



COMMISSION OF ARCHITECTURAL REVIEW

APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

PROPERTY (location of work)

Address 2301 Venable Street, Richmond VA 23223

Historic district Church Hill North

Date/time rec'd: _____
Rec'd by: _____
Application #: _____
Hearing date: _____

APPLICANT INFORMATION

Name Erica Sims

Phone 804-915-4940

Company Maggie Walker Community Land Trust

Email erica@hdadvisors.net

Mailing Address 203 N. Robinson Street
Richmond, VA 23220

Applicant Type: Owner Agent
 Lessee Architect Contractor
 Other (please specify):

OWNER INFORMATION (if different from above)

Name same as above

Company _____

Mailing Address _____

Phone _____

Email _____

PROJECT INFORMATION

Review Type: Conceptual Review Final Review

Project Type: Alteration Demolition New Construction
(Conceptual Review Required)

Project Description: (attach additional sheets if needed)

Construction of a new, detached single family home on a vacant corner lot. Additional Narrative is contained in the applicant's submission.

ACKNOWLEDGEMENT OF RESPONSIBILITY

Compliance: If granted, you agree to comply with all conditions of the COA. Revisions to approved work require staff review and may require a new application and CAR approval. Failure to comply with the COA may result in project delays or legal action. The COA is valid for one (1) year and may be extended for an additional year, upon written request.

Requirements: A complete application includes all applicable information requested on checklists to provide a complete and accurate description of existing and proposed conditions. Applicants proposing major new construction, including additions, should meet with Staff to review the application and requirements prior to submitting an application. Owner contact information and signature is required. Late or incomplete applications will not be considered.

Zoning Requirements: Prior to Commission review, it is the responsibility of the applicant to determine if zoning approval is required and application materials should be prepared in compliance with zoning.

Signature of Owner 

Date 4-26-19

CERTIFICATE OF APPROPRIATENESS APPLICATION INSTRUCTIONS

In advance of the application deadline please contact staff to discuss your project, application requirements, and if necessary, to make an appointment to meet with staff for a project consultation in the office or on-site. The Commission of Architectural Review website has additional project guidance and forms:

<http://www.richmondgov.com/CommissionArchitecturalReview/index.aspx>

Division of Planning and Preservation 804.646.6335 Carey.Jones@Richmondgov.com
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SUBMISSION INSTRUCTIONS

Submit the following items to the Division of Planning and Preservation, Rm. 510, 900 E. Broad Street:

- One (1) signed and completed application – property owners signature required
- Eleven (11) copies of supporting documentation, as indicated on appropriate check-list, collated and stapled
- All plans and elevations should be printed **11x17** and all text easily legible
- One digital copy of the application and supporting documentation, depending on size emailed to staff or saved to a thumb drive or CD and delivered with the application materials.
- Applications are due by 12 PM (noon) on the deadline date (see table below).
- Exception: revisions to items deferred, denied or presented conceptually at the previous Commission meeting are due one week after the application due date. Please contact staff to confirm this date.
- **Application deadlines are firm.** All materials must be submitted by the deadline to be considered at the following Commission meeting. Designs must be final at the time of application; revisions will not be accepted after the deadline. Incomplete and/or late applications will not be placed on the agenda.
- The Commission will not accept new materials, revisions, or redesigns at the meeting. Deferral until the following month's meeting may be necessary in such cases to allow for adequate review by staff, Commissioners, and public notice if required.

MEETING SCHEDULE AND DUE DATES

- Commission meetings start at 3:30 PM in the 5th floor conference room of City Hall, 900 E. Broad Street. The owner and/or applicant is *encouraged to attend* the meeting.

2019 Commission Meeting Date	Application Deadline (Friday at noon unless otherwise noted)
January 22 nd	December 28 th , 2018
February 26 th	January 25 th
March 26 th	March 1 st
April 23 rd	March 29 th
May 28 th	April 26 th
June 25 th	May 31 st
July 23 rd	June 28 th
August 27 th	July 26 th
September 24 th	August 30 th
October 22 nd	September 27 th
November 26 th	October 25 th
December 17 th	November 22 nd

Architectural Review Application Narrative

April 26, 2019

SUMMARY

ADDRESS: 2301 Venable St, Richmond, VA 23223
PARCEL ID: E0000427001
NEIGHBORHOOD: Union Hill
CURRENT USE: R Single-Family Vacant (R-63)
SOURCE: City of Richmond direct sale (tax delinquent)

PROPERTY LOCATION



Written Description

The proposed new construction for this lot is an as-of-right, two-story, single family home. The home has been designed to maximize the use of the lot and to fit into the context of the surrounding the neighborhood. The foundation consists of a standard 24" conditioned /insulated foundation wall crawl space to meet new energy standards. Fiber cement siding is specified for the exterior with brick elements as noted on the elevations and specifications to provide contextual texture. Wood trim and vinyl, solid composite PVC trim for exterior including porch elements. Wood-clad aluminum windows, insulated metal exterior doors with insulated glass accents as noted on drawings, The roof is a mix of modified bitumen roof (sloped roof) and asphalt architectural dimensional shingles (flat roof). A treated 6 foot high, rear yard wood privacy fence enclosing a PVC deck and integral hard surface landscaping areas extends from the back of the house along the sidewalk west lot line and along the alley property line.

References to the Richmond Old and Historic Districts Handbook and Design Review Guidelines

The front façade treatment and front yard treatment for this corner lot have been designed with the contextual simplicity referenced on Page 77 of the Handbook.

The front and side elevations have been designed in reference to Page 48 wherein the fiber cement siding used has been carried onto the corner/ side elevation. Foundation material references the historic and the height is in keeping with the surrounding character. Windows for the corner-side and front elevations are proportional and aligned. Architectural elements typical of corner lots in historic districts have been incorporated.

Fencing has been designed and specified to conform specifically with references on Page 51 and 78 of the Handbook which emphasize the need for contextual elements with related building materials and paint or stain colors that are opaque and compliment the main structure.

Photos – 2301 Venable Street



Figure 1 2301 Venable Lot looking South from Venable St



Figure 2 2301 Venable looking East from Tulip St



Figure 3 2301 Venable St looking north from alleyway.



Figure 4 2301 Venable looking South from North side of Venable St



Figure 5 2303 Venable (neighboring house to the east)



Figure 6 looking West on Venable (from north side of Venable)



Figure 7 West side of Tulip St - photo taken from North side of Venable



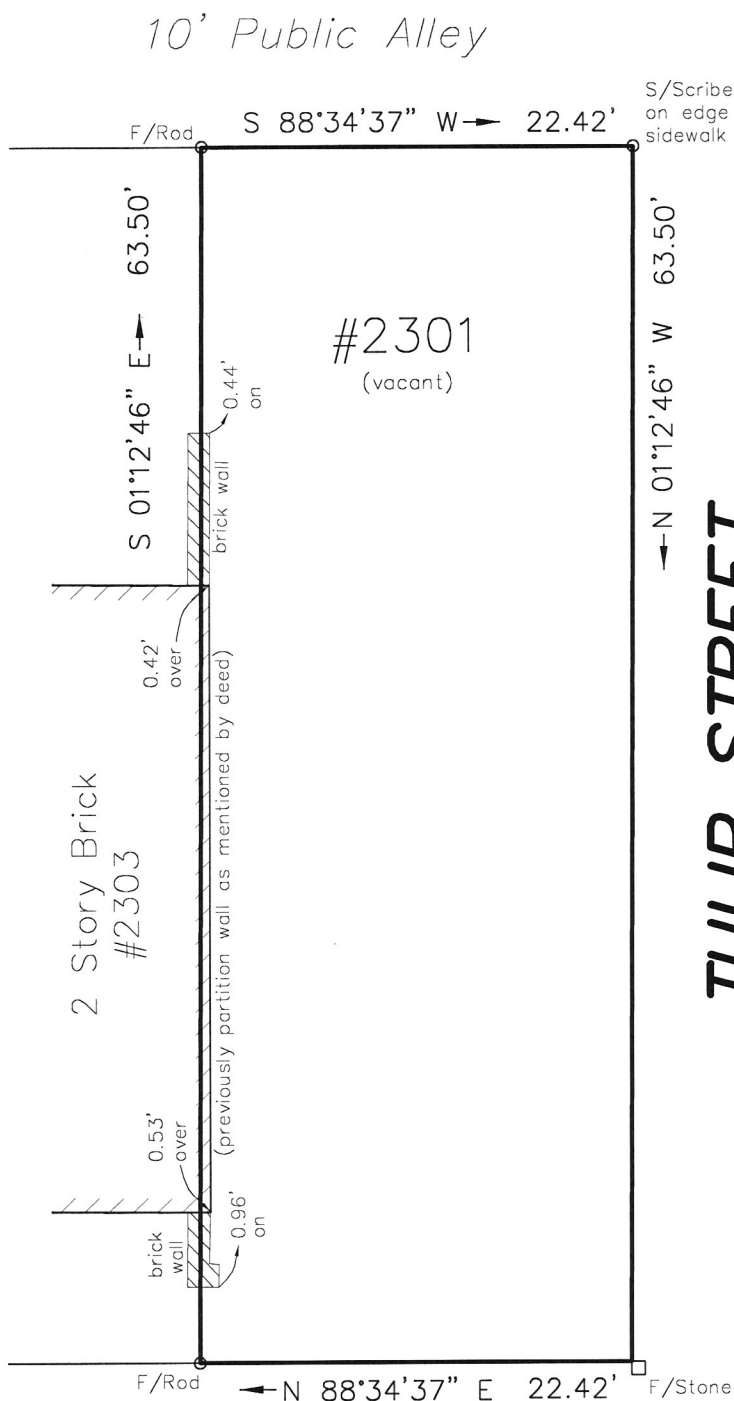
Figure 8 West side of Tulip St - photo taken from 2301 Venable lot



