



COMMISSION OF ARCHITECTURAL REVIEW

APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

PROPERTY (location of work)

Address 3019-3021 E Marshall St
Historic district St. John's Church

Date/time rec'd: _____
Rec'd by: _____
Application #: _____
Hearing date: _____

APPLICANT INFORMATION

Name Gregory Shron
Company Center Creek Homes
Mailing Address 11 S 12th St, Ste 108
Richmond, VA 23219

Phone 804.362.7727
Email greg@centercreekhomes.com
Applicant Type: Owner Agent
 Lessee Architect Contractor
 Other (please specify): _____

OWNER INFORMATION (if different from above)

Name _____
Mailing Address _____

Company _____
Phone _____
Email _____

PROJECT INFORMATION

Review Type: Conceptual Review Final Review
Project Type: Alteration Demolition New Construction
(Conceptual Review Required)

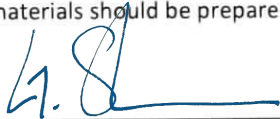
Project Description: (attach additional sheets if needed)
Two new single-family attached dwellings

ACKNOWLEDGEMENT OF RESPONSIBILITY

Compliance: If granted, you agree to comply with all conditions of the COA. Revisions to approved work require staff review and may require a new application and CAR approval. Failure to comply with the COA may result in project delays or legal action. The COA is valid for one (1) year and may be extended for an additional year, upon written request.

Requirements: A complete application includes all applicable information requested on checklists to provide a complete and accurate description of existing and proposed conditions. Applicants proposing major new construction, including additions, should meet with Staff to review the application and requirements prior to submitting an application. Owner contact information and signature is required. Late or incomplete applications will not be considered.

Zoning Requirements: Prior to Commission review, it is the responsibility of the applicant to determine if zoning approval is required and application materials should be prepared in compliance with zoning.

Signature of Owner 

Date 5.28.2019



3019-3021 E MARSHALL STREET TWO NEW SINGLE-FAMILY ATTACHED RESIDENCES

ST. JOHN'S CHURCH HISTORIC DISTRICT

RICHMOND COMMISSION OF ARCHITECTURAL REVIEW

PREPARED: July 2, 2019

APPLICANT: CENTER CREEK HOMES c/o Greg Shron

2nd Submission Narrative:

Incorporating feedback from the Commission and staff, the design for the proposed pair of attached, 2-story single-family homes now presents simplified detailing and a modified composition of the side elevations.

Window muntins have been removed throughout, yielding a consistent 1-over-1 light pattern, and the hip roof form of the front porches has been replaced by a simple shed. While not dramatic in nature, these changes push the overall composition to more fully embrace the intended modern interpretation of the classic Church Hill narrow-lot home. Small, cantilevered canopies clad in aluminum have also been added to the rear of the homes, providing shelter for the doors and visual accents to activate the façade.

In evaluating the side elevations as shown in the concept submission, it was noted that the left elevation (3021 E Marshall) did not adequately address the street corner, while the right elevation (3019) was potentially "over-fenestrated" for a façade so close to the adjacent house at 3017 E Marshall. The revised design (1) reduces the amount of glazing on the right side, resulting in a condition more typical of the neighborhood; (2) increases the amount of glazing on the left side, resulting in a more formal and balanced composition; and (3) adds a bold accent to address the street corner in the form of a contemporary projecting



fireplace/chimney, clad in offset fiber-cement panels and finished in the same dark charcoal color as the building foundation.

Overall, we believe that the revised design for this pair of homes meets the intent of contemporary expression of the district's historic vernacular, and specifically addresses the Commission's concerns regarding fine-tuning of some specific building elements and appropriate handling of the corner location.



