

INTRODUCED: July 27, 2015

AN ORDINANCE No. 2015-156-203

To authorize the special use of the property known as address 311 Stockton Lane for the purpose of authorizing two accessory dwelling units, upon certain terms and conditions.

\_\_\_\_\_  
Patron – Mayor Jones (By Request)

\_\_\_\_\_  
Approved as to form and legality  
by the City Attorney  
\_\_\_\_\_

PUBLIC HEARING: SEPT 14, 2015 AT 6 P.M.

WHEREAS, the owner of the property known as 311 Stockton Lane, which is situated in a R-1 Single-Family Residential District, desires to use such property for the purpose of two accessory dwelling units, which use, among other things, is not currently allowed by section 114-402.2 of the Code of the City of Richmond (2004), as amended; and

WHEREAS, in accordance with section 17.11 of the Charter of the City of Richmond (2010), as amended, it has been made to appear that, if granted subject to the terms and conditions set forth in this ordinance, the special use granted by this ordinance will not be detrimental to the safety, health, morals and general welfare of the community involved, will not tend to create congestion in streets, roads, alleys and other public ways and places in the area

AYES:            9            NOES:            0            ABSTAIN: \_\_\_\_\_

ADOPTED:    NOV 9 2015    REJECTED: \_\_\_\_\_    STRICKEN: \_\_\_\_\_

involved, will not create hazards from fire, panic or other dangers, will not tend to overcrowding of land and cause an undue concentration of population, will not adversely affect or interfere with public or private schools, parks, playgrounds, water supplies, sewage disposal, transportation or other public requirements, conveniences and improvements, and will not interfere with adequate light and air; and

WHEREAS, (i) the City Planning Commission has conducted a public hearing to investigate the circumstances and conditions upon which the Council is empowered to authorize such use, (ii) the City Planning Commission has reported to the Council the results of such public hearing and investigation and its recommendations with respect thereto, and (iii) the Council has conducted a public hearing on this ordinance at which the person in interest and all other persons have had an opportunity to be heard;

NOW, THEREFORE,

THE CITY OF RICHMOND HEREBY ORDAINS:

§ 1. **Finding.** Pursuant to section 114-1050.1 of the Code of the City of Richmond (2004), as amended, the Council hereby finds that the special use set forth in and subject to the terms and conditions of this ordinance will not (i) be detrimental to the safety, health, morals and general welfare of the community involved, (ii) tend to create congestion in streets, roads, alleys and other public ways and places in the area involved, (iii) create hazards from fire, panic or other dangers, (iv) tend to overcrowding of land and cause an undue concentration of population, (v) adversely affect or interfere with public or private schools, parks, playgrounds, water supplies, sewage disposal, transportation or other public requirements, conveniences and improvements, or (vi) interfere with adequate light and air.

§ 2. **Grant of Special Use Permit.**

(a) Subject to the terms and conditions set forth in this ordinance, the property known as 311 Stockton Lane and identified as Tax Parcel No: W022-0346/002 in the 2015 records of the City Assessor, being more particularly shown on a survey entitled “Topographic Survey of 311 Stockton Lane, July 21, 2011,” prepared by Mark B. Beall, and dated July 21, 2011, a copy of which is attached to and made a part of this ordinance, hereinafter referred to as “the Property,” is hereby permitted to be used for the purpose of two accessory dwelling units, hereinafter referred to as “the Special Use,” substantially as shown on sheets T1.1, A0.1, A0.2, A1.1 through A1.3, A2.1, A2.2, A3.1, A5.1, A7.1 through A7.4, A9.1 and A9.2 of the plans entitled “Addition & Renovations to Canterbury Pavilions,” prepared by Glave & Holmes Architecture, and dated March 13, 2015, hereinafter referred to as “the Plans,” copies of which are attached to and made a part of this ordinance.

(b) The adoption of this ordinance shall constitute the issuance of a special use permit for the Property. The special use permit shall inure to the benefit of the owner or owners of the fee simple title to the Property as of the date on which this ordinance is adopted and their successors in fee simple title, all of which are hereinafter referred to as “the Owner.” The conditions contained in this ordinance shall be binding on the Owner.

§ 3. **Special Terms and Conditions.** This special use permit is conditioned on the following special terms and conditions:

(a) The use of two accessory dwelling units shall be permitted substantially as shown on the Plans.

§ 4. **Supplemental Terms and Conditions.** This special use permit is conditioned on the following supplemental terms and conditions:

(a) All required final grading and drainage plans, together with all easements made necessary by such plans, must be approved by the Director of Public Utilities prior to the issuance of the building permit.

(b) Storm or surface water shall not be allowed to accumulate on the land. The Owner, at its sole cost and expense, shall provide and maintain at all times adequate facilities for the drainage of storm or surface water from the Property so as not to adversely affect or damage any other property or public streets and the use thereof.

(c) Facilities for the collection of refuse shall be provided in accordance with the requirements of the Director of Public Works. Such facilities shall be located or screened so as not to be visible from adjacent properties and public streets.

(d) Any encroachments existing, proposed on the Plans or contemplated in the future shall require separate authorization and shall be subject to the applicable provisions of the Code of the City of Richmond (2004), as amended, and all future amendments to such laws.

(e) In all other respects, the use of the Property shall be in accordance with the applicable underlying zoning regulations.

§ 5. **General Terms and Conditions.** This special use permit is conditioned on the following general terms and conditions:

(a) No permit implementing this special use permit shall be approved until satisfactory evidence has been presented to the Zoning Administrator that any delinquent real estate taxes applicable to the Property have been paid.

(b) The Owner shall be bound by, shall observe and shall comply with all other laws, ordinances, rules and regulations applicable to the Property, except as otherwise expressly provided in this ordinance.

(c) Words and phrases used in this ordinance shall be interpreted to have the meanings ascribed to them by section 114-1220 of the Code of the City of Richmond (2004), as amended, unless the context clearly indicates that a different meaning is intended.

(d) Notwithstanding any other provision of law, this special use permit is being approved due, in part, to the mitigating effects of each and every condition attached hereto; consequently, if any portion of this ordinance is determined to be invalid for any reason by a final, non-appealable order of any Virginia or federal court of competent jurisdiction, the invalidity shall cause the entire ordinance to be void and of no further effect from the effective date of such order.

(e) The privileges granted by this ordinance may be revoked pursuant to the provisions of sections 114-1050.7 through 114-1050.11 of the Code of the City of Richmond (2004), as amended, and all future amendments to such laws. Failure to comply with the terms and conditions of this ordinance shall constitute a violation of section 114-1080 of the Code of the City of Richmond (2004), as amended, and all future amendments to such law, or any other applicable laws or regulations.

(f) When the privileges granted by this ordinance terminate and the special use permit granted hereby becomes null and void, whether as a result of the Owner relinquishing this special use permit in a writing addressed to the Director of Planning and Development Review or otherwise, use of the Property shall be governed thereafter by the zoning regulations prescribed for the district in which the Property is then situated.

§ 6. **Implementation.** The Commissioner of Buildings is authorized to issue a building permit substantially in accordance with the Plans for the Special Use subject to the terms and conditions set forth in this ordinance. An application for the building permit shall be

made within 730 calendar days following the date on which this ordinance becomes effective. If either the application for the building permit is not made within the time period stated in the previous sentence or the building permit terminates under any provision of the Virginia Statewide Building Code, this ordinance and the special use permit granted hereby shall terminate and become null and void.

§ 7. **Effective Date.** This ordinance shall be in force and effect upon adoption.



RECEIVED City of Richmond

JUL 15 2015

Intracity Correspondence

900 East Broad Street  
2nd Floor of City Hall  
Richmond, VA 23219  
www.Richmondgov.com

OFFICE OF CITY ATTORNEY Ordinance: a2015 - 226

File Number: a2015 - 226

To authorize the special use of the property known as 311 Stockton Lane for the purpose of authorizing two (2) accessory dwelling units, upon certain terms and conditions.

4-3830

O & R REQUEST

JUL 10 2015

O & R Request

DATE: June 2, 2015

EDITION: 1

Chief Administration Office  
City of Richmond

TO: The Honorable Members of City Council

THROUGH: Dwight C. Jones, Mayor (Patron: Mayor, by Request)  
(This in no way reflects a recommendation on behalf of the Mayor)

THROUGH: Selena Cuffee-Glenn, Chief Administrative Officer

THROUGH: Peter L. Downey, Interim Deputy Chief Administrative Officer for Economic  
Development and Planning

FROM: Mark A. Olinger, Director, Department of Planning and Development Review

SUBJECT: Special Use Permit for 311 Stockton Lane to permit two (2) accessory dwelling  
units, upon certain terms and conditions.

ORD. OR RES. No.

**PURPOSE:** To authorize the special use of the property known as 311 Stockton Lane for the purpose of authorizing two (2) accessory dwelling units, upon certain terms and conditions.

**REASON:** The applicant is proposing to construct two (2) accessory dwelling units, which are not permitted in the R-1 Single-Family Residential District.

**RECOMMENDATION:** In accordance with the requirements of the City Charter and the Zoning Ordinance, the City Planning Commission will review this request and make a recommendation to City Council. This item will be scheduled for consideration by the Commission at its July 20, 2015 meeting. A letter outlining the Commission's recommendation will be forwarded to City Council following that meeting.