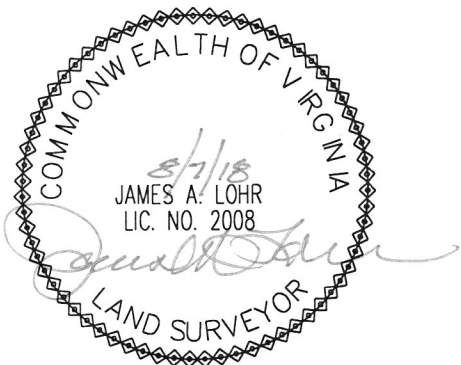
Figure 9 North side of Venable Street - photo taken from 2301 Venable St

Address: #2301 Venable Street
 Current Owner: Maggie Walker Community Land Trust
 Parcel ID: E0000427001
 I.D. 2018 8453

Note: Bearings protracted from City Baseline sheet 9 NE.



VENABLE STREET



Survey and Plat of
**The Property Known as
 #2301 Venable Street in
 the City of Richmond, VA**

This is to certify that on 08/07/18 I made an accurate field survey of the premises shown hereon that all improvements and easements known or visible are shown hereon, that there are no encroachments by improvements either from adjoining premises or from subject premises upon adjoining premises other than shown hereon. THIS PLAT WAS MADE WITHOUT THE BENEFIT OF A TITLE SURVEY OR REPORT.

FLOOD INSURANCE NOTE: By graphics plotting only, this property is in ZONE X of the Flood Insurance Rate Map, Community Panel No. 5101290041E effective date of 07/16/14. Exact designations can only be determined by an Elevation Certificate. Based on the above information, this property IS NOT in a Special Flood Hazard Area.



Edwards, Kretz, Lohr & Associates, PLLC

Land Surveyors-Planners

Virginia-North Carolina

1900 Byrd Avenue, Suite 103
 Richmond, Virginia, 23230
 Phone (804) 673-9666
 Fax (804) 673-9990

Scale: 1"=10'
 Drawn: TCJ
 Job: 1440-18

Date: 08/08/18
 Checked: JAL

PROJECT SCOPE: THE SCOPE OF THIS WORK TO BE PERFORMED IS TO INCLUDE ALL LABOR MATERIALS AND EQUIPMENT NECESSARY AND REQUIRED TO FULLY COMPLETE THE PROJECT. AS DESCRIBED IN THE WORK DESCRIPTION DOCUMENTS. CHANGES IN WORK SHALL NOT BE PERMITTED WITHOUT THE WRITTEN AUTHORIZATION OF THE OWNER. EACH BIDDER MUST INFORM HIMSELF FULLY OF THE CONDITION UNDER WHICH THE WORK IS TO BE PERFORMED. FAILURE TO DO SO WILL NOT RELIEVE THE SUCCESSFUL BIDDER OF HIS OBLIGATION TO FURNISH ALL THINGS NECESSARY FOR THE PROPER AND COMPLETE PERFORMANCE OF THE CONTRACT. ALL WORK SHALL BE DONE IN COMPLIANCE WITH EXCEPTED CODES AND HIGHEST APPLICABLE TRADE STANDARDS.

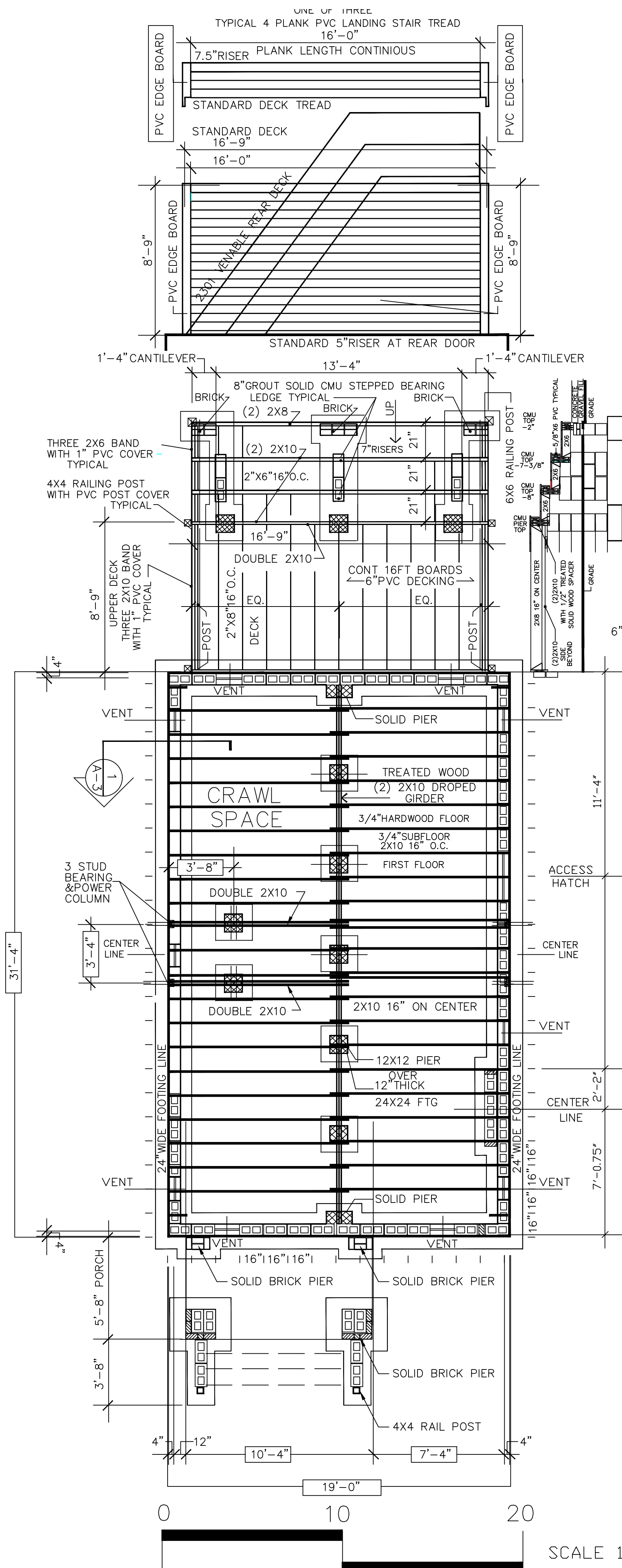
THIS WORK SHALL BE GOVERNED BY APPLICABLE MANUFACTURER'S RECOMMENDATIONS, INDUSTRY STANDARDS AND THE LATEST EDITION OF THE FOLLOWING CODES AND HANDBOOKS: THE VIRGINIA UNIFORM STATEWIDE BUILDING CODE, BOCA NATIONAL BUILDING CODE, NATIONAL ELECTRICAL CODE AND BOCA MECHANICAL AND PLUMBING CODE. NOTHING CONTAINED IN DRAWINGS, SPECS, AND CONTRACTS RELATED TO THIS PROJECT SHALL BE CONSTRUED AS PERMITTED WORK CONTRARY TO SUCH STANDARDS, CODES AND REGULATIONS.

WORK NOT SPECIFICALLY DESCRIBED OR SHOWN WILL NOT BE CONSIDERED UNLESS REQUIRED BY CODE, THEN THE MINIMUM ACCEPTED WILL BE ASSUMED AND INSTALLED BY CONTRACTOR. THIS WORK SHALL BE INSTALLED WITHIN ORIGINAL BID AND CONTRACT COST.

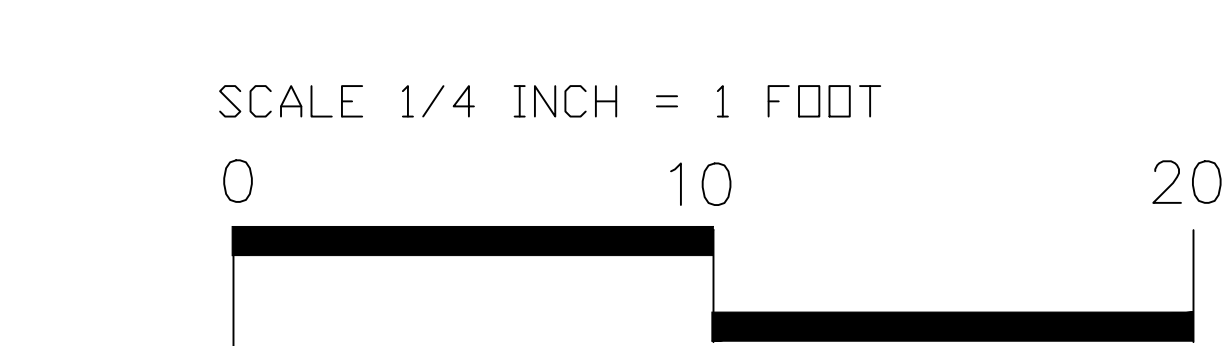
CONTRACTOR SHALL VERIFY ALL FIELD CONDITIONS, DIMENSIONS AND REPORT IN WRITING ANY DISCREPANCIES TO THE ARCHITECT TO OBTAIN APPROVAL TO PROCEED WITH WORK. CONSULT ALL TRADES IN ADVANCE AND MAKE PROVISIONS FOR INSTALLATION OF THEIR WORK. BEFORE PROJECT CONSTRUCTION STARTS CONTRACTOR SHALL NOTIFY ARCHITECT TO ESTABLISH TIME FOR SITE VISITS TO REVIEW AND APPROVE THE PROPOSED LAYOUT, LOCATION OF MAJOR ELEMENTS, TIME SCHEDULE, AND LIMITS OF CONSTRUCTION.

