



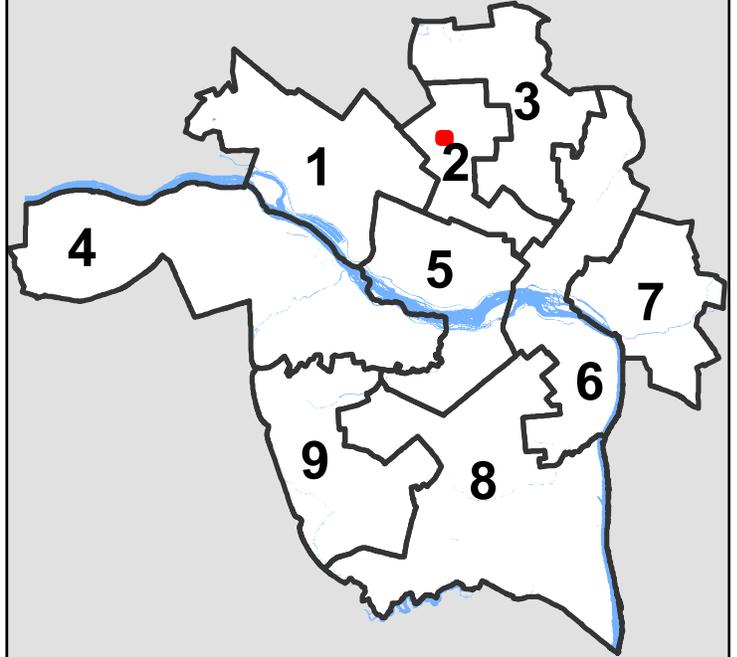
City of Richmond Department of Planning & Development Review

Encroachment

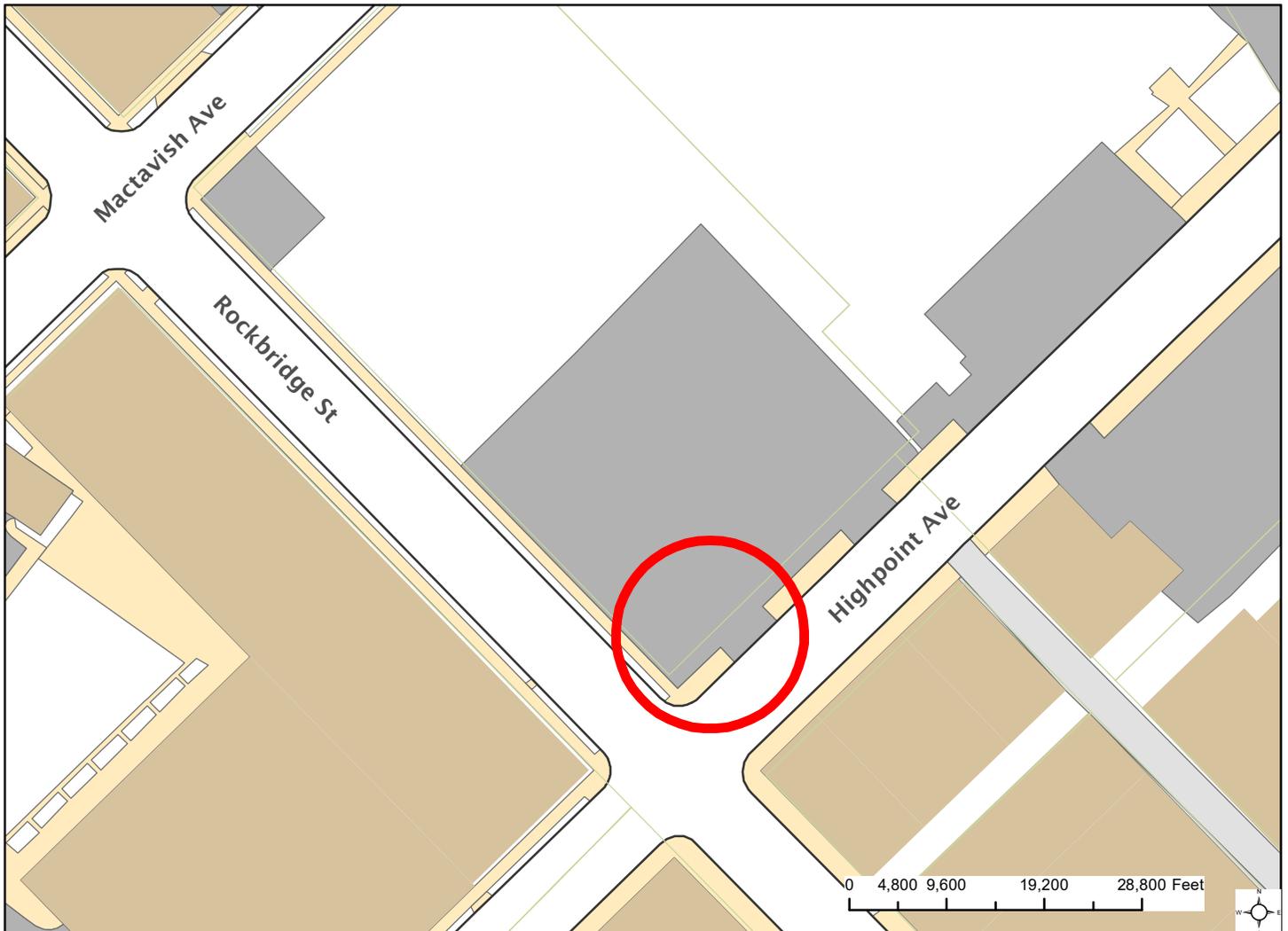
LOCATION: 3200 Rockbridge Street

COUNCIL DISTRICT: 2

PROPOSAL: Review of encroachments associated with Brenner Pass Restaurant, 3200 Rockbridge Street.



*For questions, please contact Josh Son
at 646-3741 or joshua.son@richmondgov.com*





Application for URBAN DESIGN COMMITTEE Review

Department of Planning and Development Review
Planning & Preservation Division
900 E. Broad Street, Room 510
Richmond, Virginia 23219
(804) 646-6335

<http://www.richmondgov.com/CommitteeUrbanDesign>

Application Type

- Addition/Alteration to Existing Structure
 New Construction
 Streetscape
 Site Amenity

- Encroachment
 Master Plan
 Sign
 Other

Review Type

- Conceptual
 Final

Project Name: _____

Project Address: _____

Brief Project Description (this is not a replacement for the required detailed narrative) : _____

Applicant Information

(on all applications other than encroachments, a City agency representative must be the applicant)

Name: _____ Email: _____

City Agency: _____ Phone: _____

Address: _____

Main Contact (if different from Applicant): _____

Company: _____ Phone: _____

Email: _____

Submittal Deadlines

All applications and support materials must be filed no later than 21 days prior to the scheduled meeting of the Urban Design Committee (UDC). Please see the schedule on page 3 as actual deadlines are adjusted due to City holidays. **Late or incomplete submissions will be deferred to the next meeting.**

Filing

Applications can be mailed or delivered to the attention of "Urban Design Committee" at the address listed at the top of this page. **It is important that the applicant discuss the proposal with appropriate City agencies, Zoning Administration staff, and area civic associations and residents prior to filing the application with the UDC.**

UDC Background

The UDC is a ten member committee created by City Council in 1968 whose purpose is to advise the City Planning Commission on the design of projects on City property or right-of-way. The UDC provides advice of an aesthetic nature in connection with the performance of the duties of the Commission under Sections 17.05, 17.06 and 17.07 of the City Charter. The UDC also advises the Department of Public Works in regards to private encroachments in the public right-of-way.