**BACKGROUND:** The applicant is requesting a special use permit to construct two (2) accessory dwelling units, referenced as a pool pavilion and garage pavilion on the attached plans. The two accessory structures and proposed new swimming pool are located in the front yard of the subject property. The pool pavilion is located adjacent to the site of a proposed swimming pool which will replace an existing swimming pool. This structure is proposed to be renovated with a full kitchen, a full bathroom, and a living area. The garage pavilion is proposed to be renovated with a full bath

and two office areas. No kitchen facilities are proposed for the garage pavilion. The existing swimming pool is to be demolished and replaced with a new swimming pool and surrounding deck area. It is a long standing interpretation of the Zoning Ordinance that the inclusion of a full bath in an accessory structure constitutes a dwelling unit.

The subject parcel is located in an R-1 Single-Family Residential District. Accessory dwelling units are not permitted uses in the R-1 district. Permitted accessory uses and structures in the R-1 district may be sited in a rear yard and/or side yard so long as they are not sited in advance of the main residential structure and meet the required yard setbacks for the zoning district. In the event that any detached accessory structure were to be constructed under the current Zoning Ordinance, it would have to be located in the rear yard of the property and, in the case of the R-1 district, would have to setback from the rear yard property line not less than ten feet (10') and from the side yard property line not less than ten feet (10').

Swimming pools, which are permitted accessory uses in the R-1 district, must be sited in the same manner. Neither of the two existing accessory structures nor the proposed swimming pool meet these requirements.

The property is located in the Far West Planning District as defined by the 2000-2020 city-wide Master Plan, which recommends "Single-Family (Low-Density)" uses for the property. The Richmond Master Plan designates this property as Single-Family (Low-Density). Primary use for the Single-Family designation are, "single-family detached dwellings at densities up to seven units per acre" (p. 133).

**FISCAL IMPACT:** The Department Planning and Development Review does not anticipate any impact to the City's budget for this or future fiscal years.

**COST TO CITY:** Staff time for processing the request; preparation of draft ordinance; and publishing, mailing and posting of public notices.

**REVENUE TO CITY:** \$300 application fee

**DESIRED EFFECTIVE DATE:** Upon adoption.

**REQUESTED INTRODUCTION DATE:** June 22, 2015

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**CITY COUNCIL PUBLIC HEARING DATE:** July 27, 2015

**REQUESTED AGENDA:** Consent

**RECOMMENDED COUNCIL COMMITTEE:** None

**CONSIDERATION BY OTHER GOVERNMENTAL AGENCIES:** City Planning Commission, July 20, 2015

**AFFECTED AGENCIES:** Office of Chief Administrative Officer  
Law Department (for review of draft ordinance)  
City Assessor (for preparation of mailing labels for public notice)

**RELATIONSHIP TO EXISTING ORDINANCES:** None.

**ATTACHMENTS:** Application Form, Applicant's Letter, Draft Ordinance, Survey, Plans



**STAFF:** Willy Thompson, Senior Planner Land Use Administration (Room 511) 646-5734

*PDR O&R No. 15-09*



# Application for SPECIAL USE PERMIT

Department of Planning and Development Review  
Land Use Administration Division  
900 E. Broad Street, Room 511  
Richmond, Virginia 23219  
(804) 646-6304  
<http://www.richmondgov.com/>

Application is hereby submitted for: (check one)

- special use permit, new
- special use permit, plan amendment
- special use permit, text only amendment

### Project Name/Location

Project Name: Canterbury Pavilions Date: March 26, 2015

Property Address: 311 Stockton Lane Tax Map #: W0220346002

Fee: \$300.00 Total area of affected site in acres: 9.052  
(See page 3 for fee schedule, please make check payable to the "City of Richmond")

### Zoning

Current Zoning: R-1

Existing Use: Residential

Is this property subject to any previous land use cases?

- Yes No  
 If Yes,  please list the Ordinance Number:  
 \_\_\_\_\_

### Proposed Use

(Please include a detailed description of the proposed use in the required applicant's report)  
Residential with kitchen and bathrooms in accessory structure

Applicant/Contact Person: T. Preston Lloyd, Jr.

Company: Williams Mullen

Mailing Address: 200 South 10th Street, Suite 1600

City: Richmond State: VA Zip Code: 23219

Telephone: (804) 420.6615 Fax: (804) 420.6507

Email: plloyd@williamsmullen.com

Property Owner: Stockton, LLC

If Business Entity, name and title of authorized signer: Williams Mullen by Special POA

(The person or persons executing or attesting the execution of this Application on behalf of the Company certifies that he or she has or have been duly authorized and empowered to so execute or attest.)

Mailing Address: P. O. Box 13439

City: Richmond State: VA Zip Code: 23225

Telephone: ( ) Fax: ( )

Email: \_\_\_\_\_

Property Owner Signature: T. Preston Lloyd, Jr. as Attorney-In-Fact

The names, addresses, telephone numbers and signatures of all owners of the property are required. Please attach additional sheets as needed. If a legal representative signs for a property owner, please attach an executed power of attorney. Faxed or photocopied signatures will not be accepted.

NOTE: Please attach the required plans, checklist, and a check for the application fee (see Filing Procedures for special use permits)

# WILLIAMS MULLEN

Direct Dial: 804.420.6615  
plloyd@williamsmullen.com

March 26, 2015

City of Richmond Department of Community Development  
Land Use Administration Division, Room 511  
City Hall, 900 East Broad Street  
Richmond, Virginia 23219  
Attn: Ms. Lory Markham, Secretary, City Planning Commission

Re: Special Use Permit Application for 311 Stockton Lane, Richmond, VA  
City Tax Map No. W0220346002 (the "Property")

Ladies and Gentlemen:

This firm is counsel to Stockton, LLC (the "Applicant") in connection with a proposed special use permit for the captioned Property located at the southern terminus of Stockton Lane, adjacent to the Windsor Farms neighborhood in the City of Richmond, Virginia (the "Application"). The subject property is zoned R-1. This correspondence shall serve as the Applicant's Report for the Application.

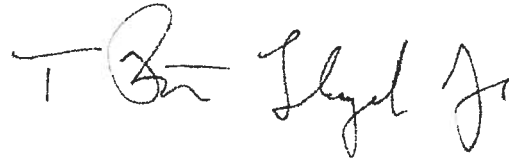
The Applicant proposes to permit the use and renovation of two "pavilions", i.e. accessory structures located on the Property, as follows. The "pool pavilion", which is located adjacent to a new swimming pool on the site of a previous pool, is proposed to be renovated for use with a full kitchen and full bathroom suite and living room area. The "garage pavilion", which is located above the garage, is proposed to be renovated for use with a full bath and office. The proposed addition and renovation of the respective pavilions are more particularly shown and depicted in the drawings entitled "Addition & Renovations to Canterbury Pavilions" dated 13 March 2015, and enclosed herewith.

The proposed use of the Property meets the criteria set forth in the Charter of the City of Richmond that the Application is not (i) detrimental to the safety, health, morals and general welfare of the community involved; (ii) tend to create congestion in streets, roads, alleys and other public ways and places in the area involved; (iii) create hazards from fire, panic or other dangers; (iv) tend to cause overcrowding of land and an undue concentration of population; (v) adversely affect or interfere with public or private schools, parks, playgrounds, water supplies, sewage disposal, transportation or other public requirements, conveniences and improvements; or (vi) interfere with adequate light and air. This requested amendment is to permit a use that is otherwise permitted by the underlying zoning and to clarify the necessary parking, which continues to have all the features that comply with the six above-referenced criteria.

City of Richmond Department of Community Development  
March 26, 2015  
Page 2

Thank you for your consideration of this matter. Please feel free to contact the undersigned at 804.420.6615 or plloyd@williamsmullen.com, at any time if you have any questions or require additional materials.

Sincerely,

A handwritten signature in black ink, appearing to read "T. Preston Lloyd, Jr.", written in a cursive style.

T. Preston Lloyd, Jr.

Enclosures

cc: Stockton, LLC  
Jennifer Wimmer, Glavé & Holmes Architecture

27896255\_1

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311 Shockston Lane  
Richmond, Virginia  
781 941 1111

**STRUCTURAL ENGINEER**  
Virginia Consulting Engineers  
1000 N. 17th St., Suite 100  
Richmond, VA 23220  
781 941 1111

**PROJECT NUMBER**  
211449

**DATE**  
13 March 2015

**PROJECT NAME**  
Addition & Renovations to  
CANTERBURY PAVILIONS

**TITLE SHEET & PROJECT INFORMATION**

**SHEET NUMBER**  
T1.1

**GENERAL REQUIREMENTS**

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODES AND ALL APPLICABLE LOCAL ORDINANCES.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES.
3. ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE APPROVED BY THE ARCHITECT AND THE STRUCTURAL ENGINEER PRIOR TO CONSTRUCTION.
4. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AND UTILITIES AT ALL TIMES.
5. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES AND STRUCTURES ON THE SITE.
7. ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODES AND ALL APPLICABLE LOCAL ORDINANCES.
8. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AND UTILITIES AT ALL TIMES.
9. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES AND STRUCTURES ON THE SITE.