NOTE:

- CONTRACTOR SHALL DIG AND POUR DECK FOOTING WHEN HOUSE FOOTING IS DUG AND POURED
- CONTRACTOR SHALL LAY CMU DECK PIERS WHEN HOUSE FOUNDATION IS LAYED
- MAIN DECK 5" + 7.5" BELOW FINISHED FLOOR
- TOTAL 12.5" BELOW HOUSE FINISHED FLOOR
- SEE ADJACENT DECK PLAN THIS SHEET A-3



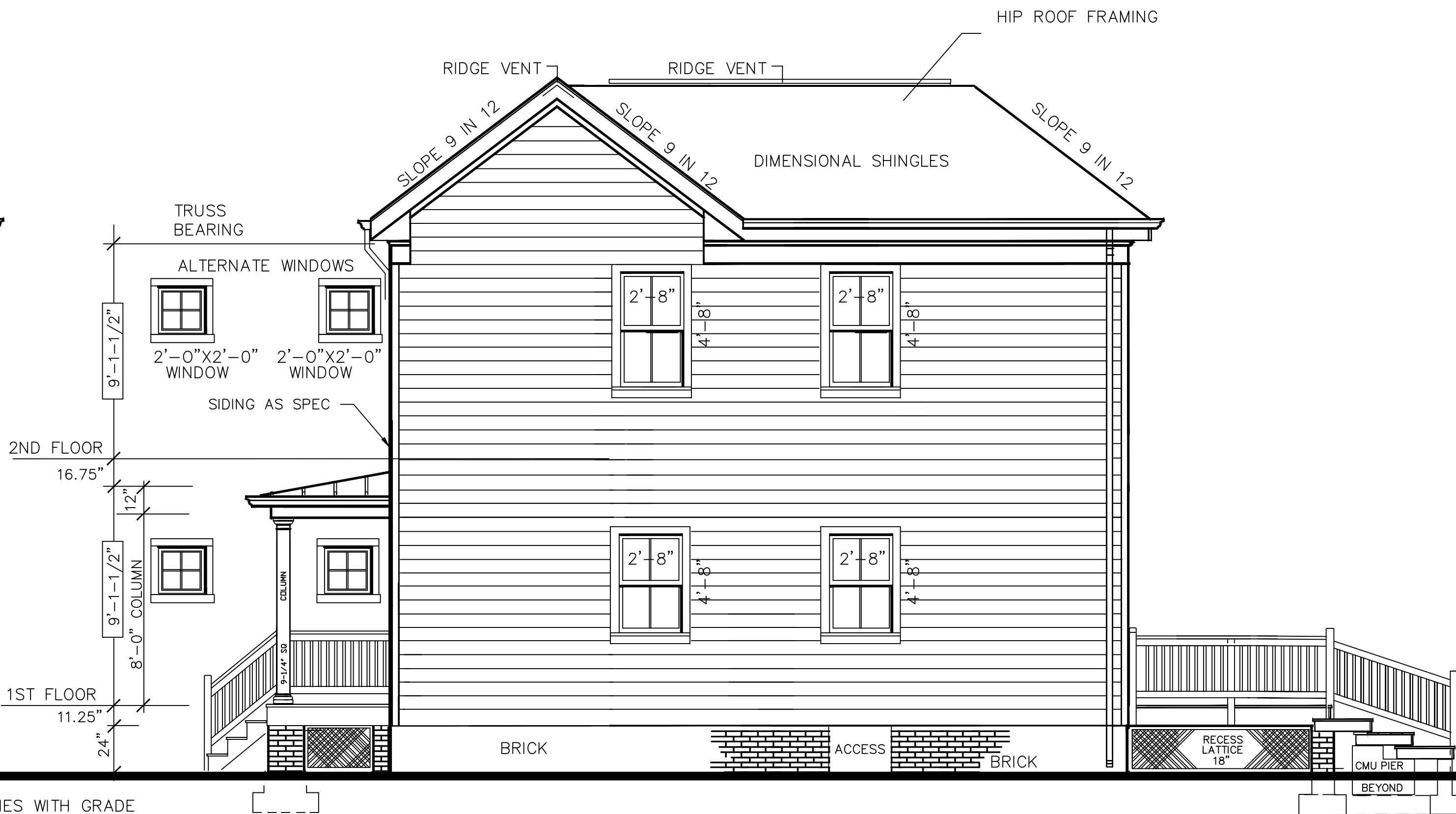
FOUNDATION PLAN



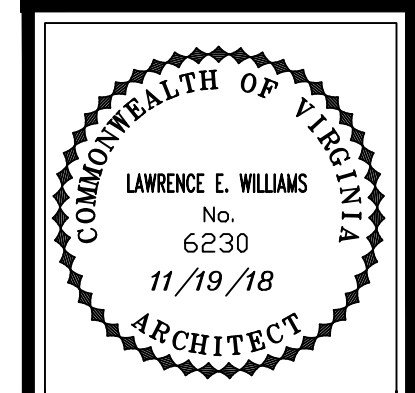
LEFT ELEVATION



REAR ELEVATION



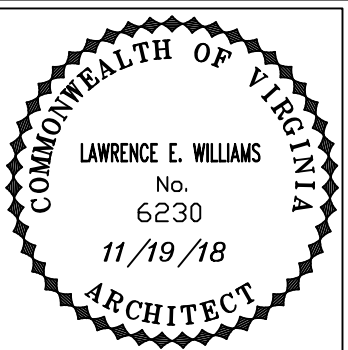
RIGHT ELEVATION



LAWRENCE ELLIS WILLIAMS CONSULTING LLC
 ARCHITECTS ENGINEERS ENVIRONMENTAL PLANNERS
 CONSTRUCTION MANAGERS FACILITY MANAGERS
 2518 FORD AVENUE RICHMOND, VIRGINIA. 23223 TEL: (804) 437-5360

MODEL 2H1191
 CLIENT: MWCLT
 ADDRESS: 2301 VENABLE
 BUILDER:

