in the calculation of maximum permitted aggregate area of all signs, and (iv) the existing “St Luke Building” signage shown on the Plans.

(g) A final landscape plan, including all site landscaping, buffers, fencing, walkways, and the fountain and historical marker, shall be approved by the Director of Planning and Development Review.

(h) The area to the west of the parking area identified as “open space” on sheet L1 of the Plans may be developed in the future, pursuant to the requirements of the underlying zoning.

§ 4. **Supplemental Terms and Conditions.** This special use permit is conditioned on the following supplemental terms and conditions:

(a) All required final grading and drainage plans, together with all easements made necessary by such plans, must be approved by the Director of Public Utilities prior to the issuance of the building permit.

(b) Storm or surface water shall not be allowed to accumulate on the land. The Owner, at its sole cost and expense, shall provide and maintain at all times adequate facilities for the drainage of storm or surface water from the Property so as not to adversely affect or damage any other property or public streets and the use thereof.

(c) Facilities for the collection of refuse shall be provided in accordance with the requirements of the Director of Public Works. Such facilities shall be located or screened so as not to be visible from adjacent properties and public streets.

(d) Any encroachments existing, proposed on the Plans or contemplated in the future shall require separate authorization and shall be subject to the applicable provisions of the Code of the City of Richmond (2015), as amended, and all future amendments to such laws.

(e) The Owner shall make improvements within the public right-of-way, including the installation of tree wells and street trees along St. James Street and West Baker Street, the removal of an existing entrance and installation of granite curbing along West Baker Street, the installation of new entrances to St. James Street and West Baker Street, and the installation of a brick paver sidewalk along St. James Street and West Baker Street, substantially as shown on the Plans, which improvements may be completed in one or more phases as approved by the Director of Public Works. All improvements and work within the public right-of-way shall be (i) completed in accordance with the requirements of the Director of Public Works, (ii) considered completed only upon written confirmation by the Director of Public Works that such improvements and work are in accordance with such requirements, and (iii) transferred to the City, following written confirmation by the Director of Public Works, pursuant to a transfer of interest document approved as to form by the City Attorney and accepted by the Chief Administrative Officer or the designee thereof on behalf of the City. The Chief Administrative Officer or the designee thereof, for and on behalf of the City, is hereby authorized to accept, in the manner for which this subsection provides, all improvements and work required by and meeting the requirements of this subsection. The final certificate of occupancy shall not be issued for the Property until all requirements of this subsection are fully satisfied.

(f) In all other respects, the use of the Property shall be in accordance with the applicable underlying zoning regulations.

§ 5. **General Terms and Conditions.** This special use permit is conditioned on the following general terms and conditions:

(a) No permit implementing this special use permit shall be approved until satisfactory evidence has been presented to the Zoning Administrator that any delinquent real estate taxes applicable to the Property have been paid.

(b) The Owner shall be bound by, shall observe and shall comply with all other laws, ordinances, rules and regulations applicable to the Property, except as otherwise expressly provided in this ordinance.

(c) Words and phrases used in this ordinance shall be interpreted to have the meanings ascribed to them by section 30-1220 of the Code of the City of Richmond (2015), as amended, unless the context clearly indicates that a different meaning is intended.

(d) Notwithstanding any other provision of law, this special use permit is being approved due, in part, to the mitigating effects of each and every condition attached hereto; consequently, if any portion of this ordinance is determined to be invalid for any reason by a final, non-appealable order of any Virginia or federal court of competent jurisdiction, the invalidity shall cause the entire ordinance to be void and of no further effect from the effective date of such order.

(e) The privileges granted by this ordinance may be revoked pursuant to the provisions of sections 30-1050.7 through 30-1050.11 of the Code of the City of Richmond (2015), as amended, and all future amendments to such laws. Failure to comply with the terms and conditions of this ordinance shall constitute a violation of section 30-1080 of the Code of the City of

Richmond (2015), as amended, and all future amendments to such law, or any other applicable laws or regulations.

(f) When the privileges granted by this ordinance terminate and the special use permit granted hereby becomes null and void or when the Special Use of the Property as authorized by this ordinance is abandoned for a period of 730 consecutive calendar days, whether as a result of the Owner relinquishing this special use permit in a writing addressed to the Director of Planning and Development Review or otherwise, use of the Property shall be governed thereafter by the zoning regulations prescribed for the district in which the Property is then situated.

§ 6. **Implementation.** The Commissioner of Buildings is authorized to issue a building permit substantially in accordance with the Plans for the Special Use subject to the terms and conditions set forth in this ordinance. An application for the building permit shall be made within 730 calendar days following the date on which this ordinance becomes effective. If either the application for the building permit is not made within the time period stated in the previous sentence or the building permit terminates under any provision of the Virginia Statewide Building Code, this ordinance and the special use permit granted hereby shall terminate and become null and void.

§ 7. **Effective Date.** This ordinance shall be in force and effect upon adoption.

City of Richmond

900 East Broad Street
2nd Floor of City Hall
Richmond, VA 23219
www.richmondgov.com

Item Request

File Number: PRE. 2017.549

RECEIVED
JAN 05 2018

O & R REQUEST
4-7369
DEC 20 2017

OFFICE OF CITY ATTORNEY
O & R Request
EDITION 1

Office of the
Chief Administrative Officer

DATE: December 20, 2017

TO: The Honorable Members of City Council

THROUGH: The Honorable Levar M. Stoney, Mayor *Levar Stoney*
(This is no way reflects a recommendation on behalf of the Mayor.)

THROUGH: Selena Cuffee-Glenn, Chief Administrative Officer *SCG*

THROUGH: Peter L. Downey, Deputy Chief Administrative Officer for Economic Development and Planning *PLD*

FROM: Mark A. Olinger, Director, Department of Planning and Development Review *MAO*

RE: To authorize the special use of a portion of the property known as 900 St. James Street for the purpose of a mixed-use building containing no more than 12 dwelling units, upon certain terms and conditions.

ORD. OR RES. No. _____

PURPOSE: To authorize the special use of a portion of the property known as 900 St. James Street for the purpose of a mixed use building containing no more than 12 dwelling units, upon certain terms and conditions.

REASON: The proposed mixed-use development, containing first-floor medical office use and multi-family use, is not permitted within the underlying R-53 Multi-family Residential District. A special use permit is therefore required.

RECOMMENDATION: In accordance with the requirements of the City Charter and the Zoning Ordinance, the City Planning Commission will review this request and make a recommendation to City Council. This item will be scheduled for consideration by the Commission at its February 5, 2018, meeting. A letter outlining the Commission's recommendation will be forwarded to City Council following that meeting.

BACKGROUND: The subject property is a portion of a 33,851 SF, or .78 acre parcel of land, and is currently improved with a four-story building constructed, per tax assessment records, in 1902 as a commercial building and is located in the Gilpin neighborhood of North Jackson Ward in the city's North Planning District.

The building has significant historic value as referenced by the Virginia Department of Historic Resources Architectural Survey. A 1981 National Register of Historic Places Survey states:

The Saint Luke Building houses the national headquarters of the independent order of Saint Luke, a Negro benevolent society founded after the Civil War to provide guidance and financial aid to struggling freed slaves. Under the able leadership of Maggie L. Walker, the pioneering black business-woman, philanthropist, and educator, the society prospered and maintained itself when similar institutions in other cities failed. From its beginning, the organization served to bridge the gap between slavery and freedom: easing the burdens of illness and death, encouraging savings and thrift, providing an outlet for inexpensive but well-made retail goods, and promoting Mrs. Walker's ideals for her race through a news weekly. The dignified headquarters, the oldest back -affiliated office building in Richmond, was designed by John White and erected in 1903. It was remodeled and enlarged between 1915 and 1920 under the direction of Virginia Union University professor Charles T. Russell. Mrs. Walker's office in the St. Luke Building is preserved as a memorial, maintained as she left it at her death in 1934. (Virginia Department of Historic Resources, Architectural Survey Form, p. 1, 2017)

The City of Richmond's Master Plan currently recommends Institutional and Single-Family (low density) land use for the property. Primary Institutional uses include places of worship, private schools, universities, museums, hospitals and other care facilities. (Richmond Master Plan, p. 135). The primary uses for Single-Family (low density) land use include single-family detached dwellings at densities up to seven units per acre and residential support uses such as churches, parks, and recreational facilities (p. 133).

The City's Zoning Ordinance designates this property as R-53 (Multi-family Residential). All surrounding properties are also in the R-53 district. Multi-family and vacant land uses predominate the vicinity, with some institutional, commercial, and office uses present as well.

FISCAL IMPACT / COST: The Department of Planning and Development Review does not anticipate any impact to the City's budget for this or future fiscal years.

FISCAL IMPLICATIONS: Staff time for processing the request; preparation of draft ordinance; and publishing, mailing and posting of public notices.

BUDGET AMENDMENT NECESSARY: No

REVENUE TO CITY: \$2,400 application fee

DESIRED EFFECTIVE DATE: Upon Adoption

REQUESTED INTRODUCTION DATE: January 8, 2018

CITY COUNCIL PUBLIC HEARING DATE: February 12, 2018

REQUESTED AGENDA: Consent

RECOMMENDED COUNCIL COMMITTEE: None

CONSIDERATION BY OTHER GOVERNMENTAL ENTITIES: City Planning Commission, February 5, 2018

AFFECTED AGENCIES: Office of Chief Administrative Officer
Law Department (for review of draft ordinance)
City Assessor (for preparation of mailing labels for public notice)

RELATIONSHIP TO EXISTING ORD. OR RES.: None

REQUIRED CHANGES TO WORK PROGRAM(S): None

ATTACHMENTS: Application Form, Applicant's Report, Draft Ordinance, Plans, Map

STAFF: Jonathan Brown, Senior Planner
Land Use Administration (Room 511) 646-5734

PDR O&R No.17-52



SUP-019949-2017

Application for SPECIAL USE PERMIT
Department of Planning and Development Review
Land Use Administration Division
900 E. Broad Street, Room 511
Richmond, Virginia 23219
(804) 646-6304
http://www.richmond.gov/

Application is hereby submitted for: (check one)

- [X] special use permit, new
[] special use permit, plan amendment
[] special use permit, text only amendment

Project Name/Location

Property Address: 900 St. James Street Date: 07/06/2017
Tax Map #: N0000107015 Fee: \$1,800.00
Total area of affected site in acres: .776 acres

(See page 6 for fee schedule. please make check payable to the "City of Richmond")

Zoning

Current Zoning: R-53

Existing Use: Commercial

Proposed Use

(Please include a detailed description of the proposed use in the required applicant's report)
3700 sq. ft. commercial space 1st floor and 12 apartments on remaining 3 floors

Existing Use: Commercial

Is this property subject to any previous land use cases?

Yes [] No [X] If Yes, please list the Ordinance Number:

Applicant/Contact Person: Charles E. Ayers, Jr.
Company: St. Luke Building, LLC
Mailing Address: 710 N. Hamilton Street, 3rd Floor
City: Richmond State: VA Zip Code: 23221
Telephone: (804) 358-4731 Fax: (804) 864-0895
Email: ericap@ayerslaw.com

Property Owner: St. Luke Building, LLC
If Business Entity, name and title of authorized signee: Charles E. Ayers, Jr. Manager

(The person or persons executing or attesting the execution of this Application on behalf of the Company certifies that he or she has or have been duly authorized and empowered to so execute or attest.)

Mailing Address: 710 N. Hamilton Street, 3rd Floor
City: Richmond State: VA Zip Code: 23221
Telephone: (804) 358-4731 Fax: (804) 864-0895
Email: ericap@ayerslaw.com

Property Owner Signature: [Handwritten Signature]

The names, addresses, telephone numbers and signatures of all owners of the property are required. Please attach additional sheets as needed. If a legal representative signs for a property owner, please attach an executed power of attorney. Faxed or photocopied signatures will not be accepted.

NOTE: Please attach the required plans, checklist, and a check for the application fee (see Filing Procedures for special use permits)

Memo

From: Charley E. Ayers, Jr.
To: Matthew J. Ebinger
Date: July 11, 2017
Re: 900 St. James Street – Special Use Permit

Matthew:

I am supplementing the Special Use Permit application that I filed last week, which included the application fee of \$1,800.00. Even though we provided electronic copies of the renovation plans done by Commonwealth Architects and the site plans done by The Bay Companies with the building permit, I am having additional copies delivered to your office. Also, if you want a survey plat, I think that is part of The Bay Companies site plan. The only remaining item that I know that needs to be submitted is the Applicant's Report.

The Applicant's Report is as follows:

The St. Luke Building that is located at 900 St. James Street was built as a four story commercial building. The first phase was three stories built in approximately 1897 with a 20 foot wing and a fourth floor added in approximately 1919. The second, third, and fourth floors will be apartments so the only floor requiring the Special Use Permit is the first floor. The first floor space contains approximately 3,700 square feet and it will be used for commercial purposes. It is our desire to rent it for medical office use and the number of employees being 10 to 15, the hours of operation being 8:00 am to 5:00 pm, six days a week, and the estimated vehicle traffic per day will be 35 to 40 vehicles. The use will be very compatible with the surrounding area and it is an appropriate use of the site as it will support the tenants in the building, the renovation of the Baker School, which is underway, and the surrounding community.

The special use will not:

- a. be detrimental to the safety, health, morals and general welfare of the community involved;
- b. tend to create congestion in streets, roads, alleys and other public ways and places in the area involved;
- c. create hazards from fire, panic or other dangers;
- d. tend to cause overcrowding of land and an undue concentration of population;
- e. adversely affect or interfere with public or private schools, parks, playgrounds, water supplies, sewage disposal, transportation or other public requirements, conveniences and improvements; or
- f. interfere with adequate light and air.

We feel that these conditions will be met because of the high end use of the property after its renovation and it fulfills a definite need in the community.

I think this completes all of the requirements of the Special Use Permit application and I will contact you after you have had an opportunity to receive my email to discuss our application and to see if you need any additional information.

Charles E. Ayers, Jr., Co-Managing Member
St. Luke Building, LLC
804-358-4731

St. Luke Building

SITE DATA

OWNER/DEVELOPER: ST. LUKE BUILDING, LLC.
C/O CHARLEY AYERS
3007 HAWTHORNE AVE
RICHMOND, VA 23222
PHONE: (804) 358-4731
EMAIL: ericap@ayerslaw.com

ENGINEER: THE BAY COMPANIES, INC.
C/O DANIEL CASKIE, P.E.
8500 BELL CREEK ROAD
MECHANICSVILLE, VA 23116
PHONE: (804) 569-7060
EMAIL: dan.caskie@thebaycompanies.com

MAP REFERENCE # (S): N0000107009 (IN PART), N0000107010 (IN PART),
N0000107011, N0000107012, N0000107013,
N0000107014, N0000107015, N0000107022,
N0000107023, N0000107024, N0000107025 (IN PART),
N0000107026, N0000107027,
N0000107030 (IN PART), N0000107031 (IN PART),
N0000107032 (IN PART), N0000107033 (IN PART),
N0000107034 (IN PART), N0000107037 (IN PART),
N0000107038

ADDRESS: 900 ST. JAMES STREET
RICHMOND, VA 23222

ZONING: R-53

TRAFFIC ZONE: 1031

EXISTING USE: 409-B COMMERCIAL SHELL

PROPOSED USE: MULTI-FAMILY RESIDENTIAL

ACREAGE: TOTAL: 0.875 ACRES
RIGHT-OF-WAY: 0.000 ACRES
COMMON AREA: 0.000 ACRES
LOTS: 0.875 ACRES

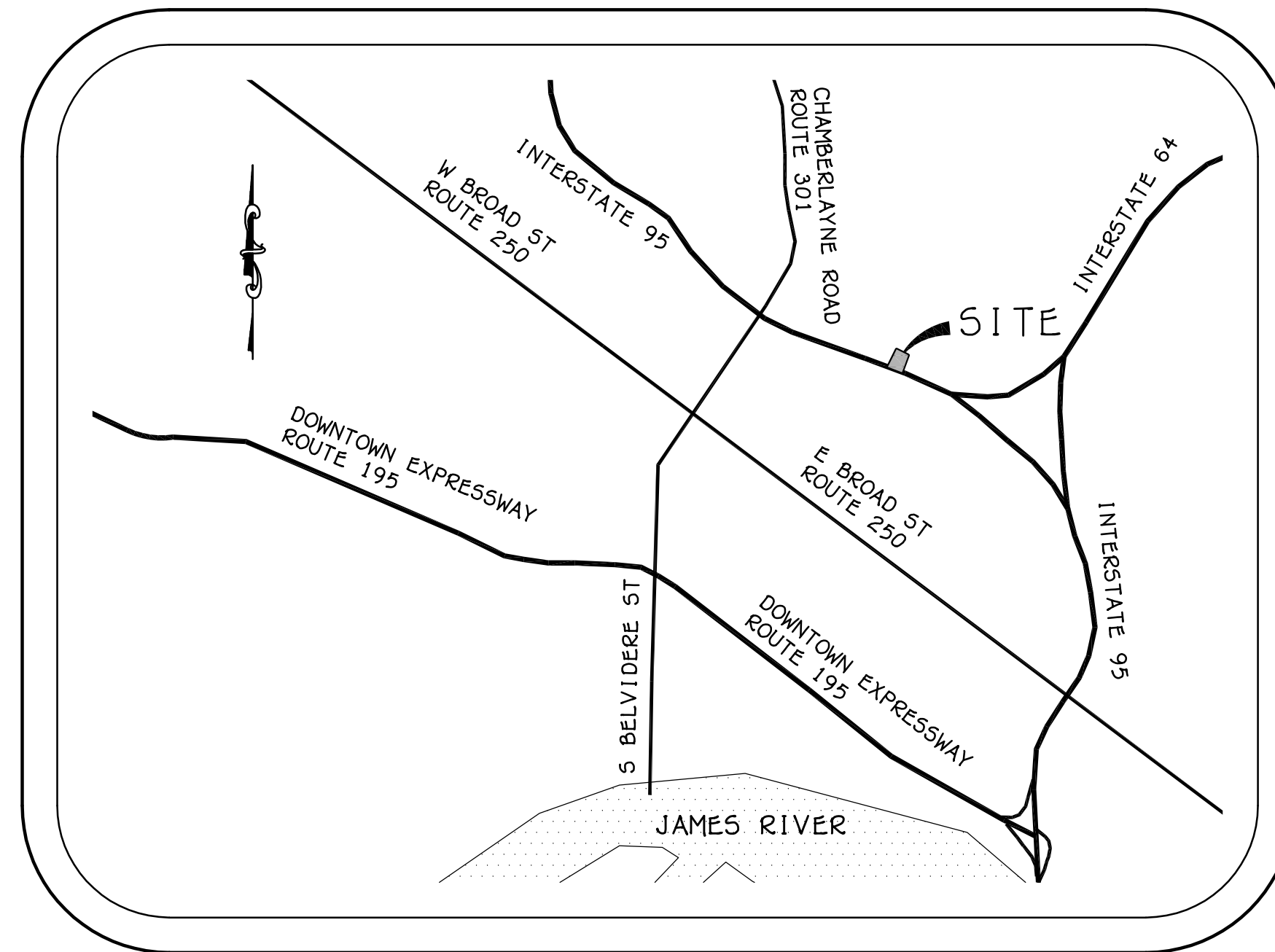
PROPOSED LOTS: 1 LOTS

WATER: PUBLIC

SEWER: PUBLIC

PUBLIC UTILITIES: UNDERGROUND

900 St. James Street
North District
City of Richmond, Virginia



VICINITY MAP
SCALE: 1" = 2000'

SHEET INDEX

- C1 COVER SHEET
- C2 LAYOUT & UTILITY AND GRADING & DRAINAGE
- C3 OFFSITE STORM PLAN, PROFILE, AND CALCULATIONS
- C4 BMP#1 CALCULATIONS AND DETAILS
- C5 SITE DETAILS
- C6 EROSION CONTROL NOTES AND DETAILS
- C7 MINIMUM STANDARDS PER VAESCH
- C8 UTILITY DETAILS
- L1 LANDSCAPE PLAN AND DETAILS
- L2 LIGHTING PLAN
- L3 LIGHTING DETAILS

APPROXIMATE UTILITY QUANTITIES

WATER	SEWER
8" x 6" T&V..... 2 EA	N/A
6" DOUBLE DECTOR CHECK..... 1 EA	
1 1/2" DOMESTIC WATER METER..... 1 EA	
FIRE HYDRANT..... 1 EA	

DRAINAGE QUANTITIES

15" CL III RCP..... 151 LF
PG-2A TYPE D..... 10 LF
D1-1 STRUCTURE..... 1 EA
TRAP MANHOLE..... 1 EA
DOGHOUSE MANHOLE..... 1 EA

NOTE:
DRAINAGE AND UTILITY QUANTITIES INCLUDE ALL ITEMS LOCATED WITHIN CITY RIGHT-OF-WAY AND PUBLIC EASEMENTS.

EROSION CONTROL QUANTITIES

SILT FENCE..... 499 LF
INLET PROTECTION..... 1 EA
EC SEEDING at \$2,200 /AC..... 0.21 AC
EC LAND DISTURBANCE at \$2,100 /AC..... 0.75 AC

NOTES

- THIS PLAN WAS PREPARED BY A LICENSED PROFESSIONAL ENGINEER REGISTERED IN THE STATE OF VIRGINIA.
- ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED AND THE PERMITTEE WILL INSPECT THE EROSION AND SEDIMENT CONTROL MEASURES AT LEAST ONCE EVERY TWO WEEKS AND WITHIN 48 HOURS OF A RAINSTORM EVENT DURING CONSTRUCTION TO ENSURE COMPLIANCE WITH THE APPROVED PLAN. RECORDS OF SELF-INSPECTION SHALL BE MAINTAINED ON THE SITE AND AVAILABLE FOR REVIEW BY COUNTY INSPECTORS.
- THIS PROJECT COMPLIES WITH MINIMUM STANDARDS (MS) AS SET FORTH BY THE VIRGINIA DEPARTMENT OF CONSERVATION AND RECREATION.

ENVIRONMENTAL SITE ASSESSMENT

- BASE FLOOD HAZARD AREAS - SITE LIES IN ZONE "OTHER AREAS" PER THE FLOOD INSURANCE RATE MAP FOR THE CITY OF RICHMOND (PANEL 510129-0041E) DATED JULY 16, 2014.
- NON-TIDAL WETLANDS DO NOT EXIST ON THIS SITE.
- TIDAL WETLANDS DO NOT EXIST ON THIS SITE.
- NO TIDAL SHORES EXIST ON THIS SITE.
- NO TRIBUTARY OR NON-TRIBUTARY STREAMS EXIST ON THIS SITE.
- PROPERTY WITHIN THE LIMITS OF THIS SITE IS NOT LOCATED IN CHESAPEAKE BAY PRESERVATION AREA DESIGNATED BY THE CITY OF RICHMOND, VIRGINIA PURSUANT TO CHAPTER 14 OF THE CITY CODE OF 2015.

NOTE:
HORIZONTAL DATUM = NAD83
VERTICAL DATUM = NAVD88

FLOOR USE SUMMARY:

FOUR STORY BUILDING:
BASEMENT = STORAGE
1ST FLOOR = RESIDENTIAL/BUSINESS
2ND FLOOR = 4 RESIDENTIAL UNITS
3RD FLOOR = 4 RESIDENTIAL UNITS
4TH FLOOR = 4 RESIDENTIAL UNITS

TWO STORY BUILDING:
1ST FLOOR = VACANT
2ND FLOOR = VACANT

PARKING REQUIREMENTS:

1 SPACE PER RESIDENTIAL UNIT
REQUIRED = 12 SPACES

1 SPACE PER 300 SF OF OFFICE FOR FIRST 1,500 SF,
PLUS 1 SPACE PER 400 SF IN EXCESS THEREOF
REQUIRED = 7 SPACES

TOTAL REQUIRED = 19 SPACES

TOTAL PROVIDED = 37 SPACES (2 HANDICAP)

BICYCLE REQUIREMENTS:

NUMBER OF DWELLING UNITS = 12

SHORT-TERM BICYCLE PARKING REQUIRED: NONE

LONG-TERM BICYCLE PARKING REQUIRED: 4 SPACES
LONG-TERM BICYCLE PARKING PROVIDED: 4 SPACES
(IN BASEMENT)

REVISIONS TO APPROVED PLANS

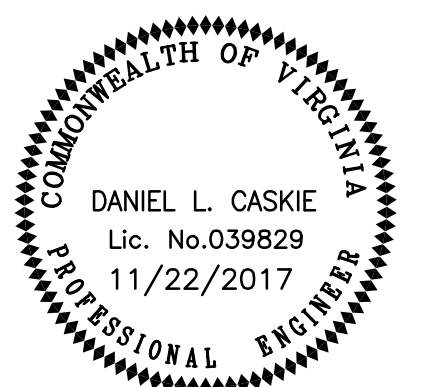
DATE	SHEET NUMBERS

THIS DRAWING IS THE PROPERTY OF THE BAY COMPANIES INC. AND IS NOT TO BE REPRODUCED OR USED FOR ANY PROJECT IN WHOLE OR IN PART WITHOUT EXPRESS WRITTEN PERMISSION.

FILED: 16038_cov
DATE: MARCH 13, 2017
REVISED: OCTOBER 11, 2017
REVISED: NOVEMBER 22, 2017
REVISED:



8500 BELL CREEK ROAD
MECHANICSVILLE, VA 23116
(804) 569-7060
FAX: (804) 569-7061



PROJECT:

St. Luke Building

900 St. James Street
North District
City of Richmond, Virginia

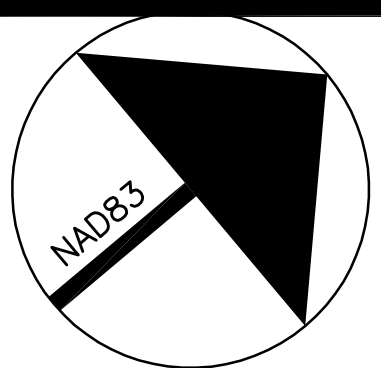
SHEET:

Cover Sheet

SHEET NO:

C1

JOB NO. 16038



PUBLIC ACCESS AND ALLEY NOTES:

- THE PUBLIC ACCESS AND ALLEY EASEMENT TO BE RECORDED PRIOR TO ISSUANCE OF ANY CERTIFICATES OF OCCUPANCY FOR THE COMMERCIAL/OFFICE USES COVERED BY SUP 019949 2017.
- THE LOCATION OF THE PUBLIC ACCESS AND ALLEY EASEMENT MAY BE CHANGED AT A FUTURE TIME TO BETTER ALIGN WITH THE BLOCK AND RELATE TO FUTURE DEVELOPMENT PLANS.