**SCOPE OF WORK**

THE SCOPE OF THE PROJECT IS AS SHOWN ON THE ATTACHED DRAWINGS AND SPECIFICATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES.

1. DEMOLITION OF EXISTING PORTION OF GARAGE PAVILION AS SHOWN ON DRAWING 101.
2. CONSTRUCTION OF NEW PORTION OF GARAGE PAVILION AS SHOWN ON DRAWING 101.
3. RENOVATION OF EXISTING PORTION OF GARAGE PAVILION AS SHOWN ON DRAWING 101.
4. CONSTRUCTION OF NEW PORTION OF GARAGE PAVILION AS SHOWN ON DRAWING 101.
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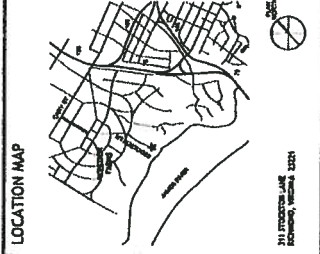
**CONSTRUCTION**

1. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES AND STRUCTURES ON THE SITE.
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**PROJECT NUMBER**  
211449

**DATE**  
13 March 2015

**PROJECT NAME**  
Addition & Renovations to  
CANTERBURY PAVILIONS



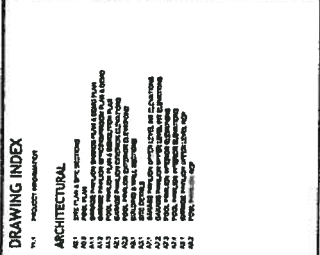
**PROJECT TITLE**  
Addition & Renovations to  
CANTERBURY PAVILIONS

**DATE**  
13 March 2015



**MISC. SYMBOLS**

- 1. CONCRETE
- 2. BRICK
- 3. STUCCO
- 4. METAL
- 5. GLASS
- 6. WOOD
- 7. INSULATION
- 8. ROOFING
- 9. FLOORING
- 10. PAINT



**PROJECT DATA**

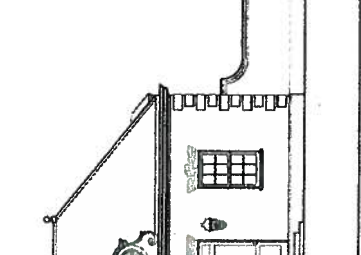
**OWNER/APPLICANT**  
[Name]

**BUILDING AREA - POOL PAVILION**  
[Area]

**BUILDING HEIGHT - POOL PAVILION**  
[Height]

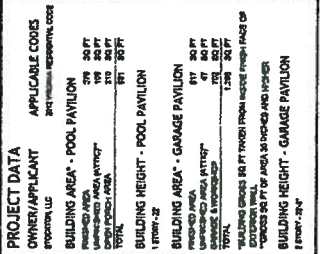
**BUILDING AREA - GARAGE PAVILION**  
[Area]

**BUILDING HEIGHT - GARAGE PAVILION**  
[Height]



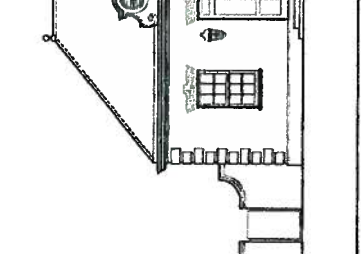
**ABBREVIATION LIST**

- 1. CONCRETE
- 2. BRICK
- 3. STUCCO
- 4. METAL
- 5. GLASS
- 6. WOOD
- 7. INSULATION
- 8. ROOFING
- 9. FLOORING
- 10. PAINT



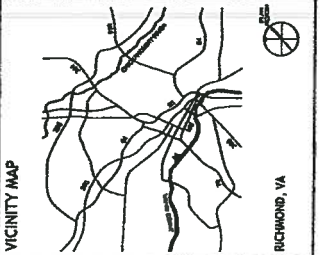
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Addition & Renovations to  
CANTERBURY PAVILIONS

**DATE**  
13 March 2015



**MATERIALS**

- 1. CONCRETE
- 2. BRICK
- 3. STUCCO
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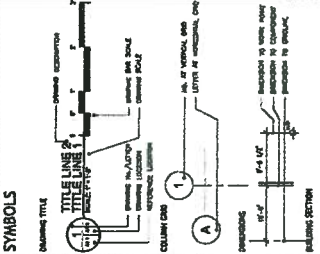
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Addition & Renovations to  
CANTERBURY PAVILIONS

**DATE**  
13 March 2015



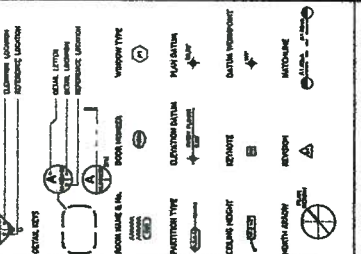
**MATERIALS**

- 1. CONCRETE
- 2. BRICK
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**PROJECT TITLE**  
Addition & Renovations to  
CANTERBURY PAVILIONS

**DATE**  
13 March 2015



**MATERIALS**

- 1. CONCRETE
- 2. BRICK
- 3. STUCCO
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- 10. PAINT





311 Socklen Lane  
 Richmond, Virginia  
 804-771-1100  
 Fax: 804-771-1101  
 www.glavéandholmes.com

**PROJECT TITLE**  
 Cantierary Pavilions  
 311 Socklen Lane  
 Richmond, Virginia

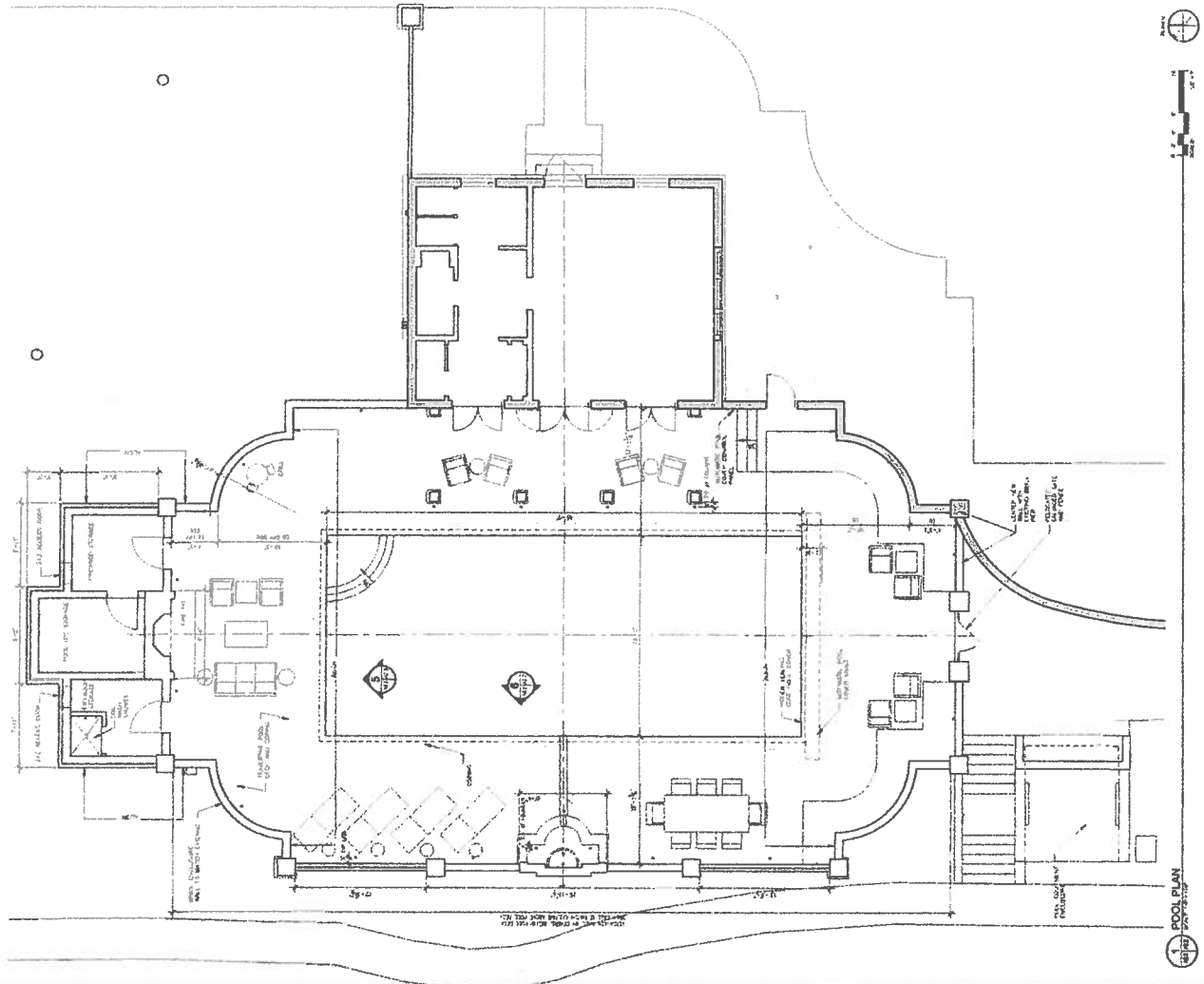
**CONSULTANT**  
 STRUCTURAL ENGINEER  
 American Structural Engineers  
 10000 W. 12th St.  
 Suite 100-100  
 Richmond, VA 23234