December 5, 2018

Mr. Josh Son
900 East Broad Street, Suite 511
Richmond, VA 23219
Joshua.Son@richmondgov.com

RE: Encroachment for outdoor dining at 3200 Rockbridge Street

Dear Mr. Son,

On behalf of Symbol Development Office LLC and Brenner Pass, I am writing to formally request an encroachment for outdoor dining for an existing restaurant at 3200 Rockbridge Street in Scott's Addition. The existing restaurant, Brenner Pass, would like the ability to encroach into the right-of-way to provide an area for outdoor dining at the corner of Rockbridge Street and Highpoint Avenue. The encroachment would only be 513 square feet into the sidewalk, leaving a minimum of 5'10" clear for pedestrians to traverse adjacent to the encroachment. The outdoor dining will add to the vitality of the popular mixed-use Scott's Addition neighborhood.

I have enclosed the proposed plans for the outdoor dining area, including the portion that is proposed to encroach along with the following items:

- a) This letter will serve as the Narrative.
- c) The survey plat is included in the plan set.
- d) A copy of the application to the Urban Design Committee

Thank you for your consideration of this request. Please feel free to contact me at lory@markhamplanning.com or (804) 248-2561 if you have any questions or require additional materials to process the request.

Very Truly Yours,

Lory Markham

Enclosures

cc: The Honorable Kim Gray
Matthew Ebinger, Secretary to the City Planning Commission
Marvin Anderson, Surveys Superintendent



OWNER REPRESENTATIVE

SYMBOL DEVELOPMENT OFFICE, LLC.
1310 ROSENATH ROAD
RICHMOND, VIRGINIA 23230

ARCHITECT

FULTZ & SINGH ARCHITECTS
3412 W LEIGH ST
SUITE 200
RICHMOND, VIRGINIA 23230
(C) 804.873.9800

GENERAL CONTRACTOR

TBD

STRUCTURAL

TBD

SHEET	DRAWING TITLE	PERMIT SET - DEC 05 2018
CS.00	COVER SHEET	•
CS.01	GENERAL NOTES	•
SITE		
AS.01	PROPERTY SURVEY	•
ARCHITECTURAL		
A1.01	FLOOR PLAN	•
A2.01	ELEVATIONS	•
A2.03	SECTIONS	•
A7.01	3D REPRESENTATION	•



fultzsingharchitects.com
3412 W LEIGH STREET
SUITE 200
RICHMOND VA 23230

BRENNER PASS PATIO PERMIT SET

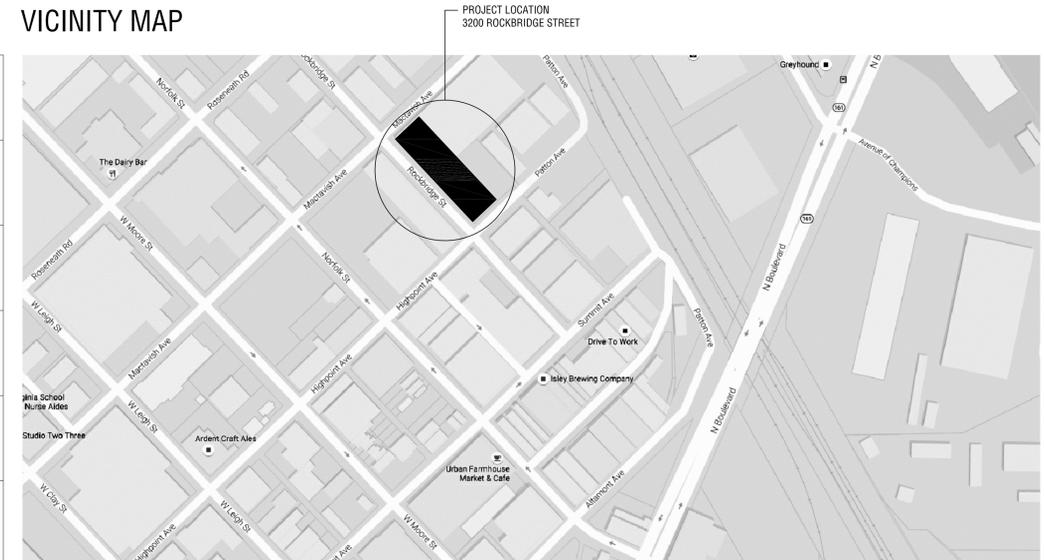
BRENNER PASS
PATIO

3200 ROCKBRIDGE STREET _RICHMOND VA 23230

SYMBOLS LEGEND

	SECTION SHEET NUMBER DETAIL NUMBER		WALL TYPE INDICATOR
	INTERIOR ELEVATION SHEET NUMBER DETAIL NUMBER		DOOR NUMBER
	ENLARGED PLAN/SECTION SHEET NUMBER DETAIL NUMBER		ROOM NUMBER
	DETAILED DRAWING SHEET NUMBER DETAIL NUMBER		DEMOLITION PLAN NOTE
	COLUMN REFERENCE GRID		FLOOR PLAN NOTE
	ELEVATION INDICATOR		REVISION