NOTE:
SEE OFFSITE STORM PLAN, PROFILE, AND CALCULATION FOR STORM OUTFALL.

STRUCTURE SCHEDULE

IS-1 REQUIRED ON ALL STRUCTURES
ST-1 REQUIRED ON STRUCTURES HIGHER THAN 4'
SL-1 REQUIRED ON STRUCTURES HIGHER THAN 12'

STRUCTURES	DI-1	INV IN	INV OUT	TOP	H
1	DI-1	INV IN	157.75	TOP	161.05
2	TRAP MH	INV IN	154.40	TOP	161.30
3	DOGHOUSE	INV IN	150.91	TOP	161.20
	MH	INV OUT	150.81	H	10.39

PIPES

PIPES	1 TO	2	118.39 LF 15" RCP AT	2.83%
	2 TO	3	32.53 LF 15" RCP AT	10.42%

HATCH LEGEND:

- EXISTING BRICK PAVEMENT SIDEWALK
- PROPOSED BRICK PAVEMENT SIDEWALK
- EXISTING CONCRETE SIDEWALK TO BE REMOVED
- PROPOSED CONCRETE SIDEWALK/PAV
- EXISTING PAVEMENT
- PROPOSED PAVEMENT

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DATE: MARCH 13, 2017
REVISED: OCTOBER 11, 2017
REVISED: NOVEMBER 22, 2017
REVISED:



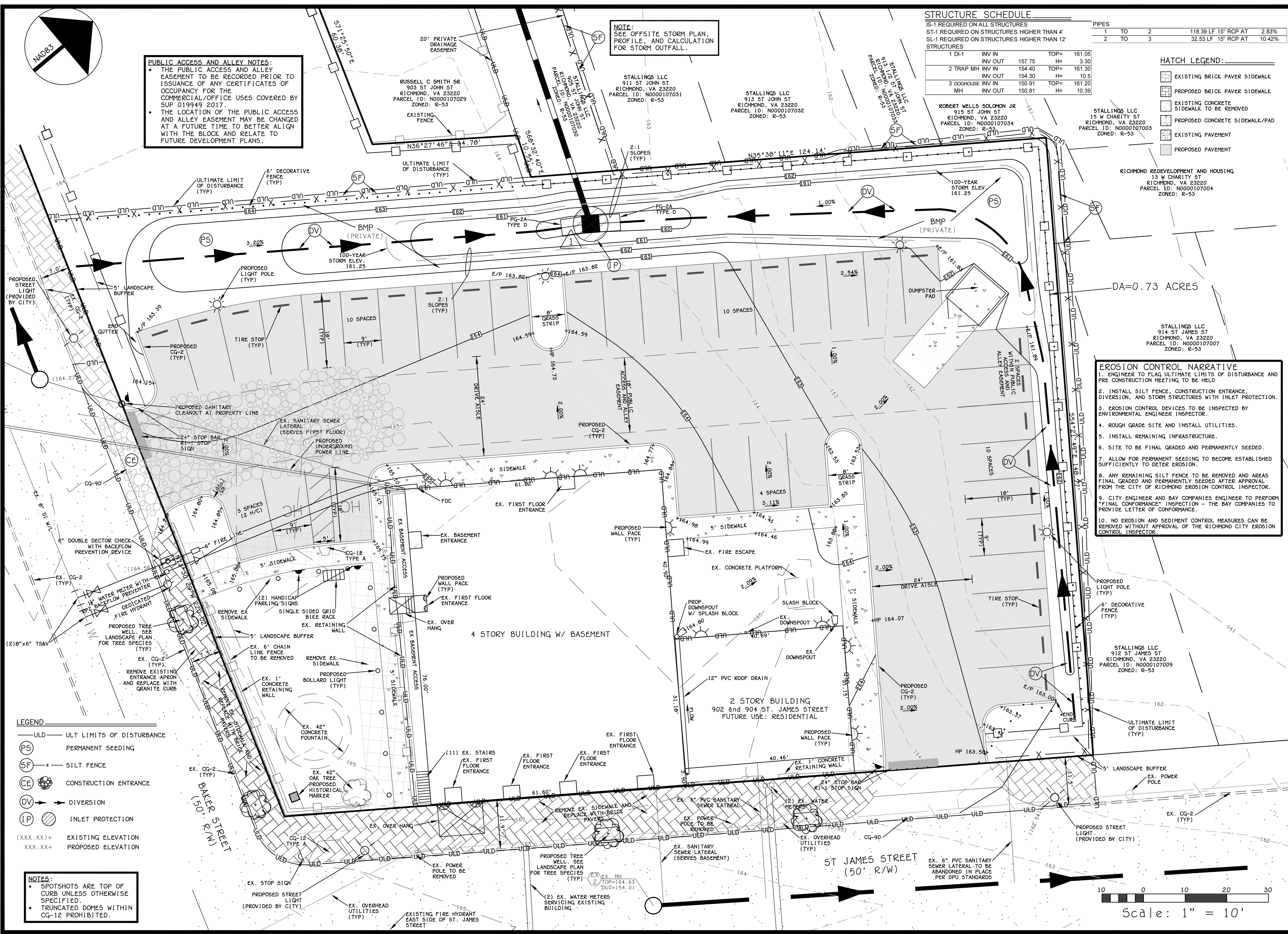
8500 BELL CREEK ROAD
MECHANICSVILLE, VA 23116
(804) 569-7060
FAX: (804) 569-7061



PROJECT:
St. Luke Building
900 St. James Street
North District
City of Richmond, Virginia

SHEET:
Layout & Utility and Grading & Drainage Plan
SHEET NO:

C2
JOB NO. 16038



EROSION CONTROL NARRATIVE

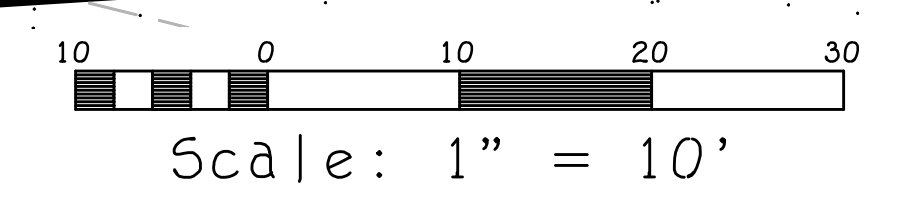
- ENGINEER TO FLAG ULTIMATE LIMITS OF DISTURBANCE AND PRE CONSTRUCTION MEETING TO BE HELD
- INSTALL SILT FENCE, CONSTRUCTION ENTRANCE, DIVERSION, AND STORM STRUCTURES WITH INLET PROTECTION.
- EROSION CONTROL DEVICES TO BE INSPECTED BY ENVIRONMENTAL ENGINEER INSPECTOR.
- ROUGH GRADE SITE AND INSTALL UTILITIES.
- INSTALL REMAINING INFRASTRUCTURE.
- SITE TO BE FINAL GRADED AND PERMANENTLY SEEDDED.
- ALLOW FOR PERMANENT SEEDING TO BECOME ESTABLISHED SUFFICIENTLY TO DETER EROSION.
- ANY REMAINING SILT FENCE TO BE REMOVED AND AREAS FINAL GRADED AND PERMANENTLY SEEDDED AFTER APPROVAL FROM THE CITY OF RICHMOND EROSION CONTROL INSPECTOR.
- CITY ENGINEER AND BAY COMPANIES ENGINEER TO PERFORM "FINAL PERFORMANCE" INSPECTION - THE BAY COMPANIES TO PROVIDE LETTER OF CONFORMANCE.
- NO EROSION AND SEDIMENT CONTROL MEASURES CAN BE REMOVED WITHOUT APPROVAL OF THE RICHMOND CITY EROSION CONTROL INSPECTOR.