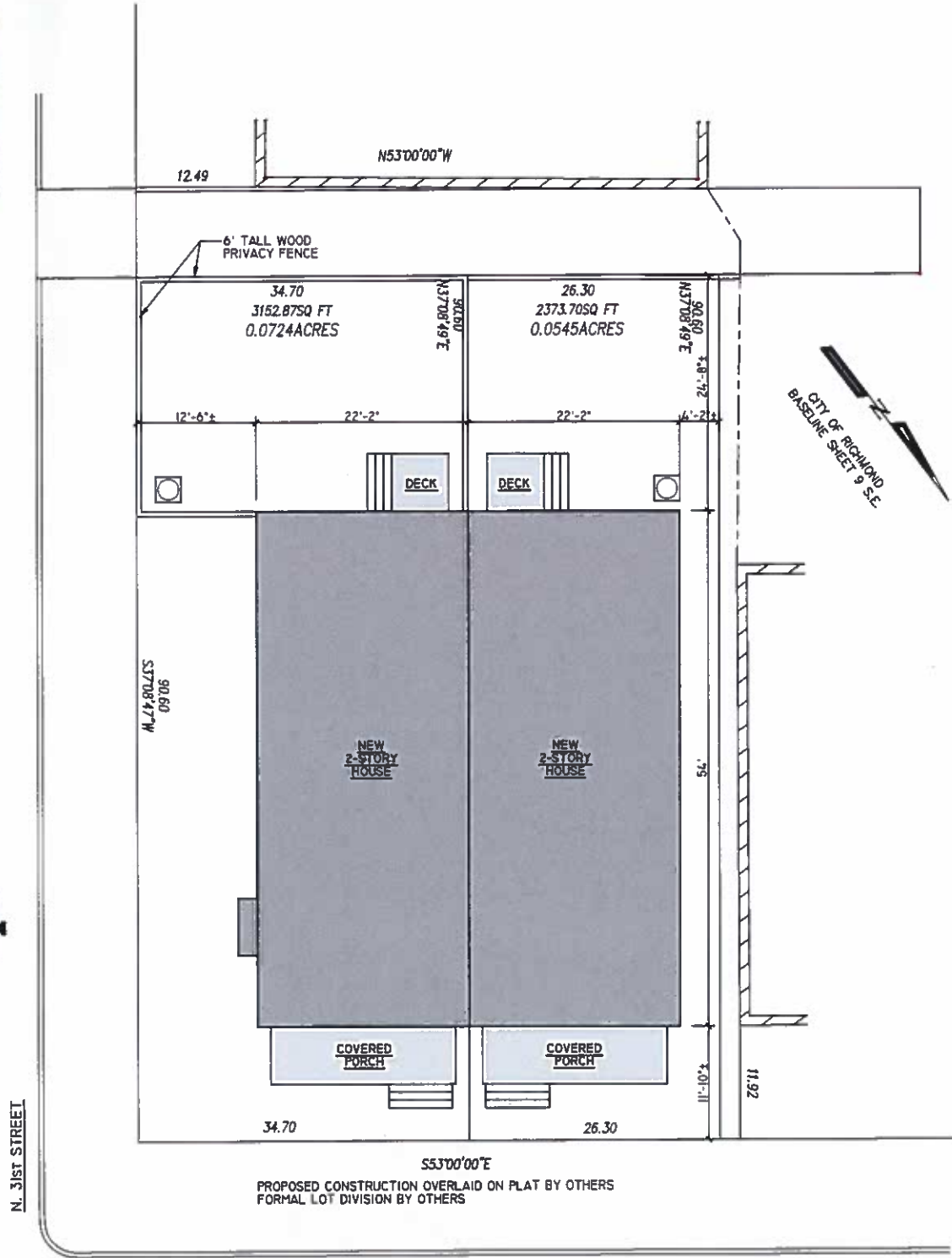
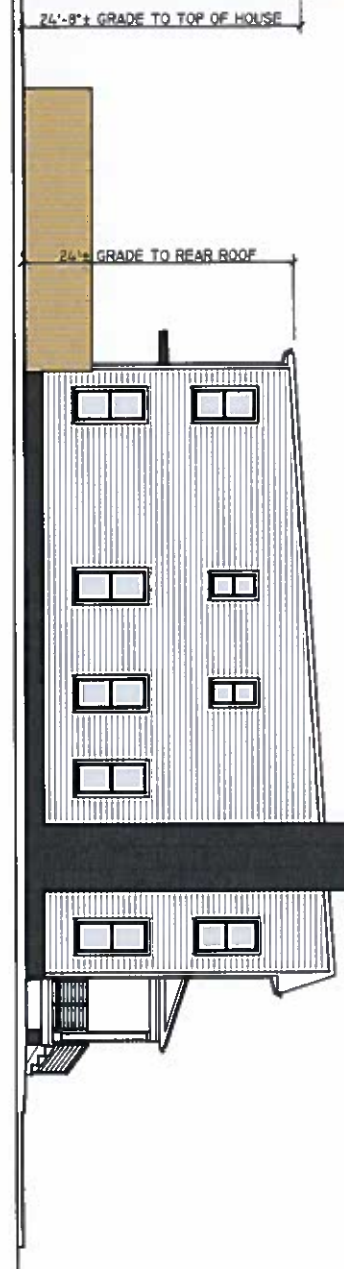
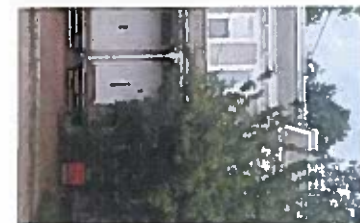
PROJECT CONTACTS:
 DEVELOPER:
 CC RICHMOND II, LP
 C/O CENTER CREEK HOMES
 GREG SHRON
 804-362-7727
 ARCHITECT:
 CHRIS WOLF
 CHRIS WOLF ARCHITECTURE, PLLC
 804-514-7644