VICINITY MAP



REVISIONS /	APPS	COVER SHEET
DRAWN /	SCALE /	
CHECKED / JCH	NTS	
DATE /	23 NOV 2018	
JOB NUMBER /	21811	
SHEET /	CS.00	

GENERAL NOTES

- All work, materials, and equipment shall comply with 2012 Virginia Uniform Statewide Building Code and applicable local building codes. Where applicable, comply with all requirements of the 2010 ADA Standard for Accessible Design.
- The Contractor shall be responsible for obtaining & paying for all the required permits, inspections, etc.
- Contractor and all sub-Contractors shall take out & maintain workman's compensation insurance, and public liability & property damage insurance acceptable to the Owner & local governing authorities having jurisdiction.
- The Contractor shall be responsible for locating all existing underground utilities. Where encountered, make all necessary arrangements for support, shore-up, re-route or utility disconnections as required by applicable local or private utility companies.
- Contractor shall provide temporary facilities, service utilities, and protection as required to safely executing all work. Protect adjacent construction, and inhabitants. Comply with all applicable requirements of governing authorities including, but not limited to public utilities. Provide 48-hour notification of any discontinuity of utility services with Owner.
- Information shown on the drawings has been obtained through the review of information taken in the field. Contractor shall verify and coordinate all new and existing conditions and dimensions at job site for comparison with drawings and specifications prior to bidding, at start of, and during construction. If any discrepancies, inconsistencies or omissions are found, the Architect shall be notified, in writing for clarification prior to proceeding with work.
- Do not scale drawings. Contractor shall rely on written dimensions as given. The Contractor shall notify the Architect for clarifications. All dimensions shall be field verified by Contractor and coordinated with all of the work of all trades. If discrepancies are found, the Contractor shall notify the Architect in writing for clarification before proceeding.
- The Architect shall not be responsible where construction deviates from these drawings or from written recommendations. Changes to the plan by the Owner and/ or Contractor shall be the responsibility of the persons making such changes.
- The Architect shall not be responsible for construction means, methods, techniques, sequences, or procedures, for safety precautions & programs in connection with the work, for the acts or omissions of the Contractor, subContractor, for any other persons performing any of the work, or for the failure of any of them to carry out the work in accordance with the contract documents.
- All interior dimensions are to face of finished wall, unless noted otherwise. Interior partitions are dimensioned to nominal thickness on floor plans.
- Abbreviations throughout the plans are those in common use. Notify the Architect of any abbreviations in question. The abbreviation "AFF" stands for "above finished floor". This indicates the dimension above the final floor finish [i.e. carpet, ceramic tile, VCT, etc.] The Contractor shall review and coordinate any required final floor finish with any heights required before the installation of the floor finish.
- Provide tempered glazing where glazing in fixed or operable panels adjacent to a door where the nearest exposed edge of the glazing is within 24 inches of either vertical edge of the door in a closed position and where the bottom exposed edge of the glazing is less than 18 inches above the walking surface.
- Install all products in accordance with the manufacturer's instruction, recommendations & the standard of recognized agencies & associations. Provide all anchors, fasteners, & accessories required for a complete installation. Allow for thermal expansion/contraction & building movement. Install products under appropriate environmental conditions [air temperature, surface temperature, relative humidity, etc.] To ensure quality and durability, maintain proper protection during drying/curing.
- The Contractor shall, without delay & prior to fabrication or installation, bring to the attention of the Architect and Tenant representative (if applicable) any discrepancies between the manufacturer's specifications or recommendations, applicable code provisions, and the contract documents.
- Separate incompatible materials with suitable materials or spacing. Protect aluminum surfaces from contact with masonry or other metals and prevent corrosion. Provide control joints at materials & isolation joints between materials/ structure as indicated & as required by manufacturer or recognized industry standards.
- The Contractor shall select products which comply with the contract documents & which are compatible with one another, with existing work, & the products selected by other Contractors. Provide manufacturers information, samples, etc. when requested.
- Submission of a substitution request by the Contractor, where permitted on the contract documents, shall constitute a representation by the Contractor that he has investigated the proposed product or conditions & determined that it is equal to or better than the specified product or condition, including warranty coverage, & that he will coordinate the installation & make other changes, including modification and coordination of other work affected by the change, which may be required for their work to be complete in all aspects.
- Contractor shall check verify & maintain all dimensions, grades, levels & other conditions before proceeding with fabrication & construction. Coordinate exact locations of equipment, fixtures & outlets with finished elements. Where necessary or where specifically indicated, the Contractor shall provide shop drawings & detailed component design as required for the proper fabrication, installation, and coordination with other trades.
- Contractor shall provide Submittals [3 copies] for all fixtures, materials, and finishes, including but not limited to; Paint, Flooring, Wood Finishes, Door Hardware, Plumbing, and Lighting.
- Contractor shall provide building code compliant Engineered Shop Drawings [3 copies] for all structural work, including but not limited to; Expanded Masonry Openings, New Stairs and Guardrails, New Storefront and New Structural Framing.
- Contractor shall furnish shop drawings for all shop fabricated items & where customarily required & submit four sets of shop drawings for review. The Contractor shall be responsible for checking the shop drawings for accuracy, coordination with other trades, & compliance with the contract documents before being submitted for approval.
- Architect's or engineer's approval of shop drawings shall constitute review & approval of the general arrangement of components to comply with the general intent of the construction documents & in no way relieves the Contractor from his responsibility for compliance with the contract documents, even if such items are not shown on the shop drawings. All revisions to shop drawings after the first submission must be properly identified on subsequent submissions.
- Prior to performing any work, the Contractor shall examine the applicable conditions & substrates & correct any unsatisfactory conditions before proceeding with the work. Verify that substrates are compatible with new work. Work performed over any surface constitutes acceptance of that surface for the specified quality of the work being performed thereon. Include all cutting & patching for penetrations through floors, walls ceilings and roofs. Do not cut or notch any structural member to reduce its load carrying capacity.
- Notify the Architect in all cases where cutting into an existing structural portion of any building is either expedient or necessary. Prior to proceeding with work, reinforcement and/or support satisfactory to Architect and structural engineer shall be provided by Contractor prior to cutting into structural portions of any building.
- Should unforeseen conditions be encountered that affect design or function of the project, Contractor shall investigate fully and notify the Architect immediately.

- When it is necessary to interrupt any existing utility service to make corrections and/or connection, a minimum of 48 hours advance notice shall be given the Owner. Interruptions in utility services shall be of the shortest possible duration for the work at hand and shall be approved in advance by the Owner.

- Contractor shall fill all voids in masonry and concrete created around all penetrations with construction to match surrounding conditions. Contractor is responsible for painting all exposed steel, decking, piping, conduit, sprinkler piping and ducts which are exposed in areas with no ceilings and scheduled to receive paint finish as indicated on interior finish notes.

- Contractor shall follow OSHA Lead Paint Inspection and Compliance Procedures [OSHA 29CFR 1926.62] if lead paint is encountered on the job site.

- Any work installed in conflict with the contract documents shall be corrected by the Contractor at his expense and at no additional expense to the Owner, Architect, or Consultants.

- The Contractor shall furnish all materials, labor, equipment, transportation and services necessary for the satisfactory completion of work unless designated (N.I.C.). All equipment, work and materials shall comply with all current and local applicable codes and governing regulations, and the contract documents.

- The Contractor shall protect all finish work and surfaces from damage during the course of construction and shall replace and/or repair all damaged surfaces caused by Contractor or Sub-contractor personnel to the satisfaction of the Owner and Architect.

- All Contractors performing work on the premises shall be responsible for initiating, maintaining and supervising a reasonable and prudent safety program including but not limited to the isolation of work areas and the prompt removal of any debris or tools which might endanger visitors and staff of the Owner or Architect.

- Contractor shall coordinate the installation of the various trade items within the space above all ceilings [including, but not limited to: structural members, mechanical ducts and insulation, conduits, raceways, sprinkler system, light fixtures, ceiling systems, and any special structural supports required] and shall be responsible for maintaining the finish ceiling height above the finish floor indicated in the drawings and the finish schedule. [Ceiling height dimensions are to the finish surface of ceiling].

- Contractor shall provide and install all blocking, stiffeners, back-up plates and supporting brackets required for the installation of all ceilings, casework, toilet accessories and of all floor-mounted or suspended mechanical and electrical equipment.

- Access panels shall be provided and installed wherever required by building code or for the proper operation or maintenance of mechanical or electrical equipment, whether or not indicated on the drawings. Contractor shall coordinate size, location, and type of access panel with other Contractors' work and receive approval of the Architect. Access panel shall be as specified. No access panel shall be located, framed or installed without the expressed approval of the Architect.