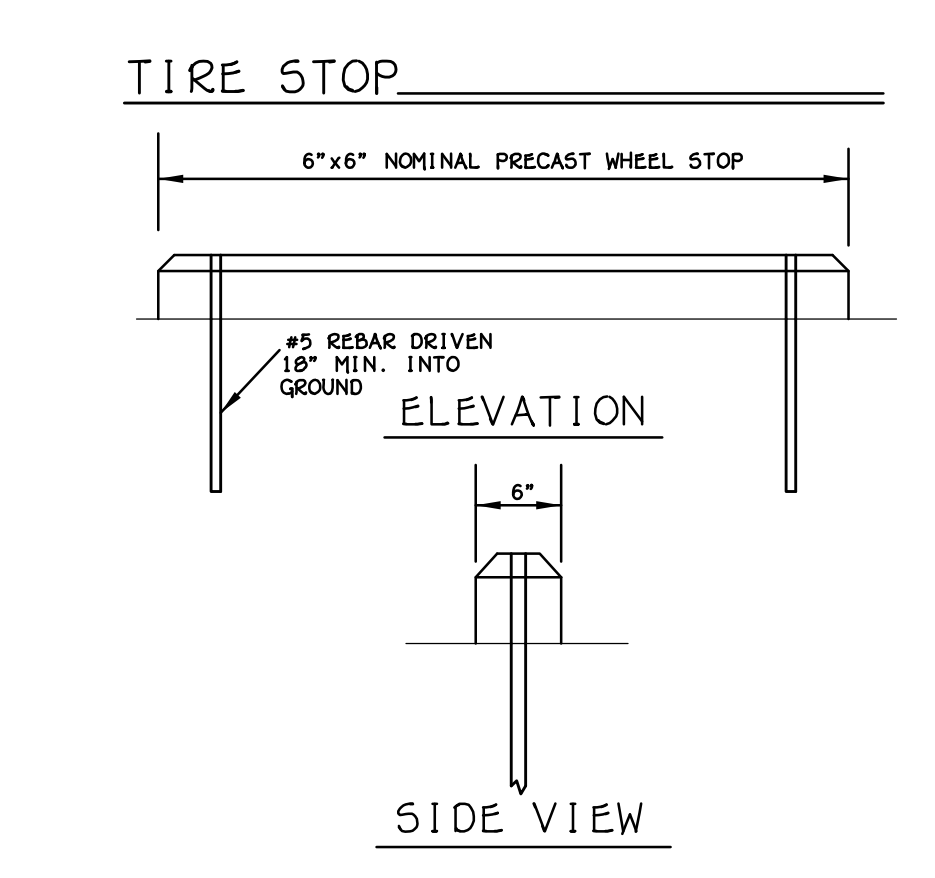
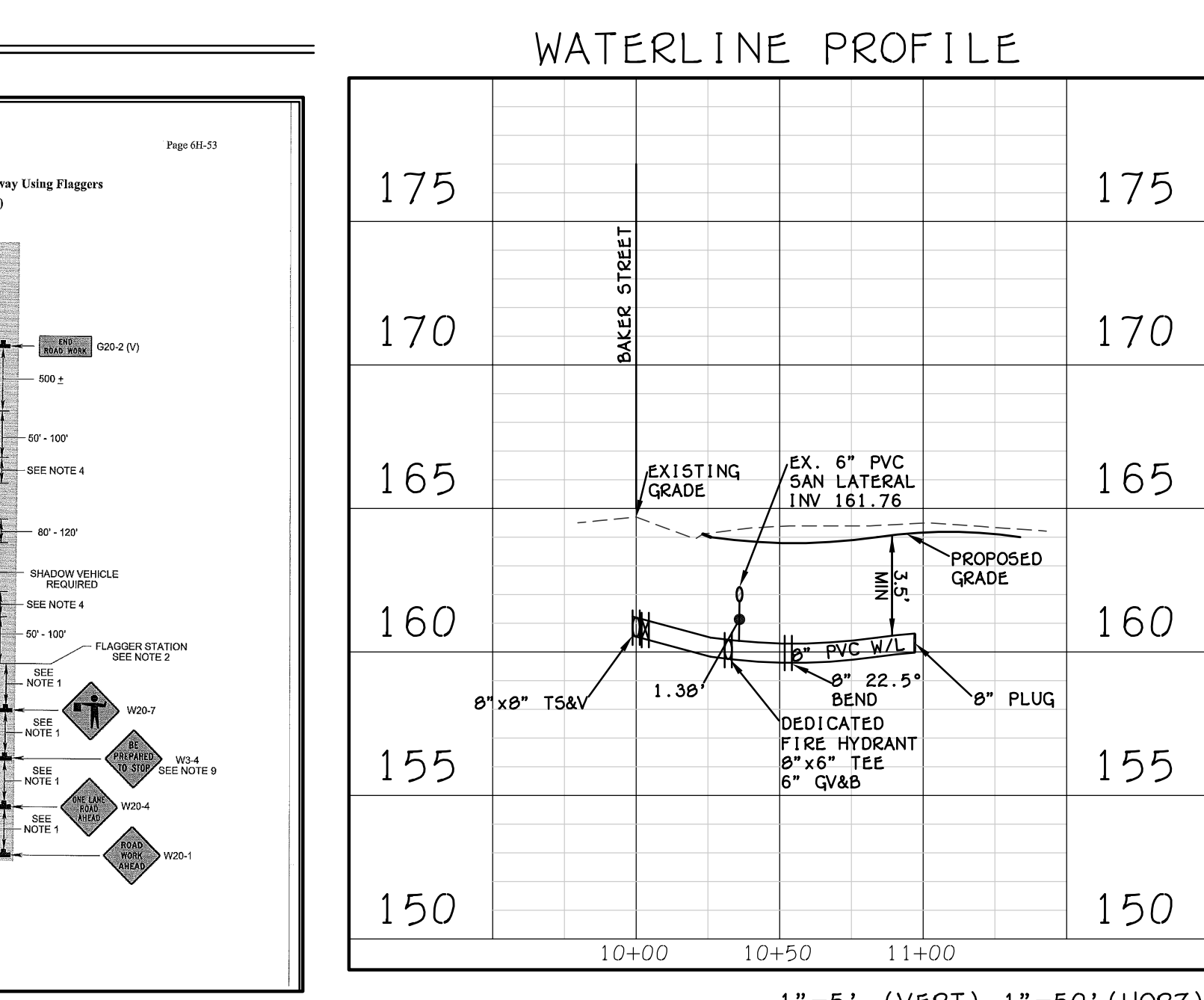
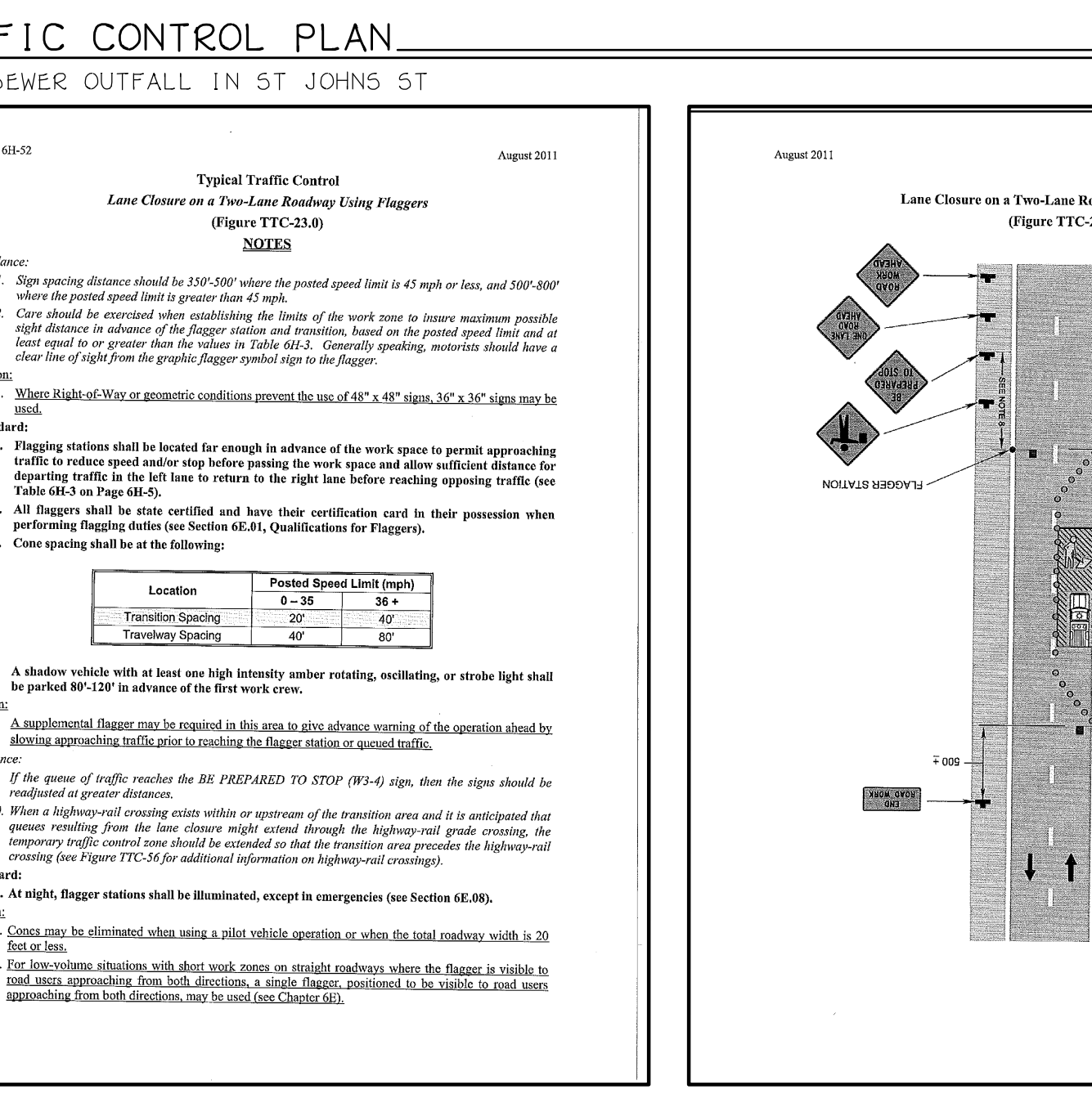
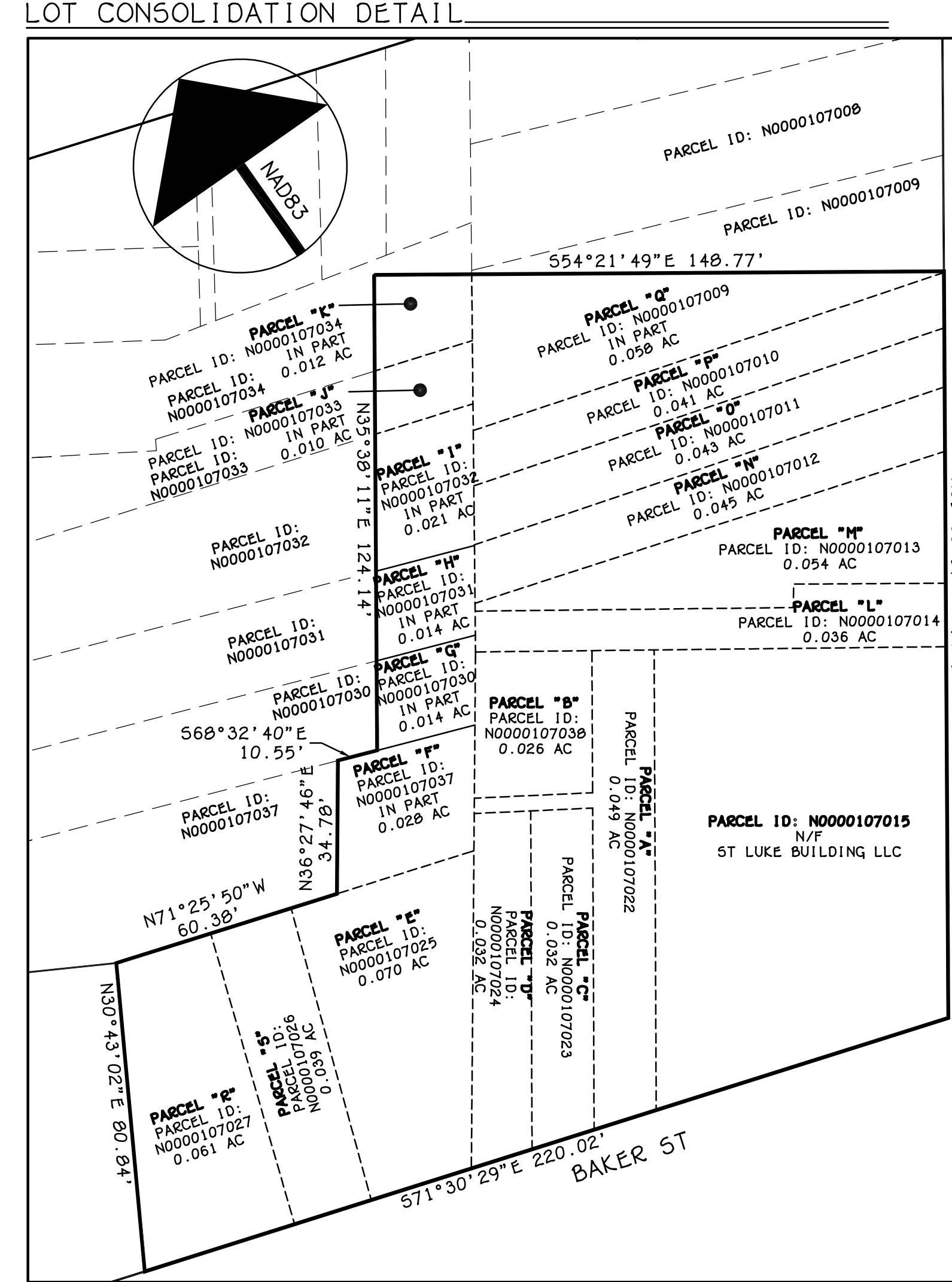
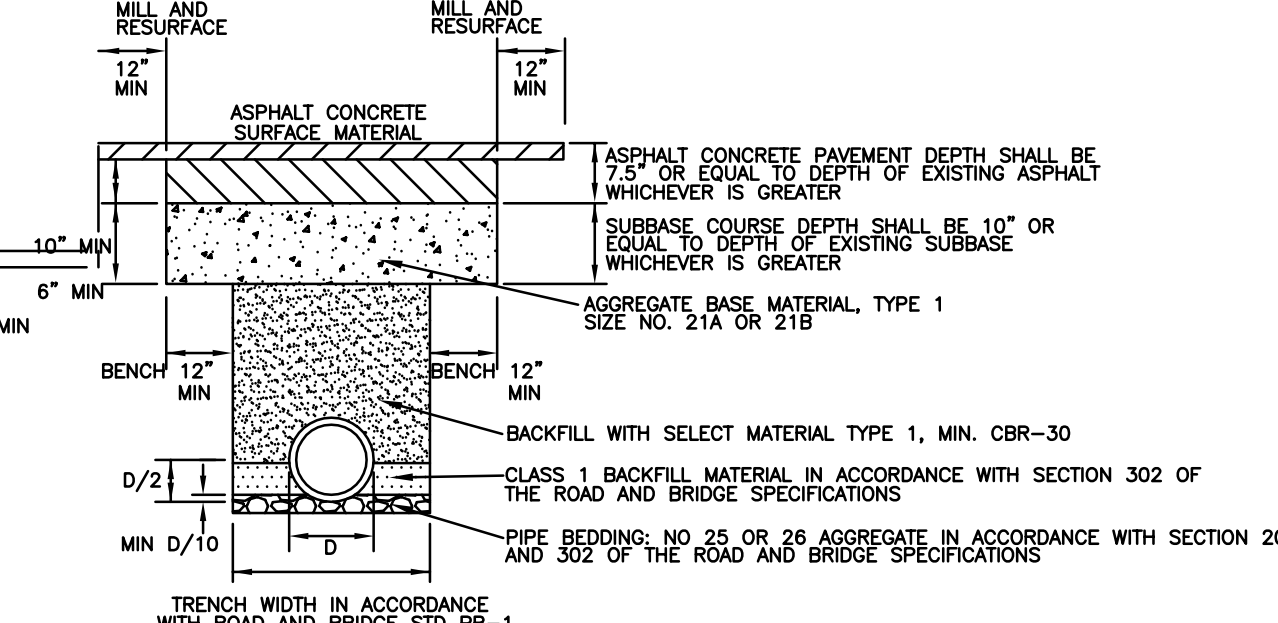
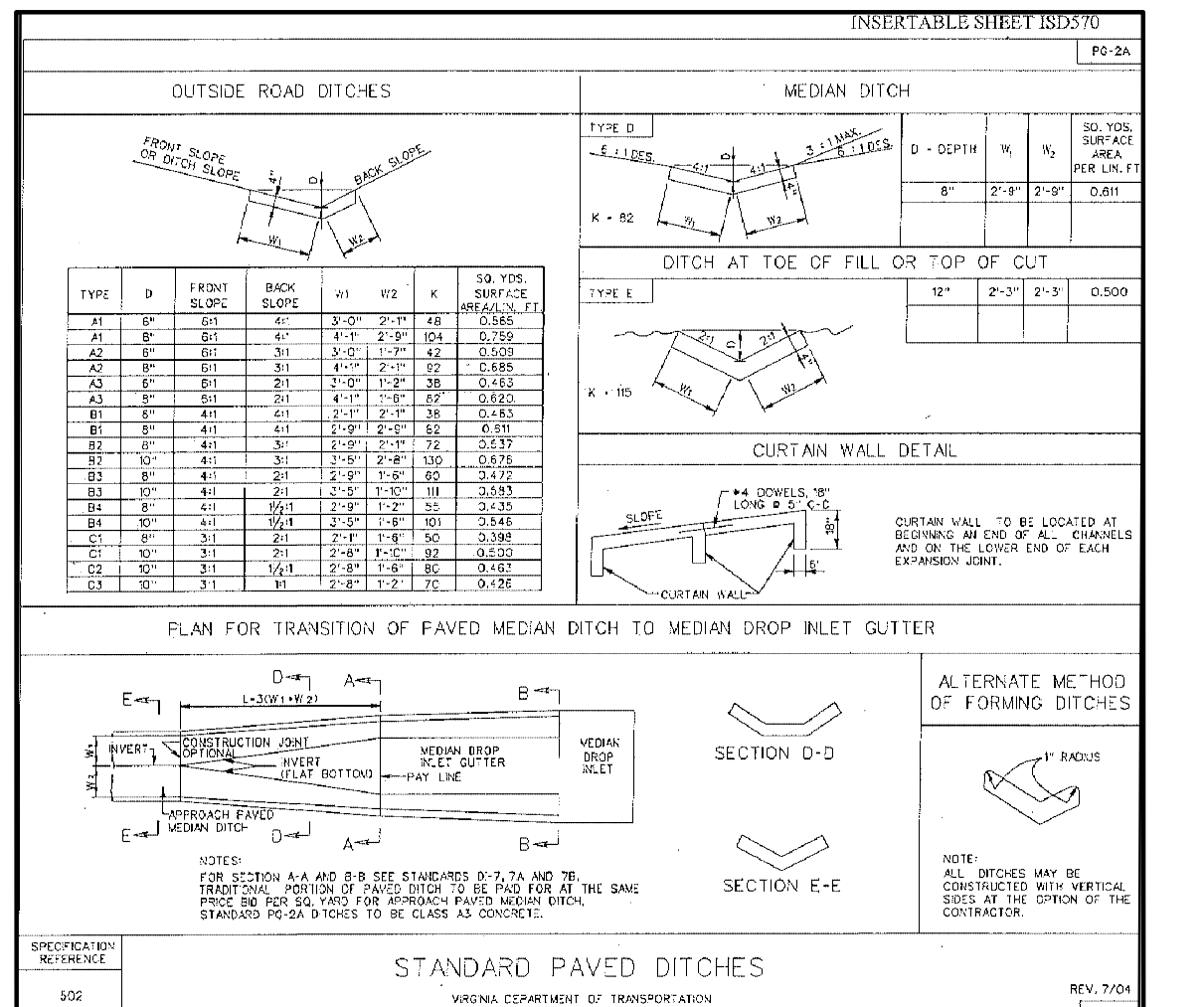
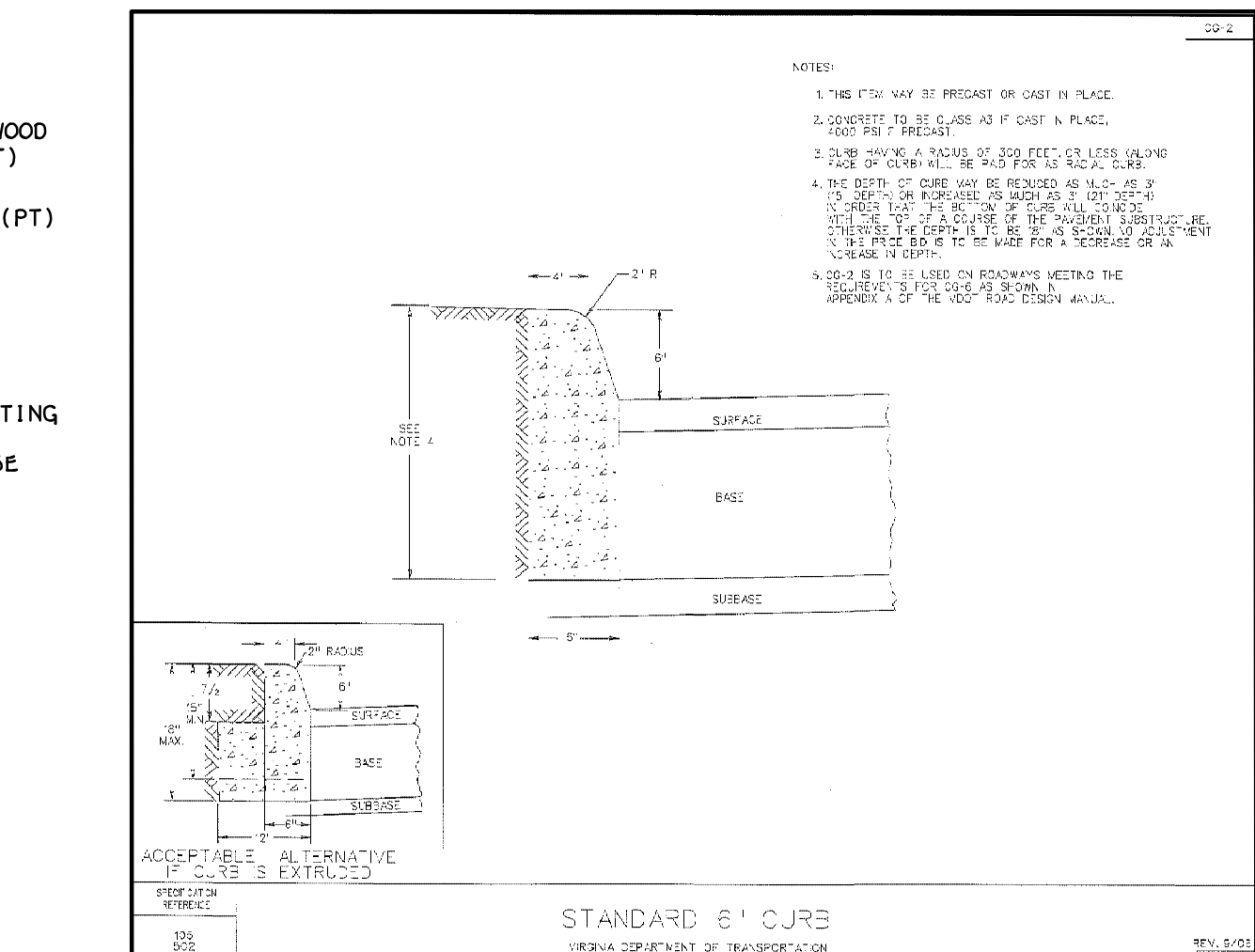
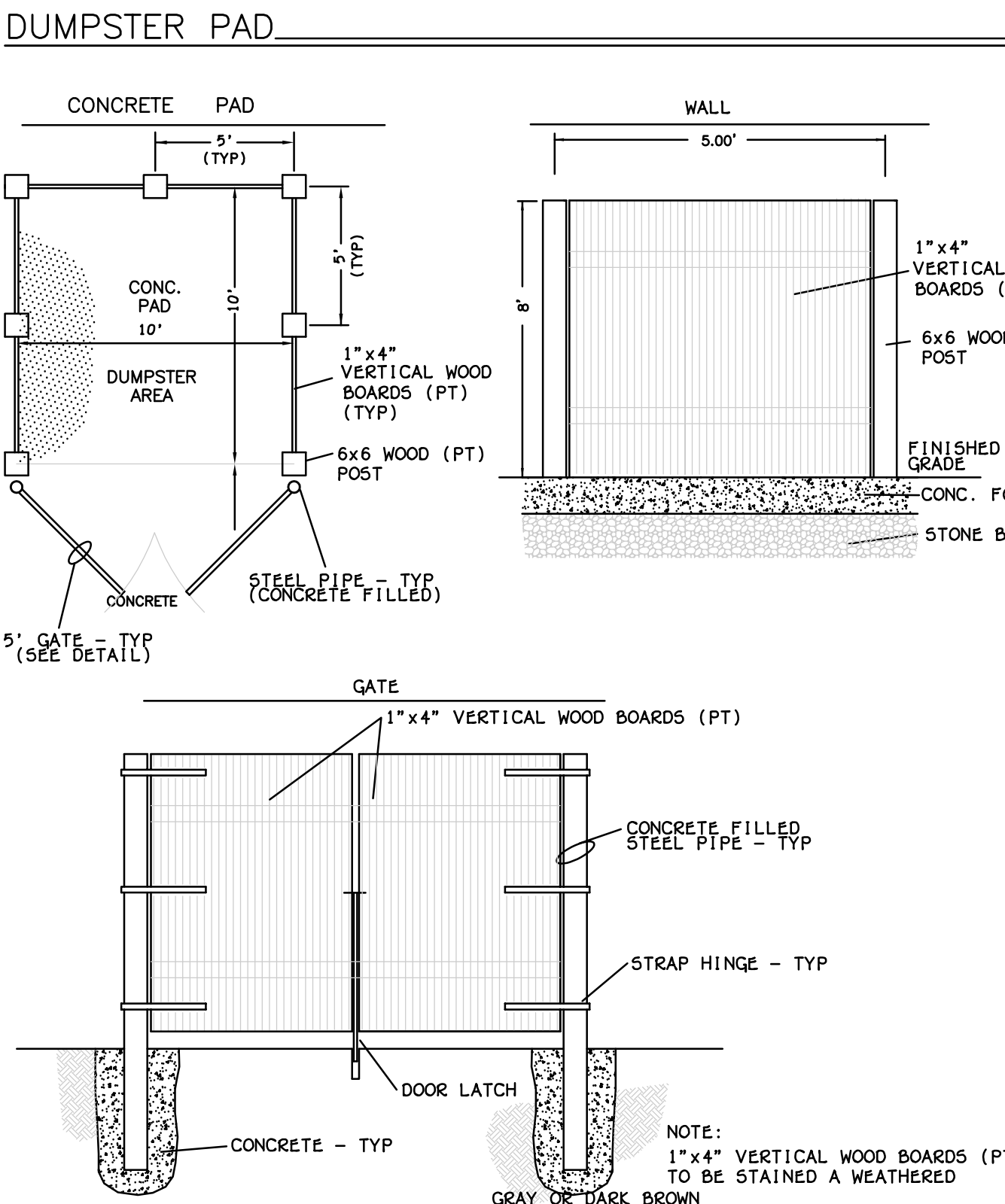
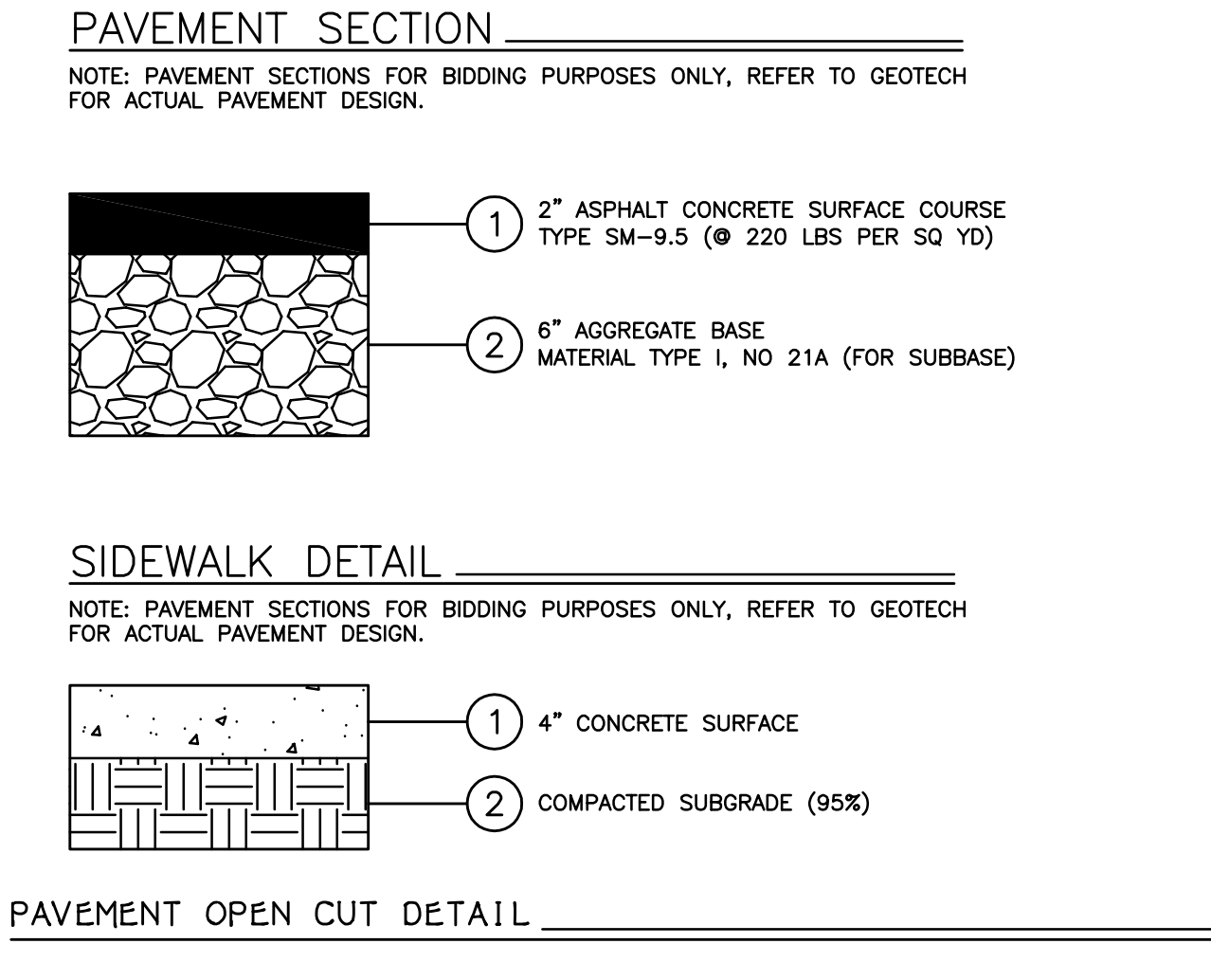
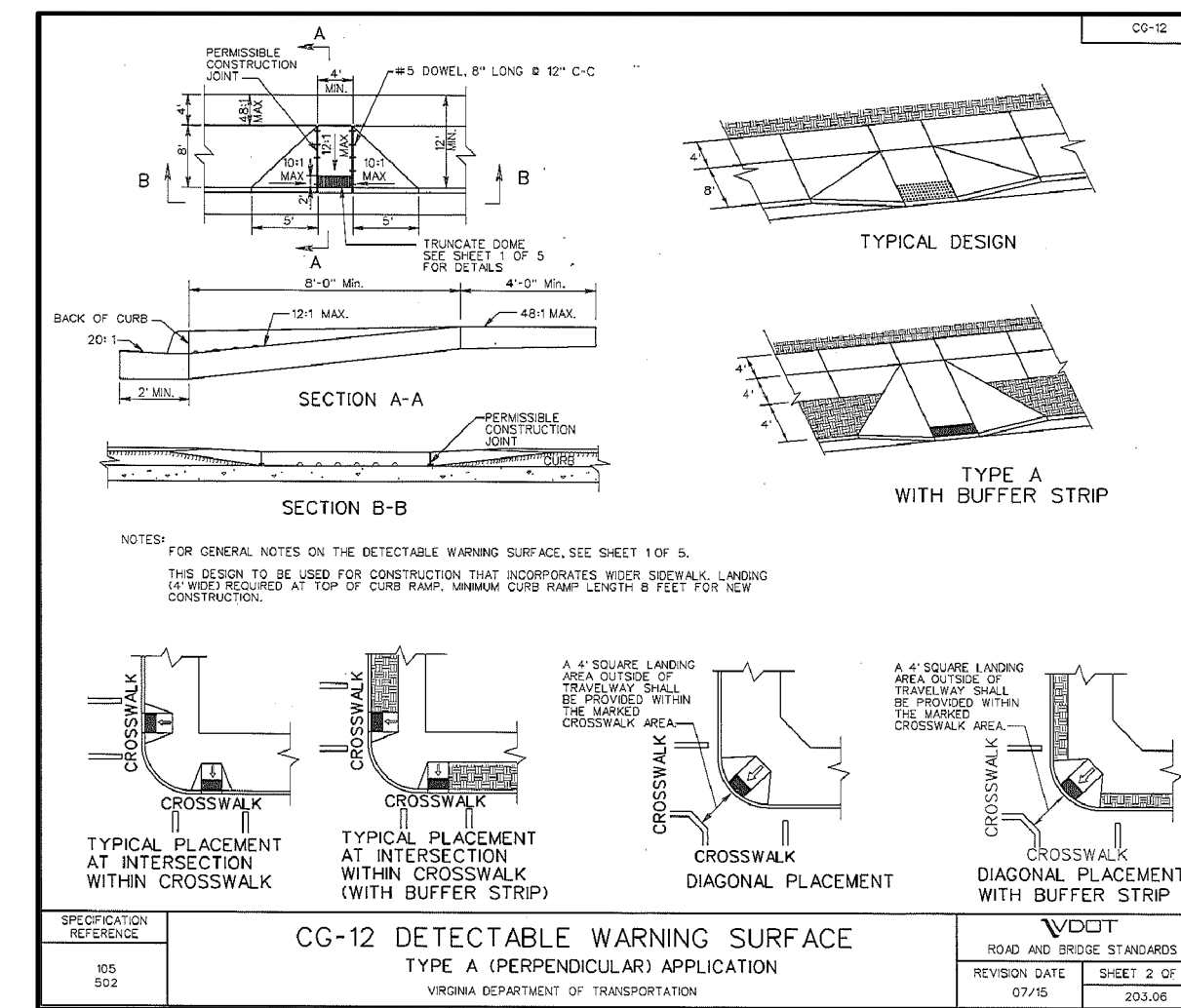
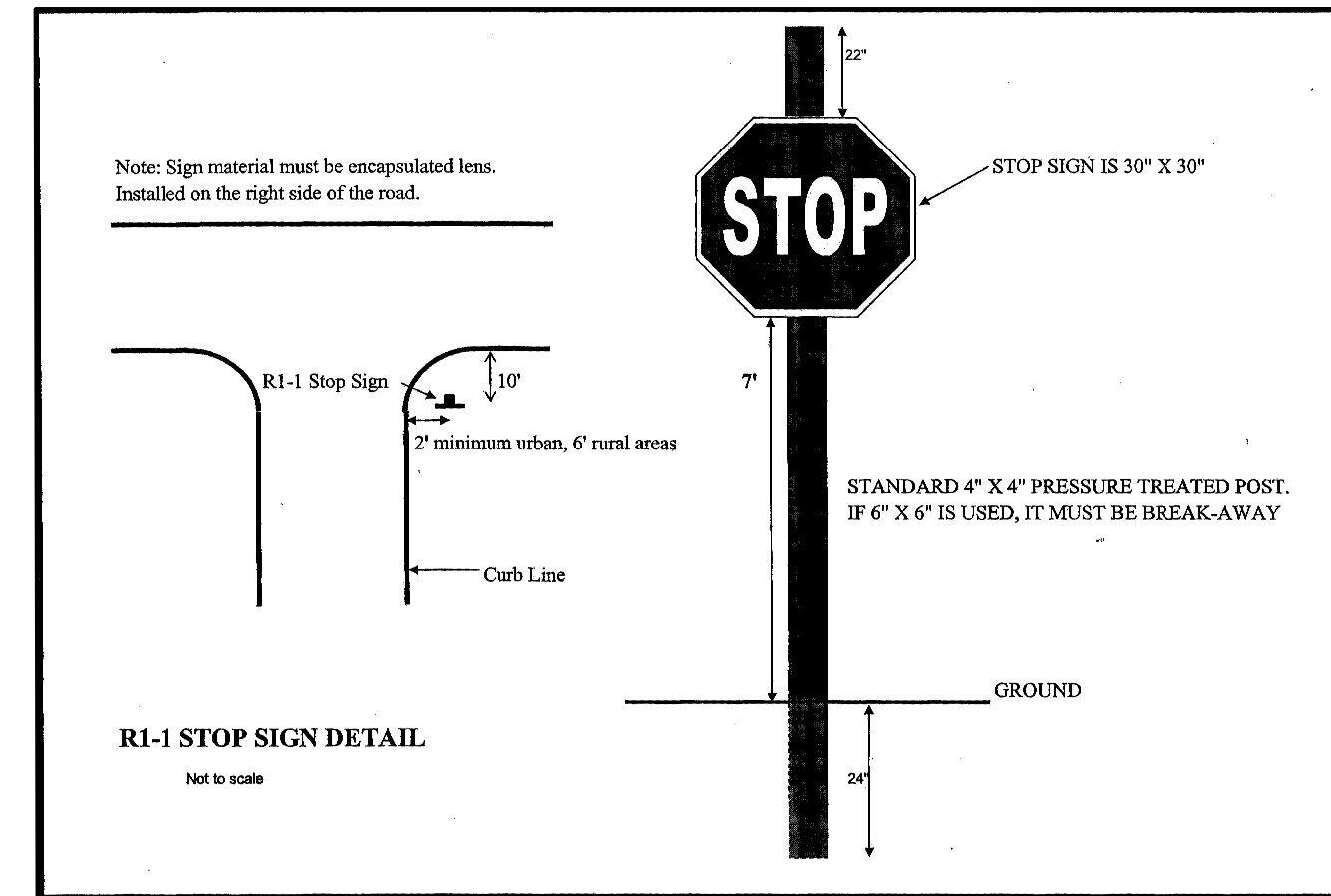
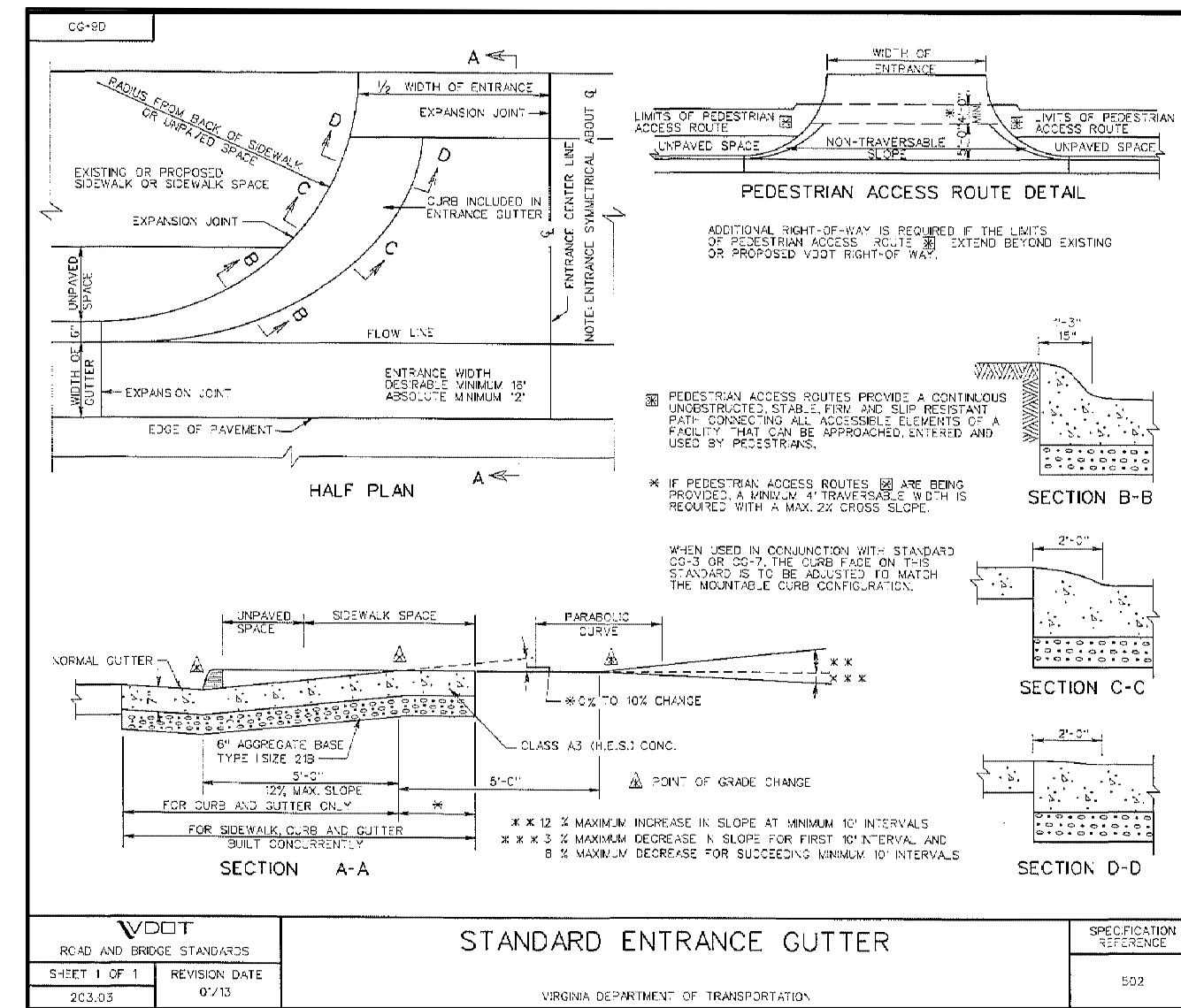
LEGEND

- ULD - ULT LIMITS OF DISTURBANCE
- PS - PERMANENT SEEDING
- SF - SILT FENCE
- CE - CONSTRUCTION ENTRANCE
- DV - DIVERSION
- IP - INLET PROTECTION
- (XXX.XX)+ - EXISTING ELEVATION
- XXX.XX+ - PROPOSED ELEVATION

NOTES:

- SPOTS ARE TOP OF CURB UNLESS OTHERWISE SPECIFIED.
- TRUNCATED DOMES WITHIN CG-12 PROHIBITED.