TWO NEW 2-STORY ATTACHED SINGLE-FAMILY RESIDENCES
 IN THE ST. JOHN'S CHURCH HISTORIC DISTRICT
3019/3021 E. MARSHALL HOUSES
 3019 & 3021 EAST MARSHALL STREET
 RICHMOND, VIRGINIA 23223



SET/REVISION:
 C.A.R. SECOND SUBMITTAL
 DATE/MARK:
 06.28.2019
 SITE PLAN & CONTEXT
 ELEVATIONS

CI.1



N. JIST STREET

E. MARSHALL STREET



02 | BASIC SITE MAP
N.T.S.

01 | SITE PLAN & CONTEXT ELEVATIONS
1" = 10'



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01 | FRONT ELEVATION
 1/4" = 1'

DOOR/WINDOW SCHEDULE				
DOORS (FULL GLASS)				
NO.	QTY.	SIZE (NOM.)	TYPE	REMARKS
101-A	-	3'x6'8" + 16" TRANSOM (8' TOTAL)	HALF GLASS	PAINTED SW7585
101-B	-	3'x6'8" + 16" TRANSOM (8' TOTAL)	HALF GLASS	PAINTED SW6230
102-A	-	2'10"x6'8"	HALF GLASS	PAINTED SW7585
102-B	-	2'10"x6'8"	HALF GLASS	PAINTED SW6230
A	-	2'8"x6'2"	DOUBLE HUNG	PAINTED/PREFINISHED BLACK
B	-	PAIR 2'8"x6'2"	DOUBLE HUNG	PAINTED/PREFINISHED BLACK
C	-	2'8"x5'6"	DOUBLE HUNG	PAINTED/PREFINISHED BLACK
D	-	PAIR 2'8"x5'6"	DOUBLE HUNG	PAINTED/PREFINISHED BLACK
E	-	2'x4'	DOUBLE HUNG	PAINTED/PREFINISHED BLACK
F	-	2'8"x2'8"	FIXED	PAINTED/PREFINISHED BLACK

ALL WINDOWS PLYGEM 200 SERIES.
 ALL WINDOWS & DOORS MUST MEET GENERAL C.A.R. REQUIREMENTS.