- Required exits shall not be blocked at any time. All exit doors shall open from the inside without the use of a key or any special knowledge or effort and shall be accessible by the handicapped.

- All exit doors serving the building shall swing in the direction of exit travel, when required by code. Provide approved panic hardware assemblies on all exit doors, where required by code.

- Provide illuminated exit sign at all required exits signs at all required exits and where otherwise necessary in order to indicate the direction of egress. Signs are to be illuminated at any time the building is occupied. The exit sign system is to be installed in accordance with the requirements of the electrical code.

- Provide an approved emergency exit lighting which illuminates all exit pathways an which receives its power supply from storage batteries or an emergency power generator.

- All electrical work shall be carried out by a licensed electrician only. All work shall conform to the provisions of the National Electric Code of NFPA, latest edition.

- All plumbing work shall be carried out by a licensed plumber. All equipment and fixtures to conform to the National Standard Plumbing Code, latest edition.

- All Sub-contractors are responsible for maintaining the integrity of fire-rated assemblies that their scope of work penetrates.

- The Contractor shall verify all electrical and plumbing rough-in locations for any special equipment with the supplier of such equipment.

- See Mechanical, Electrical and Plumbing drawings for layouts of and specifications for equipment and design of these respective systems. Information included but not limited to lighting, wiring, switching, HVAC, and sprinkler systems.

- Contractor shall notify the Owner and Architect (if applicable) of any conflicts with lighting fixtures, fire sprinklers, and HVAC grills to be located on suspended ceiling grid system prior to installation.

- Coordinate openings through partitions above the ceilings for HVAC supply and return requirements with the HVAC contract and drawings.

- Contractor shall coordinate locations of light fixtures, sprinkler heads, registers, etc. with the electrical, HVAC, plumbing, and sprinkler sub-Contractors. Contractor shall also coordinate light fixtures, sprinkler heads, registers, etc. All sprinkler heads, diffusers and registers shall be centered with suspended acoustical panels, unless other wise noted on drawings.

- Where switches are shown adjacent to each other, they shall be ganged and covered with a single plate.

- The Contractor shall prepare & maintain a complete set of record construction drawings indicating all actual work, modification & revisions to the work delineated on the constructions drawings as well as any concealed construction work.

- Contractor shall procure final certificate of occupancy upon substantial completion of the project and forward to the Owner. Contractor shall remove and legally dispose of all materials from the job site, clean the premises, test applicable systems, and leave ready for occupancy.

- Unless otherwise indicated, Contractor is to provide written warranty for a period of one year from the date of substantial completion. The warranty shall state all work has been completed in conformance with the contract documents, applicable codes, and enforcing authorities and that all work is free from defects of material and workmanship. Provide contact information of product representatives to be contacted for service, provide operating maintenance brochures, and guarantees as required.

- Drawings and specifications as instruments of service remain the property of Architect and are protected under common law copyright provisions. They are not to be reused except by written agreement and with the agreed compensation to the Architect. If reused without permission, the Architect shall be indemnified and held harmless from all liability, legal exposure, claims, damages, losses & expenses. Drawings shall not be used for issuance of a building permit unless signed & sealed by the Architect.

MATERIAL SCHEDULE

	WOOD	
WD-1	SPECIES: GRAIN: FINISH: SIZE:	PRESSURE TREATED NO.1 PRIME SOUTHERN YELLOW PINE TRANSLUCENT STAIN [TBD] REF DRAWINGS
WD-2	SPECIES: GRAIN: FINISH: SIZE:	PRESSURE TREATED NO.2 SOUTHERN YELLOW PINE TRANSLUCENT STAIN [TBD] REF DRAWINGS HIDDEN OR STRUCTURAL FRAMING
	METAL	
M-1	TYPE: FINISH: SIZE: FASTENER:	COLD ROLLED FLAT BAR POWDER COATED RAL 9011'GRAPHITE BLACK' 1/4" THICK SST COUNTERSUNK FINISH TO MATCH RAL 9011
	STAIN	
STM-1	MANUFACTURER: COLOR / NUMBER: FINISH: LOCATION:	PPG PROLUXE TBD SEMI-TRANSPARENT MATTE ALL PRESSURE TREATED WD
1	TRIM BOARD TO BE AZEK COASTLINE FINISH WHERE VERTICAL SURFACE MEET HORIZONTAL AS NEEDED.	

ADD ALTERNATE

REPLACE ALL FINISHED PRESSURE TREATED WOOD ON PUBLIC SIDES AND WITH AZEK VINTAGE COASTLINE 1" X 5 1/2" DECKING BOARD. THIS INCLUDES BUT NOT LIMITED TO PLANTER SURFACE, BANQUETTE SURFACE, SLAT SURFACE ON THE PERGOLA ABOVE AND VERTICAL SURFACE.

FASTEN WITH CORTEX FASTENER OR AZEK APPROVED ALTERNATIVE.

BUILDING CODE DATA

RENOVATIONS TO 11 S 18TH TREET, RICHMOND VA 23223

ZONING
B-7 SCOTT'S ADDITION

APPLICABLE CODE
2012 Virginia Uniform Statewide Building Code
[Effective July 14, 2014]

PROJECT DESCRIPTION
Renovation to a exterior patio for Brenner Pass.

VUSBC USE GROUP CLASSIFICATION
EXISTING USE: A-2 Assembly = Level 1

PROPOSED: A-2 Assembly = Level 1

VUSBC CONSTRUCTION CLASSIFICATION
TYPE II B

FIRE SUPPRESSION
The building has a fully automated fire suppression system.

FIRE RESISTANCE RATING REQUIREMENTS FOR BUILDING ELEMENTS [PER TABLE 601]

Structural Frame	0
Exterior Bearing Walls	0
Interior Bearing Walls	0
Non-Bearing Exterior Walls	0
Non-Bearing Interior Walls	0
Floor Construction	0
Roof Construction	0

ALLOWABLE HEIGHT AND BUILDING AREAS

VUSBC SECTION 504:
Building Height for Type IIB Construction per Table 503= 4 Stories / 55 Feet

Actual Building Height= 3 Stories/ 44 Feet

VUSBC SECTION 506:

Allowable Area per Floor for Type IIB Construction per Table 503 & Allowable Area Increase for Automatic Sprinkler System (506.3)= 34,500 SF
Maximum Allowable Area per Floor= 34,500 SF

Actual Area per Floor= 5,254 SF

MAXIMUM FLOOR AREA ALLOWANCES PER OCCUPANT (PER TABLE 1004.1.1)

FUNCTION	FLOOR AREA	FLOOR AREA/OCC	OCCUPANTS
KITCHEN	1,354 SF	200 SF	6.77
DINING	2,540 SF	15 SF	169.33
PATIO	1,360 SF	15 SF	90.67

TOTAL OCCUPANCY 266.77

REQUIRED PLUMBING FIXTURES

VUSBC Section 2900:
Minimum Number of Required Plumbing Fixtures (per Table 2902.1)