A3
 Drawn By LW
 Issue Date 11/19/18
 Revision Date 02/18/19
 04/26/19

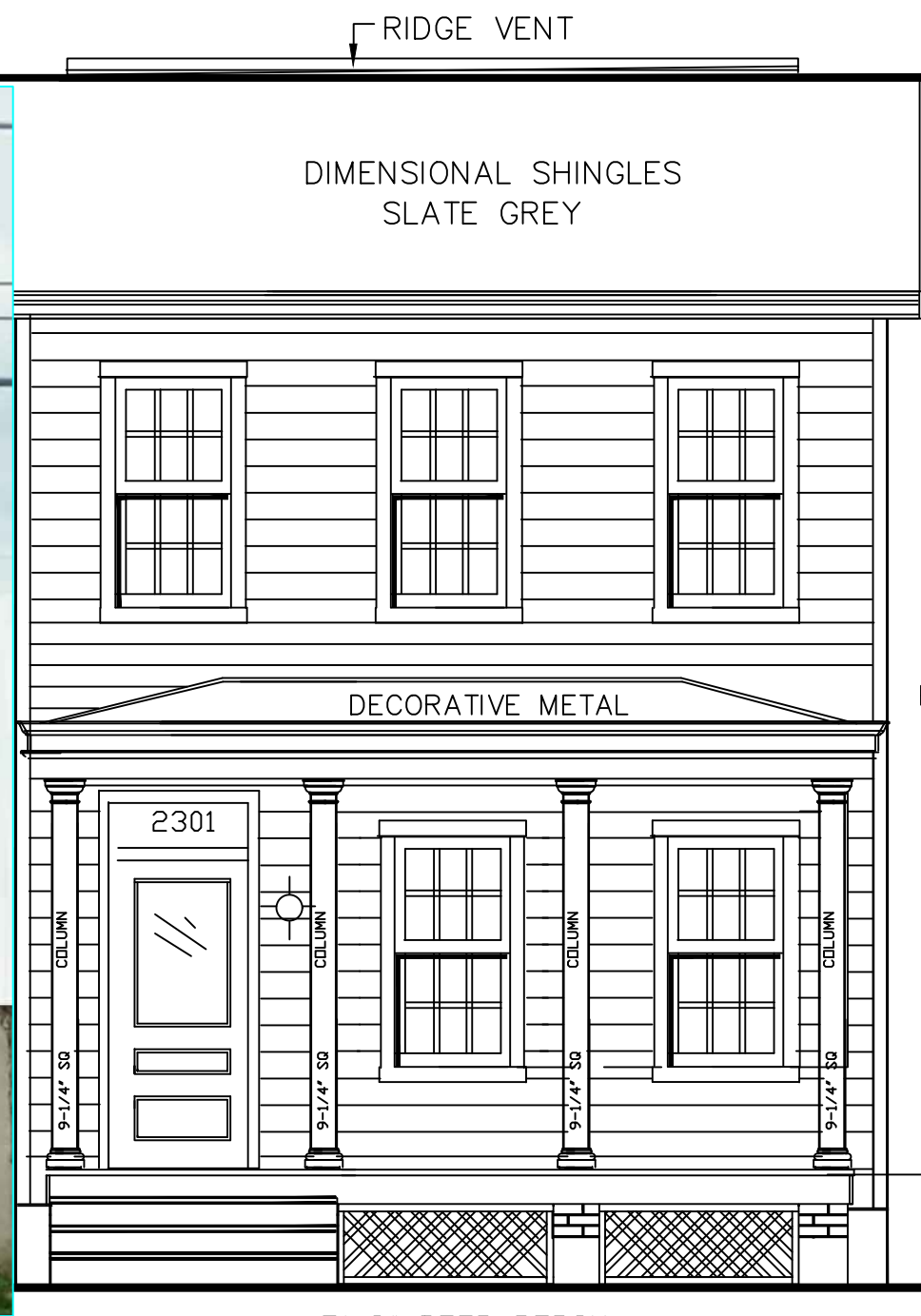


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 2518 FORD AVENUE RICHMOND, VIRGINIA. 23223 TEL.(804) 437-5360

MODEL 2H1191
 CLIENT: MWCLT
 ADDRESS: 2301 VENABLE STREET
 BUILDER:

A2
 Drawn By LW 9/6/18
 Issue/Revisions Date
 9/12/18
 9/23/18
 10/29/18
 11/19/18
 02/18/19
 03/28/19 04/26/19

GENERAL EXTERIOR NOTES
 FRONT PORCH SHALL MEET EXISTING
 NEIGHBORHOOD DETAIL STANDARDS.
 ON REAR AND FRONT PORCH. FRONT FACADE HARDI-PLANK
 EXTERIOR DETAILS PER NEIGHBORHOOD STANDARD.