EXTERIOR FINISH SCHEDULE		
NO.	COMPONENT/MATERIAL	COLOR/FINISH
01	PAVED FOUNDATION & PORCH PIERS	DARK GRAY/BLACK
02	HARDIE 5" EXPOSURE LAP SIDING	ARCTIC WHITE
03	CHIMNEY - HARDIE-PANEL WITH BLACK ALUM. REVEALS	HARDIE "IRON GRAY"
04	COMPOSITE/HARDIE TRIM	ARCTIC WHITE
05	COMPOSITE/HARDIE SOFFITS	ARCTIC WHITE
06	DOORS	PER SCHEDULE (THIS SHEET)
07	WINDOWS	PER SCHEDULE (THIS SHEET)
08	FRONT & PORCH ROOF - 16" WIDE STANDING SEAM	PETERSEN AGED BRONZE
09	MAIN ROOF - TPO	FACTORY WHITE
10	ALUMINUM GUTTER & DOWNSPOUTS	PREFINISHED WHITE
11	FRONT PORCH: P.T. WOOD FRAMING WRAPPED IN COMPOSITE TRIM, T&G COMPOSITE DECKING	WHITE FRAMING WRAP WITH PEWTER GRAY DECKING
12	FRONT PORCH RAILING: HORIZONTAL STEEL	PAINTED BLACK
13	FRONT PORCH COLUMNS: 10" BOX WITH RECESS	PAINTED WHITE
14	REAR DECK: P.T. WOOD FRAMING, DECKING, RAILING	NATURAL TREATED WOOD
15	REAR DECK ROOF - METAL WRAPPED WITH EPDM ROOFING	PETERSEN AGED BRONZE
16	WALL-MOUNTED LANTERNS AT DOORS	BLACK
17	6' TALL PRIVACY FENCE	NATURAL TREATED WOOD

ALL MATERIALS & COLORS MUST MEET GENERAL C.A.R. REQUIREMENTS.



02 | REAR ELEVATION
 1/4" = 1'

NOT FOR CONSTRUCTION

SET/REVISION:
 C.A.R. SECOND SUBMITTAL

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FRONT & REAR
 EXTERIOR ELEVATIONS

A2.1



CENTER CREEK
CAPITAL GROUP

PROJECT CONTACTS:

DEVELOPER:
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GREG SHRON
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ARCHITECT:
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LEFT & RIGHT SIDE
EXTERIOR ELEVATIONS

A2.2



01 | LEFT SIDE ELEVATION
1/4" = 1'



02 | RIGHT SIDE ELEVATION
1/4" = 1'



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EXTERIOR MATERIAL
SPECIFICATIONS