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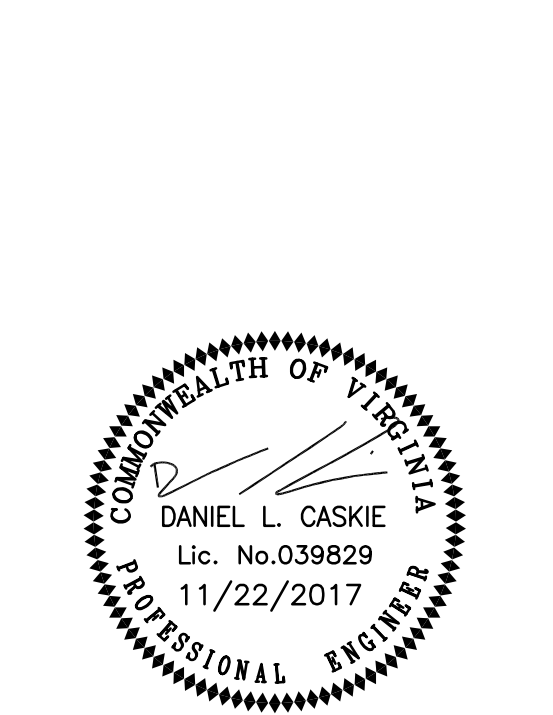
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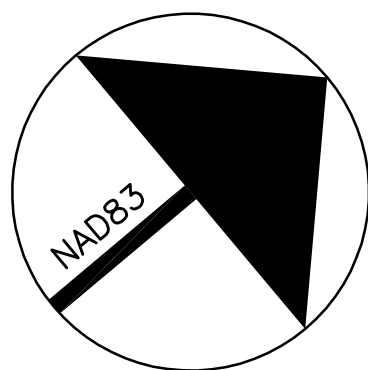


PROJECT: St. Luke Building
900 St. James Street
North District
City of Richmond, Virginia

SHEET: Site Details

SHEET NO: C5

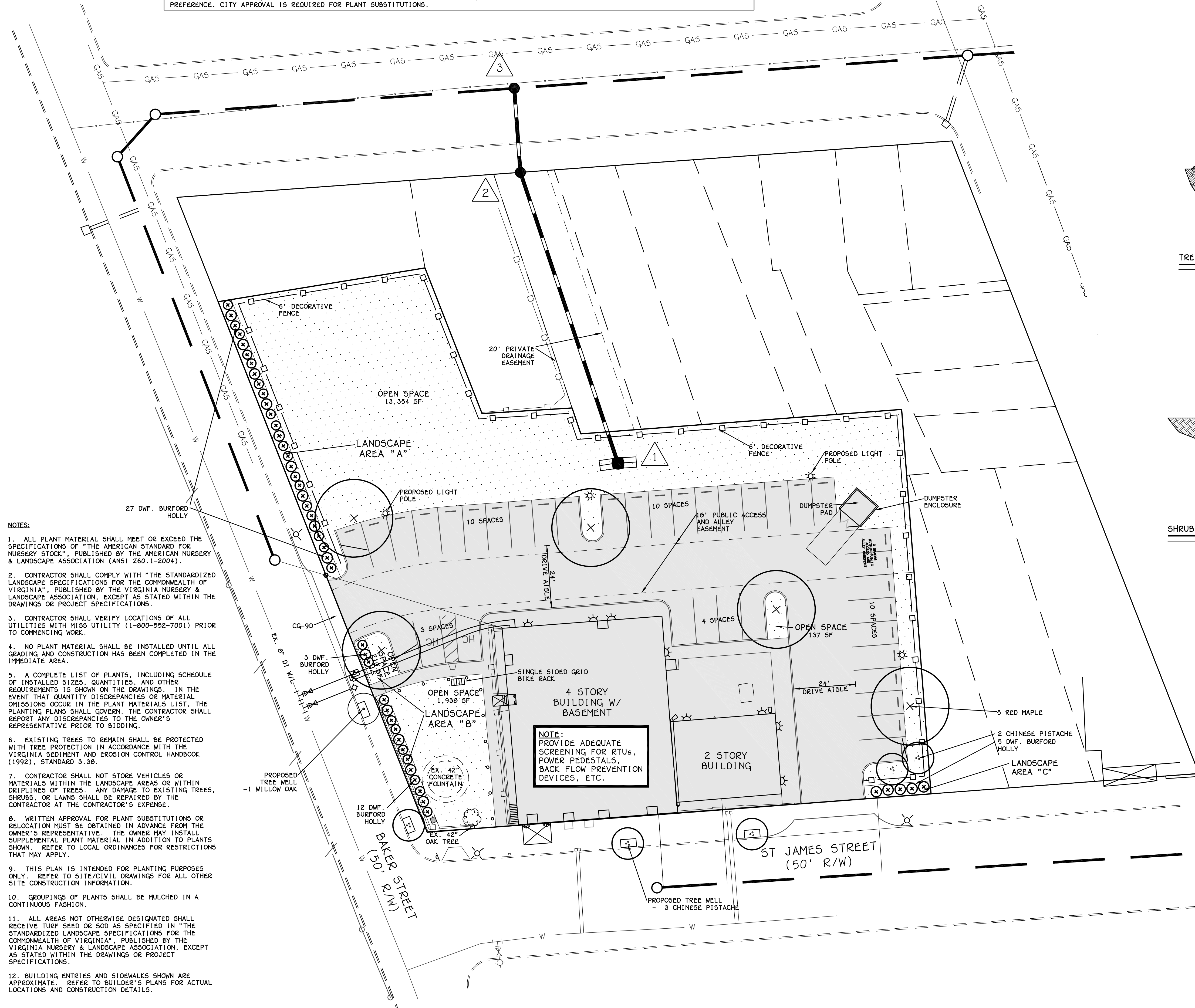
JOB NO. 16038



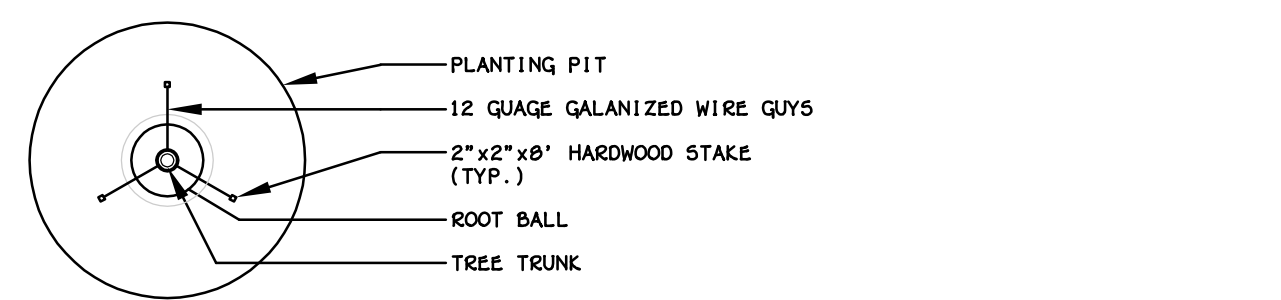
PLANTING SCHEDULE

KEY	NUMBER	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	ROOT	STAKING	CANOPY @ 10 YRS.	TOTAL CANOPY
+	5	Acer Rubrum	Red Maple	2-1/2" cal.	see plan	B & B	if needed	200	1000
•	5	Pistacia Chinensis	CHINESE PISTACHE	3-4' HEIGHT	see plan	B & B	if needed	200	1000
⊙	47	ILEX CORNUTA BURFORDII NANA	DWF. BURFORD HOLLY	18-24"	see plan	CONT.	No	N/A	N/A
○	1	Quercus phellos	Willow Oak	2-1/2" cal.	see plan	B & B	if needed	200	200

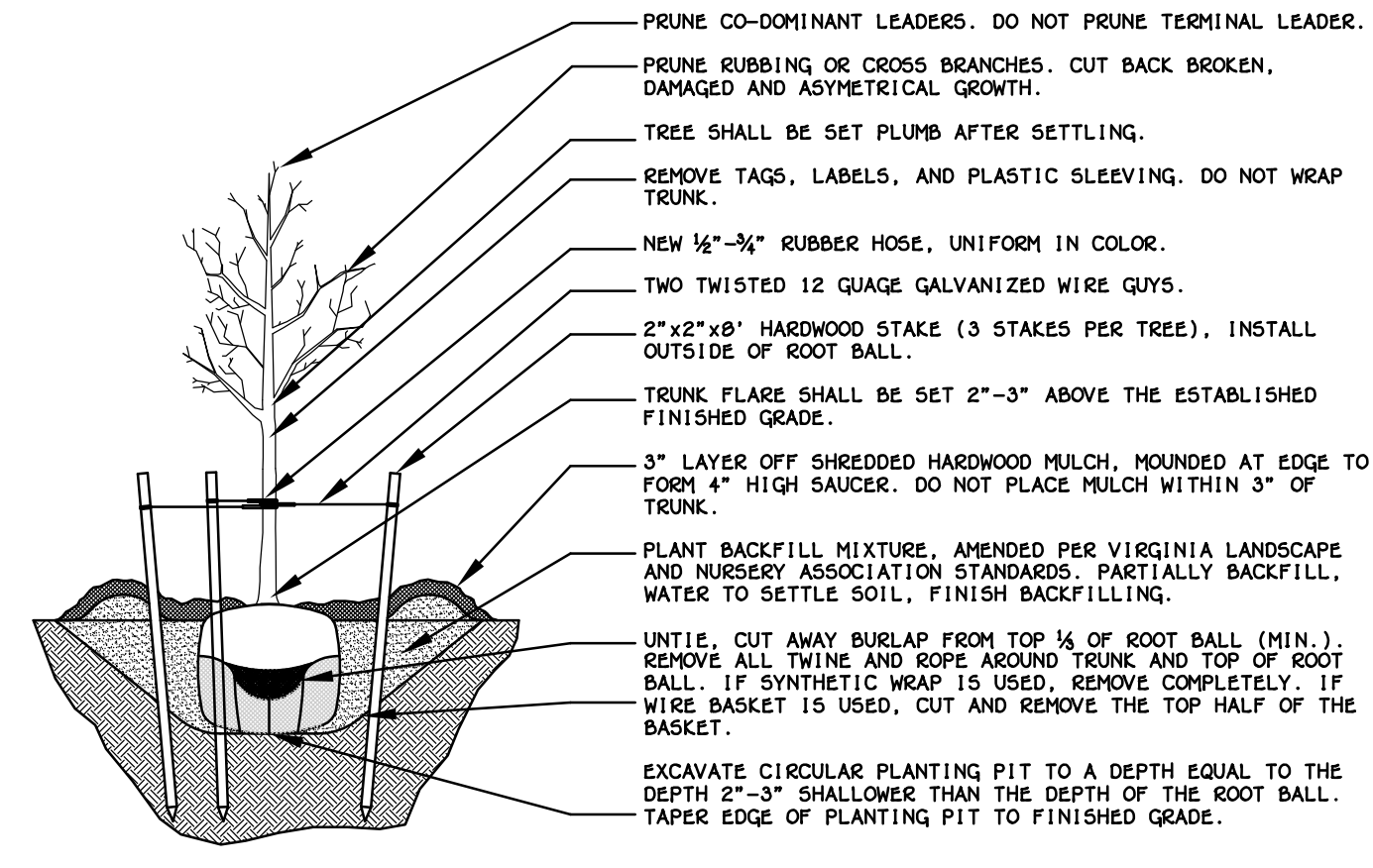
LANDSCAPE CONTRACTOR MAY SUBSTITUTE TREE SPECIES DUE TO AVAILABILITY OR OWNER PREFERENCE. CITY APPROVAL IS REQUIRED FOR PLANT SUBSTITUTIONS.



- NOTES:**
1. ALL PLANT MATERIAL SHALL MEET OR EXCEED THE SPECIFICATIONS OF "THE AMERICAN STANDARD FOR NURSERY STOCK", PUBLISHED BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION (ANSI Z60.1-2004).
 2. CONTRACTOR SHALL COMPLY WITH "THE STANDARDIZED LANDSCAPE SPECIFICATIONS FOR THE COMMONWEALTH OF VIRGINIA", PUBLISHED BY THE VIRGINIA NURSERY & LANDSCAPE ASSOCIATION, EXCEPT AS STATED WITHIN THE DRAWINGS OR PROJECT SPECIFICATIONS.
 3. CONTRACTOR SHALL VERIFY LOCATIONS OF ALL UTILITIES WITH MISS UTILITY (1-800-952-7001) PRIOR TO COMMENCING WORK.
 4. NO PLANT MATERIAL SHALL BE INSTALLED UNTIL ALL GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA.
 5. A COMPLETE LIST OF PLANTS, INCLUDING SCHEDULE OF INSTALLED SIZES, QUANTITIES, AND OTHER REQUIREMENTS IS SHOWN ON THE DRAWINGS. IN THE EVENT THAT QUANTITY DISCREPANCIES OR MATERIAL OMISSIONS OCCUR IN THE PLANT MATERIALS LIST, THE PLANTING PLANS SHALL GOVERN. THE CONTRACTOR SHALL REPORT ANY DISCREPANCIES TO THE OWNER'S REPRESENTATIVE PRIOR TO BIDDING.
 6. EXISTING TREES TO REMAIN SHALL BE PROTECTED WITH TREE PROTECTION IN ACCORDANCE WITH THE VIRGINIA SEDIMENT AND EROSION CONTROL HANDBOOK (1992), STANDARD 3.38.
 7. CONTRACTOR SHALL NOT STORE VEHICLES OR MATERIALS WITHIN THE LANDSCAPE AREAS OR WITHIN DRILINES OF TREES. ANY DAMAGE TO EXISTING TREES, SHRUBS, OR LAWNS SHALL BE REPAIRED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE.
 8. WRITTEN APPROVAL FOR PLANT SUBSTITUTIONS OR RELOCATION MUST BE OBTAINED IN ADVANCE FROM THE OWNER'S REPRESENTATIVE. THE OWNER MAY INSTALL SUPPLEMENTAL PLANT MATERIAL IN ADDITION TO PLANTS SHOWN. REFER TO LOCAL ORDINANCES FOR RESTRICTIONS THAT MAY APPLY.
 9. THIS PLAN IS INTENDED FOR PLANTING PURPOSES ONLY. REFER TO SITE/CIVIL DRAWINGS FOR ALL OTHER SITE CONSTRUCTION INFORMATION.
 10. GROUPINGS OF PLANTS SHALL BE MULCHED IN A CONTINUOUS FASHION.
 11. ALL AREAS NOT OTHERWISE DESIGNATED SHALL RECEIVE TURF SEED OR SOG AS SPECIFIED IN "THE STANDARDIZED LANDSCAPE SPECIFICATIONS FOR THE COMMONWEALTH OF VIRGINIA", PUBLISHED BY THE VIRGINIA NURSERY & LANDSCAPE ASSOCIATION, EXCEPT AS STATED WITHIN THE DRAWINGS OR PROJECT SPECIFICATIONS.
 12. BUILDING ENTRIES AND SIDEWALKS SHOWN ARE APPROXIMATE. REFER TO BUILDER'S PLANS FOR ACTUAL LOCATIONS AND CONSTRUCTION DETAILS.

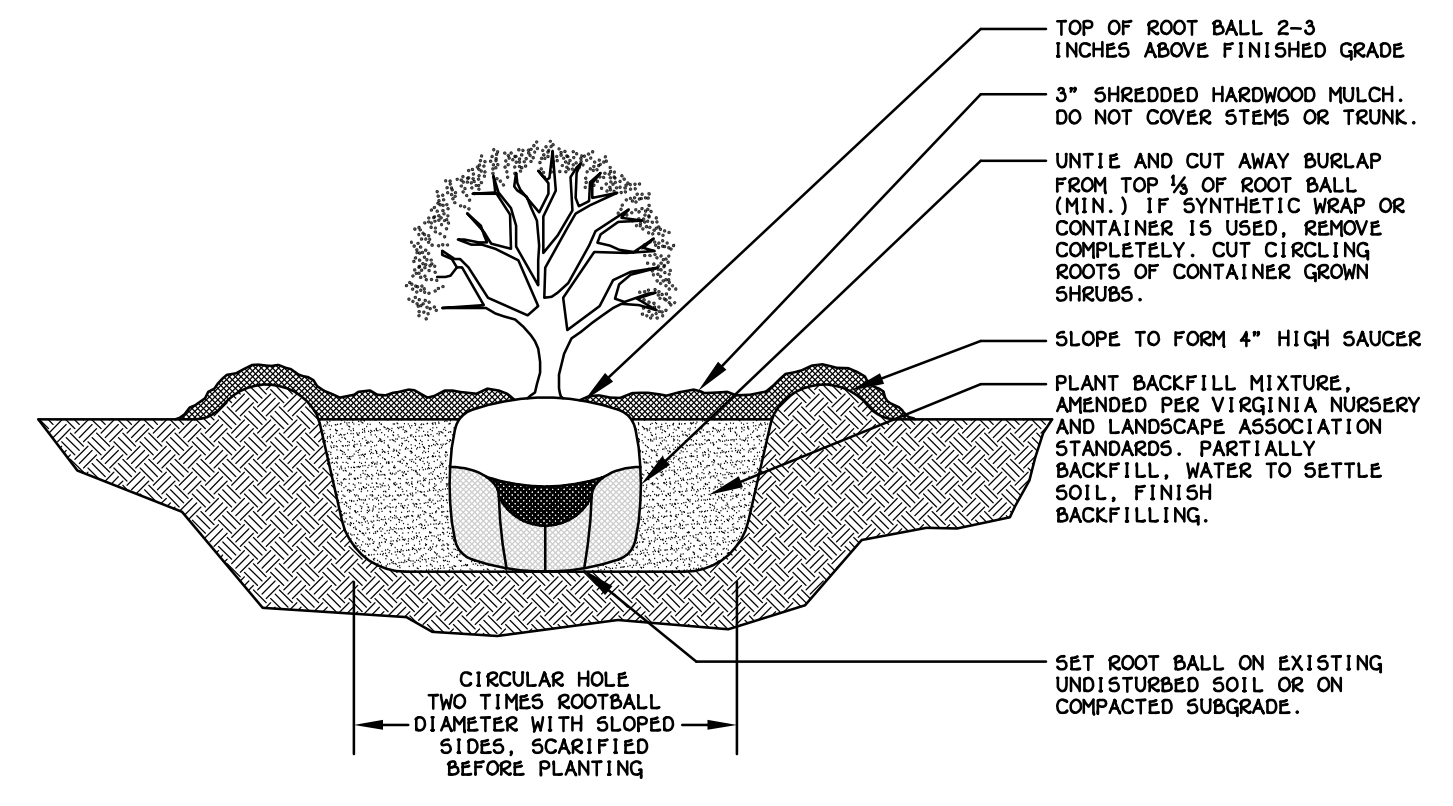


PLAN VIEW



TREE PLANTING DETAIL

SCALE: NONE

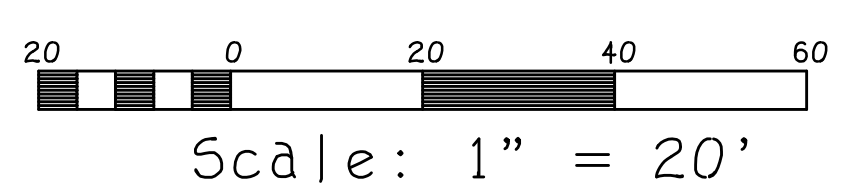


SHRUB PLANTING DETAIL

SCALE: NONE

LANDSCAPE LEGEND

- 5' FRONT AND SIDE YARD REQUIREMENTS (BUFFER "H");
 - 4 SHRUBS (DWF BURFORD HOLLY, KNOCK-OUT ROSE OR APPROVED ALTERNATIVE);
 - PER 50 LINEAR FEET OF BUFFER
- LANDSCAPE AREA "A"**
LANDSCAPING REQUIRED (115 LF): 12 SHRUBS
LANDSCAPING PROVIDED: 27 SHRUBS
- LANDSCAPE AREA "B"**
LANDSCAPING REQUIRED (80 LF): 8 SHRUBS
LANDSCAPING PROVIDED: 15 SHRUBS
- LANDSCAPE AREA "C"**
LANDSCAPING REQUIRED (25 LF): 4 SHRUBS
LANDSCAPING PROVIDED: 5 SHRUBS
- INTERNAL GREENSPACE**
30 SF PER PARKING SPACE
LARGE TREE AT 2.5" CAL = 200 SF COVER
(RED MAPLE, WILLOW OAK, OR APPROVED ALTERNATIVE);
SMALL TREE AT 2.5" CAL HEIGHT = 100 SF COVER
(CHINESE PISTACHE, AMERICAN HOLLY, OR APPROVED ALTERNATIVE);
- OPEN SPACE**
37 SPACES AT 30 SF PER SPACE = 1110 SF REQUIRED
5 LARGE TREES = 1000 SF
2 SMALL TREES = 150 SF
TOTAL COVER PROVIDED = 1150 SF
- 40% REQUIRED (38,135 SF*40%) = 15,254 SF
PROVIDED = 15,639 SF (41%)

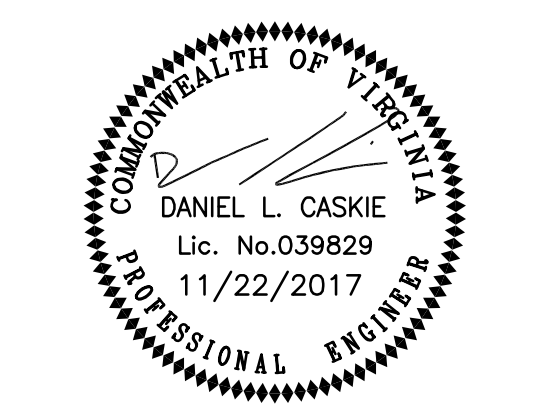


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PROJECT:
St. Luke Building
900 St. James Street
North District
City of Richmond, Virginia

SHEET:

Landscape Plan and Details

SHEET NO:

L1

JOB NO. 16038

ST LUKE BUILDING

SPECIAL USE PERMIT

OCTOBER 17, 2017

RICHMOND, VA 23220



SHEET INDEX PERMIT RESPONSE 2

NO.	SHEET TITLE	ISSUE DATE
COVER SHEET		
COVER	COVER SHEET	10/17/17
ST. LUKE - ARCHITECTURAL		
A2.00	BASEMENT AND FIRST FLOOR PLANS	10/17/17
A2.01	SECOND AND SECOND FLOOR LOFT PLANS	10/17/17
A2.02	THIRD AND FOURTH FLOOR PLANS	10/17/17
A2.03	FOURTH FLOOR LOFT AND FIFTH FLOOR PLANS	10/17/17
A2.04	ROOF PLAN	10/17/17
A3.00	EAST ELEVATION	10/17/17
A3.01	WEST ELEVATION	10/17/17
A3.02	NORTH AND SOUTH ELEVATIONS	10/17/17
A4.00	BUILDING SECTIONS	10/17/17
A5.00	ENLARGED 1ST FLOOR PLAN	10/17/17
A5.01	ENLARGED 2ND FLOOR PLAN	10/17/17
A5.02	ENLARGED 2ND FLOOR LOFT PLAN	10/17/17
A5.03	ENLARGED 3RD FLOOR PLAN	10/17/17
A5.04	ENLARGED 4TH FLOOR PLAN	10/17/17
A5.05	ENLARGED 4TH FLOOR LOFT PLAN	10/17/17
A5.06	ENLARGED UNIT SECTIONS - 2ND FLOOR	10/17/17
A5.07	ENLARGED UNIT SECTIONS - 4TH FLOOR	10/17/17
A5.08	ENLARGED HALLWAY ELEVATIONS - NORTH	10/17/17
A5.09	ENLARGED HALLWAY ELEVATIONS - SOUTH	10/17/17

PROJECT TEAM

OWNER

MR. CHARLES AYERS
ST. LUKE BUILDING, LLC
710 N. HAMILTON STREET
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ARCHITECT

COMMONWEALTH ARCHITECTS, P.C.
101 SHOCKOE SLIP
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F: 804.225.0329

STRUCTURAL ENGINEER

DUNBAR MILBY WILLIAMS PITTMAN & VAUGHAN, PLLC
CONSULTING STRUCTURAL ENGINEERS
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RICHMOND, VIRGINIA 23225
PH: 804.323.0656
F: 804.272.3916