Assembly Occupants	268 / 2 = 134 M / F	
Water Closets	M= 1.78	W= 1.78
Lavatories	M= .67	W= .67
Drinking Fountain	1	
Utility Sink	1	

Actual Number of Fixtures Provided

Water Closets	M=2	W=2 [EXISTING]
Lavatories	M=1	W=1 [EXISTING]
Drinking Fountain	0 [per IPC 410.4 Substitution]	
Utility Sink	1	

fultz & Singh

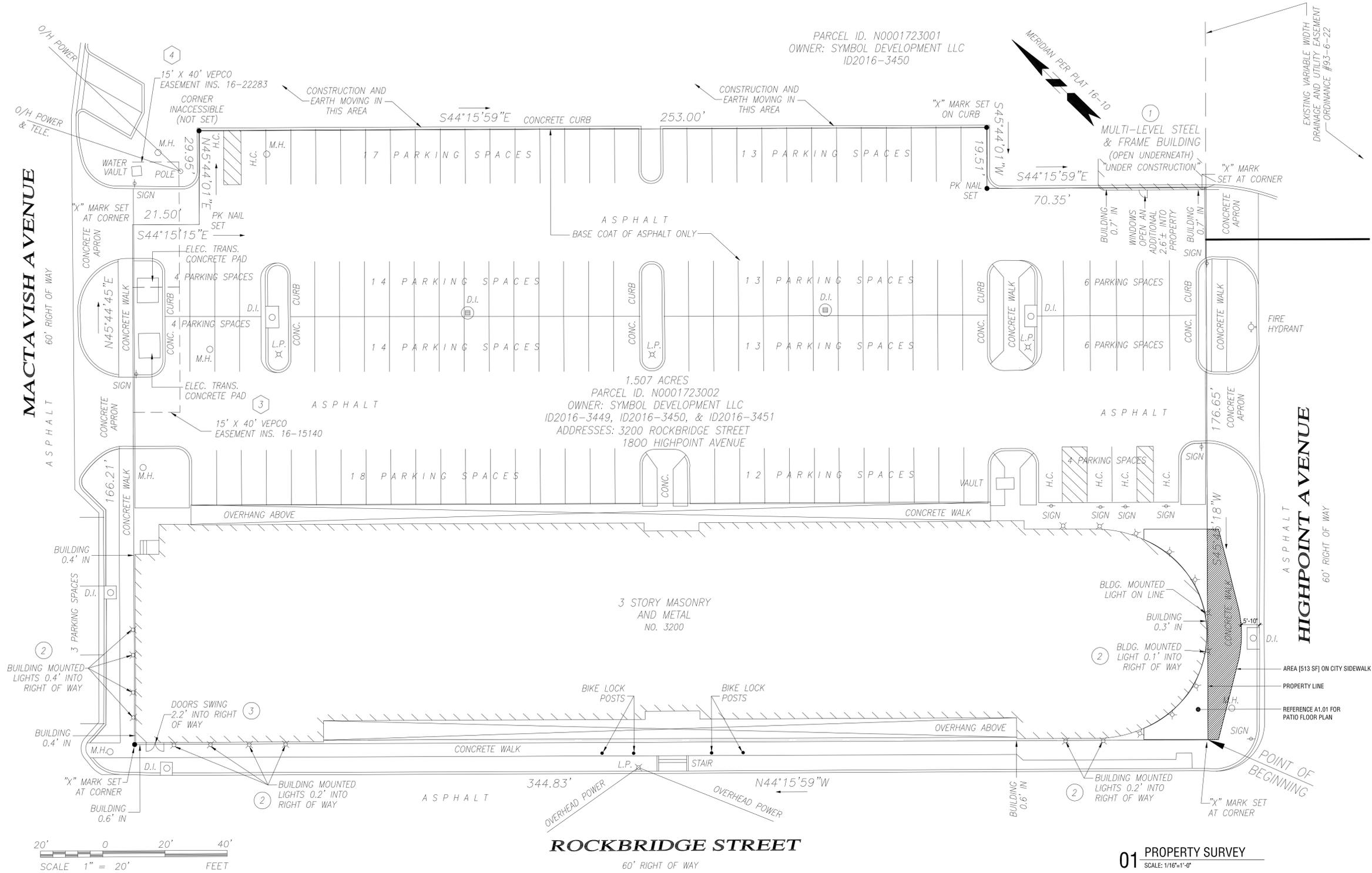
fultzsingharchitects.com
3412 W LEIGH STREET
SUITE 200
RICHMOND VA 23230

BRENNER PASS

PATIO

3200 ROCKBRIDGE STREET _RICHMOND VA 23230

JOB NUMBER / 21811	DATE / 05 DEC 2018	SCALE / NTS	REVISIONS /	APPS	GENERAL NOTES
				DRAWN / CHECKED /	
SHEET / CS.01				JCH	