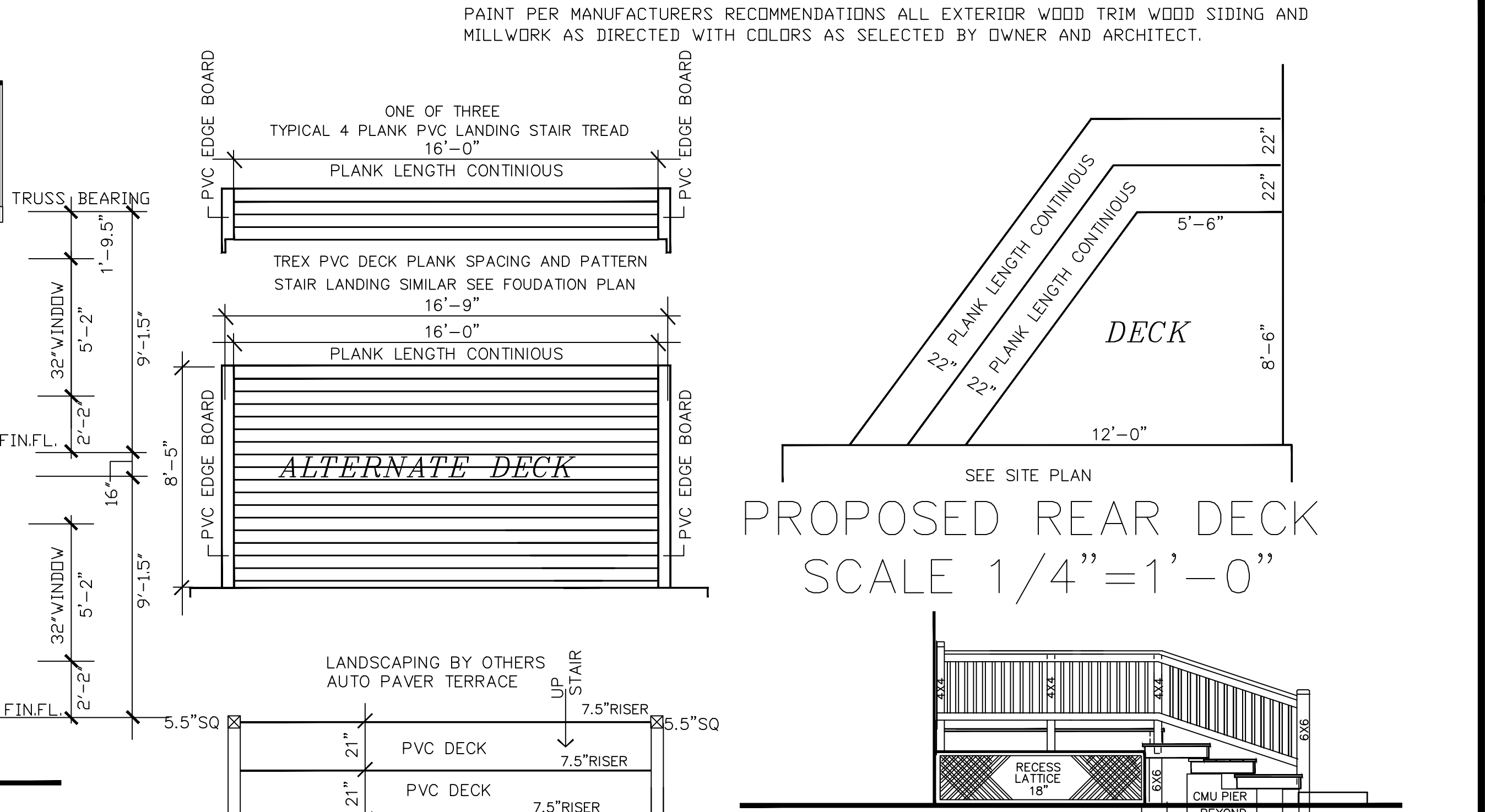


PROPOSED FRONT A
 PREFERRED FRONT DESIGN FOR THIS SITE
MODEL 2H1191
FULL PORCH
 19'-0" WIDTH FRONT FOUNDATION WALL

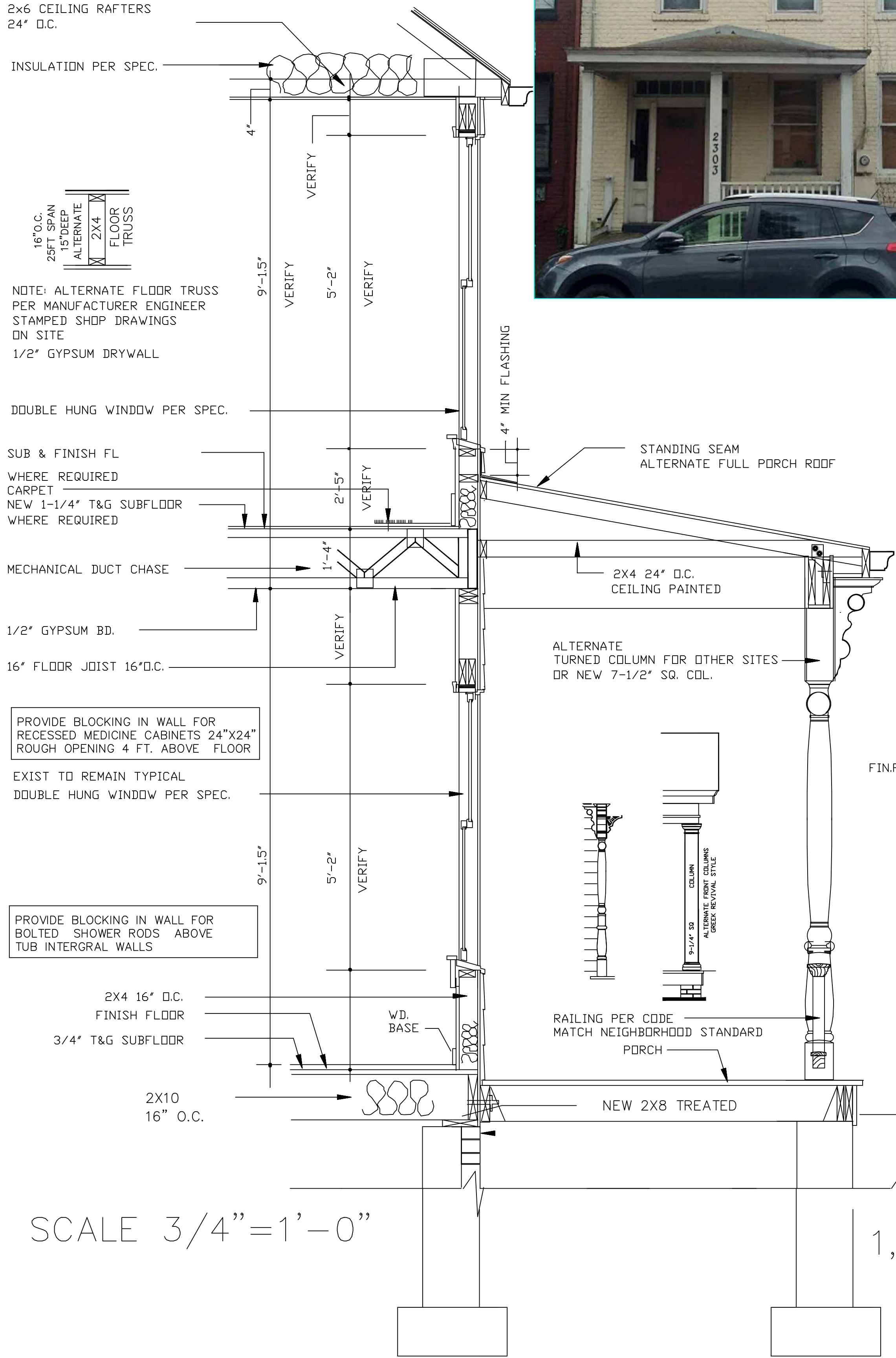
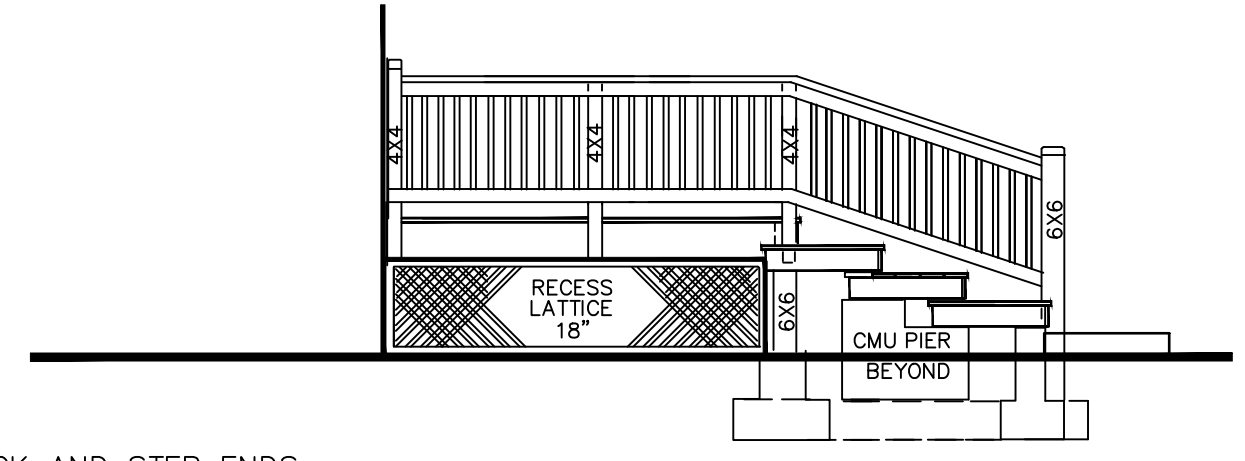


FRONT B MODEL 2H1191
 19'-0" WIDTH FRONT FOUNDATION WALL

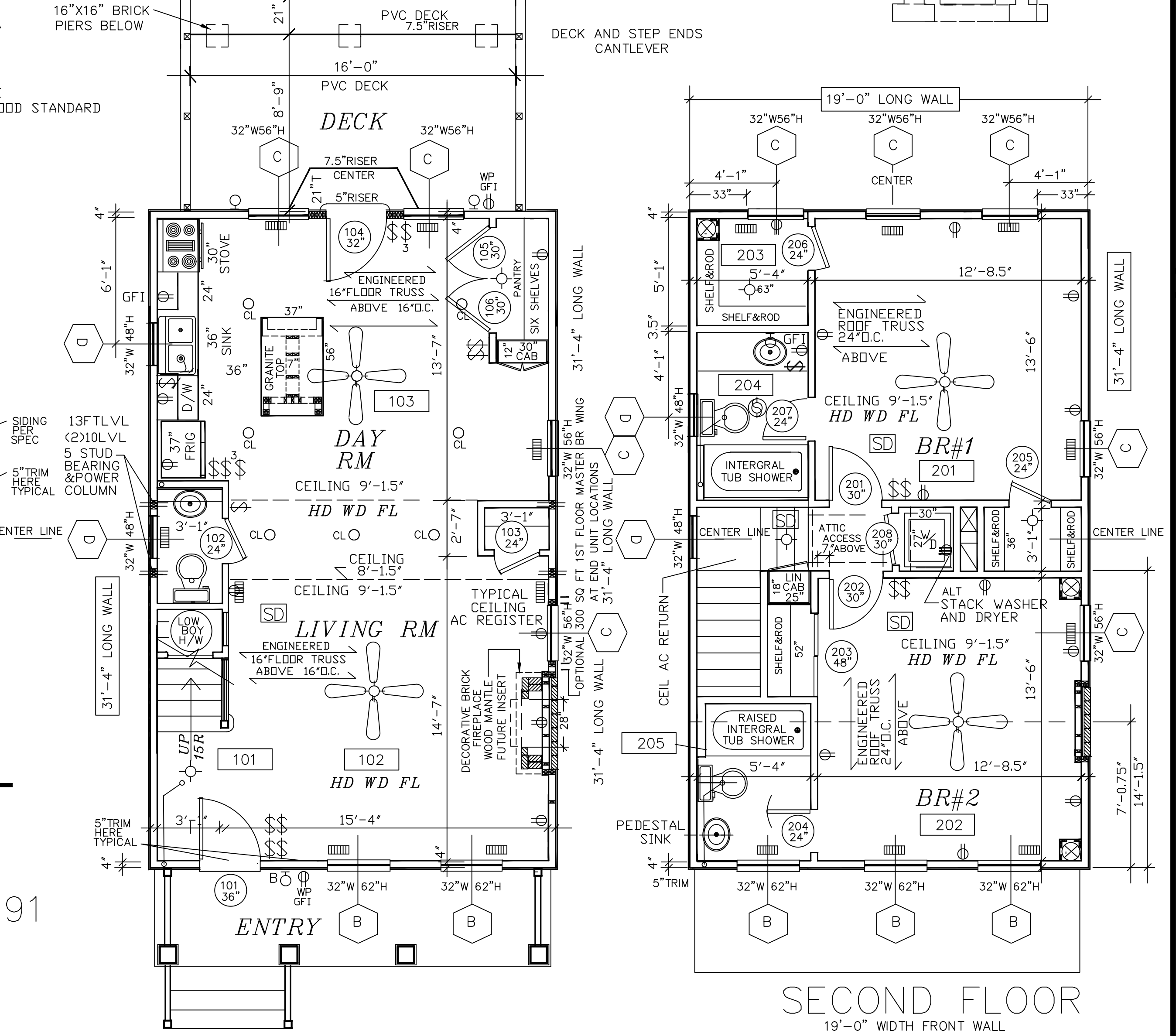
1,190.54 total sq. ft.
 SCALE 1/4"=1'-0"



SEE SITE PLAN
PROPOSED REAR DECK
 SCALE 1/4"=1'-0"

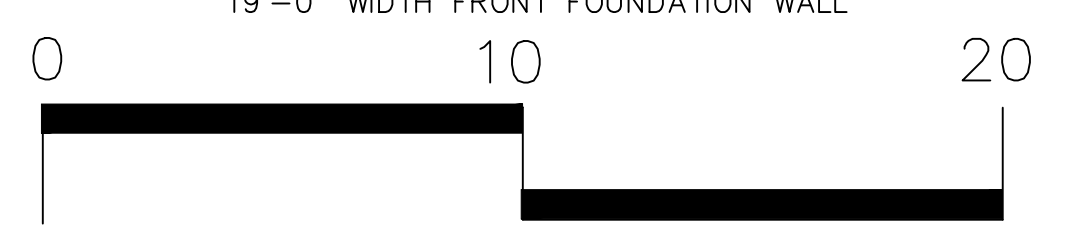


SCALE 3/4"=1'-0"



FIRST FLOOR
 19'-0" WIDTH FRONT FOUNDATION WALL

SECOND FLOOR
 19'-0" WIDTH FRONT WALL



FLOOR PLAN
 THIS DRAWING IS PROTECTED BY THE COPY RIGHTS OF THE U.S. GOVERNMENT AND THE STATE OF VA. AND IS THE PROPERTY OF LAWRENCE E. WILLIAMS, AIA, ARCHITECT. THIS DRAWING SHALL BE USED AS AN INSTRUMENT OF SERVICE AND NOT CONSIDERED THE PROPERTY OF CLIENT OR CONTRACTOR. SERVICE IS THE PRODUCT CONTRACTED FOR AND PROVIDED BY THE ARCHITECT UNDER VA. LAW. THE CHANGE, USE OR REPRODUCTION OF THIS DOCUMENT WITHOUT WRITTEN AUTHORIZATION IS PROHIBITED AND SUBJECT TO LEGAL ACTION TO PROTECT THE ARCHITECT'S COPY RIGHTS AND PUBLIC SAFETY.