**DATE**  
 13 March 2015  
**PROJECT NUMBER**  
 21449  
**DATE**  
 13 March 2015  
**DESIGNED BY**  
 JRM  
**CHECKED BY**  
 JRM  
**DATE**  
 13 March 2015

**PROJECT TITLE**  
 POOL PLAN

**DATE**  
 13 March 2015

**PROJECT NUMBER**  
 A0.2



**ELECTRICAL SYMBOL LEGEND**

	120V Single Phase Branch Circuit Breaker
	208V Three Phase Branch Circuit Breaker
	208V Three Phase Branch Circuit Breaker with Ground
	208V Three Phase Branch Circuit Breaker with Ground and Neutral
	208V Three Phase Branch Circuit Breaker with Ground, Neutral, and Ground-Fault Protection

**LEGEND**

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**GLAVÉ & HOLMES ARCHITECTURE**

120 East New Street  
 Richmond, Virginia 23131  
 Phone: (804) 771-1122  
 Fax: (804) 771-1123  
 Website: www.glaveandholmes.com

**PROJECT TITLE**  
 Canterbury Pavilions  
 311 South Union Lane  
 Richmond, Virginia

**CONTRACTORS**  
 STRUCTURAL ENGINEER  
 PROJECT NUMBER  
 21449  
 DATE  
 13 March 2015  
 DRAWN BY  
 CHECKED BY  
 DATE DESCRIPTION

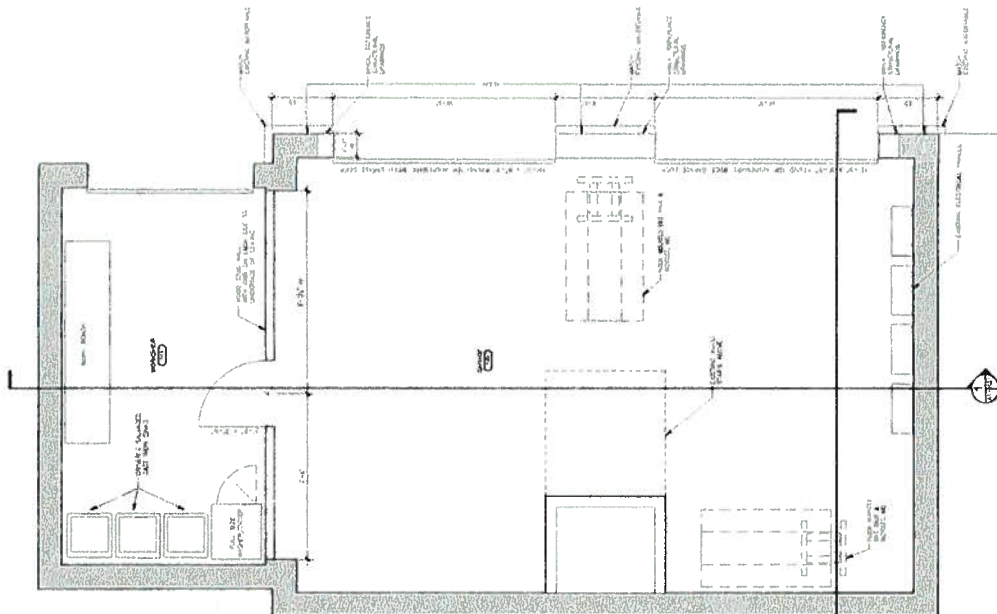
**PROJECT NUMBER**  
 21449  
**DATE**  
 13 March 2015  
**DRAWN BY**  
**CHECKED BY**  
**DATE DESCRIPTION**  
**PROJECT TITLE**  
 GARAGE PAVILION  
 GARAGE PLAN  
 & DEMO PLAN  
**SCALE**  
 A1.1

**LEGEND**

4'-0" = 1/4" (1/4" = 4'-0")  
 1/4" = 1/4" (1/4" = 1/4")  
 1/8" = 1/8" (1/8" = 1/8")  
 1/16" = 1/16" (1/16" = 1/16")

**PLAN NOTES**

1. ALL EXISTING WALLS TO BE DEMOLISHED TO EXPOSE INTERIOR WALLS.  
 2. ALL EXISTING CEILING TO BE DEMOLISHED TO EXPOSE STRUCTURAL CEILING.  
 3. ALL EXISTING FLOORING TO BE DEMOLISHED TO EXPOSE CONCRETE FLOOR.



**1 GARAGE PAVILION GARAGE PLAN**

**GENERAL NOTES**

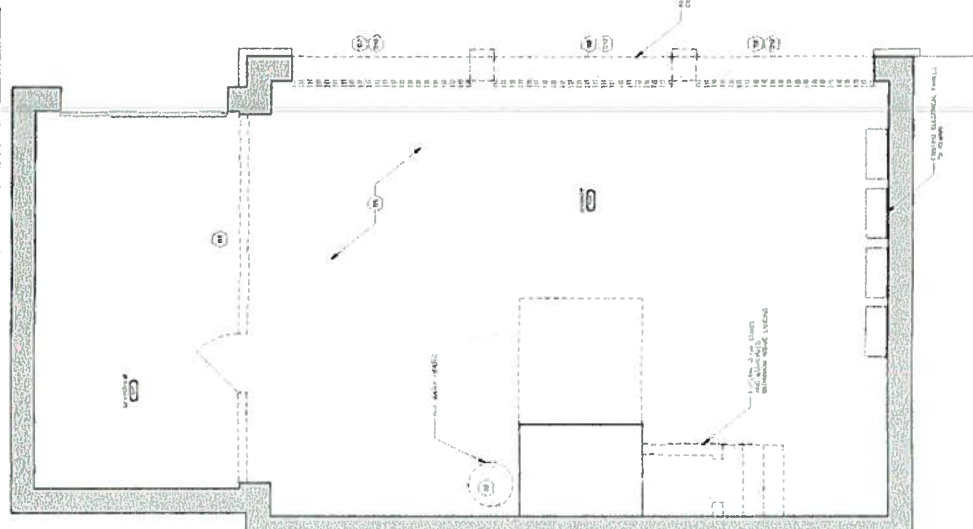
1. ALL EXISTING WALLS TO BE DEMOLISHED TO EXPOSE INTERIOR WALLS.  
 2. ALL EXISTING CEILING TO BE DEMOLISHED TO EXPOSE STRUCTURAL CEILING.  
 3. ALL EXISTING FLOORING TO BE DEMOLISHED TO EXPOSE CONCRETE FLOOR.

**DEMOLITION KEY NOTES**

1. ALL EXISTING WALLS TO BE DEMOLISHED TO EXPOSE INTERIOR WALLS.  
 2. ALL EXISTING CEILING TO BE DEMOLISHED TO EXPOSE STRUCTURAL CEILING.  
 3. ALL EXISTING FLOORING TO BE DEMOLISHED TO EXPOSE CONCRETE FLOOR.

**DEMOLITION GENERAL NOTES**

1. ALL EXISTING WALLS TO BE DEMOLISHED TO EXPOSE INTERIOR WALLS.  
 2. ALL EXISTING CEILING TO BE DEMOLISHED TO EXPOSE STRUCTURAL CEILING.  
 3. ALL EXISTING FLOORING TO BE DEMOLISHED TO EXPOSE CONCRETE FLOOR.



**2 GARAGE PAVILION GARAGE DEMOLITION PLAN**



**GLAVÉ & HOLMES ARCHITECTURE**

1000 N. 10th Street  
Richmond, VA 23219  
T 804-648-1125 F 804-648-1120  
www.glavesholmes.com

**PROJECT FILE**

**Client:**  
Caterbury Pavilions  
311 Stockton Lane  
Richmond, Virginia

**CONSULTANTS**

**STRUCTURAL ENGINEER:**  
Spartan Consulting Engineers  
1000 N. 10th Street  
Richmond, VA 23219  
T 804-648-1125

**SCALE**  
PROCESS PRINT  
NOT FOR CONSTRUCTION

**PROJECT NUMBER**  
21449

**DATE**  
13 March 2013

**DESIGNED BY:** J. B. [unreadable]  
**CHECKED BY:** J. B. [unreadable]  
**DATE:** 13 MARCH 2013

**SHEET TITLE**  
POOL PAVILION  
PLAN &  
DEMOLITION PLAN

**SHEET NUMBER**  
A1.3

**GENERAL NOTES**

1. ALL EXISTING AND NEW CONSTRUCTION SHALL BE SHOWN ON THIS PLAN.
2. ALL EXISTING AND NEW CONSTRUCTION SHALL BE SHOWN ON THIS PLAN.
3. ALL EXISTING AND NEW CONSTRUCTION SHALL BE SHOWN ON THIS PLAN.
4. ALL EXISTING AND NEW CONSTRUCTION SHALL BE SHOWN ON THIS PLAN.
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**PLAN NOTES**