MECHANICAL, ELECTRICAL, & PLUMBING ENGINEER

DUNLAP AND PARTNERS ENGINEERS
2112 W. LABURNUM AVE, SUITE 205
RICHMOND, VA 23227
PH: 804.358.9200

Commonwealth
ARCHITECTS

101 SHOCKOE SLIP, THIRD FLOOR
RICHMOND, VIRGINIA 23219

TELEPHONE: 804.648.5040
FACSIMILE: 804.225.0329

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VOLUME 1

GENERAL CONSTRUCTION NOTES

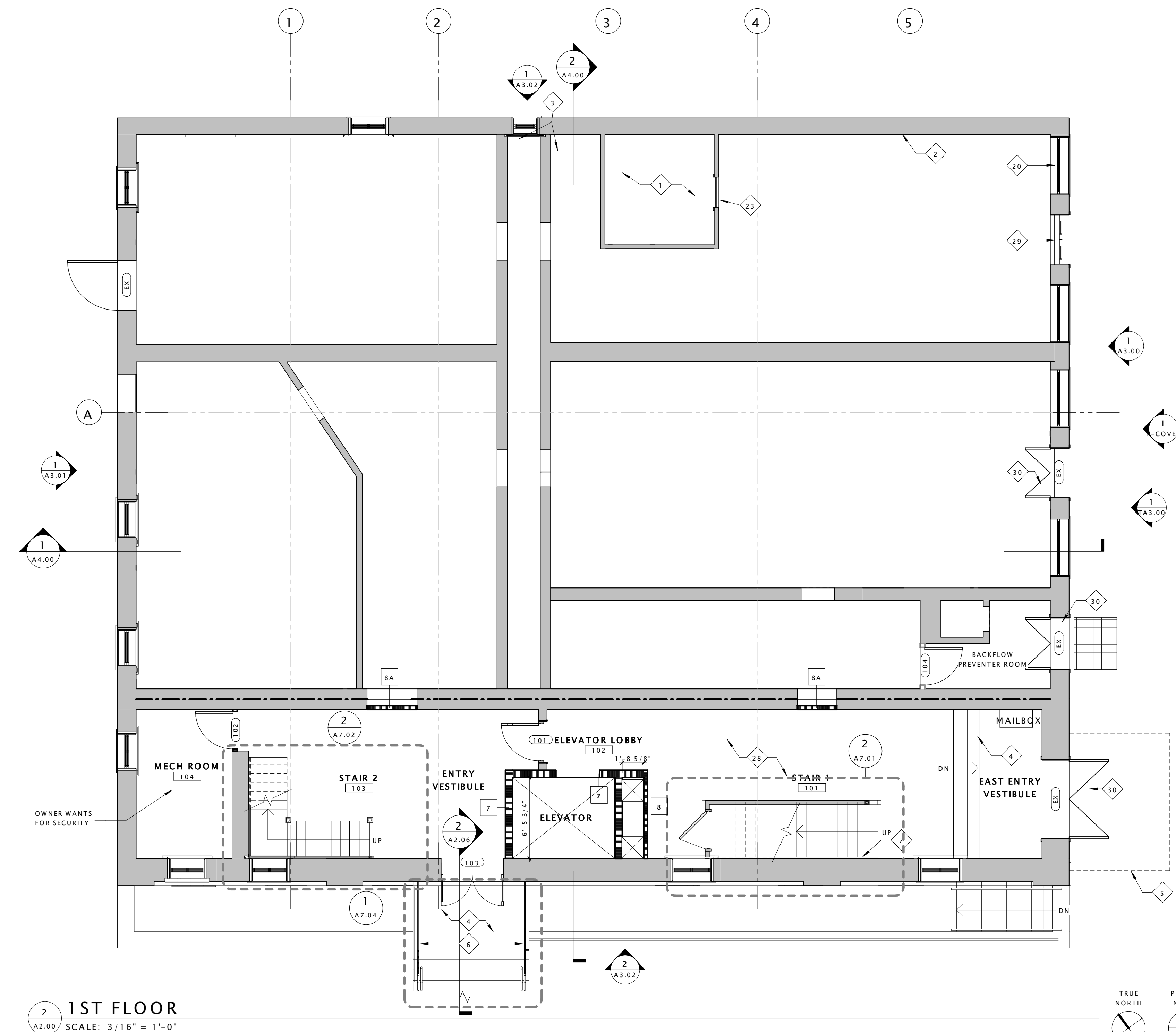
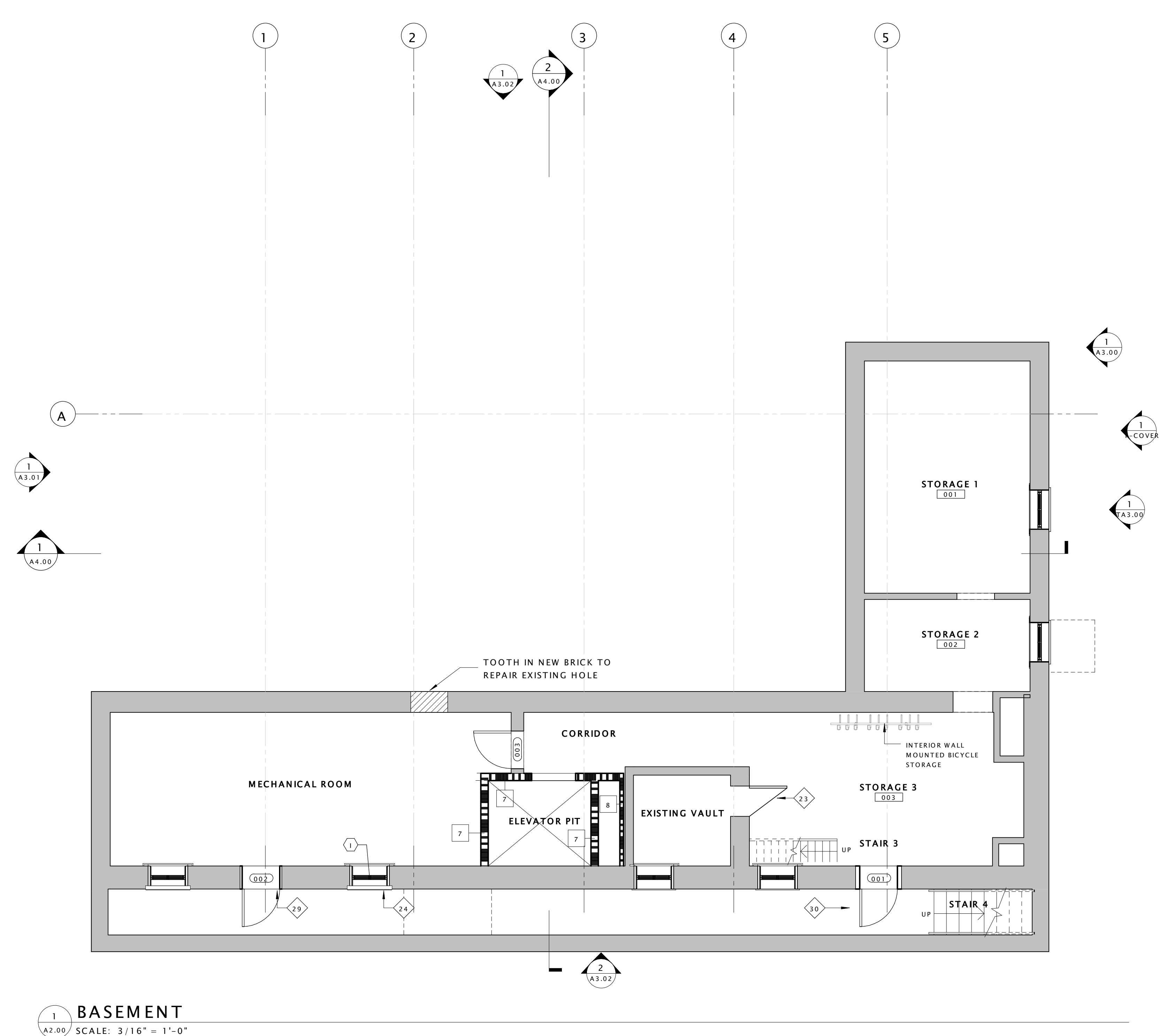
- THIS IS A HISTORIC REHABILITATION TAX CREDIT PROJECT. ALL WORK MUST BE ACCORDANCE WITH THE SECRETARY OF THE INTERIOR'S STANDARDS FOR HISTORIC REHABILITATION.
- DIMENSIONS NOTED AS 'ALIGN', 'HOLD', 'CLEAR', ARE TO TAKE PRECEDENCE OVER OTHER DIMENSIONS IN CASE OF DISCREPANCIES BETWEEN DRAWINGS AND ARE ALWAYS TO FINISH FACE. ALL OTHER DIMENSIONS ARE TO FACE OF STUD UNLESS NOTED OTHERWISE. CONTACT ARCHITECT FOR CLARIFICATION
- DOORS SHALL BE LOCATED 4" FROM ADJACENT PARTITIONS (HINGE SIDE) UNLESS NOTED OTHERWISE.
- ALL PARTITIONS ARE TO BE PARTITION TYPE 1 UNLESS NOTED OTHERWISE. REFER TO SHEET A0.01 FOR WALL TYPES.
- ALL TRANSITIONS OF FLOORING SHALL OCCUR @ CENTER LINE OF DOOR OPENINGS UNLESS NOTED OTHERWISE.
- USE 1/2" WATER RESISTANT GWB IN ALL BATHROOMS UNLESS NOTE OTHERWISE. USE CEMENT BACKER BOARD @ ALL TILE LOCATIONS
- ALL AREAS THAT INDICATE NEW INSULATION MUST MEET CURRENT IECC STANDARDS.
- REFER TO ELEVATIONS FOR EXISTING AND NEW WINDOW INFORMATION
- PATCH AND REPAIR EXISTING HISTORIC PLASTER WHERE IT HAS BEEN PREVIOUSLY REMOVED OR WHERE DAMAGED. SEE NPS BRIEF FOR METHODOLOGY
- INTERIOR DEPTH DIMENSION OF CLOSETS TO BE 2'-0" MINIMUM
- REPAIR AND RESTORE PLASTER AT ALL EXTERIOR WALLS, HISTORIC INTERIOR WALLS, AND AT THE FIRST AND THIRD FLOOR CEILING.
- AVOID REFINISHING FLOORS IN HISTORIC AREAS. CLEAN LIGHTLY. SAND ONLY AS NECESSARY AND OIL FLOOR BOARDS INSTEAD

CONSTRUCTION KEY NOTES - 1

- EXISTING VAULT TO REMAIN
- REPAIR AND PAINT EXISTING WAINSCOTING AT EXTERIOR WALLS AND HISTORIC PLASTER INTERIOR WALLS TYP. THROUGHOUT
- REPAIR EXISTING WOOD JOISTS TO MAKE FLOOR STRUCTUALLY SOUND - SEE STRUCTURAL
- NEW CONCRETE STAIR AND LANDING AT EXISTING ENTRY - SEE STRUCTURAL FOR DETAILS
- REPAIR EXISTING CANOPY
- NEW METAL GUARD RAIL AND HANDRAIL AT ENTRY
- RAISE EXISTING HISTORIC HANDRAIL TO CODE COMPLIANT HEIGHT
- REPAIR AND PAINT EXISTING HISTORIC RAIL/GUARDRAIL
- NEW LOFT FLOOR AT CONSTRUCTED OUT OF LIGHT GAGE FRAMING - SEE STRUCTURAL FOR DETAILS
- NEW STAIR IN THIS LOCATION.
- NEW INTERIOR WOOD WINDOW AT BEDROOM WALL
- EXISTING HISTORIC WALL AND TRANSOM WINDOWS TO BE RESTORED AND PAINTED
- EXISTING HISTORIC EXTERIOR STOREFRONT TO BE RESTORED - SEE SPECIFICATIONS FOR ALLOWABLE RESTORATION METHODS
- RESTORE AND REPAIR EXISTING DECORATIVE CORNICE
- RESTORE EXISTING BUILT-IN GUTTER
- INSTALL NEW ALUMINUM 4" DOWNSPOT
- NEW MEMBRANE ROOF ON 1/2" COVER BOARD AND (2) LAYERS OF 2" POLYISO INSULATION
- REPAIR AND PAINT EXISTING WOOD DENTAL MOLDING
- EXISTING FIRE ESCAPE DOORS TO REMAIN AND BE FIXED IN PLACE SO THAT THEY ARE NOT OPERABLE. DOORS TO BE REPAIRED AND REPAINTED. EXISTING WIRE GLASS TO BE REPAIRED AS NECESSARY.
- INSTALL NEW WOOD WINDOW IN EXISTING LOCATION
- INSPECT EXISTING MASONRY AFTER REMOVAL OF INVASIVE VEGETATION. REPAIR AND REPAIR BRICK AND MORTAR. MATCH SURROUNDING MORTAR IN MATERIAL, COMPOSITION, COLOR, AGGREGATE, & HARDNESS.
- INSTALL SALVAGED TIN CEILING. SEE REFLECTED CEILING PLANS FOR MORE DETAILS.
- EXISTING VAULT DOOR TO BE OPENED AND FIXED IN PLACE
- NEW WOOD WINDOW IN INDICATED LOCATION. WINDOW TO MATCH EXISTING ADJACENT WINDOWS IN TYPE AND PROFILE
- NEW ROOF ACCESS HATCH & LADDER - SEE SHEET A2.05 FOR DETAILS
- EXISTING INTERIOR STOREFRONT TO REMAIN
- EXISTING HISTORIC TELLER PARTITIONS AND STOREFRONT TO REMAIN
- CLEAN AND POLISH EXISTING HISTORIC TILE FLOORS.
- EXISTING DOOR TO REMAIN AND FIXED IN PLACE SO THAT THEY ARE NOT OPERABLE
- EXISTING WOOD DOORS TO BE REPAIRED, RECEIVE NEW HARDWARE, PAINTED, AND RESTORED TO WORKING ORDER - SEE DOOR SCHEDULE FOR MORE INFORMATION
- INSPECT EXISTING FLUE SHAFTS AND REPAIR BRICK AS NECESSARY TO MAINTAIN A WATER TIGHT ASSEMBLY
- INSTALL NEW FLUE CAP
- NEW DRYER VENT EXHAUST OPENING
- REPAIR AND RESTORE EXISTING HARDWOOD FLOOR AS NECESSARY AND CREATE ONE HOUR FLOOR/CEILING ASSEMBLY - SEE SPECIFICATIONS AND SHEET A0.01 FOR MORE INFORMATION

CONSTRUCTION LEGEND

	CONSTRUCTION NOTE SYMBOL		EXISTING WALL TO REMAIN
	WALL TYPE SYMBOL SEE SHEET A8.00		NEW CONSTRUCTION
	WINDOW TYPE SYMBOL SEE SHEET A8.05		MASONRY INFILL
	1 HOUR FIRE RATED WALL		NEW DOORS
	2 HOUR FIRE RATED WALL		EXISTING DOORS



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ST LUKE BUILDING
RICHMOND, VA 23220

Issue Record	Date
DHR PART II SUBMISSION	10.26.16
PERMIT SET	01.18.17
DHR PART II AMENDMENT 1	06.30.17
PERMIT SET RESPONSE	09.08.17
PERMIT SET RESPONSE 2	09.29.17



Drawing Title
BASEMENT AND FIRST FLOOR PLANS

Sheet
A2.00
Comm No 1622.00

GENERAL CONSTRUCTION NOTES

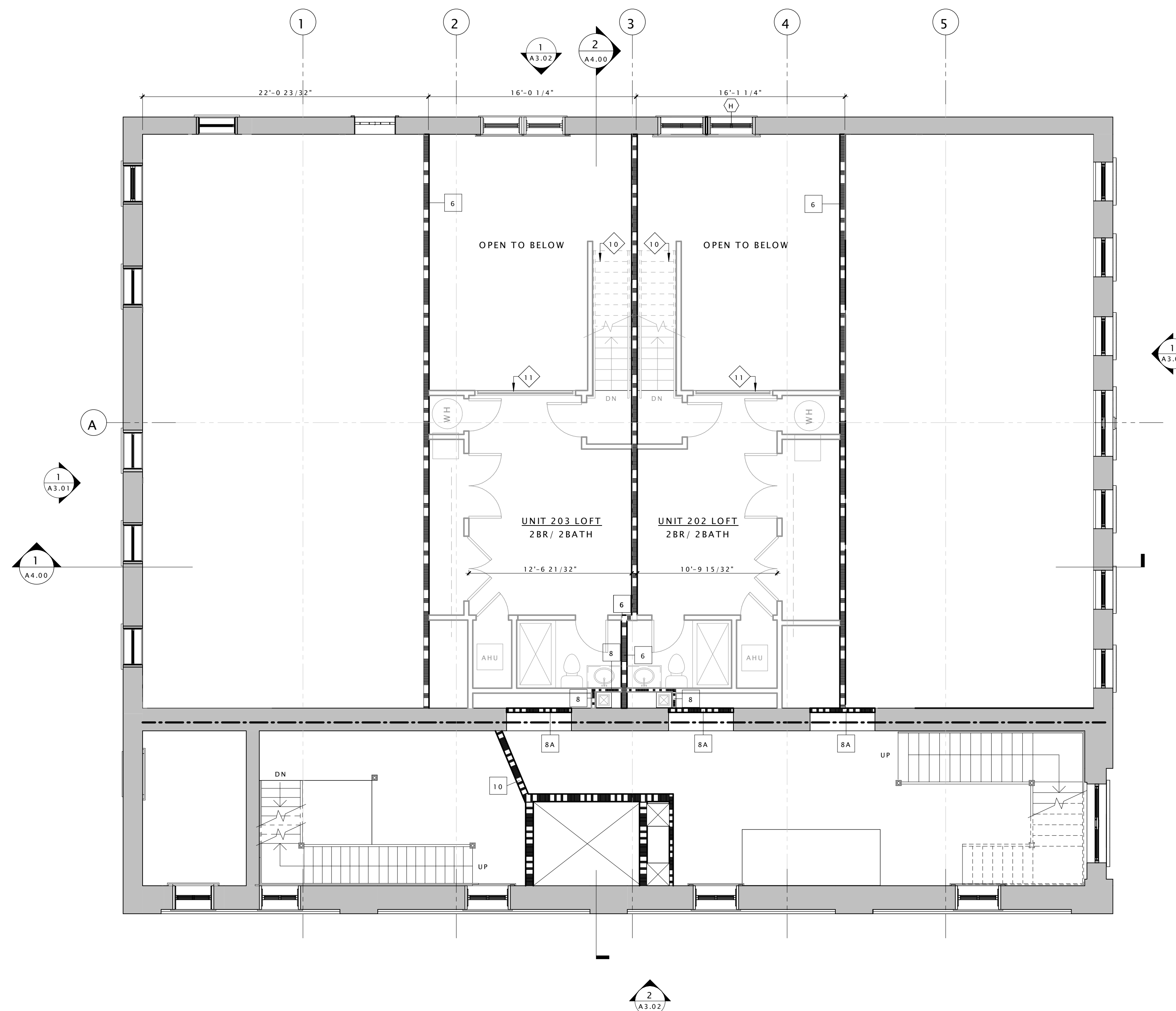
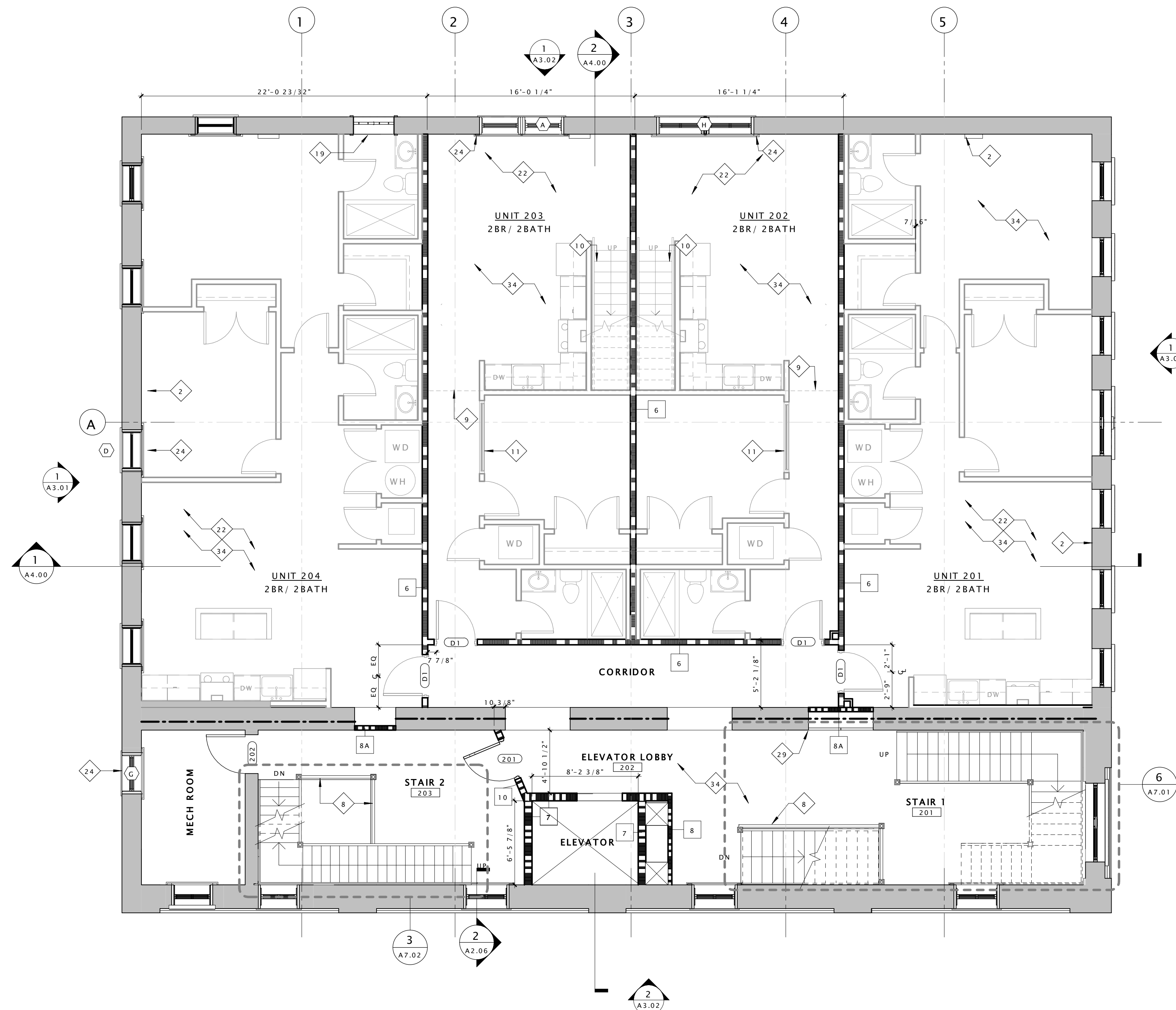
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CONSTRUCTION KEY NOTES - 1

- EXISTING VAULT TO REMAIN
- REPAIR AND PAINT EXISTING WAINSCOTING AT EXTERIOR WALLS AND HISTORIC PLASTER INTERIOR WALLS TYP. THROUGHOUT
- REPAIR EXISTING WOOD JOISTS TO MAKE FLOOR STRUCTURALLY SOUND - SEE STRUCTURAL
- NEW CONCRETE STAIR AND LANDING AT EXISTING ENTRY - SEE STRUCTURAL FOR DETAILS
- REPAIR EXISTING CANOPY
- NEW METAL GUARD RAIL AND HANDRAIL AT ENTRY
- RAISE EXISTING HISTORIC HANDRAIL TO CODE COMPLIANT HEIGHT
- REPAIR AND PAINT EXISTING HISTORIC RAIL/GUARDRAIL
- NEW LOFT FLOOR AT CONSTRUCTED OUT OF LIGHT GAGE FRAMING - SEE STRUCTURAL FOR DETAILS
- NEW STAIR IN THIS LOCATION.
- NEW INTERIOR WOOD WINDOW AT BEDROOM WALL
- EXISTING HISTORIC WALL AND TRANSOM WINDOWS TO BE RESTORED AND PAINTED
- EXISTING HISTORIC EXTERIOR STOREFRONT TO BE RESTORED - SEE SPECIFICATIONS FOR ALLOWABLE RESTORATION METHODS
- RESTORE AND REPAIR EXISTING DECORATIVE CORNICE
- RESTORE EXISTING BUILT-IN GUTTER
- INSTALL NEW ALUMINUM 4" DOWNSPOT
- NEW MEMBRANE ROOF ON 1/2" COVER BOARD AND (2) LAYERS OF 2" POLYISO INSULATION
- REPAIR AND PAINT EXISTING WOOD DENTAL MOLDING
- EXISTING FIRE ESCAPE DOORS TO REMAIN AND BE FIXED IN PLACE SO THAT THEY ARE NOT OPERABLE. DOORS TO BE REPAIRED AND REPAINTED. EXISTING WIRE GLASS TO BE REPAIRED AS NECESSARY.
- INSTALL NEW WOOD WINDOW IN EXISTING LOCATION
- INSPECT EXISTING MASONRY AFTER REMOVAL OF INVASIVE VEGETATION. REPAIR AND REPAIR BRICK AND MORTAR. MATCH SURROUNDING MORTAR IN MATERIAL, COMPOSITION, COLOR, AGGREGATE, & HARDNESS.
- INSTALL SALVAGED TIN CEILING. SEE REFLECTED CEILING PLANS FOR MORE DETAILS.
- EXISTING VAULT DOOR TO BE OPENED AND FIXED IN PLACE
- NEW WOOD WINDOW IN INDICATED LOCATION. WINDOW TO MATCH EXISTING ADJACENT WINDOWS IN TYPE AND PROFILE
- NEW ROOF ACCESS HATCH & LADDER - SEE SHEET A2.05 FOR DETAILS
- EXISTING INTERIOR STOREFRONT TO REMAIN
- EXISTING HISTORIC TELLER PARTITIONS AND STOREFRONT TO REMAIN
- CLEAN AND POLISH EXISTING HISTORIC TILE FLOORS.
- EXISTING DOOR TO REMAIN AND FIXED IN PLACE SO THAT THEY ARE NOT OPERABLE
- EXISTING WOOD DOORS TO BE REPAIRED, RECEIVE NEW HARDWARE, PAINTED, AND RESTORED TO WORKING ORDER - SEE DOOR SCHEDULE FOR MORE INFORMATION
- INSPECT EXISTING FLUE SHAFTS AND REPAIR BRICK AS NECESSARY TO MAINTAIN A WATER TIGHT ASSEMBLY
- INSTALL NEW FLUE CAP
- NEW DRYER VENT EXHAUST OPENING
- REPAIR AND RESTORE EXISTING HARDWOOD FLOOR AS NECESSARY AND CREATE ONE HOUR FLOOR/CEILING ASSEMBLY - SEE SPECIFICATIONS AND SHEET A0.01 FOR MORE INFORMATION

CONSTRUCTION LEGEND

	CONSTRUCTION NOTE SYMBOL		EXISTING WALL TO REMAIN
	WALL TYPE SYMBOL SEE SHEET A8.00		NEW CONSTRUCTION
	WINDOW TYPE SYMBOL SEE SHEET A8.05		MASONRY INFILL
	1 HOUR FIRE RATED WALL		NEW DOORS
	2 HOUR FIRE RATED WALL		EXISTING DOORS



Commonwealth
ARCHITECTS
101 SHOCKOE SLIP, THIRD FLOOR
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ST LUKE BUILDING
RICHMOND, VA 23220

Issue Record	Date
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DHR PART II SUBMISSION	10.26.16
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Drawing Title
SECOND AND SECOND FLOOR LOFT PLANS