DRAWING SYMBOLS

- SECTION NUMBER
- SHEET NUMBER
- BUILDING SECTION
- SECTION NUMBER
- SHEET NUMBER
- WALL SECTION
- DETAIL
- COLUMN GRID
- INTERIOR ELEVATIONS
- DOOR TYPE
- WINDOW TYPE
- ROOM # FINISHES
- SPECIAL EQUIPMENT
- SURFACE ABOVE
- WOOD PARTITION
- 1 OR 2 HOUR PARTITION TYPE
- INSUL EXTERIOR WALL
- REMOVE WALL
- SEE NOTE REVISION
- REVISION ADDENDUM

GENERAL NOTES 09/14/18

2012 VIRGINIA RESIDENTIAL CODE

THIS RESIDENTIAL PLAN SHALL BE GOVERNED BY ALL REQUIREMENTS OF THE ABOVE AND OTHER APPLICABLE CODES. THE CONTRACTORS SHALL REVIEW STANDARDS AND PRACTICES AS REQUIRED BY THE 2012 VIRGINIA RESIDENTIAL CODE.

PER SECTION R302-TABLE R302.1(1) OF THE VIRGINIA RESIDENTIAL CODE(VRC) 2012 WALLS LESS THAN 5 FEET REQUIRE A FIRE RATING AS DETERMINED BY SAID REFERENCE TABLE.
FOR VERTICAL WALLS 5 FEET OR GREATER CONTRACTOR SHALL PROVIDE 0 HR. RATED WALL ASSEMBLY.

FOR VERTICAL WALLS LESS THAN 5 FEET CONTRACTOR SHALL PROVIDE 1 HR. RATED WALL ASSEMBLY PER UL RATING U305 WITH ASTM E 119 OR UL 263 WITH EXPOSURE ON BOTH SIDES OR APPROVED EQUAL.

FOR HORIZONTAL ROOF EAVES PROJECTIONS EQUAL TO OR GREATER THAN 2 FEET TO LESS THAN 5 FEET 1 HR. RATED EAVE UNDERSIDE ASSEMBLY PER UL RATING U305 OR APPROVED EQUAL.

PER SECTION R314.1 OF THE VIRGINIA RESIDENTIAL CODE(VRC) 2012 SMOKE ALARMS SHALL BE LOCATED AND HARDWIRED TO SOUND SIMULTANEOUSLY. THE LOCATION SHALL BE COORDINATED WITH AND APPROVED BY INSPECTOR ON SITE.
PER SECTION R314.1 OF THE VIRGINIA RESIDENTIAL CODE(VRC) 2012 CARBON MONOXIDE DETECTORS SHALL BE LOCATED TO SOUND SIMULTANEOUSLY AND LOCATION SHALL BE COORDINATED WITH AND APPROVED BY INSPECTOR ON SITE.

PER SECTION R318 OF THE VIRGINIA RESIDENTIAL CODE(VRC) 2012 ADEQUATE TERMITE PROTECTION SHALL BE PROVIDED INCLUDING CRAWL SPACE SOIL TREATMENT.

PER SECTION R507 OF THE VIRGINIA RESIDENTIAL CODE(VRC) 2012 DECK GUARD RAILS AND STAIR RAILS SHALL BE PROVIDED MEETING LOCAL STRUCTURAL AND SAFETY STANDARDS. SEE SHEET A-4 ARCHITECTURAL GUIDELINES.
PER TABLE R507.8 DECK FOOTING SIZES; R507.12 DECK GUARD RAIL STANDARDS; FIG 507.12.1(1) GAUARD POST TO END JOIST. FIG. R507.12.1(2) GUARD POST TO RIM JOIST.

PER SECTION R311.7.8 OF THE VIRGINIA RESIDENTIAL CODE(VRC) 2012 STAIR RAILINGS SHALL BE MOUNTED PER CODE CONTRACTOR SHALL VERIFY LOCATION AND HEIGHT AND PROJECTION OF ALL STAIR RAILS AND INSTALL PER CODE. STAIRS MIN. 36 INCH WIDE CLEAR OPENING 37" R.D. RAILS MAY PROJECT 4.5" EITHER SIDE. ONE SIDE RAIL REQUIRED RAIL DIAMETER 1-1/4" TO 2" DIA. MOUNTED 34" TO 38" ABOVE STAIR NOSING. MAXIMUM RISER 8-1/4". MINIMUM TREAD 9".

PER SECTION R302.7 OF THE VIRGINIA RESIDENTIAL CODE(VRC) 2012 UNDER STAIR PROTECTION SHALL BE PROVIDED WITH 5/8" FIRE RATED GYPSUM BOARD ONE UNDERSIDE OF STAIR TREADS PER CODE AND LOCAL INSPECTOR.

PER SECTION R308 OF THE VIRGINIA RESIDENTIAL CODE(VRC) 2012 PATIO DOORS, ADJACENT WINDOWS, SIDE LITES, SHOWER DOORS ETC. SHALL BE TEMPERED GLAZING MEETING MANUFACTURER AND LOCAL SAFETY STANDARDS.

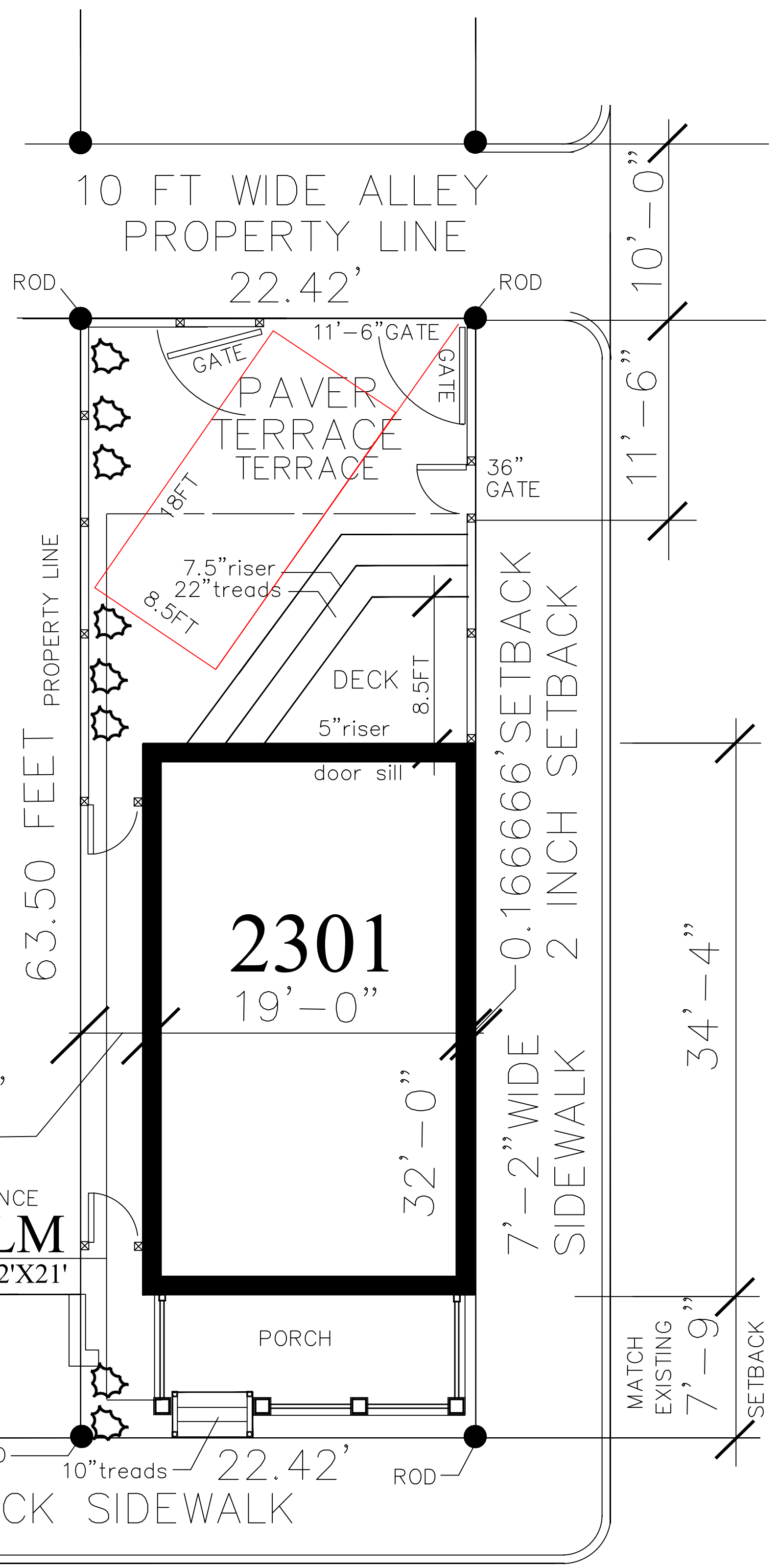
PER TABLE R502.3(1)(2) FRAMING MEMBER MAX SPANS SHALL BE MAINTAINED. 2X10 MEMBERS SPANING 14'-5" SHALL BE 12" O.C. CONTRACTOR SHALL COORDINATE ALL FRAMING BEFORE CONSTRUCTION AND COORDINATE ALL PENETRATIONS OF FRAMING PER MANUFACTURER STANDARDS AND LOCAL INSPECTOR GUIDELINES.