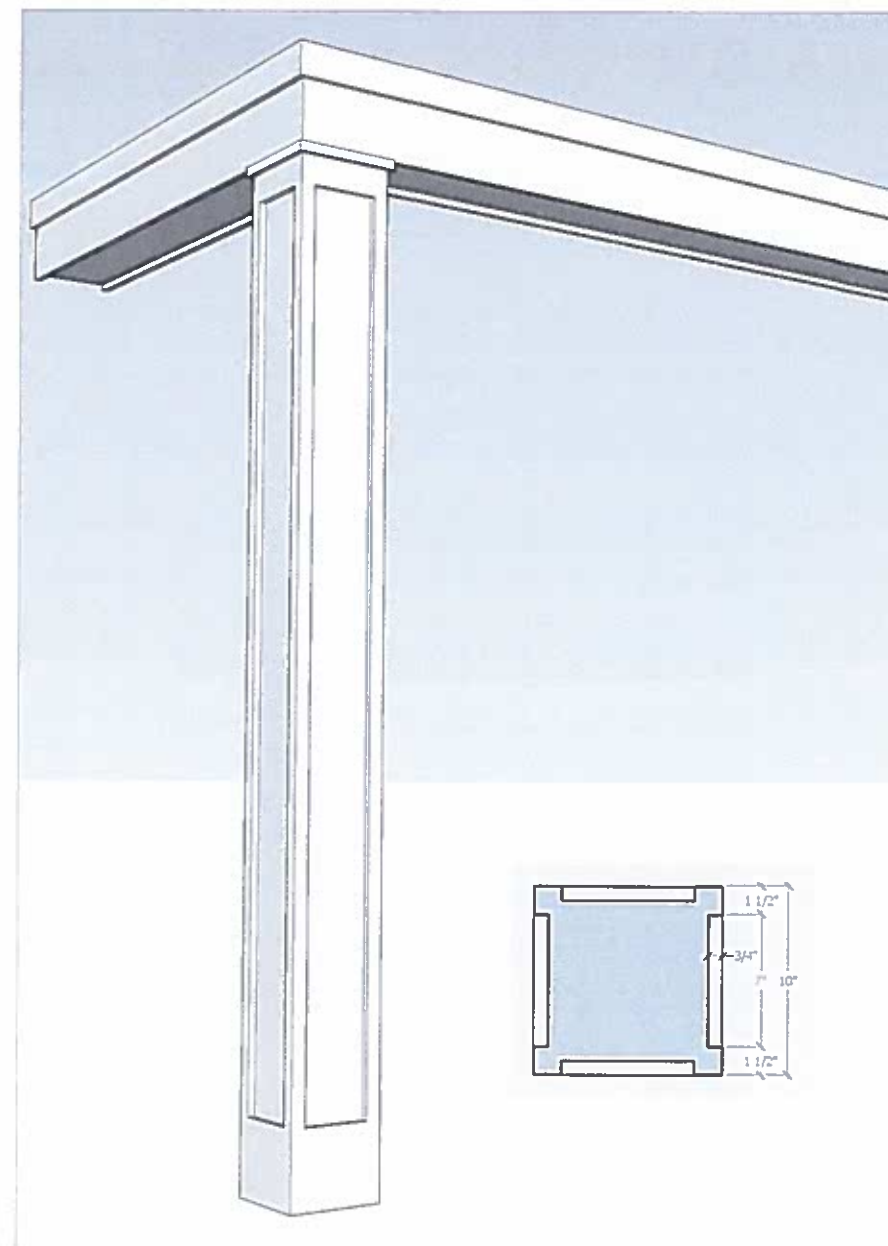
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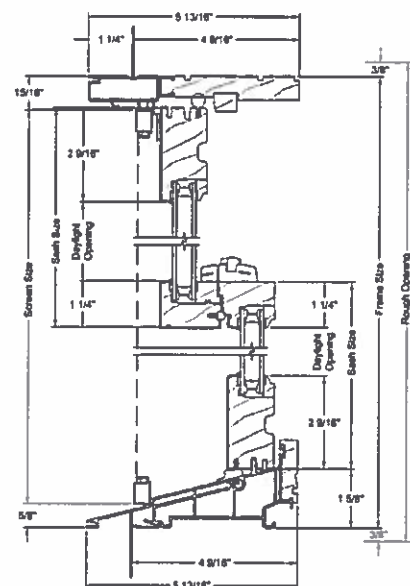
03 | CHIMNEY SIDING MATERIAL/COLOR
N.T.S.



02 | REAR DECK ROOF CANOPY (SIMILAR)
N.T.S.



01 | FRONT PORCH COLUMN DETAIL
N.T.S.



02 | WINDOW SPEC.
N.T.S.