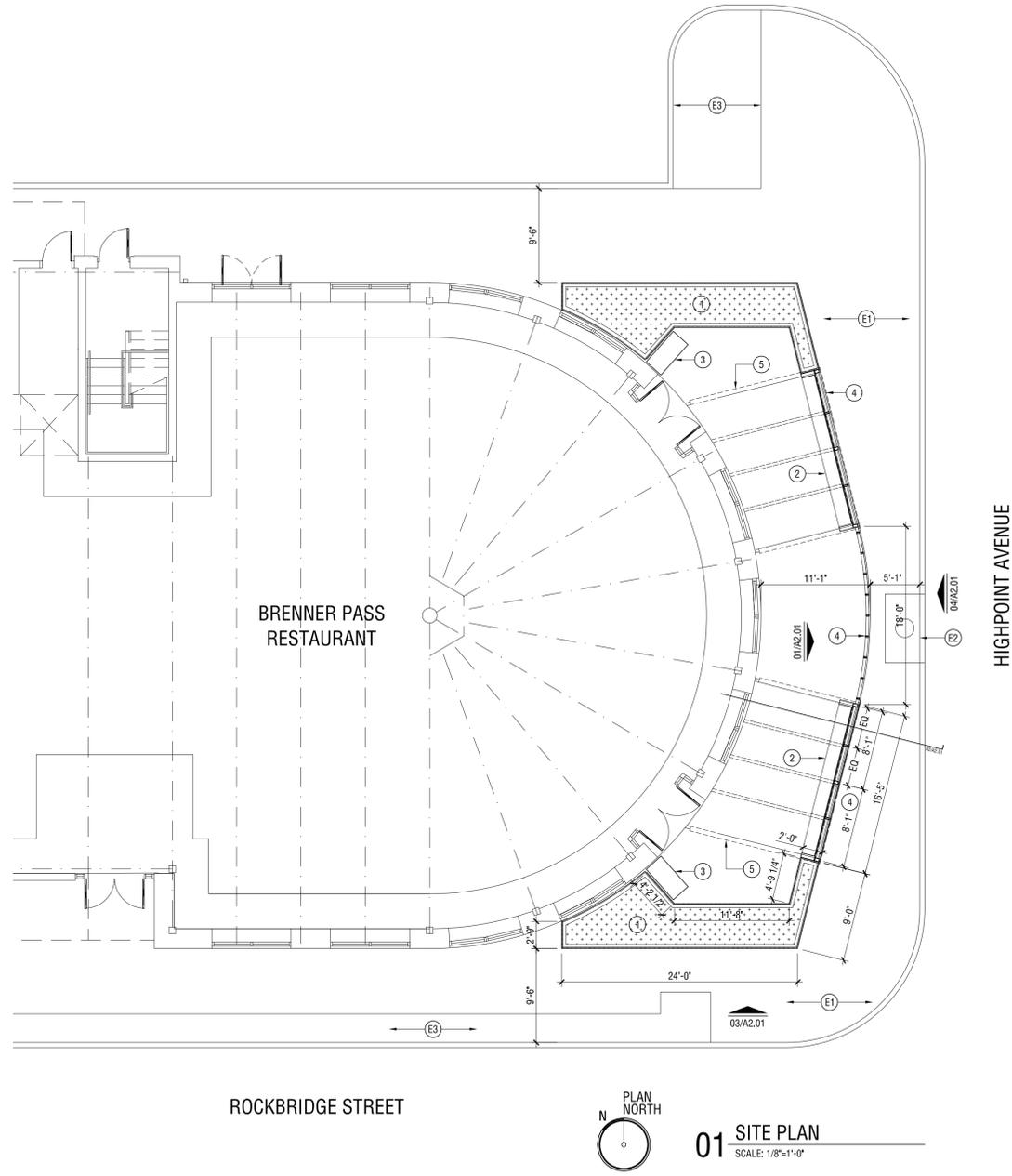


01 PROPERTY SURVEY
SCALE: 1/16"=1'-0"

**BRENNER PASS
PATIO**

3200 ROCKBRIDGE STREET _RICHMOND VA 23230

JOB NUMBER / 21811	DATE / 05 DEC 2018	SCALE / 1/16"=1'-0"	DRAWN / APS	REVISIONS /
			CHECKED / JCH	
PROPERTY SURVEY				
SHEET / AS.01				



01 SITE PLAN
SCALE: 1/8"=1'-0"

LEGEND

- EXISTING CONSTRUCTION TO REMAIN
- NEW WALL CONSTRUCTION
- SOUND BATT INSULATION
- PATCH EXISTING FLOOR OPENING (REF STRUCT)

PLAN NOTES

- 1 RAISED PLANTER BED
 - 2 BUILT-IN BANQUETTE SEATING
 - 3 MOVEABLE SERVER STATION
 - 4 SLAT DECORATIVE ENCLOSURE
 - 5 FRAMING ABOVE FOR SLAT PERGOLA
- E1 EXISTING CURB & SIDEWALK
E2 EXISTING DRAINAGE INTAKE WITH MANHOLE
E3 EXISTING PLANTING BED

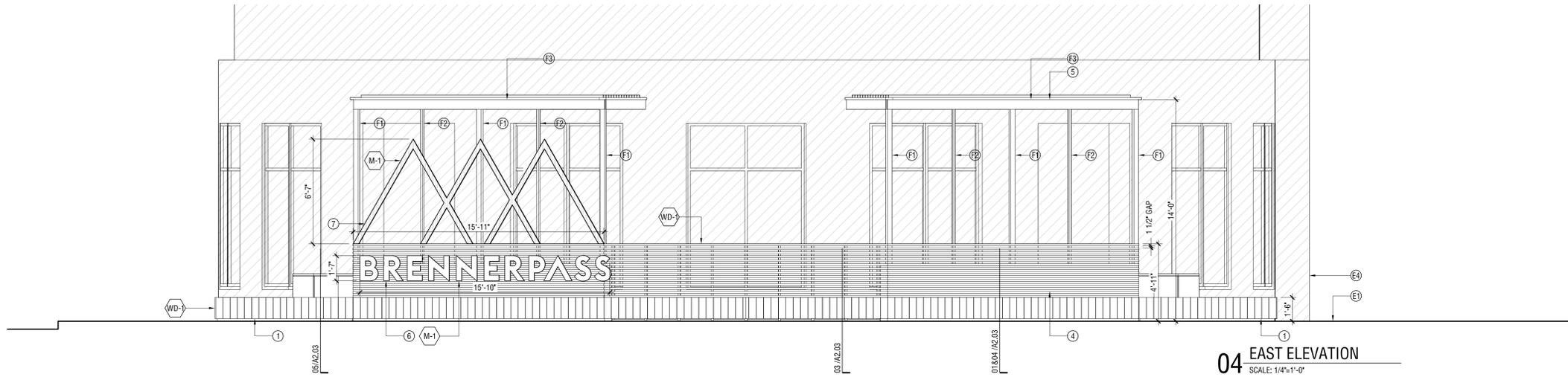
GENERAL NOTES

- 1 REFERENCE MATERIAL LEGEND ON SHEET CS.01 FOR ALL FINISHES.
- 2 ALL EXPOSED FRAMING SHALL BE PRESSURE TREATED NO. 1 PRIME GRADE FOR VISIBLE LOCATIONS AND PRESSURE TREATED NO.2 FOR ALL NON-VISIBLE LOCATIONS.
- 3 ALL FASTENERS WILL BE STAINLESS STEEL SCREWS. COORDINATE TYPE OF SCREW WITH ARCHITECT PRIOR TO INSTALL.