ARCHITECTS FRAMING NOTES REFERENCES STRUCTURAL MEMBERS LOCATED ABOVE THE NOTE ON THE PLAN.

CONTRACTOR SHALL REVIEW ALL ENGINEERED FRAMING BEFORE CONSTRUCTION AND MAINTAIN SAID DRAWINGS ON SITE. ENGINEERED FRAMING DRAWINGS SHALL BE STAMPED AND CERTIFIED BY MANUFACTURER'S SUPPLIER'S ENGINEER. ENGINEERED STAMPED SECOND FLOOR FRAMING SHALL BE ATTACHED AND PROVIDED BEFORE CONSTRUCTION. ENGINEERED STAMPED ROOF TRUSS FRAMING SHALL BE ATTACHED AND PROVIDED BEFORE CONSTRUCTION.

CONTRACTOR SHALL MAINTAIN ON SITE DURING CONSTRUCTION A FULL SET OF CONSTRUCTION DOCUMENTS BOUND TOGETHER. SAID BOUND SET PAGES OR SHEETS SHALL NOT BE SEPARATED REQUIRING ALL SUBCONTRACTORS CAN CROSS REFERENCE AND COORDINATE THEIR SCOPE OF WORK WITH OTHER TRADES AND BUILDING PLANS AND COMPONENTS.

FIELD VERIFY ALL PROJECT TRADE SCOPES OF WORK ON EXTERIOR AND COORDINATE WITH ALL INTERIOR WORK.



FIELD VERIFY SETBACK 3'-3-1/4" 3.253334'

FIELD VERIFY CORNER ELEVATIONS

1,092 SQ FT LAND DISTURBANCE

EXISTING HOUSE 52'X21'

EXISTING PORCH 6'-6"X14'-0"

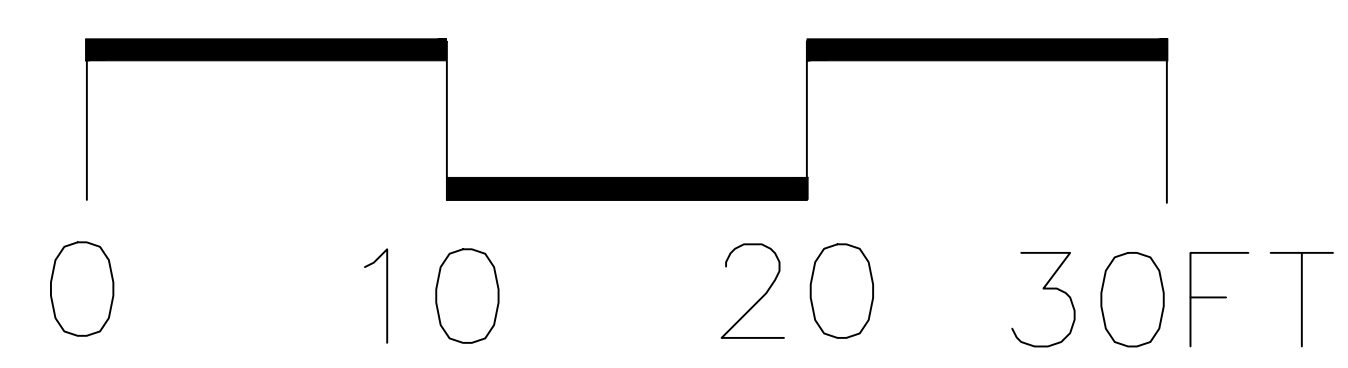
PROPERTY LINE ROD 10" treads 22.42' ROD

6'-8" WIDE BRICK SIDEWALK

SITE PLAN

MODEL 2H1191

VENABLE STREET



SCALE 3/8 INCH = 1 FOOT
SEE SURVEY FOR PROPERTY LINE LOCATION AND ORIENTATION

GENERAL NOTES

FIELD VERIFY ALL DIMENSIONS ON EXTERIOR AND COORDINATE WITH ALL INTERIOR DIMENSIONS. PROVIDE ALL WINDOW HEAD FLASHING AS REQUIRED AND AT CORNER, ROOFING CONDITION, ROOF PENETRATIONS, WINDOW SURROUNDS AND DOORS TO INSURE WATERTIGHT BUILDING ENVELOPE. LAY AND POINT MASONRY WORK TO INSURE WATERTIGHT CONDITION AND VISUAL CORRECTNESS. INSTALL FOUNDATION VENTS PER CODE.

SMOOTH FIBER GLASS INSULATED GLASS DOOR PER MANUFACTURER SPECS MANUF: REEB

7-1/4" BEVEL LAP COMPOSITE SIDING 5' EXPOSURE MANUF: HARIPLANK SIDING
4" COMPOSITE EXTERIOR TRIM OR APPROVED EQUAL MANUF:

DOUBLE HUNG WINDOW PER SPEC.
MANUF: SIERRA PACIFIC WHITE VINYL 8000

PAINT PER MANUFACTURERS RECOMMENDATIONS ALL EXTERIOR WOOD TRIM WOOD SIDING AND MILLWORK AS DIRECTED WITH COLORS AS SELECTED BY OWNER AND ARCHITECT.
MANUFACTURER: SHERMAN WILLIAMS TWO COATS EMERALD EXTERIOR ONE COAT LATEX PRIMER TINT P-5 GRAY

CONTRACTOR SHALL VERIFY EXISTING CONDITIONS OF FOUNDATION AND FRAMING MEMBERS AND REPORT ANY STRUCTURAL AREAS NOT IN ACCORDANCE WITH THESE PLANS. ARCHITECT SHALL BE NOTIFIED IN A TIMELY MANNER.
ALLOWANCE FOR FOUNDATION AND FRAMING MODIFICATIONS TO MEET ALL RELEVANT CODES SHALL BE INCLUDED IN CONTRACT BID. VERIFICATION IS RECOMMENDED BEFORE SUBMITTING BID.
CONTRACTOR SHALL FOLLOW MANUFACTURER'S RECOMMENDATIONS FOR STRUCTURAL MEMBER PENETRATIONS, BLOCKING AND STIFFENERS.

GENERAL STRUCTURAL NOTES

LOAD BEARING HEADERS ARE (2) 2 X 8 IF NOT SHOWN ON PLAN
NON LOAD BEARING HEADERS ARE (2) 2 X 4 IF NOT SHOWN ON PLAN
PROVIDE PRESSURE TREATED LUMBER IN AREAS THAT MEET CONCRETE OR MASONRY

LOAD BEARING HEADERS ARE (2) 2 X 8 IF NOT SHOWN ON PLAN
NON LOAD BEARING HEADERS ARE (2) 2 X 4 IF NOT SHOWN ON PLAN
ALL FOOTING BOTTOMS SHALL BE A MINIMUM OF 24" BELOW GRADE.
MAINTAIN 2" CLEAR CRAWL SPACE ADEQUATE TO SERVICE CRAWL SPACE DUCTS
PROVIDE BLACK POLY VAPOR BARRIER IN CRAWL SPACE

ALL 2 OR MORE MEMBER HEADERS OR BEAMS SHALL BE NAILED TOGETHER @ 12" O.C. TOP AND BOTTOM. DOUBLE ALL FLOOR JOIST UNDER ANY PARTITION WHICH RUN PARALLEL TO FLOOR JOIST FOR MORE THAN 50% OF THE SPAN.

PROVIDE SOLID 2X10 BLOCKING PER CODE BETWEEN FLOOR JOIST MID SPAN
PROVIDE ANCHOR BOLTS ON NEW TREATED SILL PLATE FRAMING ABOVE FOUNDATIONS

WHEN USED DIMENSIONAL LUMBER IS SIZED BASED ON #2 SOUTHERN YELLOW PINE. KILM DRIED WITH 19% MOISTURE CONTENT. CONTRACTOR SHALL FOLLOW MANUFACTURER'S RECOMMENDATIONS FOR STRUCTURAL MEMBER PENETRATIONS, BLOCKING AND STIFFENERS.

ALL STUDS, BLOCKING AND PLATES SHALL BE #2 SOUTHERN PINE OR #2 SPRUCE WITH 19% MOISTURE CONTENT. ALL WOOD FRAMING BEARING ON MASONRY SHALL BEAR ON TREATED WD. PLATE. ALL 2 OR MORE MEMBER HEADERS OR BEAMS SHALL BE NAILED TOGETHER @ 12" O.C. TOP AND BOTTOM. DOUBLE ALL FLOOR JOIST UNDER ANY PARTITION WHICH RUN PARALLEL TO FLOOR JOIST FOR MORE THAN 50% OF THE SPAN.