Sheet
A2.01
Comm No 1622.00

GENERAL CONSTRUCTION NOTES

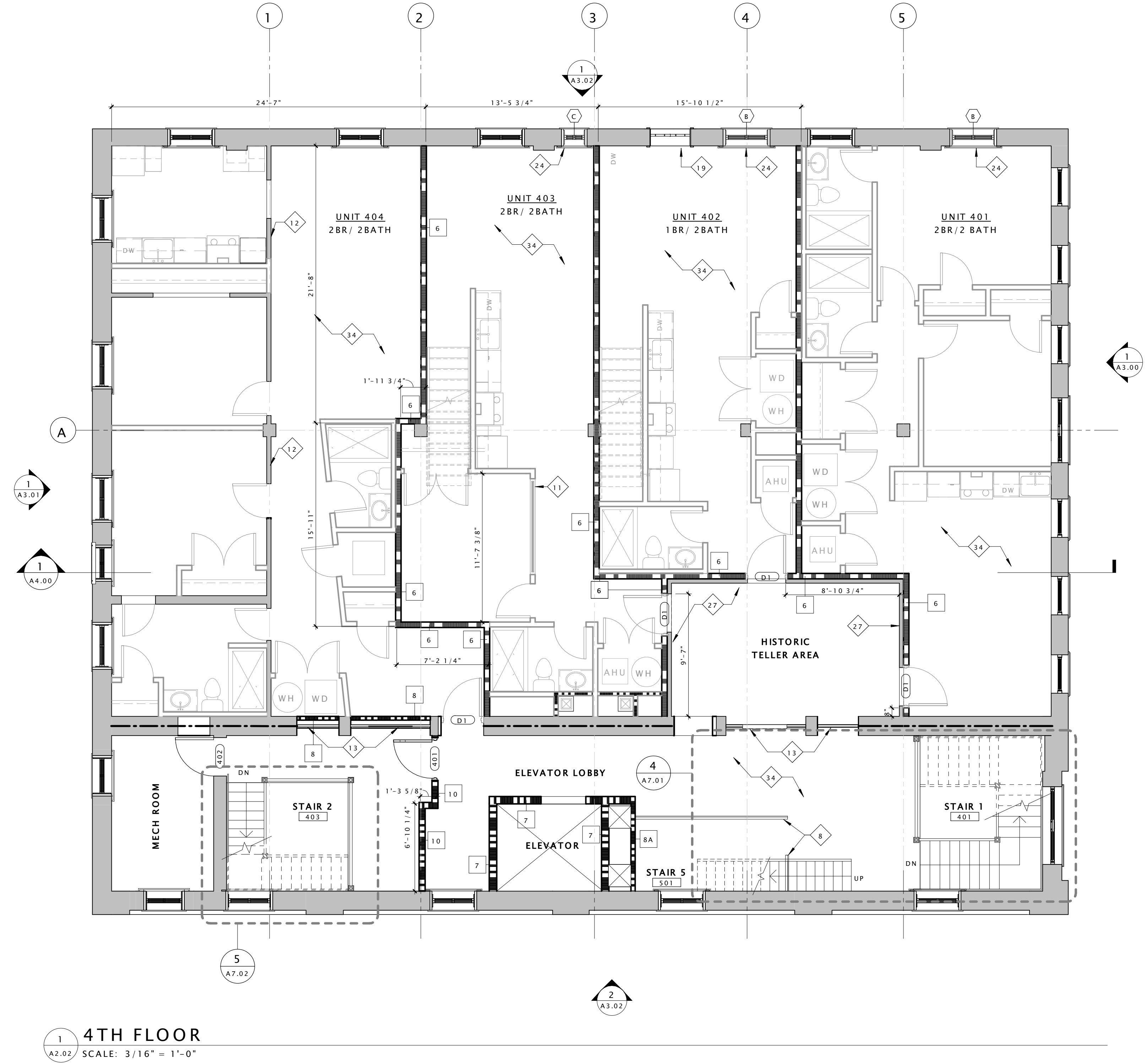
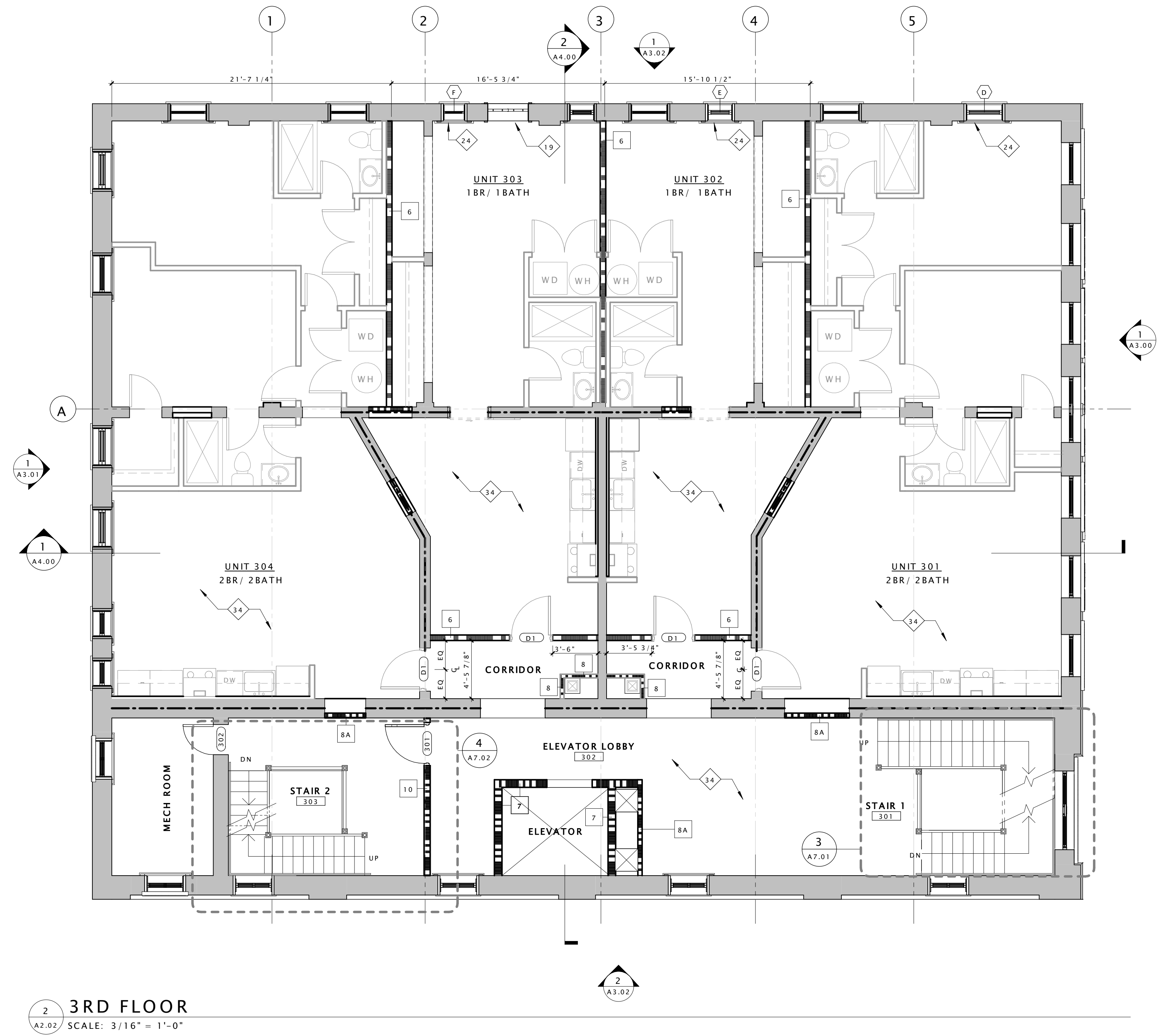
- THIS IS A HISTORIC REHABILITATION TAX CREDIT PROJECT. ALL WORK MUST BE ACCORDANCE WITH THE SECRETARY OF THE INTERIOR'S STANDARDS FOR HISTORIC REHABILITATION.
- DIMENSIONS NOTED AS 'ALIGN', 'HOLD', 'CLEAR', ARE TO TAKE PRECEDENCE OVER OTHER DIMENSIONS IN CASE OF DISCREPANCIES BETWEEN DRAWINGS AND ARE ALWAYS TO FINISH FACE. ALL OTHER DIMENSIONS ARE TO FACE OF STUD UNLESS NOTED OTHERWISE. CONTACT ARCHITECT FOR CLARIFICATION.
- DOORS SHALL BE LOCATED 4" FROM ADJACENT PARTITIONS (HINGE SIDE) UNLESS NOTED OTHERWISE.
- ALL PARTITIONS ARE TO BE PARTITION TYPE 1 UNLESS NOTED OTHERWISE. REFER TO SHEET A0.01 FOR WALL TYPES.
- ALL TRANSITIONS OF FLOORING SHALL OCCUR @ CENTER LINE OF DOOR OPENINGS UNLESS NOTED OTHERWISE.
- USE 1/2" WATER RESISTANT GWB IN ALL BATHROOMS UNLESS NOTE OTHERWISE. USE CEMENT BACKER BOARD @ ALL TILE LOCATIONS.
- ALL AREAS THAT INDICATE NEW INSULATION MUST MEET CURRENT IECC STANDARDS.
- REFER TO ELEVATIONS FOR EXISTING AND NEW WINDOW INFORMATION.
- PATCH AND REPAIR EXISTING HISTORIC PLASTER WHERE IT HAS BEEN PREVIOUSLY REMOVED OR WHERE DAMAGED. SEE NPS BRIEF FOR METHODOLOGY.
- INTERIOR DEPTH DIMENSION OF CLOSETS TO BE 2'-0" MINIMUM.
- REPAIR AND RESTORE PLASTER AT ALL EXTERIOR WALLS, HISTORIC INTERIOR WALLS, AND AT THE FIRST AND THIRD FLOOR CEILING.
- AVOID REFINISHING FLOORS IN HISTORIC AREAS. CLEAN LIGHTLY. SAND ONLY AS NECESSARY AND OIL FLOOR BOARDS INSTEAD.

CONSTRUCTION KEY NOTES - 1

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CONSTRUCTION LEGEND

	CONSTRUCTION NOTE SYMBOL		EXISTING WALL TO REMAIN
	WALL TYPE SYMBOL SEE SHEET A8.00		NEW CONSTRUCTION
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Drawing Title
THIRD AND FOURTH FLOOR PLANS

GENERAL CONSTRUCTION NOTES

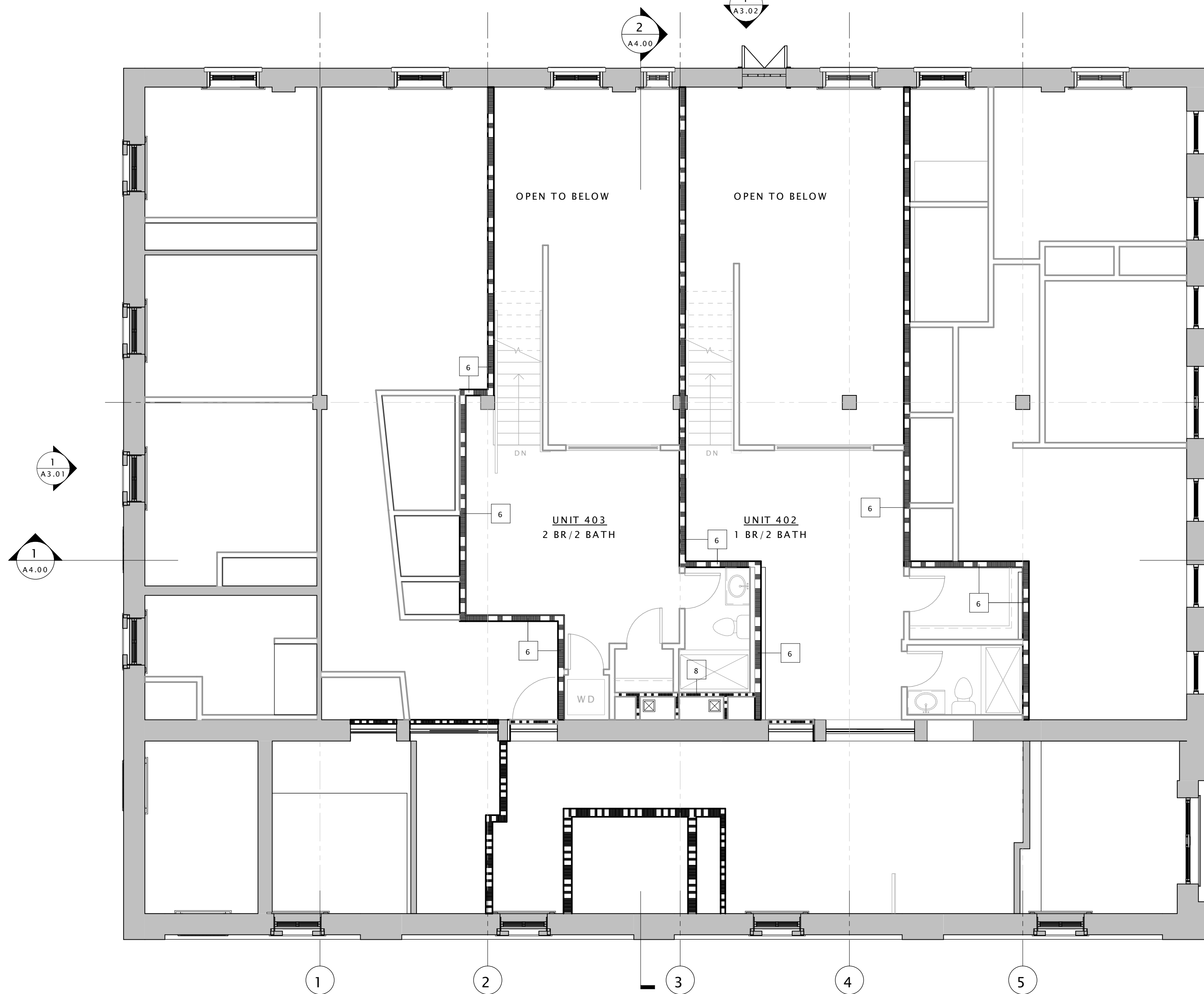
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CONSTRUCTION KEY NOTES -

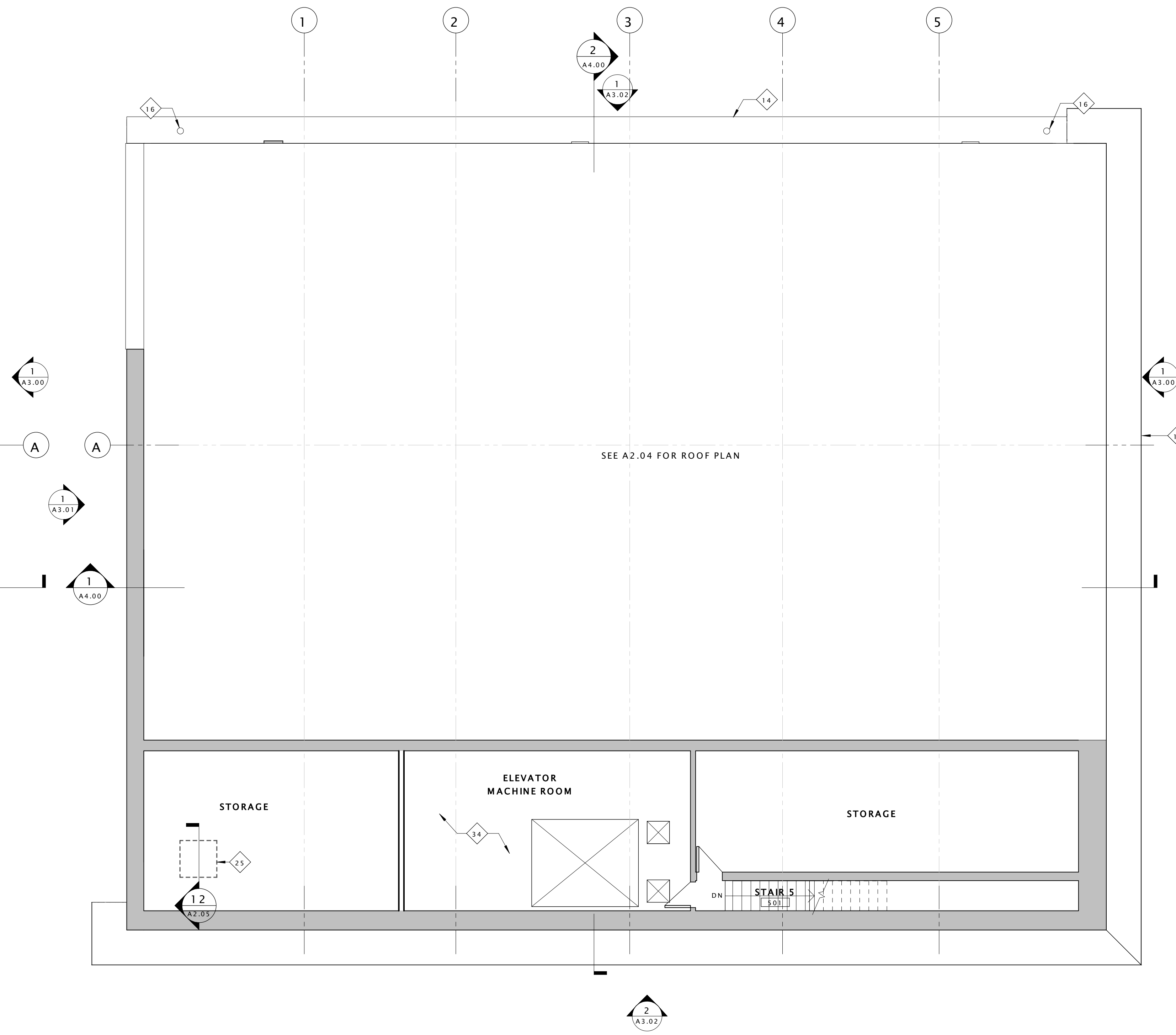
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CONSTRUCTION LEGEND

	CONSTRUCTION NOTE SYMBOL		EXISTING WALL TO REMAIN
	WALL TYPE SYMBOL SEE SHEET A8.00		NEW CONSTRUCTION
	WINDOW TYPE SYMBOL SEE SHEET A8.05		MASONRY INFILL
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	2 HOUR FIRE RATED WALL		EXISTING DOORS



4TH FLOOR LOFT
SCALE: 3/16" = 1'-0"



5TH FLOOR
SCALE: 3/16" = 1'-0"

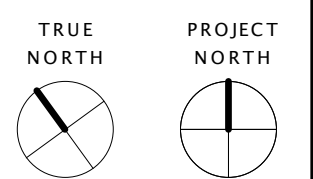
Issue Record	Date
DHR PART II SUBMISSION	10.26.16
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PERMIT SET RESPONSE	09.08.17
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Drawing Title

**FOURTH FLOOR
LOFT AND FIFTH
FLOOR PLANS**

Sheet



A2.03

GENERAL CONSTRUCTION NOTES

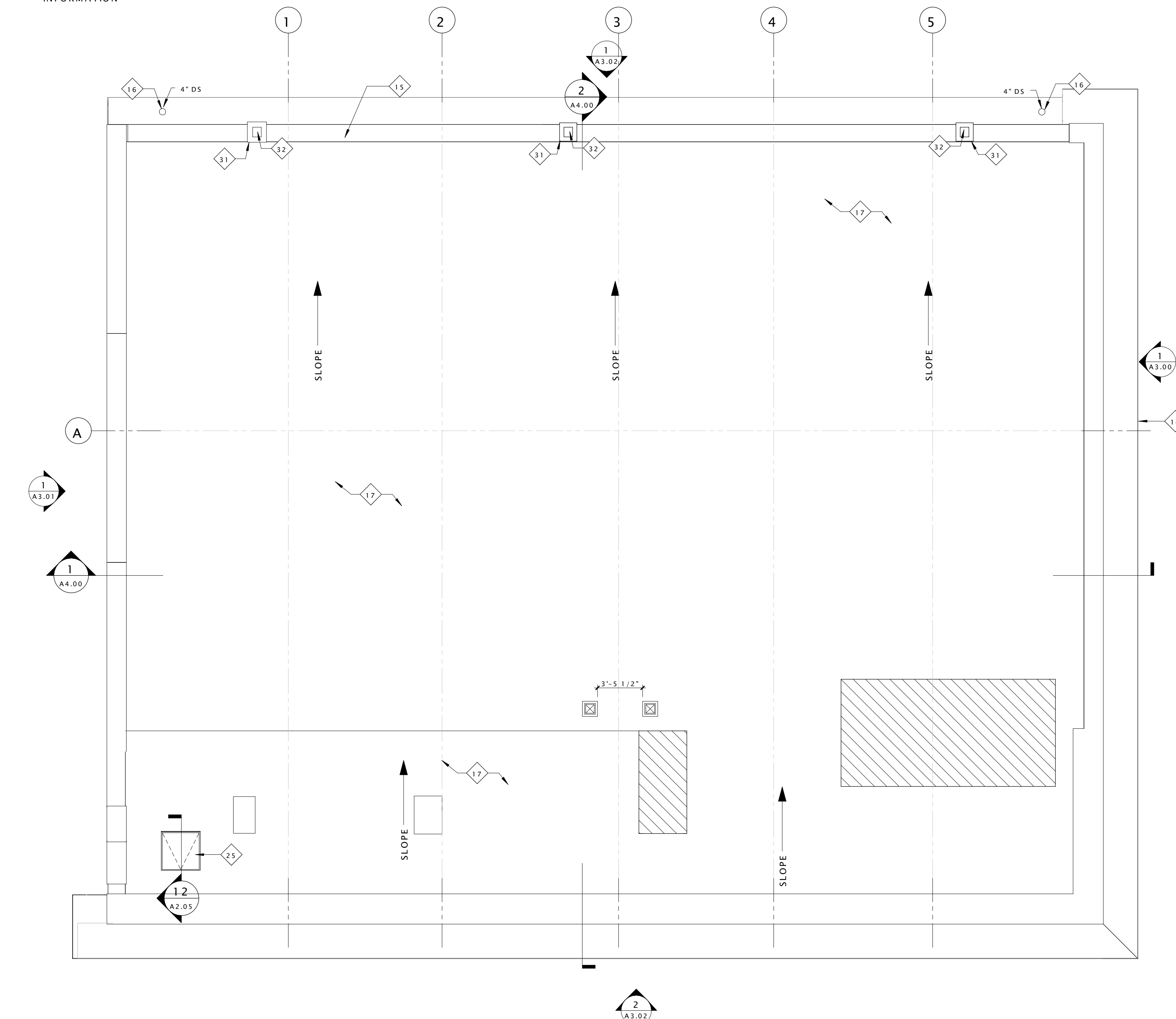
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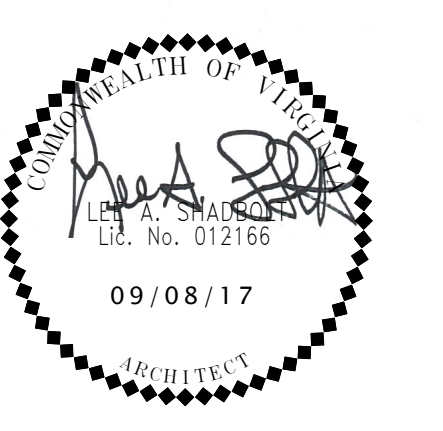
CONSTRUCTION LEGEND

	CONSTRUCTION NOTE SYMBOL		EXISTING WALL TO REMAIN
	WALL TYPE SYMBOL SEE SHEET A8.00		NEW CONSTRUCTION
	WINDOW TYPE SYMBOL SEE SHEET A8.05		MASONRY INFILL
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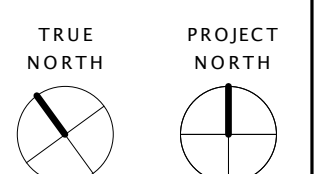
1 ROOF
A2.04 / SCALE: 3/16" = 1'-0"

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Drawing Title
ROOF PLAN

Sheet



A2.04

GENERAL ELEVATION NOTES

- THIS IS A HISTORIC REHABILITATION TAX CREDIT PROJECT. ALL WORK MUST BE ACCORDANCE WITH THE SECRETARY OF THE INTERIOR'S STANDARDS FOR HISTORIC REHABILITATION.
- CONTRACTOR SHALL CAREFULLY REVIEW ALL EXISTING CONDITION. ALL REPAIRS NOTED AS TYP. (BY THE SPECIFIC ELEVATION NOTES) OR NOTED UNDER THE GENERAL ELEVATION NOTES SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY EXACT LOCATION AND EXTENT OF WORK. TYPICAL NOTES ARE NOT SHOWN AT EVERY LOCATION WHERE SAID WORK IS REQUIRED AND IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY ALL LOCATIONS.
- CONTRACTOR SHALL REPAINT ALL EXPOSED EXTERIOR BRICKS AS NOTED FRO STRUCTURAL SOUNDNESS AND WATER-TIGHTNESS. MATCH EXISTING MORTAR COLOR AND JOINT PROFILE. PROVIDE SAMPLE MOCK-UP ON BUILDING FOR ARCHITECT'S APPROVAL.
- CONTRACTOR SHALL REPAIR/REPLACE ANY DAMAGED, SPLIT, SEVERELY SPALLED BRICK. CONTRACTOR SHALL REWORK BRICK AT NEW OR ENLARGED OPENING AS REQUIRED FOR NEW WINDOWS, DOORS, VENTS, ETC. BRICK SHALL BE REBUILT BY TOOTHING TOGETHER. SAW CUTTING NOT ALLOWED AT AREAS WHERE CUT WOULD BE VISIBLE.
- CONTRACTOR SHALL REMOVE ALL EXTRANEOUS MATERIALS FROM FACE OF BUILDING, INCLUDING BUT NOT LIMITED TO VINES, ABANDONED WIRING AND CONDUITS, ABANDONED PLUMBING AND MECHANICAL PIPES, METAL ANCHORS, NAILS, WOOD BLOCKING, ETC. REPAIR SURFACES BEHIND AS REQUIRED FOR CONTINUOUS APPEARANCE.
- CONTRACTOR SHALL SEAL/CAULK ALL CONNECTIONS OF MATERIALS AND OTHER LOCATIONS AS REQUIRED FOR WATER-TIGHTNESS.
- CONTRACTOR SHALL INSPECT ALL EXISTING WINDOWS, DOORS, AND FRAMES TO REMAIN AND INCLUDED ANY NEEDED REPAIRS/REPLACEMENTS REQUIRED OR LIKE NEW APPEARANCE AND SOUND OPERATION. REPAIRS/REPLACEMENT INCLUDE FLASHING, GLAZING COMPOUND, GLASS, SASH, AND MUNTIN MEMBERS, FRAMES AND OTHER HARDWARE DEVICES, SILLS, LINTELS, ETC.
- CONTRACTOR SHALL PAINT ALL EXTERIOR METAL SURFACES UNLESS THEY SPECIFICALLY NOTED OTHERWISE OR PREFINISHED.
- CONTRACTOR SHALL CAREFULLY INSPECT ALL STRUCTURAL MEMBERS, INCLUDING BUT NOT LIMITED TO BEAMS, LINTELS, MASONRY, ARCHES, ETC. AND NOTIFY THE ARCHITECT IN WRITING OF ANY STRUCTURALLY UNSOUND CONDITIONS REQUIRING REPAIR, REPLACEMENT, OR INVESTIGATION.
- 'PAINT' DENOTES PAINTING ACCORDING TO THE SPECIFICATIONS AND PREPARATION OF SURFACE BY HAND SCRAPING AND SANDING ALL LOOSE AND DAMAGED PAINT AND SANDING TO FEATHER EDGES AT REMAINING LAYER AS REQUIRED FOR CONTINUOUS FINISH.