CENTER CREEK
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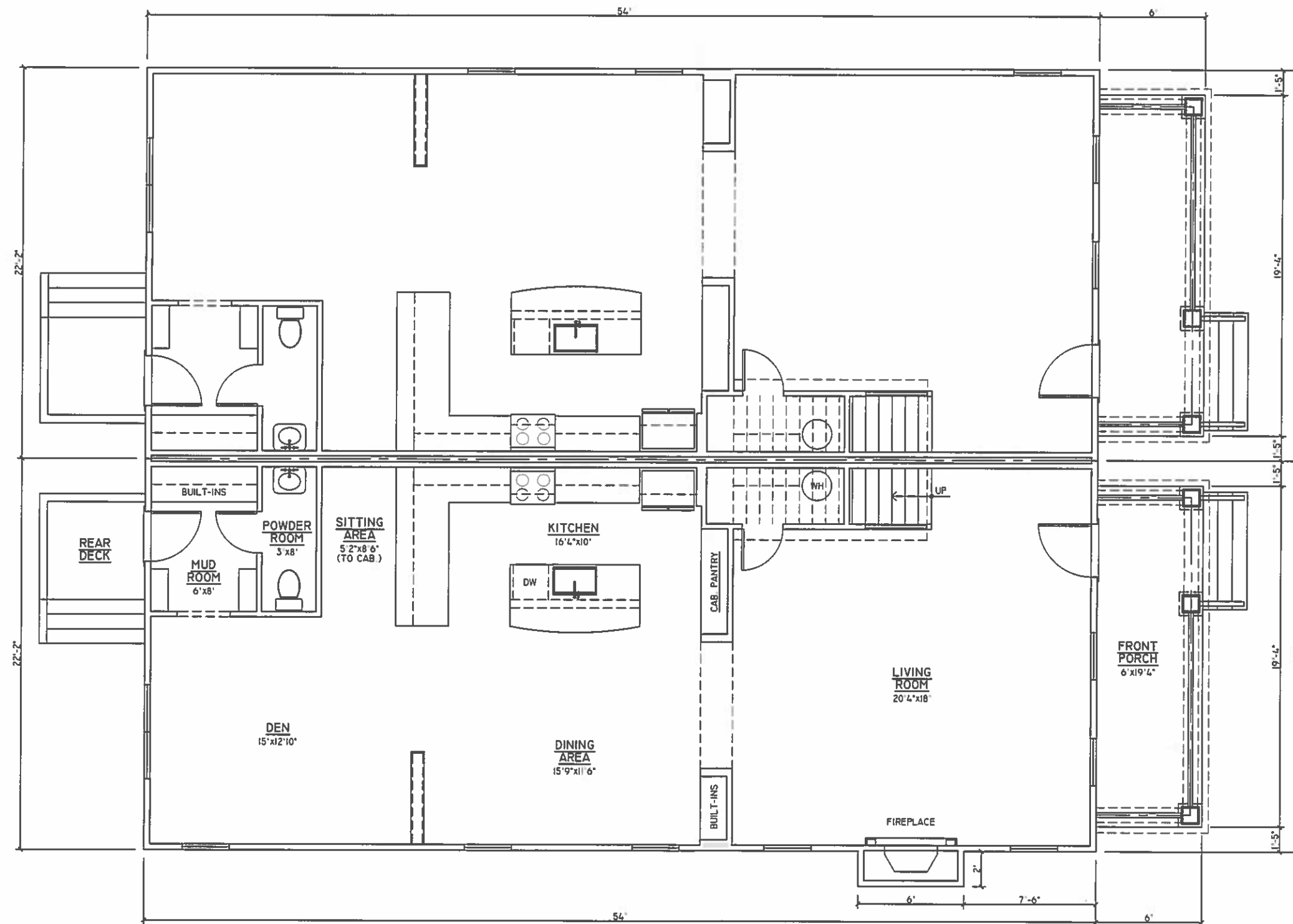
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FIRST FLOOR PLANS

AI.1



01 | FIRST FLOOR PLANS
1/4" = 1'