1. ALL EXISTING AND NEW CONSTRUCTION SHALL BE SHOWN ON THIS PLAN.
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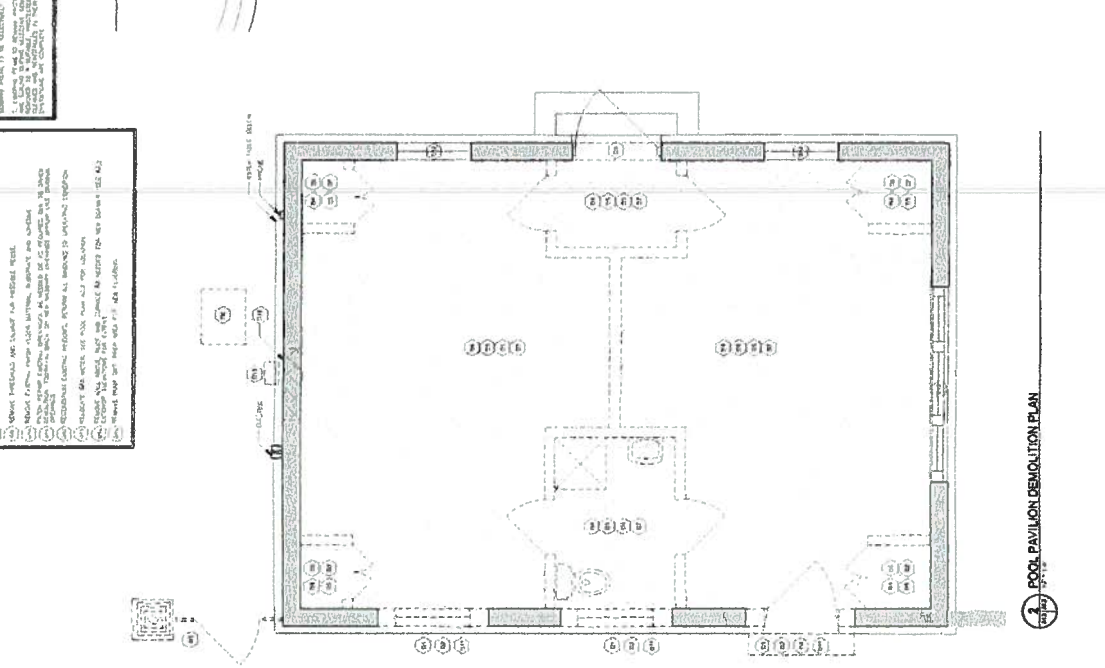
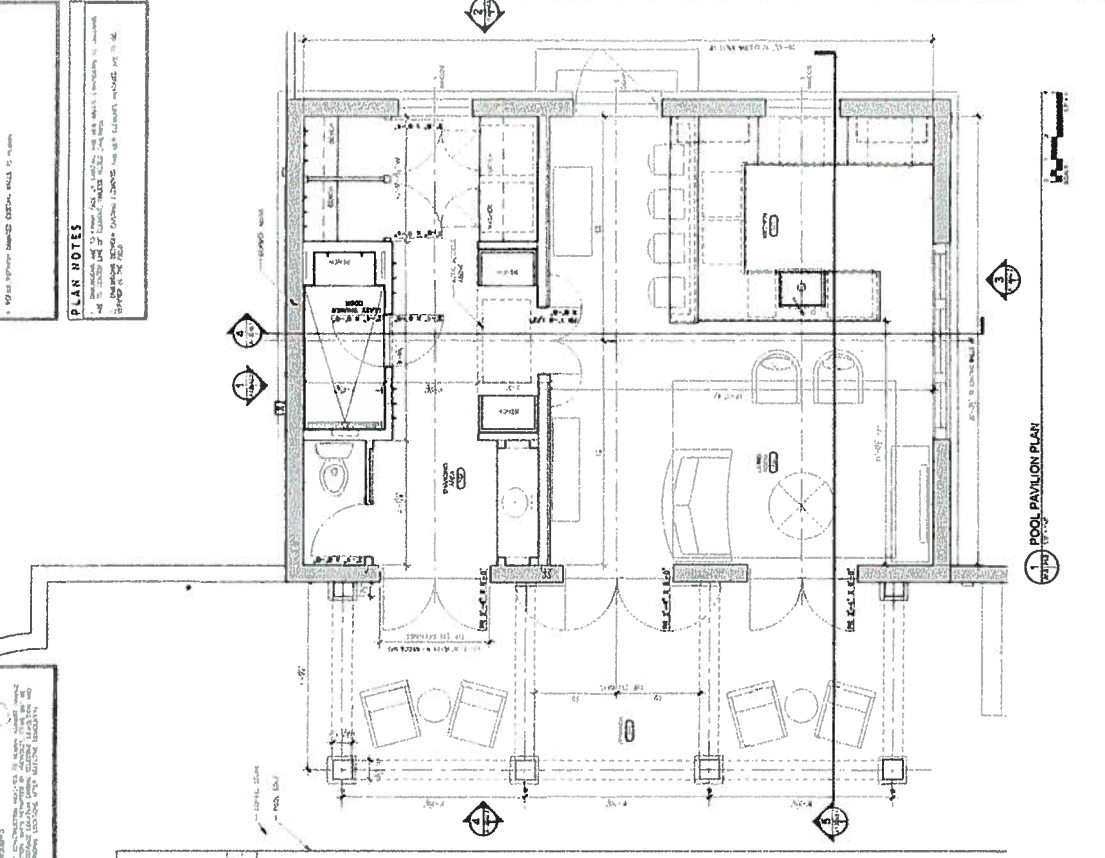


**DEMOLITION GENERAL NOTES**

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**DEMOLITION KEY NOTES**

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9. ALL EXISTING AND NEW CONSTRUCTION SHALL BE SHOWN ON THIS PLAN.
10. ALL EXISTING AND NEW CONSTRUCTION SHALL BE SHOWN ON THIS PLAN.





1000 North ...  
 703-441-1111  
 www.glavéandholmes.com

**Camptown Pavilions**  
 311 Stockton Lane  
 Richmond, Virginia

**CONSULTANTS**  
 STRUCTURAL ENGINEER  
 ...

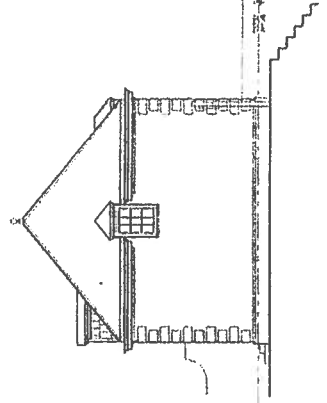
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 211419

**DATE**  
 13 March 2015

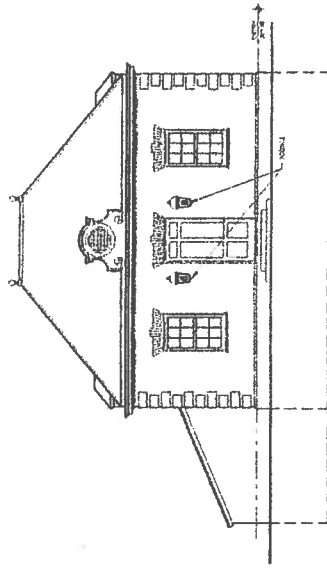
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**SHEET TITLE**  
 GARAGE PAVILION  
 EXTERIOR  
 ELEVATIONS

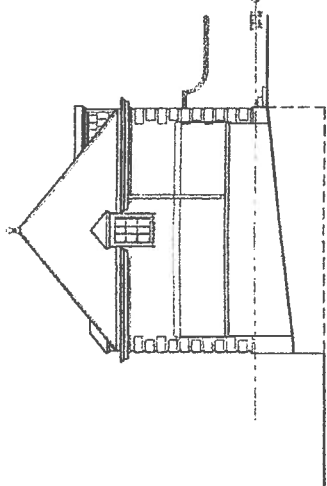
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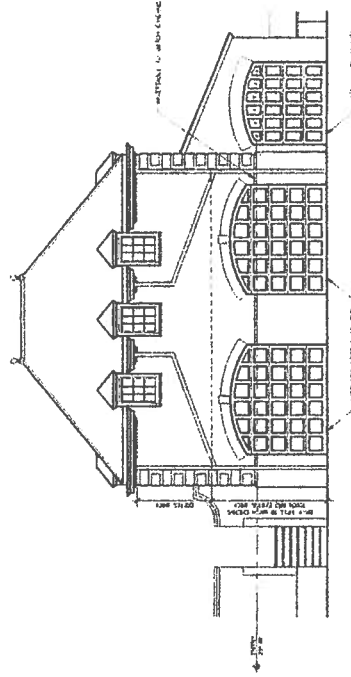
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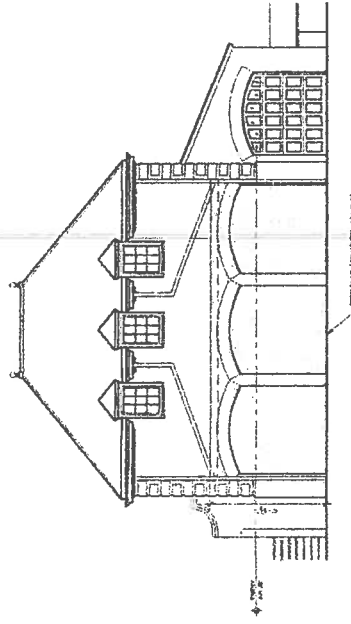
**2** GARAGE PAVILION WEST ELEVATION