CONSTRUCTION KEY NOTES - X

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- NEW MEMBRANE ROOF ON 1/2" COVER BOARD AND (2) LAYERS OF 2" POLYISO INSULATION
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- EXISTING FIRE ESCAPE DOORS TO REMAIN AND BE FIXED IN PLACE SO THAT THEY ARE NOT OPERABLE. DOORS TO BE REPAIRED AND REPAINTED. EXISTING WIRE GLASS TO BE REPAIRED AS NECESSARY.
- INSTALL NEW WOOD WINDOW IN EXISTING LOCATION
- INSPECT EXISTING MASONRY AFTER REMOVAL OF INVASIVE VEGETATION. REPAINT AND REPAIR BRICK AND MORTAR. MATCH SURROUNDING MORTAR IN MATERIAL, COMPOSITION, COLOR, AGGREGATE, & HARDNESS.
- INSTALL SALVAGED TIN CEILING. SEE REFLECTED CEILING PLANS FOR MORE DETAILS.
- EXISTING VAULT DOOR TO BE OPENED AND FIXED IN PLACE
- NEW WOOD WINDOW IN INDICATED LOCATION. WINDOW TO MATCH EXISTING ADJACENT WINDOWS IN TYPE AND PROFILE
- NEW ROOF ACCESS HATCH & LADDER - SEE SHEET A2.05 FOR DETAILS
- EXISTING INTERIOR STOREFRONT TO REAMIN
- EXISTING HISTORIC TELLER PARTITIONS AND STOREFRONT TO REMAIN
- CLEAN AND POLISH EXISTING HISTORIC TILE FLOORS.
- EXISTING DOOR TO REMAIN AND FIXED IN PLACE SO THAT THEY ARE NOT OPERABLE
- EXISTING WOOD DOORS TO BE REPAIRED, RECEIVE NEW HARDWARE, PAINTED, AND RESTORED TO WORKING ORDER - SEE DOOR SCHEDULE FOR MORE INFORMATION
- INSPECT EXISTING FLUE SHAFTS AND REPAIR BRICK AS NECESSARY TO MAINTAIN A WATER TIGHT ASSEMBLY
- INSTALL NEW FLUE CAP
- NEW DRYER VENT EXHAUST OPENING
- REPAIR AND RESTORE EXISTING HARDWOOD FLOOR AS NECESSARY AND CREATE ONE HOUR FLOOR/CEILING ASSEMBLY - SEE SPECIFICATIONS AND SHEET A0.01 FOR MORE INFORMATION

CONSTRUCTION LEGEND

	CONSTRUCTION NOTE SYMBOL		EXISTING WALL TO REMAIN
	WALL TYPE SYMBOL SEE SHEET A8.00		NEW CONSTRUCTION
	WINDOW TYPE SYMBOL SEE SHEET A8.05		MASONRY INFILL
	1 HOUR FIRE RATED WALL		NEW DOORS
	2 HOUR FIRE RATED WALL		EXISTING DOORS



1 EAST
SCALE: 3/16" = 1'-0"

TRUE NORTH PROJECT NORTH

Commonwealth ARCHITECTS
101 SHOCKOE SLIP, THIRD FLOOR
RICHMOND, VIRGINIA 23219
TELEPHONE: 804.648.5040
FACSIMILE: 804.225.0329

ST LUKE BUILDING
RICHMOND, VA 23220

Issue Record	Date
DHR PART II SUBMISSION	10.26.16
PERMIT SET	01.18.17
DHR PART II AMENDMENT 1	06.30.17
PERMIT SET RESPONSE	09.08.17
PERMIT SET RESPONSE 2	09.29.17



Drawing Title
EAST ELVATION

Sheet
A3.00
Comm No 1622.00

GENERAL ELEVATION NOTES

- THIS IS A HISTORIC REHABILITATION TAX CREDIT PROJECT. ALL WORK MUST BE ACCORDANCE WITH THE SECRETARY OF THE INTERIOR'S STANDARDS FOR HISTORIC REHABILITATION.
- CONTRACTOR SHALL CAREFULLY REVIEW ALL EXISTING CONDITION. ALL REPAIRS NOTED AS TYP. (BY THE SPECIFIC ELEVATION NOTES) OR NOTED UNDER THE GENERAL ELEVATION NOTES SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY EXACT LOCATION AND EXTENT OF WORK. TYPICAL NOTES ARE NOT SHOWN AT EVERY LOCATION WHERE SAID WORK IS REQUIRED AND IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY ALL LOCATIONS.
- CONTRACTOR SHALL REPAINT ALL EXPOSED EXTERIOR BRICKS AS NOTED FRO STRUCTURAL SOUNDNESS AND WATER-TIGHTNESS. MATCH EXISTING MORTAR COLOR AND JOINT PROFILE. PROVIDE SAMPLE MOCK-UP ON BUILDING FOR ARCHITECT'S APPROVAL.
- CONTRACTOR SHALL REPAIR/REPLACE ANY DAMAGED, SPLIT, SEVERELY SPALLED BRICK. CONTRACTOR SHALL REWORK BRICK AT NEW OR ENLARGED OPENING AS REQUIRED FOR NEW WINDOWS, DOORS, VENTS, ETC. BRICK SHALL BE REBUILT BY TOOTHING TOGETHER. SAW CUTTING NOT ALLOWED AT AREAS WHERE CUT WOULD BE VISIBLE.
- CONTRACTOR SHALL REMOVE ALL EXTRANEIOUS MATERIALS FROM FACE OF BUILDING, INCLUDING BUT NOT LIMITED TO VINES, ABANDONED WIRING AND CONDUITS, ABANDONED PLUMBING AND MECHANICAL PIPES, METAL ANCHORS, NAILS, WOOD BLOCKING, ETC. REPAIR SURFACES BEHIND AS REQUIRED FOR CONTINUOUS APPEARANCE.
- CONTRACTOR SHALL SEAL/CAULK ALL CONNECTIONS OF MATERIALS AND OTHER LOCATIONS AS REQUIRED FOR WATER-TIGHTNESS.
- CONTRACTOR SHALL INSPECT ALL EXISTING WINDOWS, DOORS, AND FRAMES TO REMAIN AND INCLUDED ANY NEEDED REPAIRS/REPLACEMENTS REQUIRED OR LIKE NEW APPEARANCE AND SOUND OPERATION. REPAIRS/REPLACEMENT INCLUDE FLASHING, GLAZING COMPOUND, GLASS, SASH, AND MUNTIN MEMBERS, FRAMES AND OTHER HARDWARE DEVICES, SILLS, LINTELS, ETC.
- CONTRACTOR SHALL PAINT ALL EXTERIOR METAL SURFACES UNLESS THEY SPECIFICALLY NOTED OTHERWISE OR PREFINISHED.
- CONTRACTOR SHALL CAREFULLY INSPECT ALL STRUCTURAL MEMBERS, INCLUDING BUT NOT LIMITED TO BEAMS, LINTELS, MASONRY, ARCHES, ETC. AND NOTIFY THE ARCHITECT IN WRITING OF ANY STRUCTURALLY UNSOUND CONDITIONS REQUIRING REPAIR, REPLACEMENT, OR INVESTIGATION.
- "PAINT" DENOTES PAINTING ACCORDING TO THE SPECIFICATIONS AND PREPARATION OF SURFACE BY HAND SCRAPING AND SANDING ALL LOOSE AND DAMAGED PAINT AND SANDING TO FEATHER EDGES AT REMAINING LAYER AS REQUIRED FOR CONTINUOUS FINISH.

CONSTRUCTION KEY NOTES - X

- EXISTING VAULT TO REMAIN
- REPAIR AND PAINT EXISTING WAINSCOTING AT EXTERIOR WALLS AND HISTORIC PLASTER INTERIOR WALLS TYP. THROUGHOUT
- REPAIR EXISTING WOOD JOISTS TO MAKE FLOOR STRUCTUALLY SOUND - SEE STRUCTURAL
- NEW CONCRETE STAIR AND LANDING AT EXISTING ENTRY - SEE STRUCTURAL FOR DETAILS
- REPAIR EXISTING CANOPY
- NEW METAL GUARD RAIL AND HANDRAIL AT ENTRY
- RAISE EXISTING HISTORIC HANDRAIL TO CODE COMPLIANT HEIGHT
- REPAIR AND PAINT EXISTING HISTORIC RAIL/GUARDRAIL
- NEW LOFT FLOOR AT CONSTRUCTED OUT OF LIGHT GAGE FRAMING - SEE STRUCTURAL FOR DETAILS
- NEW STAIR IN THIS LOCATION.
- NEW INTERIOR WOOD WINDOW AT BEDROOM WALL
- EXISTING HISTORIC WALL AND TRANSOM WINDOWS TO BE RESTORED AND PAINTED
- EXISTING HISTORIC EXTERIOR STOREFRONT TO BE RESTORED - SEE SPECIFICATIONS FOR ALLOWABLE RESTORATION METHODS
- RESTORE AND REPAIR EXISTING DECORATIVE CORNICE
- RESTORE EXISTING BUILT-IN GUTTER
- INSTALL NEW ALUMINUM 4" DOWNSPUT
- NEW MEMBRANE ROOF ON 1/2" COVER BOARD AND (2) LAYERS OF 2" POLYISO INSULATION
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- NEW ROOF ACCESS HATCH & LADDER - SEE SHEET A2.05 FOR DETAILS
- EXISTING INTERIOR STOREFRONT TO REAMIN
- EXISTING HISTORIC TELLER PARTITIONS AND STOREFRONT TO REMAIN
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CONSTRUCTION LEGEND

	CONSTRUCTION NOTE SYMBOL		EXISTING WALL TO REMAIN
	WALL TYPE SYMBOL SEE SHEET A8.00		NEW CONSTRUCTION
	WINDOW TYPE SYMBOL SEE SHEET A8.05		MASONRY INFILL
	1 HOUR FIRE RATED WALL		NEW DOORS
	2 HOUR FIRE RATED WALL		EXISTING DOORS



2 WEST ELEVATION - WALL INFILL DETAIL
SCALE: 1/2" = 1'-0"

1 WEST
SCALE: 3/16" = 1'-0"

Commonwealth
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RICHMOND, VIRGINIA 23219
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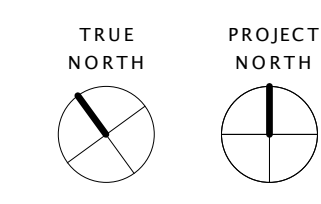
ST LUKE BUILDING
RICHMOND, VA 23220

Issue Record	Date
DHR PART II SUBMISSION	10.26.16
PERMIT SET	01.18.17
DHR PART II AMENDMENT 1	06.30.17
PERMIT SET RESPONSE	09.08.17
PERMIT SET RESPONSE 2	09.29.17



Drawing Title
WEST ELEVATION

Sheet
A3.01
Comm No 1622.00



GENERAL CONSTRUCTION NOTES

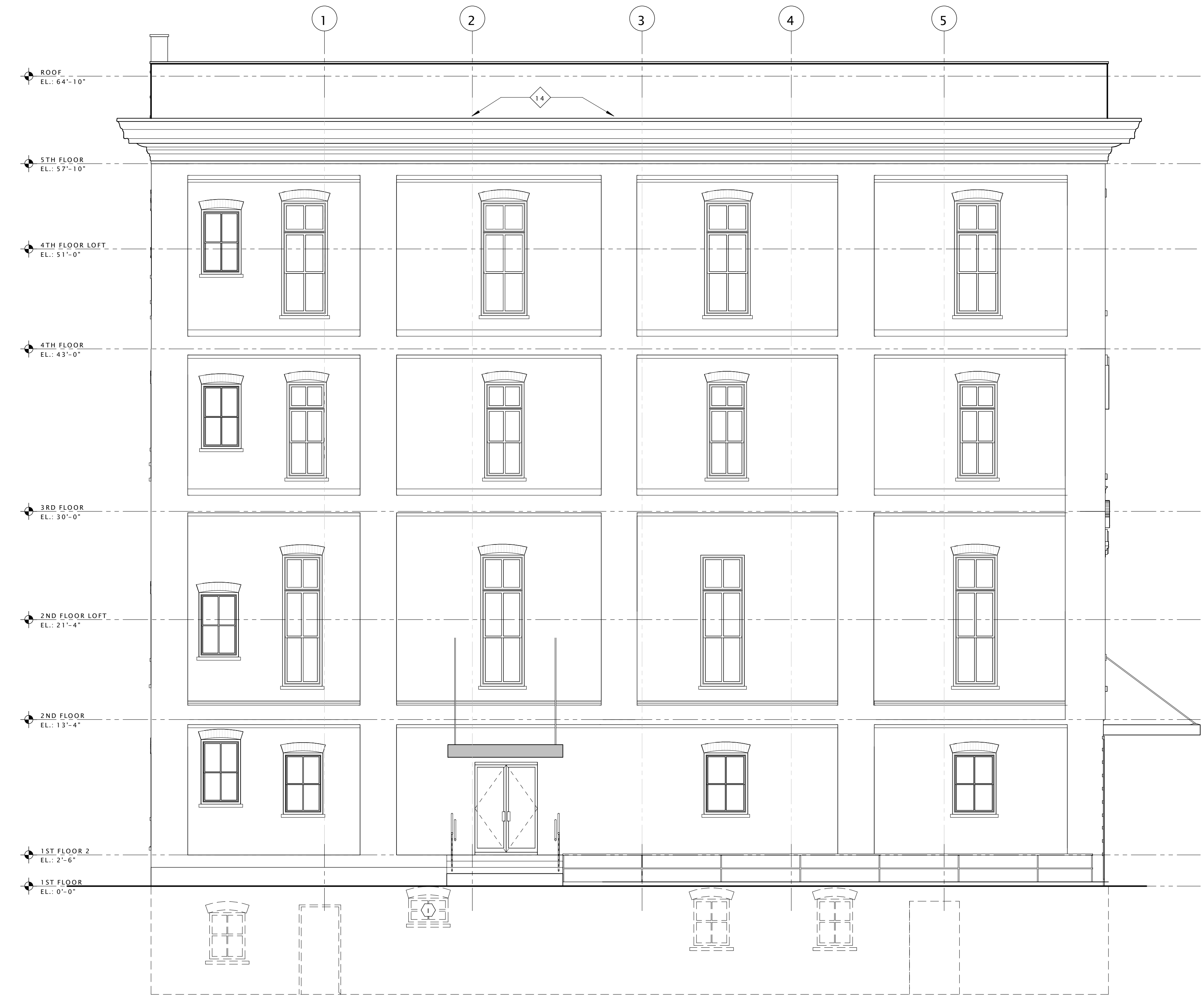
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- USE 1/2" WATER RESISTANT GWB IN ALL BATHROOMS UNLESS NOTE OTHERWISE. USE CEMENT BACKER BOARD @ ALL TILE LOCATIONS
- ALL AREAS THAT INDICATE NEW INSULATION MUST MEET CURRENT IECC STANDARDS.
- REFER TO ELEVATIONS FOR EXISTING AND NEW WINDOW INFORMATION
- PATCH AND REPAIR EXISTING HISTORIC PLASTER WHERE IT HAS BEEN PREVIOUSLY REMOVED OR WHERE DAMAGED. SEE NPS BRIEF FOR METHODOLOGY
- INTERIOR DEPTH DIMENSION OF CLOSETS TO BE 2'-0" MINIMUM
- REPAIR AND RESTORE PLASTER AT ALL EXTERIOR WALLS, HISTORIC INTERIOR WALLS, AND AT THE FIRST AND THIRD FLOOR CEILING.
- AVOID REFINISHING FLOORS IN HISTORIC AREAS, CLEAN LIGHTLY. SAND ONLY AS NECESSARY AND OIL FLOOR BOARDS INSTEAD

CONSTRUCTION KEY NOTES - X

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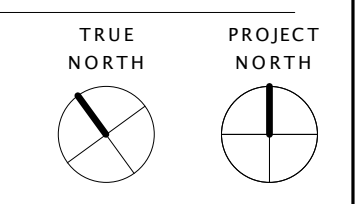
CONSTRUCTION LEGEND

	CONSTRUCTION NOTE SYMBOL		EXISTING WALL TO REMAIN
	WALL TYPE SYMBOL SEE SHEET A8.00		NEW CONSTRUCTION
	WINDOW TYPE SYMBOL SEE SHEET A8.05		MASONRY INFILL
	1 HOUR FIRE RATED WALL		NEW DOORS
	2 HOUR FIRE RATED WALL		EXISTING DOORS



1 NORTH
SCALE: 3/16" = 1'-0"

2 SOUTH
SCALE: 3/16" = 1'-0"



ST LUKE BUILDING

NORTH AND SOUTH ELEVATIONS

A3.02

Comm No 1622.00

Issue Record	Date
DHR PART II SUBMISSION	10.26.16
PERMIT SET	01.18.17
DHR PART II AMENDMENT 1	06.30.17
PERMIT SET RESPONSE	09.08.17
PERMIT SET RESPONSE 2	09.29.17



Drawing Title

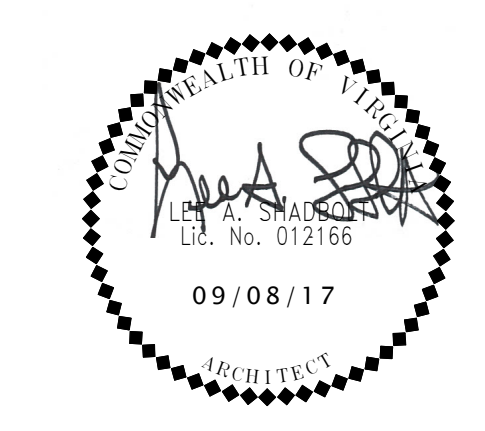
Sheet

A3.02

Comm No 1622.00

Commonwealth ARCHITECTS
101 SHOCKOE SLIP, THIRD FLOOR
RICHMOND, VIRGINIA 23219
TELEPHONE: 804.648.5040
FACSIMILE: 804.225.0329

Issue Record	Date
DHR PART II SUBMISSION	10.26.16
PERMIT SET	01.18.17
DHR PART II AMENDMENT 1	06.30.17
PERMIT SET RESPONSE	09.08.17
PERMIT SET RESPONSE 2	09.29.17



Drawing Title

BUILDING SECTIONS

Sheet

A4.00

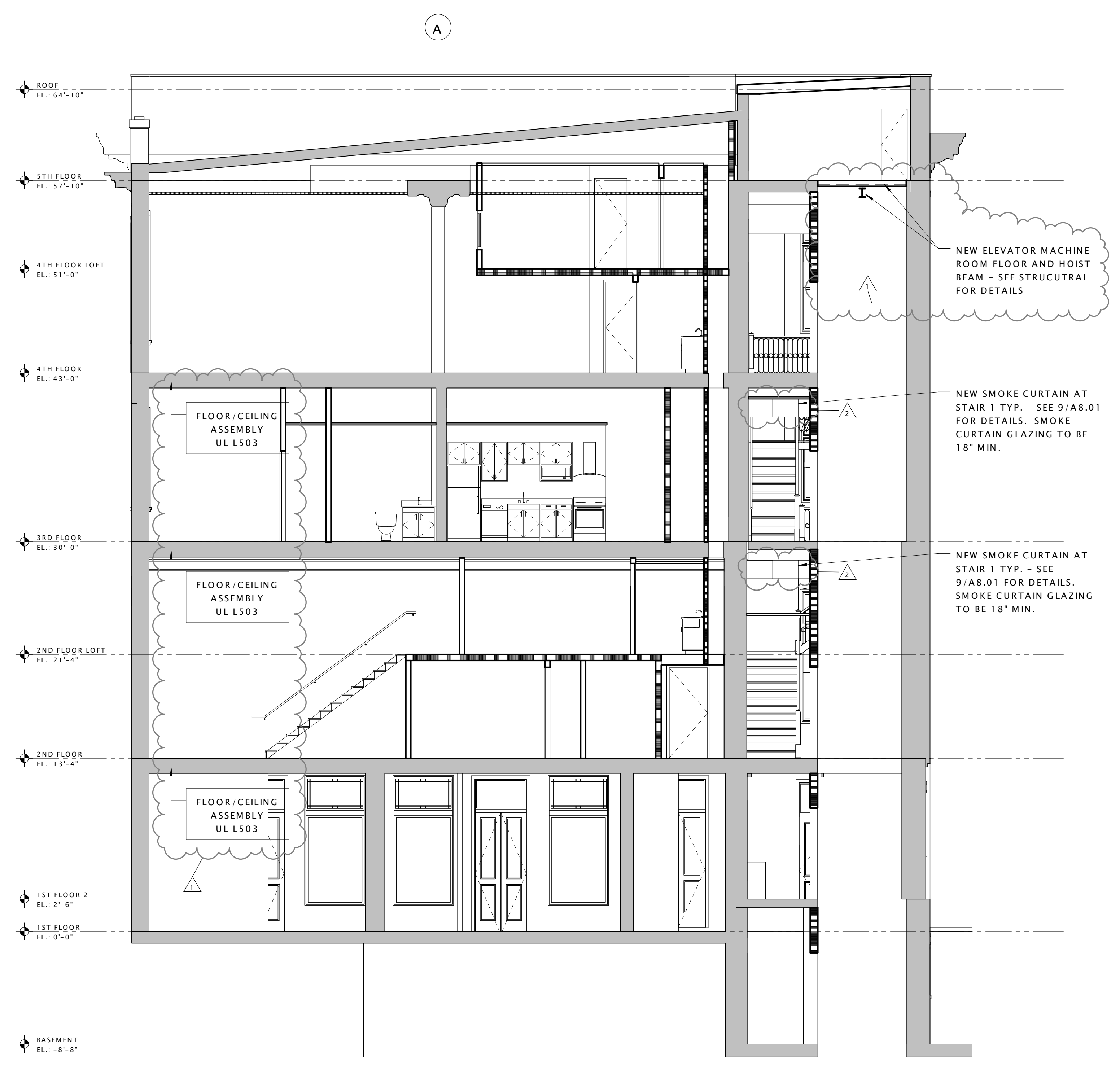
Comm No 1622.00

GENERAL CONSTRUCTION NOTES

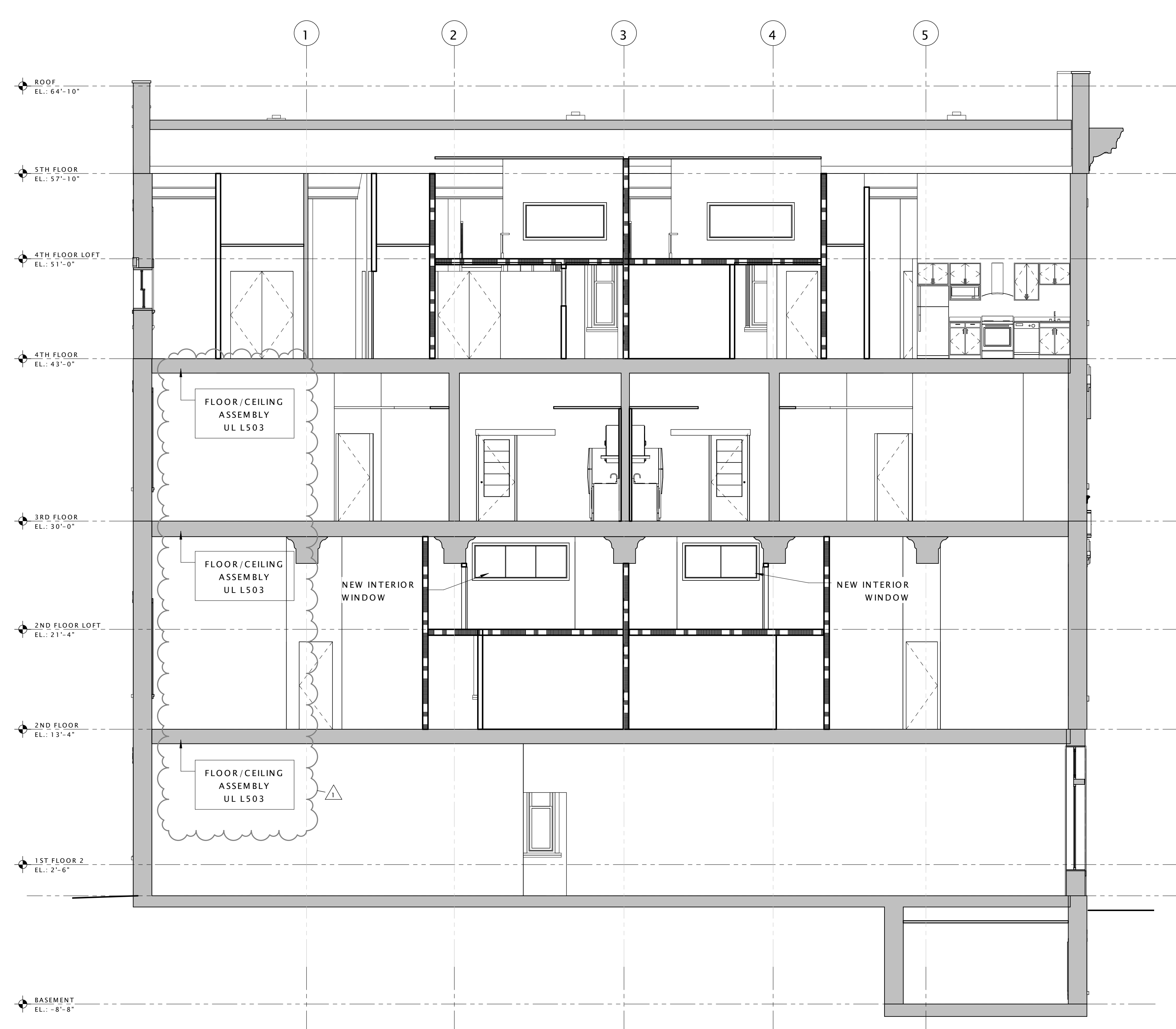
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CONSTRUCTION LEGEND

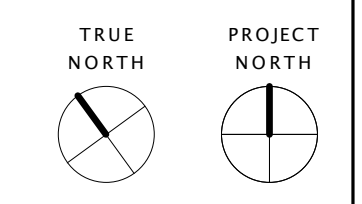
	CONSTRUCTION NOTE SYMBOL		EXISTING WALL TO REMAIN
	WALL TYPE SYMBOL SEE SHEET A8.00		NEW CONSTRUCTION
	WINDOW TYPE SYMBOL SEE SHEET A8.05		MASONRY INFILL
	1 HOUR FIRE RATED WALL		NEW DOORS
	2 HOUR FIRE RATED WALL		EXISTING DOORS