CENTER CREEK
CAPITAL GROUP

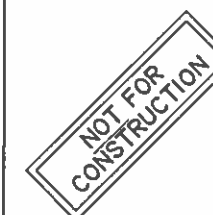
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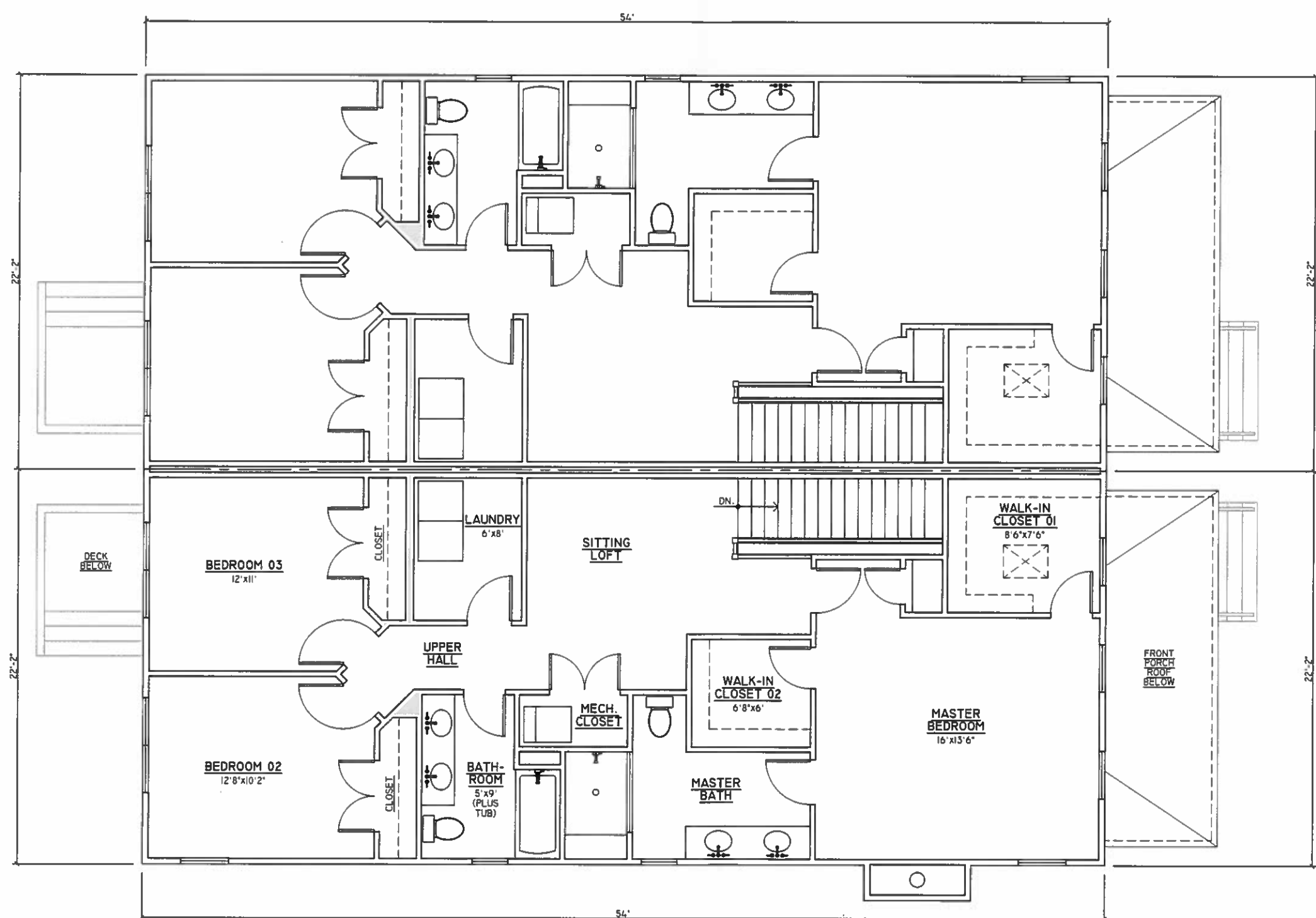


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SECOND FLOOR PLANS

AI.2



01 | SECOND FLOOR PLANS
1/4" = 1'