**3** GARAGE PAVILION SOUTH ELEVATION



**4** GARAGE PAVILION EAST ELEVATION



**5** GARAGE PAVILION EAST ELEVATION DEMOLITION



**DEMOLITION LEGEND**

[Symbol]	REMOVE EXISTING
[Symbol]	REMOVE EXISTING
[Symbol]	REMOVE EXISTING



311 Stockton Lane  
Richmond, Virginia  
804.271.1234  
www.glavéandholmes.com

CONTRACTORS  
STRUCTURAL ENGINEER  
ARCHITECT

PROJECT NAME  
CONTRIBUTOR  
DATE

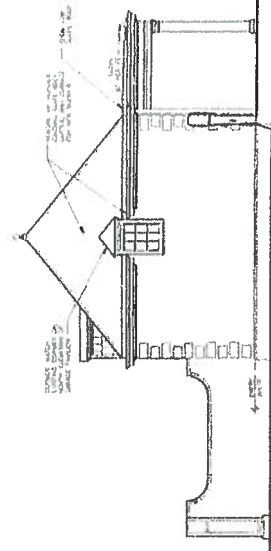
PROJECT NUMBER  
21840

DATE  
13 March 2015

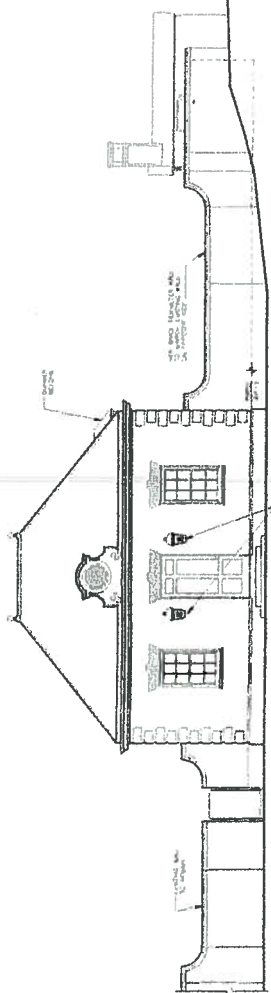
PROJECT TITLE  
POOL PAVILION EXTERIOR ELEVATIONS

SCALE  
AS SHOWN

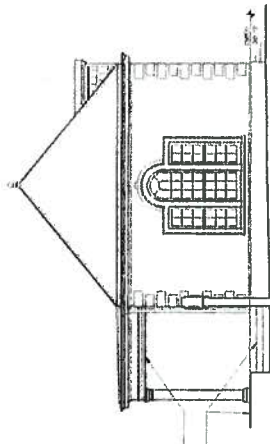
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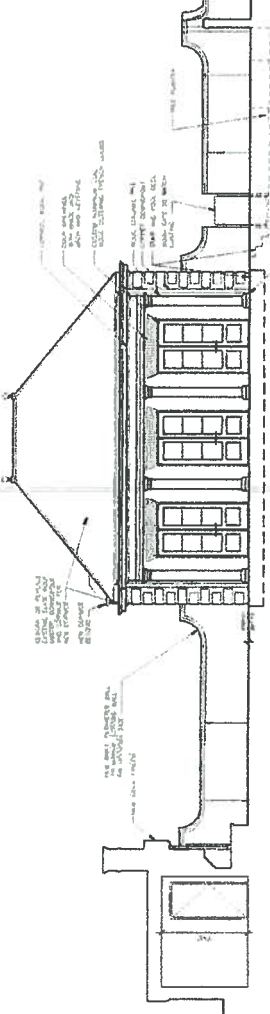
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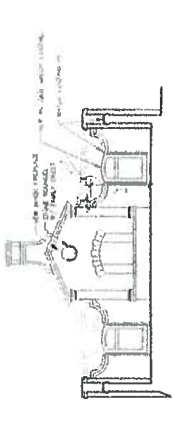
2 POOL PAVILION EAST ELEVATION



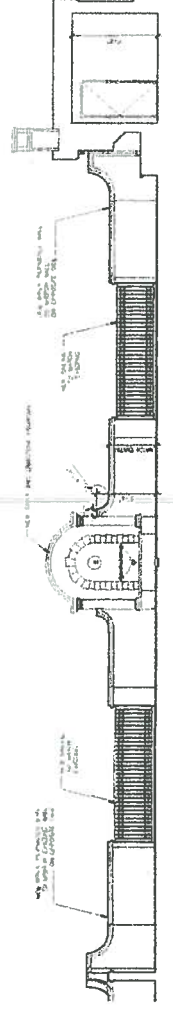
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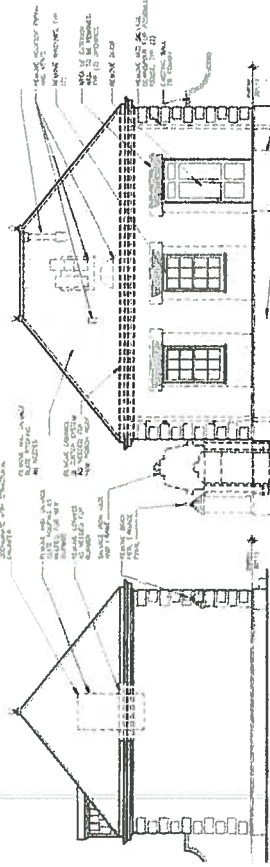
4 POOL PAVILION WEST ELEVATION



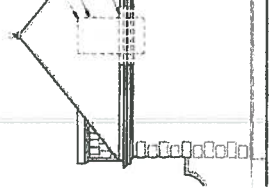
5 POOL PAVILION ENCLOSURE NORTH ELEVATION



6 POOL PAVILION ENCLOSURE EAST ELEVATION



7 POOL PAVILION WEST ELEVATION DEMOLITION



8 POOL PAVILION NORTH ELEVATION DEMOLITION

DEMOLITION LEGEND

[Symbol]	TO BE DEMOLISHED
[Symbol]	TO BE RECONSTRUCTED







270 Oak View Boulevard  
 1. 804.712.1232  
 2. 804.712.1233  
 3. www.glavé-holmes.com

PROJ. NO. 2102  
**Centerbury Pavilions**  
 311 Stockton Lane  
 Richmond, Virginia

CONSULTANTS  
 STRUCTURAL ENGINEER  
 1000 Westwood Center  
 Charlottesville, VA 22904  
 P. 804.976.1817

DATE  
**PROGRESS FRONT  
 NOT FOR  
 CONSTRUCTION**

PROJECT NUMBER  
**21449**

DATE  
**13 March 2013**

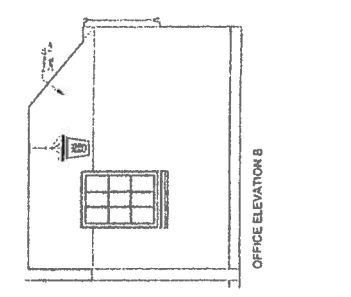
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**NO. 0413**

CHECKED BY  
**NO. 0413**

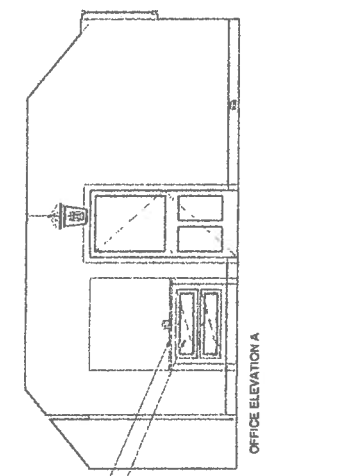
DATE  
**13 March 2013**

PROJECT NAME  
**GARAGE PAVILION  
 UPPER LEVEL  
 INT ELEVATIONS**

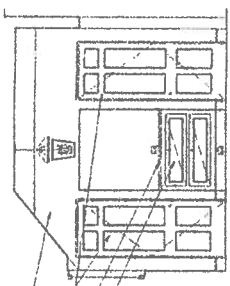
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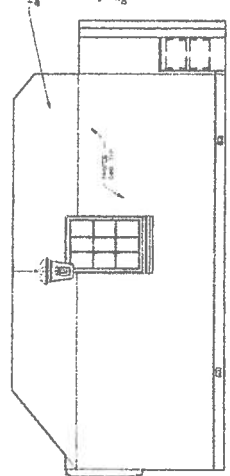
OFFICE ELEVATION B



OFFICE ELEVATION A

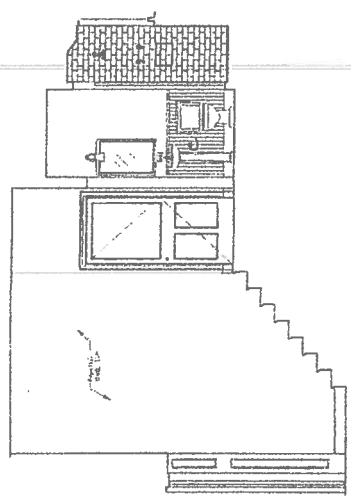


OFFICE ELEVATION D

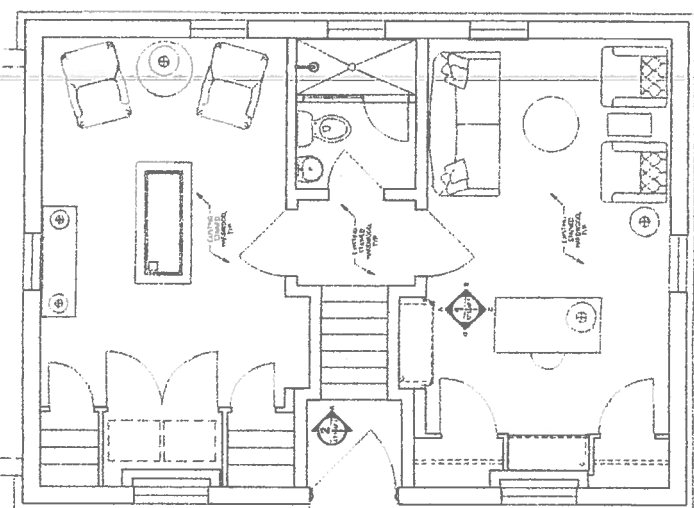


OFFICE ELEVATION C

OFFICE ELEVATION  
 (SEE 0413)