2 BUILDING SECTION - NORTH AND SOUTH
SCALE: 3/16" = 1'-0"



1 BUILDING SECTION - EAST AND WEST
SCALE: 3/16" = 1'-0"



GENERAL CONSTRUCTION NOTES

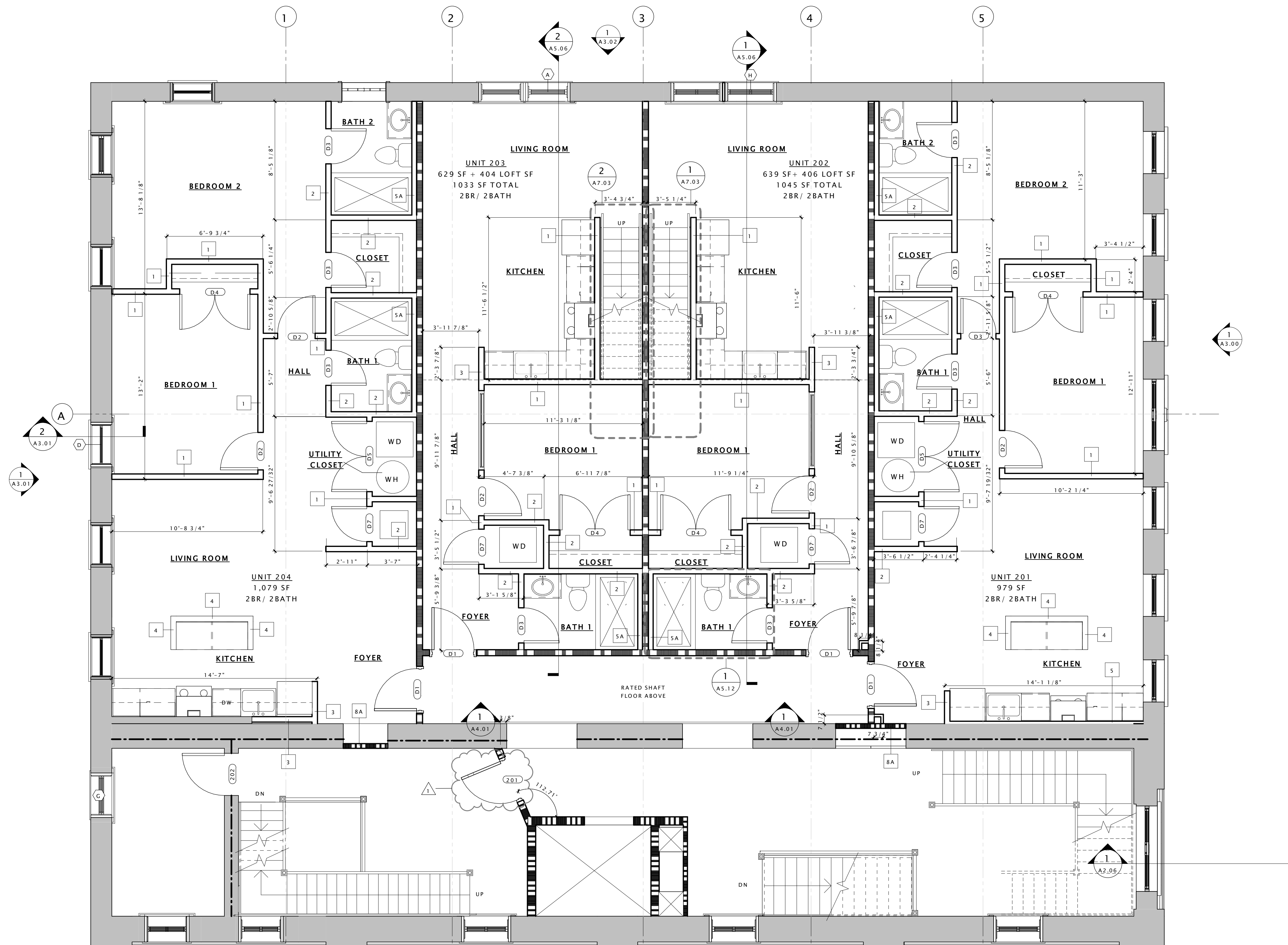
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CONSTRUCTION LEGEND

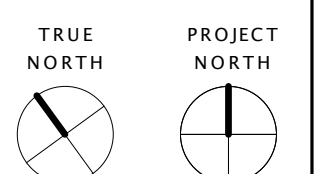
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CONSTRUCTION KEY NOTES - 1

1. EXISTING VAULT TO REMAIN
2. REPAIR AND PAINT EXISTING WAINSCOTING AT EXTERIOR WALLS AND HISTORIC PLASTER INTERIOR WALLS TYP. THROUGHOUT
3. REPAIR EXISTING WOOD JOISTS TO MAKE FLOOR STRUCTUALLY SOUND - SEE STRUCTURAL
4. NEW CONCRETE STAIR AND LANDING AT EXISTING ENTRY - SEE STRUCTURAL FOR DETAILS
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6. NEW METAL GUARD RAIL AND HANDRAIL AT ENTRY
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10. NEW STAIR IN THIS LOCATION.
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14. RESTORE AND REPAIR EXISTING DECORATIVE CORNICE
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1 ENLARGED 2ND FLOOR
SCALE: 1/4" = 1'-0"



Issue Record	Date
PERMIT SET	01.18.17
PERMIT SET RESPONSE 1	06.30.17
PERMIT SET RESPONSE 2	09.08.17
PERMIT SET RESPONSE 3	09.29.17



Drawing Title
ENLARGED 2ND FLOOR PLAN

GENERAL CONSTRUCTION NOTES

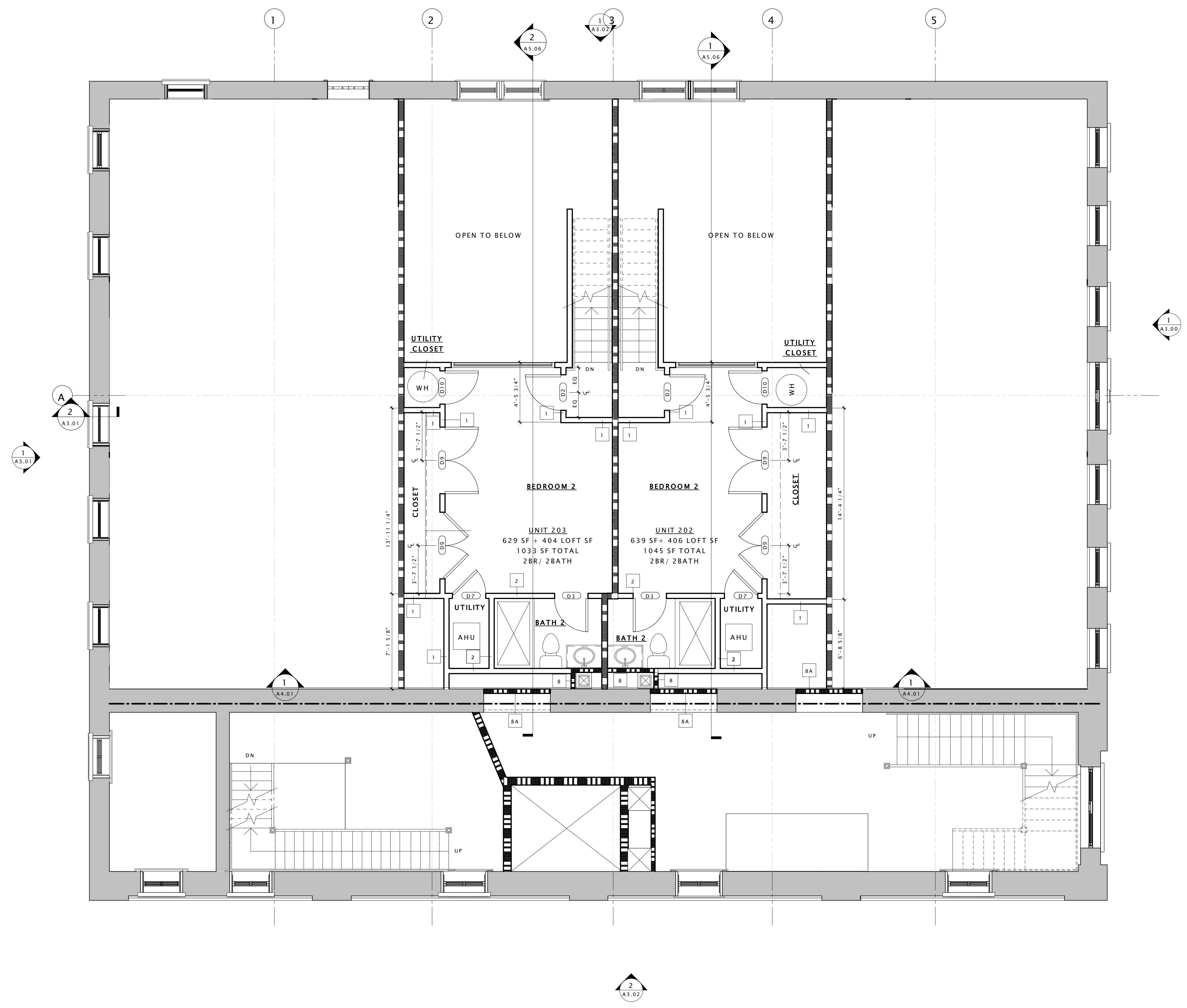
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- DIMENSIONS NOTED AS 'ALIGN', 'HOLD', 'CLEAR', ARE TO TAKE PRECEDENCE OVER OTHER DIMENSIONS IN CASE OF DISCREPANCIES BETWEEN DRAWINGS AND ARE ALWAYS TO FINISH FACE. ALL OTHER DIMENSIONS ARE TO FACE OF STUD UNLESS NOTED OTHERWISE. CONTACT ARCHITECT FOR CLARIFICATION.
- DOORS SHALL BE LOCATED 4" FROM ADJACENT PARTITIONS (HINGE SIDE) UNLESS NOTED OTHERWISE.
- ALL PARTITIONS ARE TO BE PARTITION TYPE 1 UNLESS NOTED OTHERWISE. REFER TO SHEET A0.01 FOR WALL TYPES.
- ALL TRANSITIONS OF FLOORING SHALL OCCUR @ CENTER LINE OF DOOR OPENINGS UNLESS NOTED OTHERWISE.
- USE 1/2" WATER RESISTANT GWB IN ALL BATHROOMS UNLESS NOTE OTHERWISE. USE CEMENT BACKER BOARD @ ALL TILE LOCATIONS
- ALL AREAS THAT INDICATE NEW INSULATION MUST MEET CURRENT IECC STANDARDS.
- REFER TO ELEVATIONS FOR EXISTING AND NEW WINDOW INFORMATION
- PATCH AND REPAIR EXISTING HISTORIC PLASTER WHERE IT HAS BEEN PREVIOUSLY REMOVED OR WHERE DAMAGED. SEE NPS BRIEF FOR METHODOLOGY
- INTERIOR DEPTH DIMENSION OF CLOSETS TO BE 2'-0" MINIMUM
- REPAIR AND RESTORE PLASTER AT ALL EXTERIOR WALLS, HISTORIC INTERIOR WALLS, AND AT THE FIRST AND THIRD FLOOR CEILING.
- AVOID REFINISHING FLOORS IN HISTORIC AREAS, CLEAN LIGHTLY. SAND ONLY AS NECESSARY AND OIL FLOOR BOARDS INSTEAD

CONSTRUCTION LEGEND

	CONSTRUCTION NOTE SYMBOL		EXISTING WALL TO REMAIN
	WALL TYPE SYMBOL SEE SHEET A8.00		NEW CONSTRUCTION
	WINDOW TYPE SYMBOL SEE SHEET A8.05		MASONRY INFILL
	1 HOUR FIRE RATED WALL		NEW DOORS
	2 HOUR FIRE RATED WALL		EXISTING DOORS

CONSTRUCTION KEY NOTES

- EXISTING VAULT TO REMAIN
- REPAIR AND PAINT EXISTING WAINSCOTING AT EXTERIOR WALLS AND HISTORIC PLASTER INTERIOR WALLS TYP. THROUGHOUT
- REPAIR EXISTING WOOD JOISTS TO MAKE FLOOR STRUCTUALLY SOUND - SEE STRUCTURAL
- NEW CONCRETE STAIR AND LANDING AT EXISTING ENTRY - SEE STRUCTURAL FOR DETAILS
- REPAIR EXISTING CANOPY
- NEW METAL GUARD RAIL AND HANDRAIL AT ENTRY
- RAISE EXISTING HISTORIC HANDRAIL TO CODE COMPLIANT HEIGHT
- REPAIR AND PAINT EXISTING HISTORIC RAIL/GUARDRAIL
- NEW LOFT FLOOR AT CONSTRUCTED OUT OF LIGHT GAGE FRAMING - SEE STRUCTURAL FOR DETAILS
- NEW STAIR IN THIS LOCATION.
- NEW INTERIOR WOOD WINDOW AT BEDROOM WALL
- EXISTING HISTORIC WALL AND TRANSOM WINDOWS TO BE RESTORED AND PAINTED
- EXISTING HISTORIC EXTERIOR STOREFRONT TO BE RESTORED - SEE SPECIFICATIONS FOR ALLOWABLE RESTORATION METHODS
- RESTORE AND REPAIR EXISTING DECORATIVE CORNICE
- RESTORE EXISTING BUILT-IN GUTTER
- INSTALL NEW ALUMINUM 4" DOWNSPUT
- NEW MEMBRANE ROOF ON 1/2" COVER BOARD AND (2) LAYERS OF 2" POLYISO INSULATION
- REPAIR AND PAINT EXISTING WOOD DENTAL MOLDING
- EXISTING FIRE ESCAPE DOORS TO REMAIN AND BE FIXED IN PLACE SO THAT THEY ARE NOT OPERABLE. DOORS TO BE REPAIRED AND REPAINTED. EXISTING WIRE GLASS TO BE REPAIRED AS NECESSARY.
- INSTALL NEW WOOD WINDOW IN EXISTING LOCATION
- INSPECT EXISTING MASONRY AFTER REMOVAL OF INVASIVE VEGETATION. REPAIR AND REPAIR BRICK AND MORTAR. MATCH SURROUNDING MORTAR IN MATERIAL, COMPOSITION, COLOR, AGGREGATE, & HARDNESS.
- INSTALL SALVAGED TIN CEILING. - SEE REFLECTED CEILING PLANS FOR MORE DETAILS.
- EXISTING VAULT DOOR TO BE OPENED AND FIXED IN PLACE
- NEW WOOD WINDOW IN INDICATED LOCATION. WINDOW TO MATCH EXISTING ADJACENT WINDOWS IN TYPE AND PROFILE
- NEW ROOF ACCESS HATCH & LADDER - SEE SHEET A2.05 FOR DETAILS
- EXISTING INTERIOR STOREFRONT TO REMAIN
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- INSTALL NEW FLUE CAP
- NEW DRYER VENT EXHAUST OPENING
- REPAIR AND RESTORE EXISTING HARDWOOD FLOOR AS NECESSARY AND CREATE ONE HOUR FLOOR/CEILING ASSEMBLY - SEE SPECIFICATIONS AND SHEET A0.01 FOR MORE INFORMATION



ENLARGED 2ND FLOOR LOFT
SCALE: 1/4" = 1'-0"

Issue Record	Date
DHR PART II SUBMISSION	10.26.16
PERMIT SET	01.18.17
DHR PART II AMENDMENT 1	06.30.17
PERMIT SET RESPONSE	09.08.17
PERMIT SET RESPONSE 2	09.29.17



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ENLARGED 2ND FLOOR LOFT PLAN

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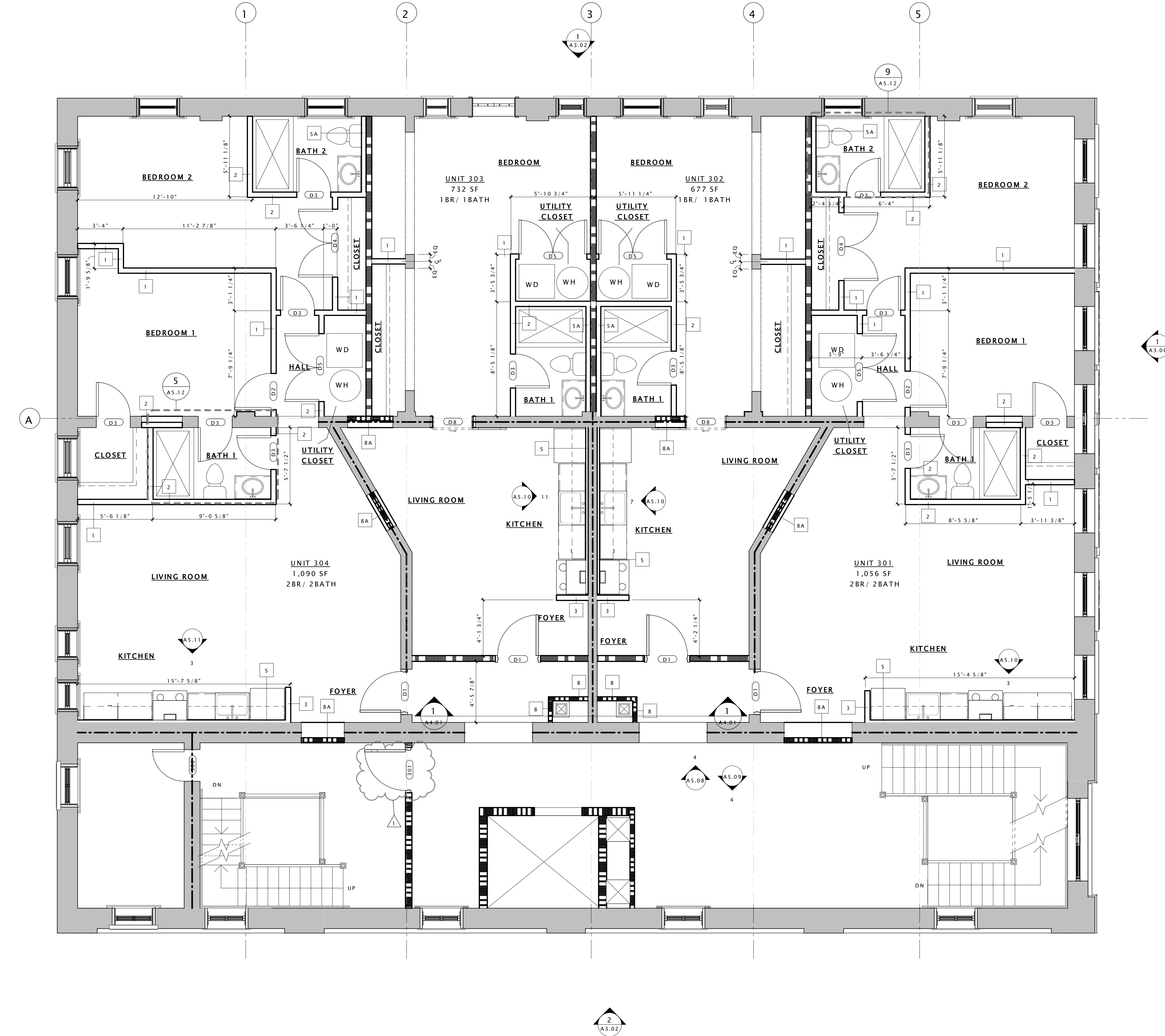
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ENLARGED 3RD FLOOR
SCALE: 1/4" = 1'-0"

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ENLARGED 3RD FLOOR PLAN

GENERAL CONSTRUCTION NOTES

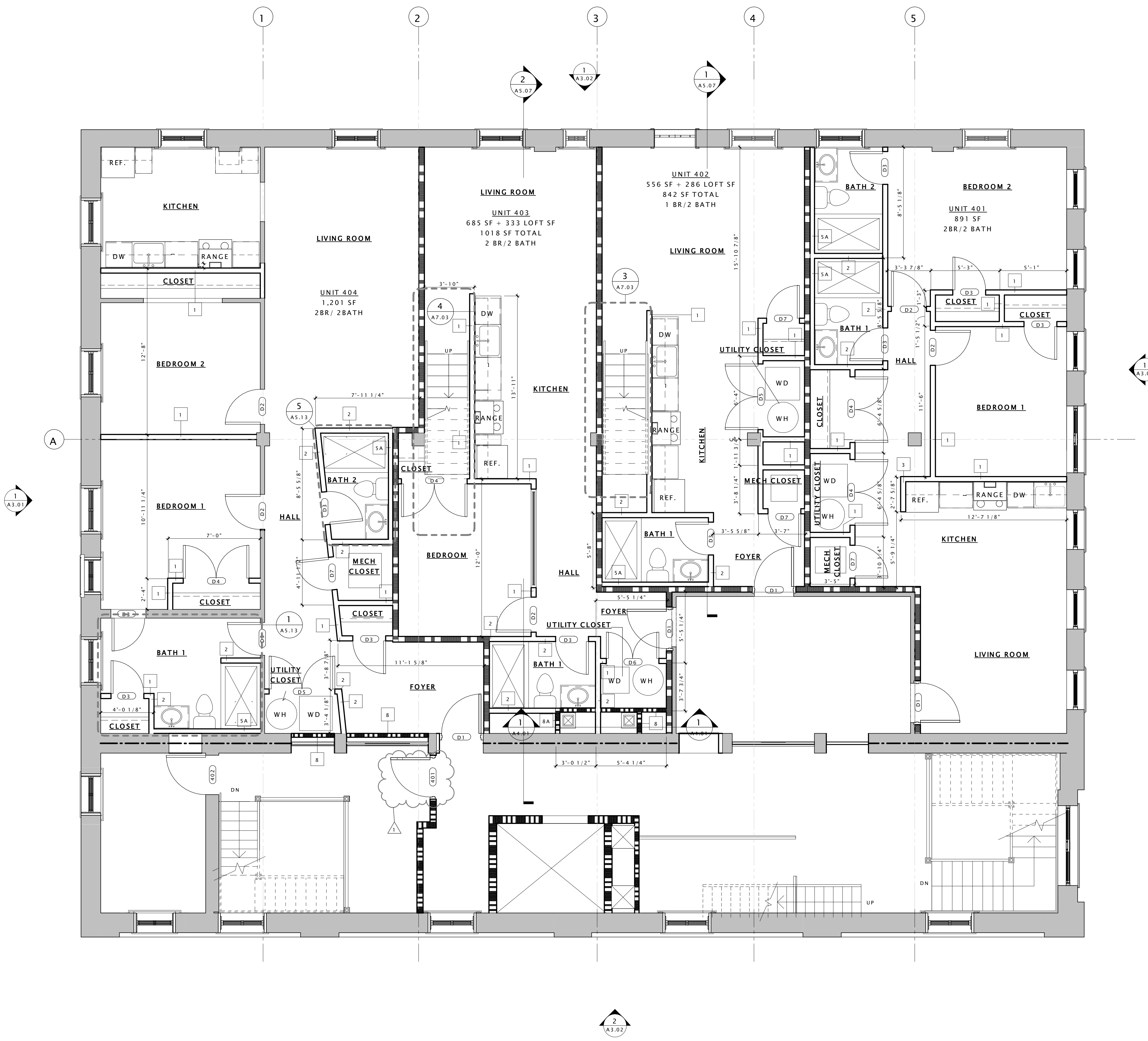
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ENLARGED 4TH FLOOR
SCALE: 1/4" = 1'-0"

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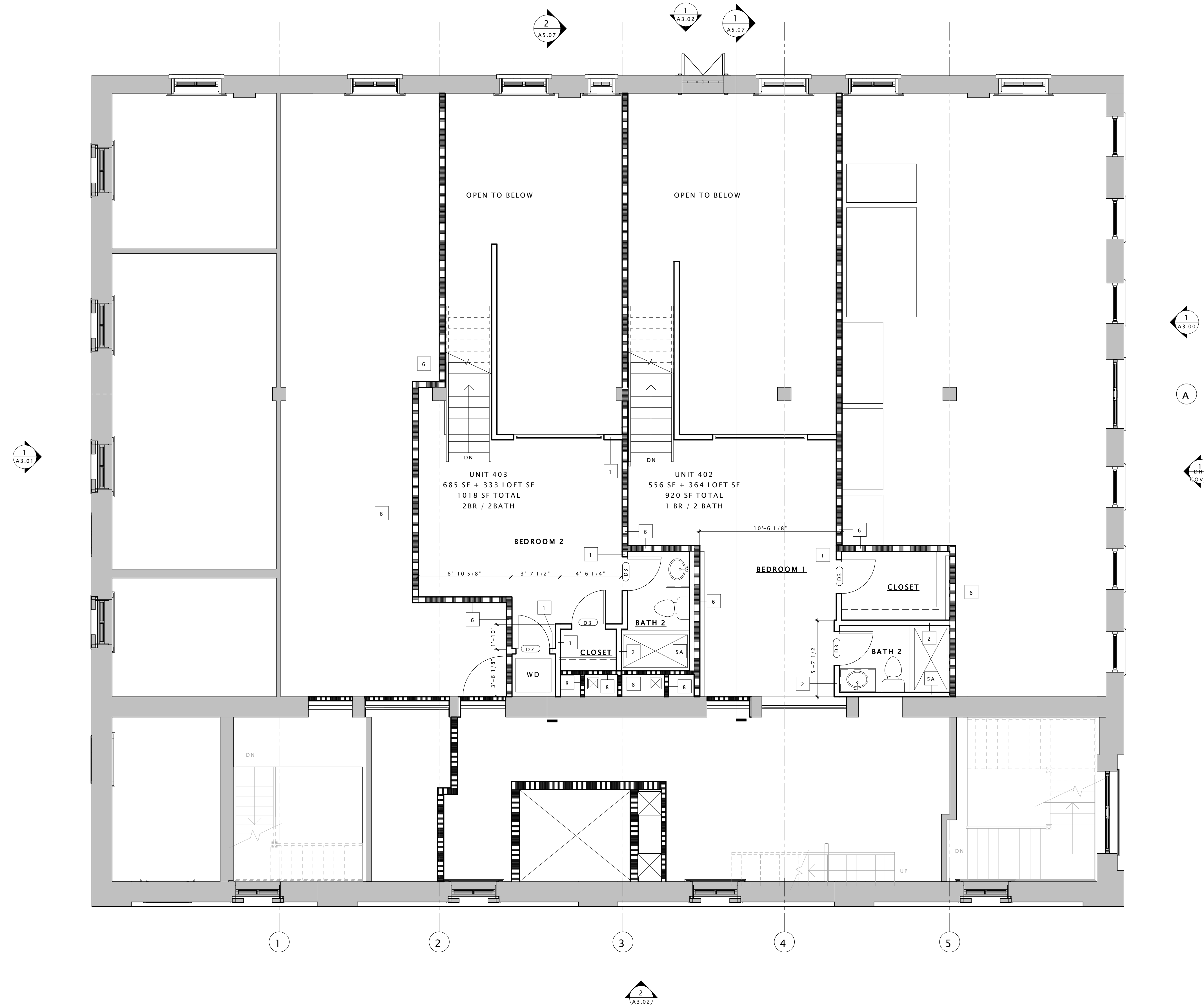
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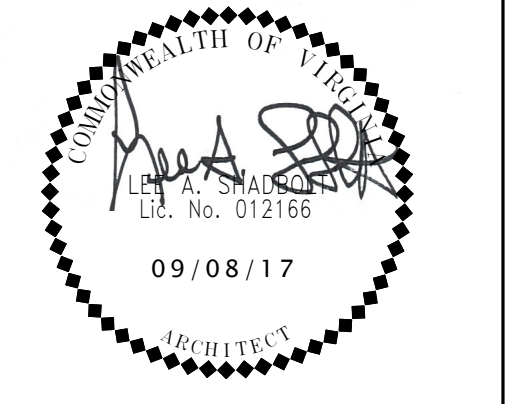
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