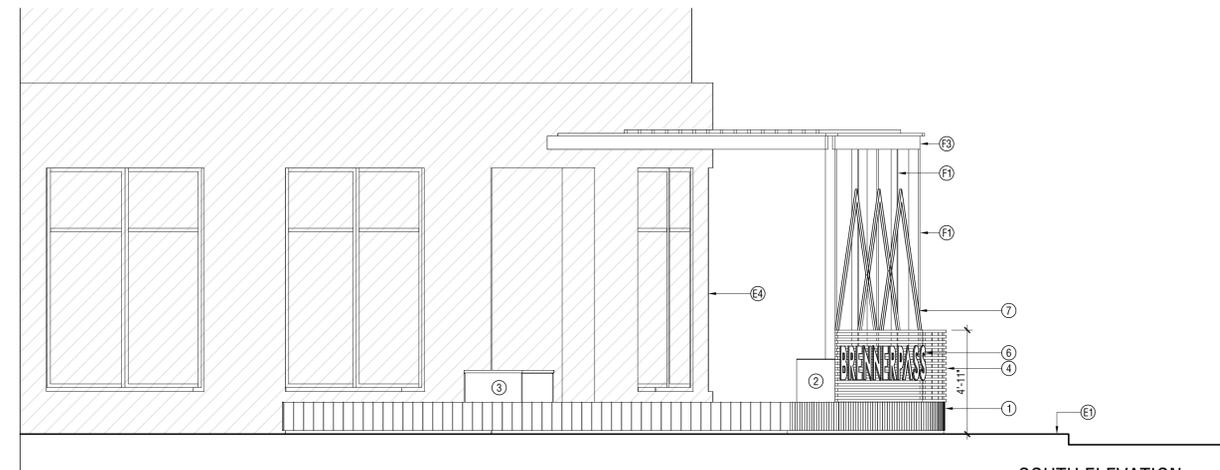
**BRENNER PASS
PATIO**

3200 ROCKBRIDGE STREET _RICHMOND VA 23230

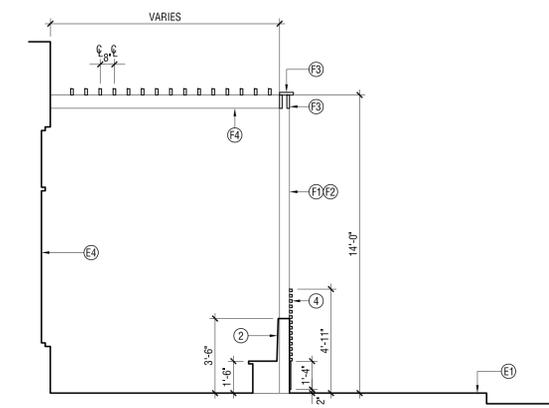
JOB NUMBER / 21811	DATE / 05 DEC 2018	SCALE / 1/8"=1'-0"	DRAWN /	APPS	REVISIONS /
			CHECKED /	JCH	
SHEET / A1.01			FLOOR PLAN		



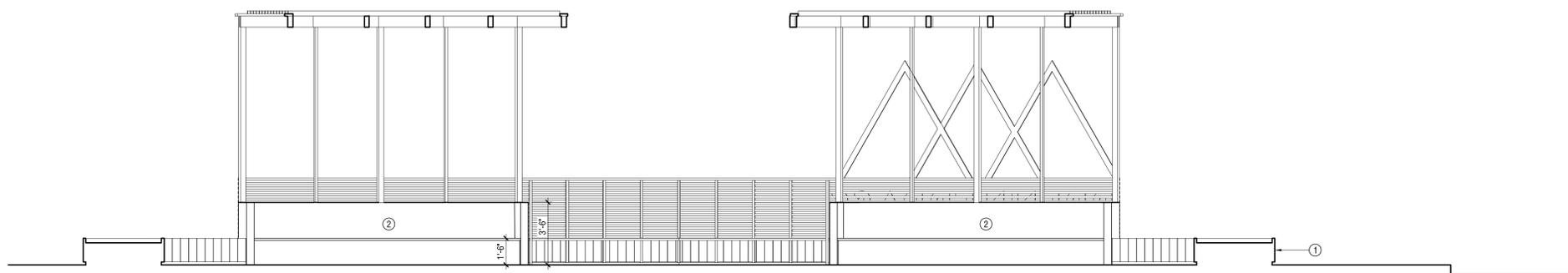
04 EAST ELEVATION
SCALE: 1/4"=1'-0"



03 SOUTH ELEVATION
SCALE: 1/4"=1'-0"



02 SECTION
SCALE: 1/4"=1'-0"



01 WEST ELEVATION
SCALE: 1/4"=1'-0"

INTERIOR ELEVATION LEGEND



WOOD

INTERIOR ELEVATION NOTES

- 1 RAISED PLANTER BED
- 2 BUILT-IN BANQUETTE SEATING
- 3 MOVEABLE SERVER STATION
- 4 SLAT DECORATIVE ENCLOSURE
- 5 FRAMING ABOVE FOR SLAT PERGOLA
- 6 BRENNER PASS 1/4" THK POWDER COATED COLD ROLLED STEEL SIGN FASTEN TO SLAT ENCLOSURE WITH EMBEDDED STAND OFFS
- 7 1/4" THK POWDER COATED COLD ROLLED STEEL LOGO FASTEN TO FRAMING WITH STAND OFFS EMBEDDED INTO WOOD FRAMING

FRAMING

- F1 4 X 6 PRESSURE TREATED POST [STN-1]
- F2 2 X 6 PRESSURE TREATED POST [STN-1]
- F3 2 X 8 PRESSURE TREATED FRAMING [STN-1]
- F4 4 X 8 PRESSURE TREATED FRAMING [STN-1]

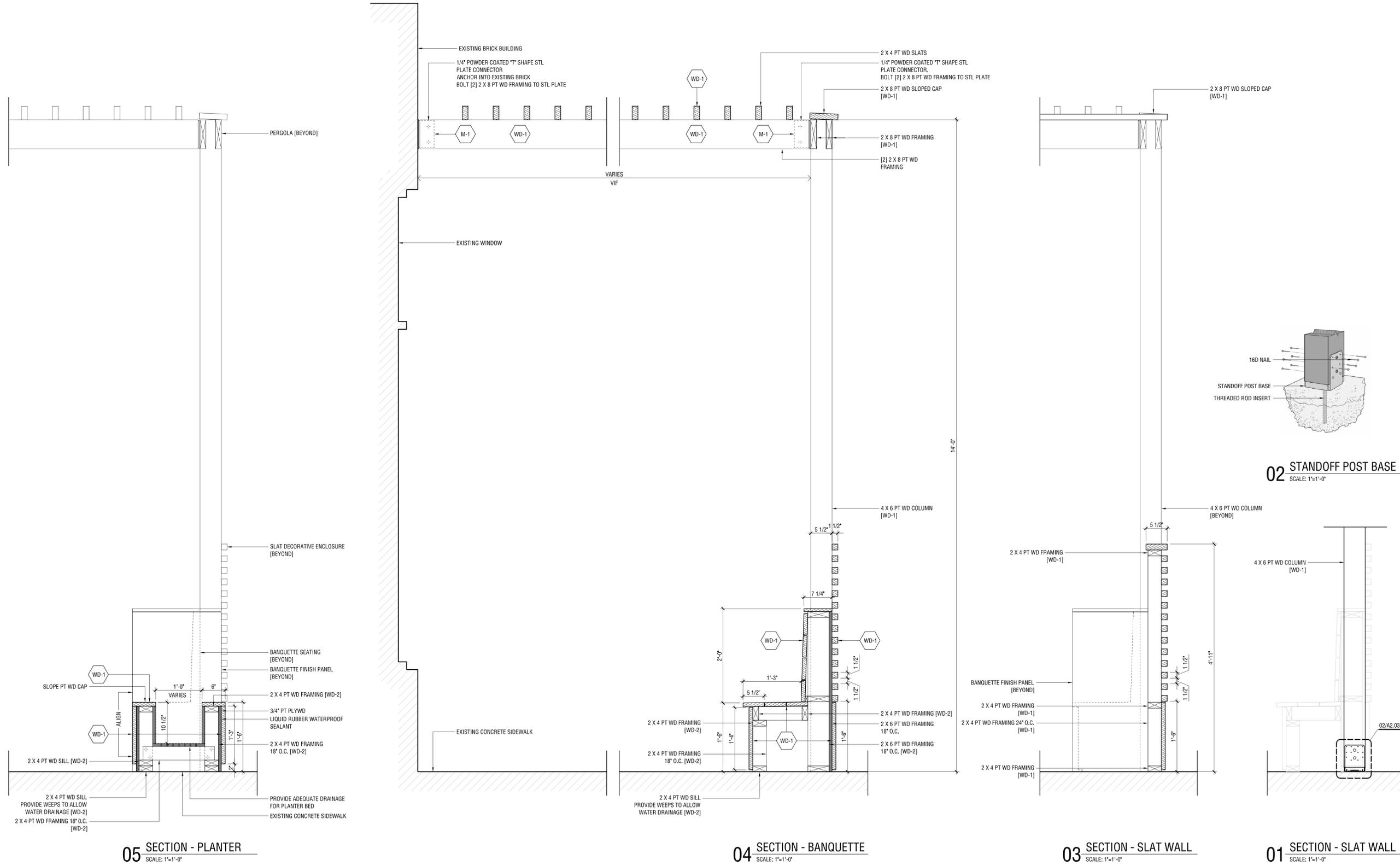
EXISTING

- E1 EXISTING CURB & SIDEWALK
- E2 EXISTING DRAINAGE INTAKE WITH MANHOLE
- E3 EXISTING PLANTING BED
- E4 EXISTING BUILDING