PARTIAL  
 STAIR  
 ELEVATION  
 (SEE 0413)



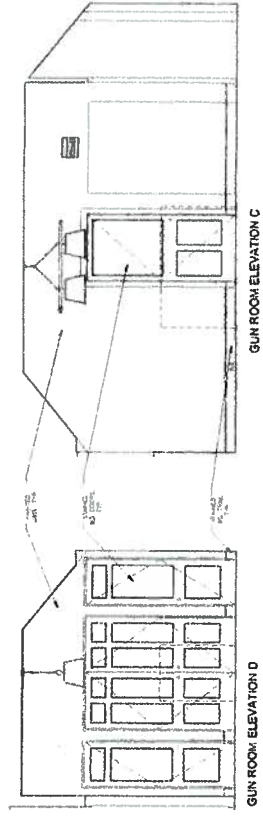
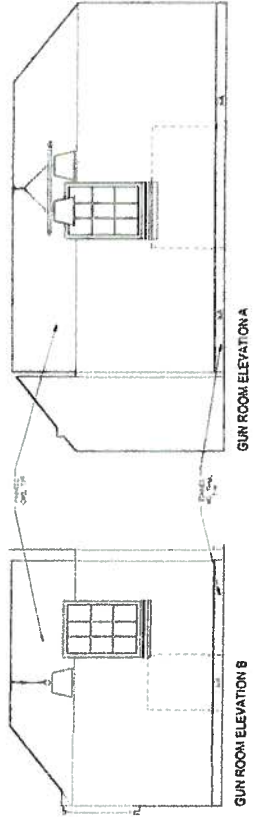




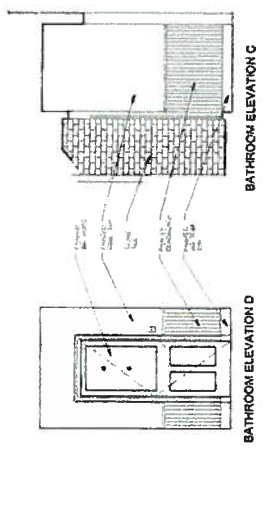
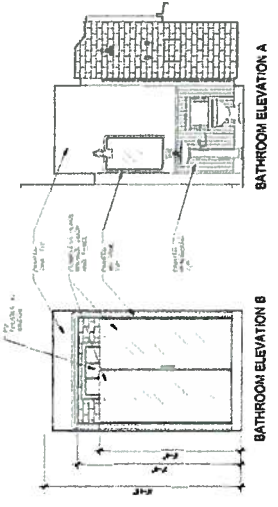
311 Stockton Lane  
 Richmond, Virginia 23223  
 Telephone: (804) 781-1111  
 Fax: (804) 781-1112  
 www.glavesholmes.com  
 PROJECT NAME  
 Canterbury Pavilions

CONSULTANTS  
 STRUCTURAL ENGINEER  
 Structural Consulting Engineers  
 11111 Westhampton Road, Suite 100  
 Alexandria, VA 22304  
 Telephone: (703) 461-1800

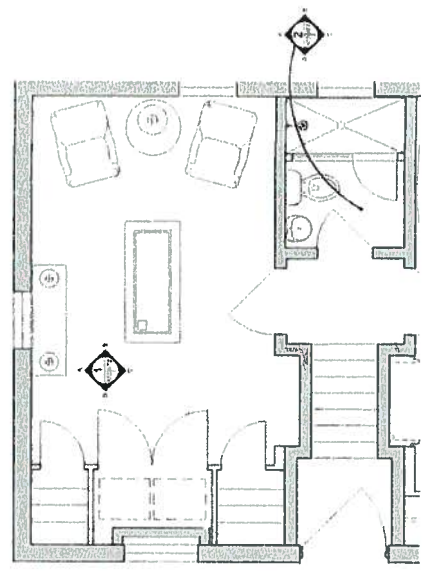
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 DATE  
 13 March 2015  
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 PROJECT TITLE  
 GARAGE PAVILION UPPER LEVEL INT ELEVATIONS  
 SHEET NUMBER  
**A7.2**



1 GUN ROOM ELEVATIONS



2 BATHROOM ELEVATIONS



3 GUN ROOM & BATHROOM REFLECTED CEILING PLANS

**GLAVÉ & HOLMES ARCHITECTURE**  
 311 Stockton Lane  
 Richmond, Virginia  
 804.771.1111  
 www.glaveandholmes.com

**CONSULTANT**  
 STRUCTURAL ENGINEER  
 Applied Coastal Engineers  
 2400 West 17th Street, Suite 102  
 Norfolk, Virginia 23502  
 P. 757.646.1181 F.