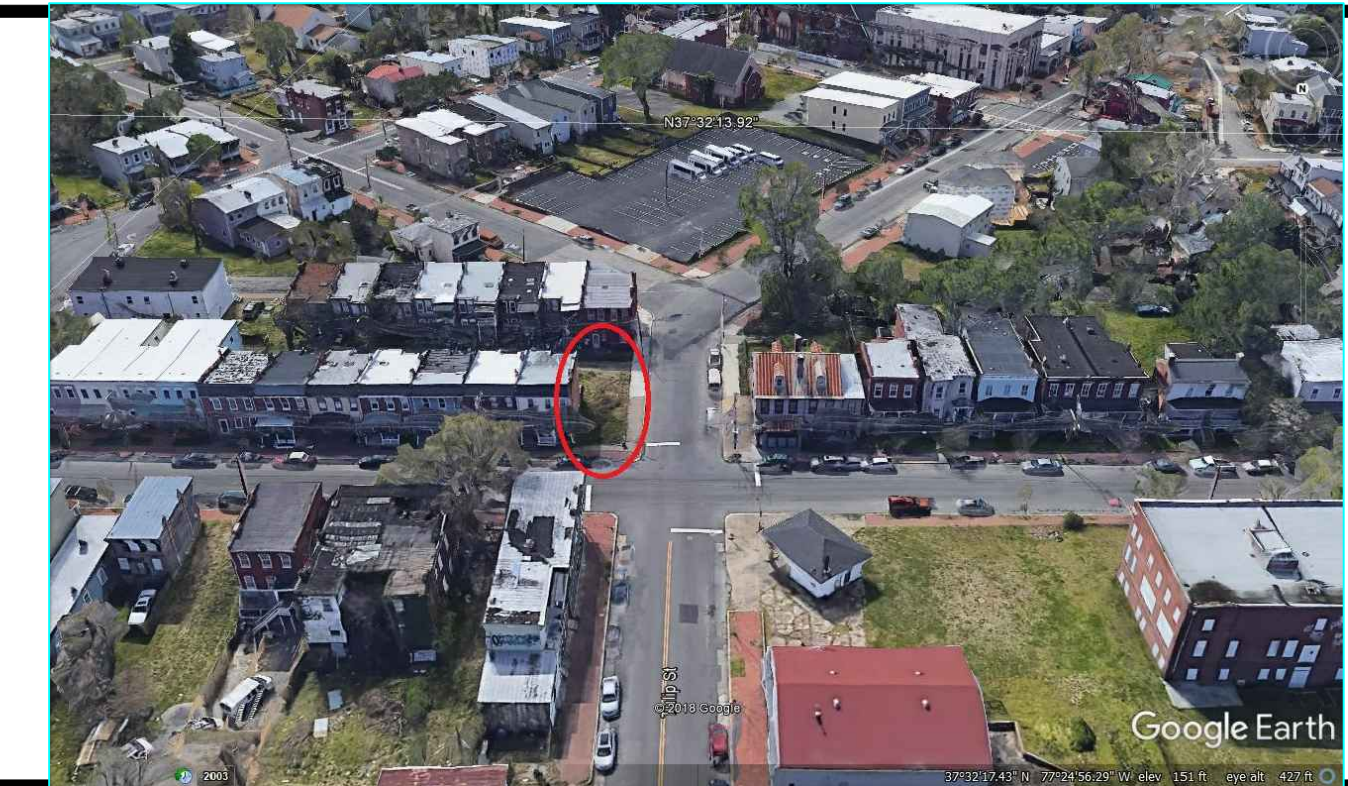
GENERAL ELECTRICAL NOTES:

CONCEAL ALL NEW WIRING, JUNCTION BOXES AND CONDUIT. CONTRACTOR SHALL VERIFY INSTALLATION REQUIREMENTS FOR TELEPHONE, T.V. CABLE AND ALARM SYSTEM AND INCLUDE IN THIS CONTRACT. ALL SPECIALTY WIRING SHALL BE PER MANUFACTURERS RECOMMENDATION. VERIFY LOCATION OF OUTLETS WITH OWNER PRIOR TO INSTALLATION. VERIFY FIXTURE ALLOWANCE AND TYPE OF FIXTURE PROPOSED PRIOR TO INSTALLATION. WIRING SHALL BE COPPER PER NEC REQUIREMENTS. ALL SMOKE DETECTORS SHALL BE WIRED IN SUCH A MANNER THAT ALL SHALL ALARM WHEN ONE IS ACTIVATED.

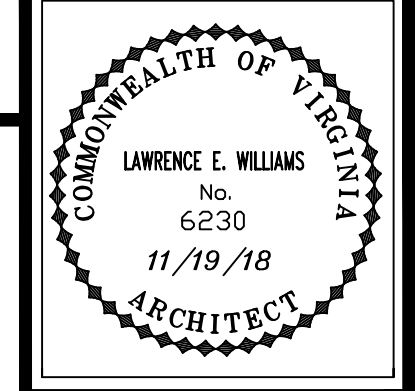
CODE & ZONING DATA

PROJECT TYPE: SINGLE FAMILY RESIDENTIAL	SITE AREA: See CIVIL
USE GROUP: R	
CONSTRUCTION CLASS: 5B	FOOTPRINT 595.27 SQ.FT.
ZONING: R-63	TOTAL BUILDING 1,190.54 SQ.FT.
CODE/DATE: VRC 2012	INTERNATIONAL MECHANICAL CODE
INTERNATIONAL ELECTRICAL CODE	INTERNATIONAL PLUMBING CODE

VICINITY MAP



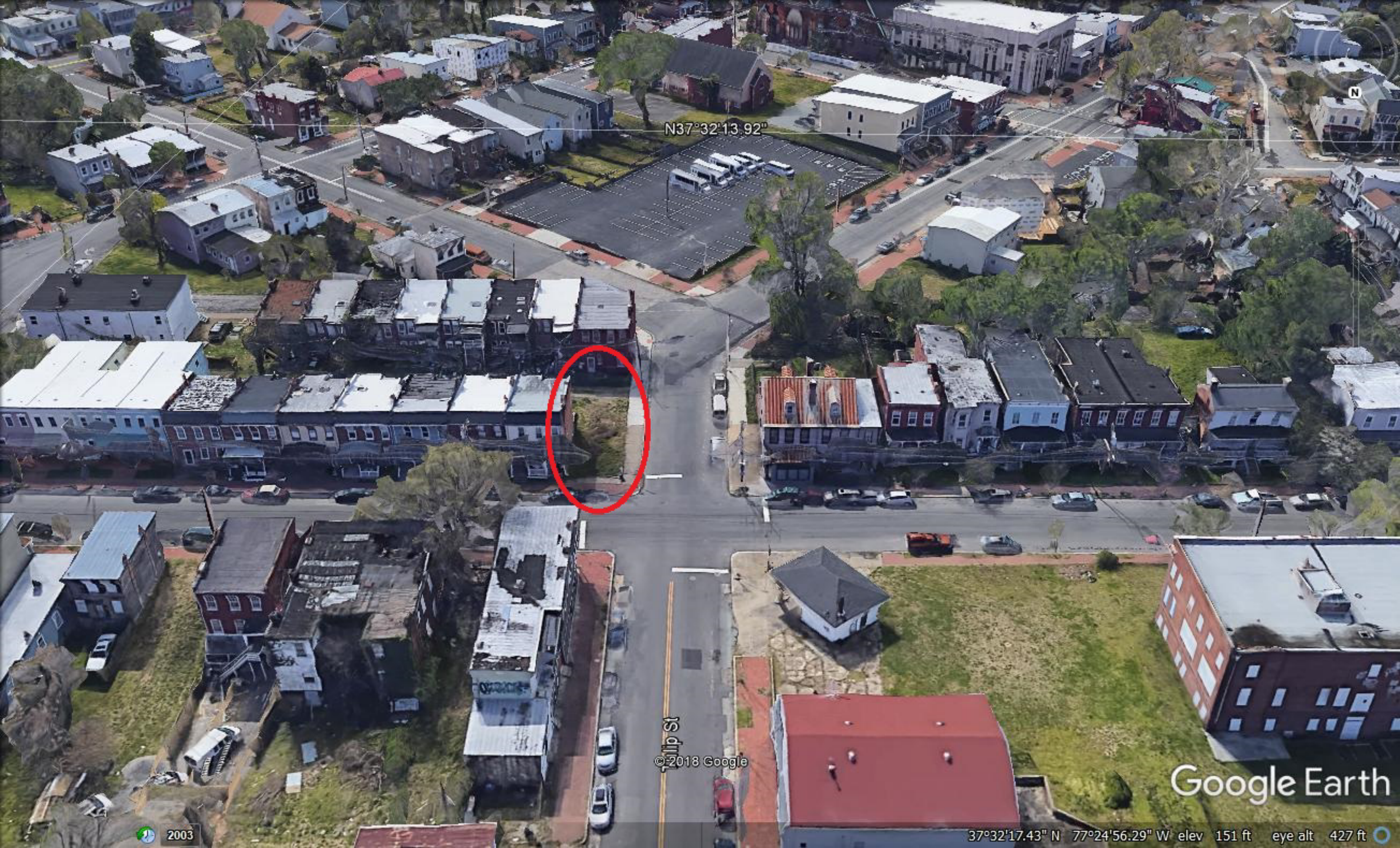
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MODEL 2H1191
CLIENT: MWCLT
ADDRESS: 2301 VENABLE STREET
BUILDER:

A1
Drawn By LW
Issue Date 09/06/18
Revision Date 09/12/18
09/24/18 11/19/18
02/18/19 03/01/19
03/08/19 04/26/19



N37°32'13.92"

Philip St
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2003

37°32'17.43" N 77°24'56.29" W elev 151 ft eye alt 427 ft