GENERAL NOTES

- 1 REFERENCE MATERIAL LEGEND ON SHEET CS.01 FOR ALL FINISHES.
- 2 ALL EXPOSED FRAMING SHALL BE PRESSURE TREATED NO. 1 PRIME GRADE FOR VISIBLE LOCATIONS AND PRESSURE TREATED NO.2 FOR ALL NON-VISIBLE LOCATIONS.
- 3 ALL FASTENERS WILL BE STAINLESS STEEL SCREWS. COORDINATE TYPE OF SCREW WITH ARCHITECT PRIOR TO INSTALL.

JOB NUMBER / 21811	DATE / 05 DEC 2018	SCALE / 1/4"=1'-0"	APR	REVISIONS /
			DRAWN / JCH	CHECKED / JCH
ELEVATIONS			SHEET / A2.01	



**BRENNER PASS
PATIO**

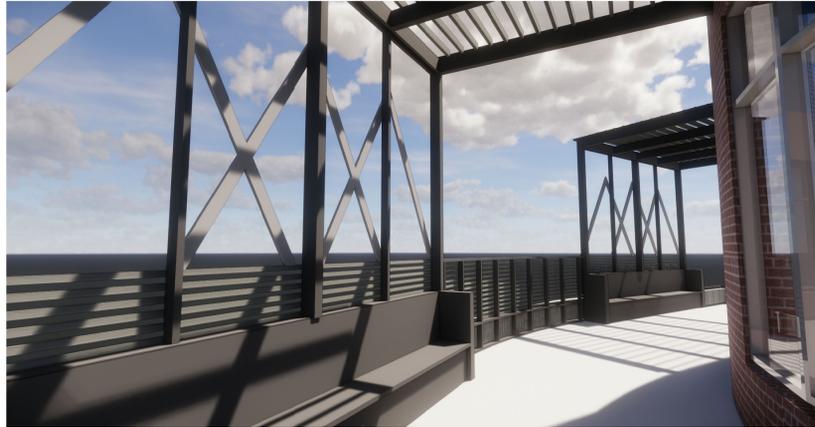
3200 ROCKBRIDGE STREET _RICHMOND VA 23230

02 STANDOFF POST BASE
SCALE: 1"=1'-0"

JOB NUMBER / 21811	DATE / 05 DEC 2018	SCALE / 1"=1'-0"	SECTIONS	
			REVISIONS /	APPS
SHEET / A2.03			DRAWN / JCH	CHECKED / JCH



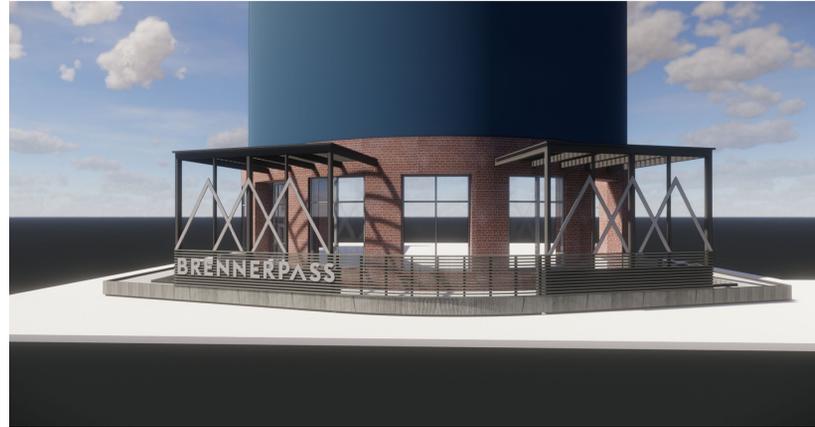
04 EXTERIOR RENDERING
SCALE: NTS



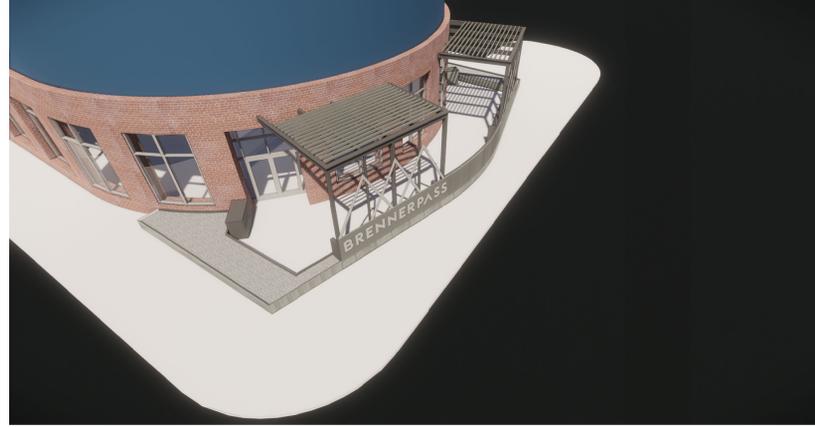
05 EXTERIOR RENDERING
SCALE: NTS



01 EXTERIOR RENDERING
SCALE: NTS



02 EXTERIOR RENDERING
SCALE: NTS



03 EXTERIOR RENDERING
SCALE: NTS

GENERAL NOTES

- 1 INFORMATION IS PROVIDED FOR REFERENCE ONLY - NOT FOR CONSTRUCTION.
- 2 IN ALL CONDITIONS OR CASES WHERE CONFLICTING INFORMATION MAY OCCUR, 2D DRAWINGS TAKE PRECEDENCE.
- 3 ALL RENDERING INFORMATION SHALL BE CONSIDERED VISUAL PLACEHOLDER FOR SPECIFIED MATERIALS, OPACITIES, PATTERNS, ETC. MATERIAL SELECTIONS AND CONFIRMATIONS SHALL ALWAYS BE MADE USING PHYSICAL SAMPLES.

JOB NUMBER / 21811	DATE / 05 DEC 2018	SCALE / NTS	DRAWN / APS	REVISIONS /
SHEET / A7.01			CHECKED / JCH	
				3D REPRESENTATION

BRENNER PASS
PATIO

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