**PROJECT NUMBER**  
 21449

**DATE**  
 13 March 2013

**DESIGNED BY**  
 OPERATED BY

**NO. DATE REVISION**

**SHEET TITLE**  
 POOL PAVILION  
 INTERIOR  
 ELEVATIONS

**SHEET NUMBER**  
**A7.3**

**PROJECT NUMBER**  
 21449

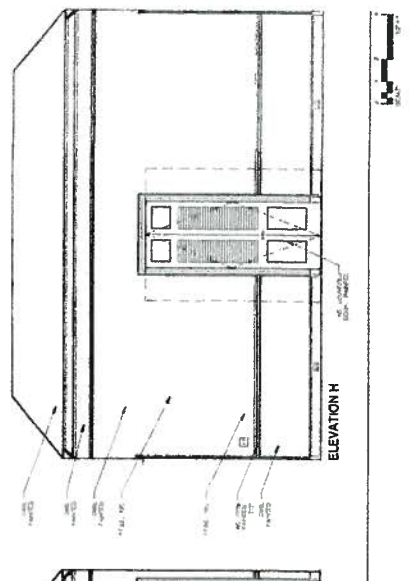
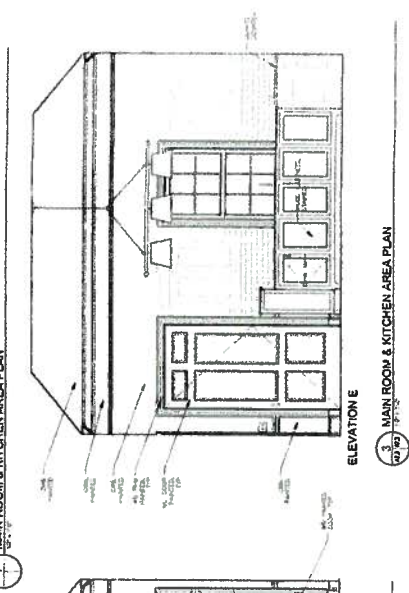
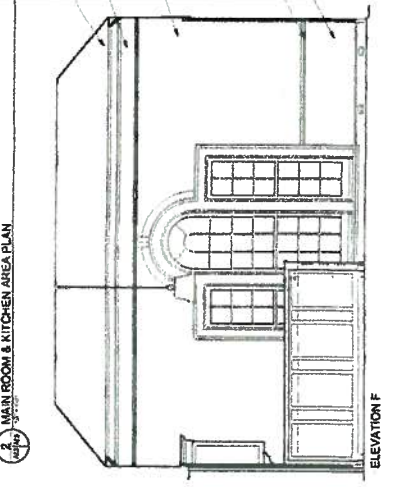
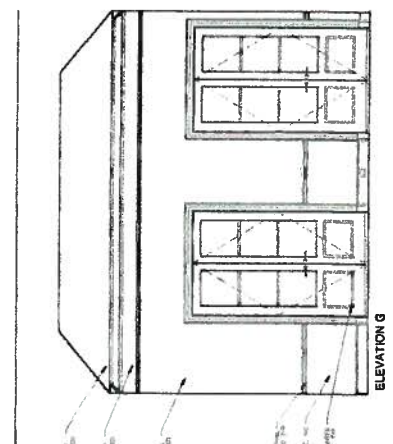
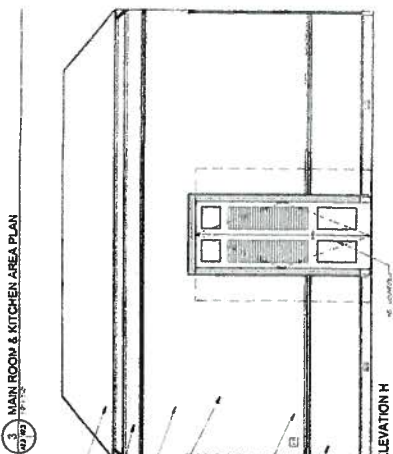
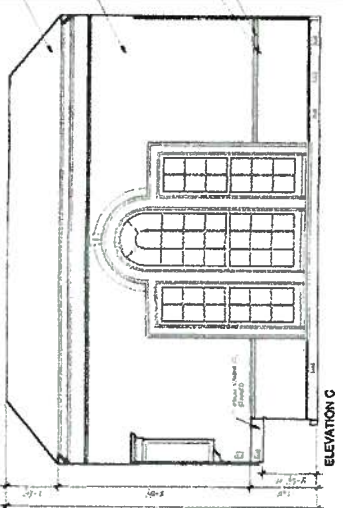
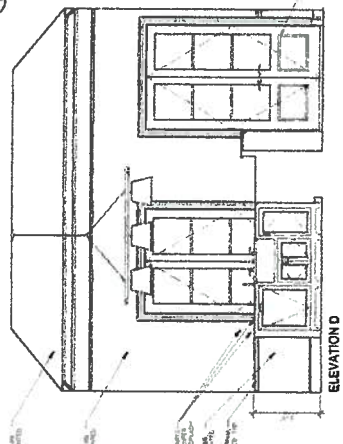
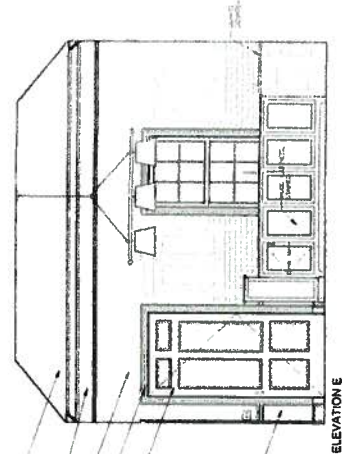
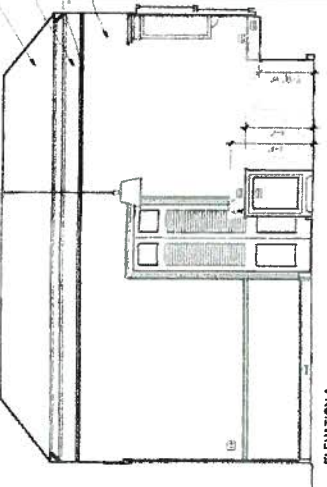
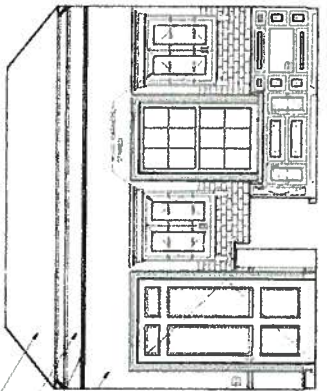
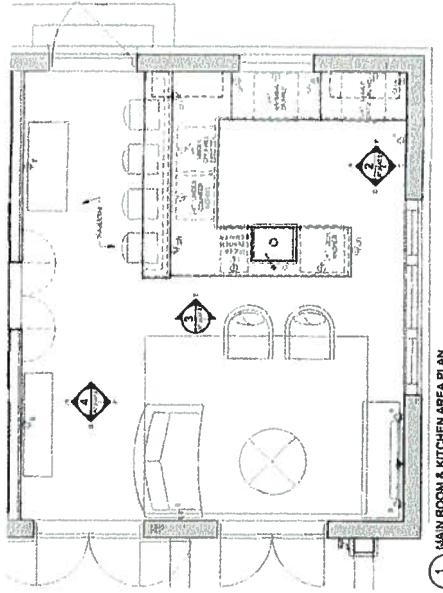
**DATE**  
 13 March 2013

**DESIGNED BY**  
 OPERATED BY

**NO. DATE REVISION**

**SHEET TITLE**  
 POOL PAVILION  
 INTERIOR  
 ELEVATIONS

**SHEET NUMBER**  
**A7.3**





311 Suckwood Lane  
Richmond, Virginia

CONTRACT  
SYNTHETIC MATERIAL ENGINEER  
Associated Contracting Engineers  
10000 W. Broad Street, Suite 100  
Richmond, VA 23234

PROJECT NUMBER  
211449

DATE  
15 March 2015

DRAWN BY  
G. COOPER

CHECKED BY  
G. COOPER

PROJECT NAME  
POOL PAVILION  
INTERIOR  
ELEVATIONS

PROJECT NUMBER  
211449

DATE  
15 March 2015

DRAWN BY  
G. COOPER

CHECKED BY  
G. COOPER

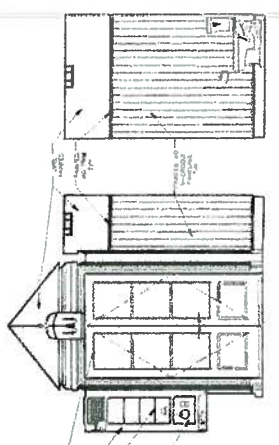
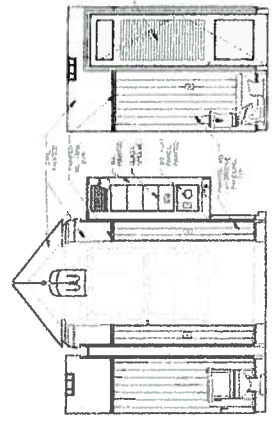
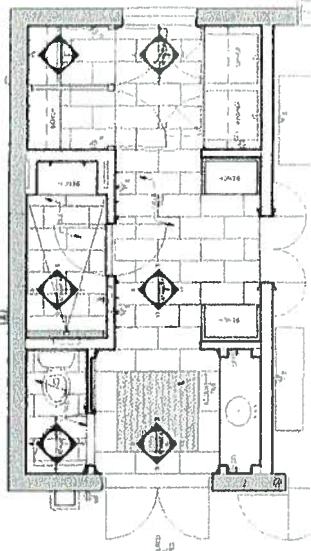
PROJECT NAME  
POOL PAVILION  
INTERIOR  
ELEVATIONS

PROJECT NUMBER  
211449

DATE  
15 March 2015

DRAWN BY  
G. COOPER

CHECKED BY  
G. COOPER

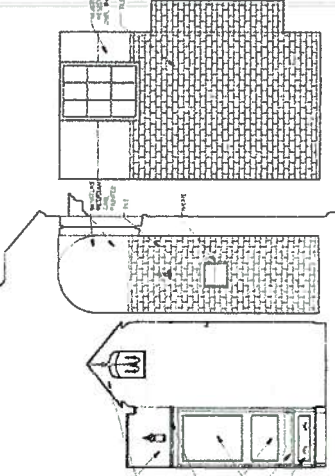
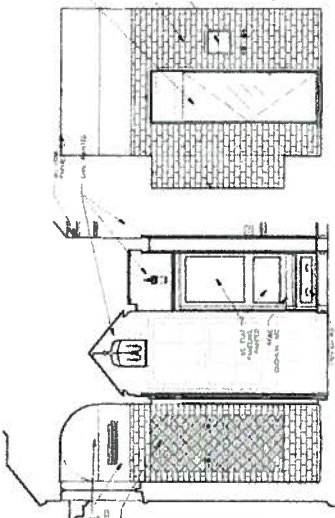


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3 CHANGING AREA

4 CHANGING AREA

5 CHANGING AREA

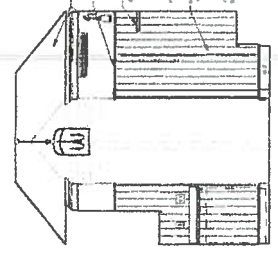
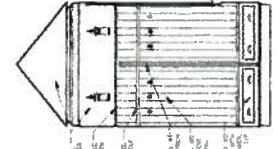
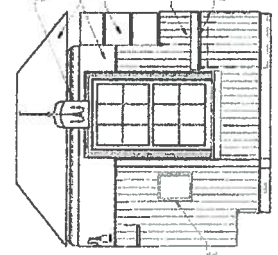
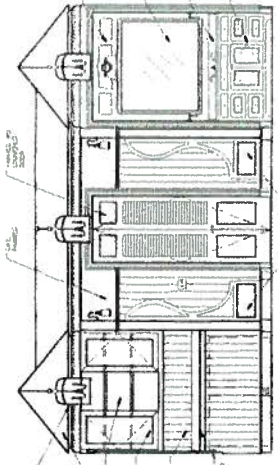
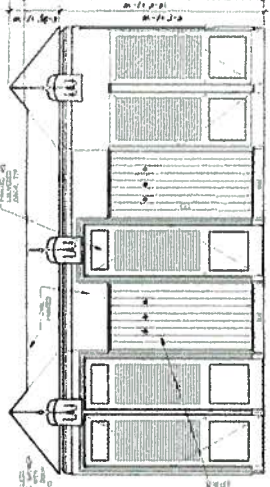


4 CHANGING AREA

5 CHANGING AREA

6 CHANGING AREA

7 CHANGING AREA



6 CHANGING AREA

7 CHANGING AREA

8 CHANGING AREA

9 CHANGING AREA

10 CHANGING AREA

11 CHANGING AREA

12 CHANGING AREA

13 CHANGING AREA

14 CHANGING AREA



A7.4



