



Commission of Architectural Review SUBMISSION APPLICATION

City of Richmond, Room 510 – City Hall
900 East Broad Street, Richmond, Virginia 23219
PHONE: (804) 646-6335 FAX: (804) 646-5789

12 COPIES OF SUPPORTING DOCUMENTATION ARE REQUIRED FOR PROCESSING YOUR SUBMISSION

LOCATION OF WORK: 22 E Broad St

DATE: 11.1.16

OWNER'S NAME: 22 E Broad St LLC

TEL NO.: 804-687-9096

AND ADDRESS: 409 E MAIN ST, SUITE 300

EMAIL: justinapaley@gmail.com

CITY, STATE AND ZIPCODE: RICHMOND, VA 23219

ARCHITECT/CONTRACTOR'S NAME: Walter Parks Architects

TEL. NO.: 804-644-4761

AND ADDRESS: 313 N Adams St

EMAIL: _____

CITY, STATE AND ZIPCODE: Richmond, VA 23220

Would you like to receive your staff report via email? Yes No

REQUEST FOR CONCEPTUAL REVIEW

I hereby request Conceptual Review under the provisions of Chapter 114, Article IX, Division 4, Section 114-930.6(d) of the Richmond City Code for the proposal outlined below in accordance with materials accompanying this application. I understand that conceptual review is advisory only.

APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

I hereby make application for the issuance of a certificate under the provisions of Chapter 114, Article IX, Division 4 (Old and Historic Districts) of the Richmond City Code for the proposal outlined below in accordance with plans and specifications accompanying this application.

DETAILED DESCRIPTION OF PROPOSED WORK (Required):

STATE HOW THE DESIGN REVIEW GUIDELINES INFORM THE DESIGN OF THE WORK

PROPOSED. (Include additional sheets of description if necessary, and 12 copies of artwork helpful in describing the project. The 12 copies are not required if the project is being reviewed for an administrative approval. See instruction sheet for requirements.)

Proposed renovation of property at 22 E Broad St, specifically the storefront to be replaced. Please see attached elevation showing the proposed renovation.

RECEIVED 9:34

NOV 03 2016 KC

Signature of Owner or Authorized Agent: X

Name of Owner or Authorized Agent (please print legibly): Jeff Bunch

(Space below for staff use only)

Received by Commission Secretary

APPLICATION NO. _____

DATE _____

SCHEDULED FOR _____

Note: CAR reviews all applications on a case-by-case basis.

Architecture
Historic Preservation
Furniture Design
Watercolors

Sadler & Whitehead
ARCHITECTS PLC

responding

23 September 2016

reexamining

refining

reinventing

TRANSMITTAL

restating

TO: William Mills Crosby, Jr., Historical Architect
Virginia Department of Historic Resources
2801 Kensington Avenue
Richmond, VA 23221

reclaiming

recalling

remembering

FR: Mary Harding Sadler, Historical Architect

respecting

RE: 22 E. Broad Street, Richmond, VA
DHR #2016-140, NPS #34754

recycling

restructuring

restoring

TRANSMITTING:

renovating

1 copy each:

reviving

➤ DHR Part 2 billing statement, check, and copy of check

retracing

redeeming

2 copies each:

reconfiguring

- Part 2 State and Federal Tax Credit applications
- Part 2 photographs 25-42 and photo key (1 sheet)
- City of Richmond property card, 1 sheet
- Project drawings, 20 sheets (Walter Parks Architect, 9/23/16)

resolving

revisiting

reducing

resurrecting

reusing

recalling

NOTE:

Enclosed are the State and Federal Part 2 tax credit applications for 22 E. Broad Street in Richmond, Virginia. We request your concurrence with our finding that the proposed rehabilitation meets the Secretary of the Interior's Standards for Rehabilitation. Please contact us if you have any questions or requests for additional information.

regenerating

revising

rewarding

researching

revealing

COPIES: Audrey T. Tepper, National Park Service
Justin Paley, 22 E Broad LLC
Evan Garrison, UrbanCore Construction, LLC
Jeff Bunch, UrbanCore Construction, LLC (by email)
Crystal Miller-Liggon, Walter Parks Architects (by email)
Walter Parks, Walter Parks Architects (by email)

726 West 33rd Street

Richmond, Virginia

23225-3533

P 804.231.5299

F 804.231.5298

sadler@sadlerandwhitehead.com

COMMONWEALTH OF VIRGINIA
DEPARTMENT OF HISTORIC RESOURCES

**STATE HISTORIC REHABILITATION TAX CREDIT PROGRAM
HISTORIC PRESERVATION CERTIFICATION APPLICATION**

BILLING STATEMENT

To cover costs associated with the processing of Part 2 and Part 3 of the State Tax Credit Application, fees are charged in accordance with the fee schedule included below. These fees cover the cost of processing the state application only, and will not be applied to the cost of processing the federal government's National Park Service Historic Preservation Certification Application.

Please note that review of the application will begin only when valid payment for processing fees is received.

Name of property: <u>22 E. Broad Street (DHR 2016-140)</u>	
Address of property:	Street <u>22 E. Broad Street</u> City <u>Richmond</u> County _____ State <u>VA</u> Zip <u>23219-1732</u>
Estimated cost of rehabilitation:	<u>\$941,107</u>
Project contact:	Name <u>Mary Harding Sadler, Sadler & Whitehead Architects, PLC</u> Street <u>726 W 33rd St</u> City <u>Richmond</u> State <u>VA</u> Zip <u>23225-3531</u> Daytime Telephone Number <u>804-231-5299</u>
Owner:	Name <u>Justin Paley</u> Organization <u>22 E Broad LLC</u> Social Security or Taxpayer Identification Number <u>81-3412472</u> Street <u>409 E. Main St., Suite 301</u> City <u>Richmond</u> State <u>VA</u> Zip <u>23219-3845</u> Daytime Telephone Number <u>804-687-9096</u>

<p>Part 2 Review Fees: <i>Choose the processing fee that corresponds to the estimated cost of rehabilitation. Upon completion of the project, fees charged will be adjusted as necessary, depending upon the actual cost of rehabilitation.</i></p> <table style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="text-align: left;"><u>ESTIMATED COST</u></th> <th style="text-align: right;"><u>PART 2 REVIEW FEE</u></th> </tr> </thead> <tbody> <tr><td>Less than \$100,000.....</td><td style="text-align: right;">\$250</td></tr> <tr><td>\$100,000 to \$249,999.....</td><td style="text-align: right;">\$500</td></tr> <tr><td>\$250,000 to \$499,999.....</td><td style="text-align: right;">\$1,000</td></tr> <tr style="background-color: yellow;"><td>\$500,000 to \$999,999.....</td><td style="text-align: right;">\$2,000</td></tr> <tr><td>\$1,000,000 to \$1,999,999.....</td><td style="text-align: right;">\$4,000</td></tr> <tr><td>\$2,000,000 to \$3,499,999.....</td><td style="text-align: right;">\$5,000</td></tr> <tr><td>\$3,500,000 to \$4,999,999.....</td><td style="text-align: right;">\$7,000</td></tr> <tr><td>\$5,000,000 and above.....</td><td style="text-align: right;">\$8,000</td></tr> </tbody> </table>	<u>ESTIMATED COST</u>	<u>PART 2 REVIEW FEE</u>	Less than \$100,000.....	\$250	\$100,000 to \$249,999.....	\$500	\$250,000 to \$499,999.....	\$1,000	\$500,000 to \$999,999.....	\$2,000	\$1,000,000 to \$1,999,999.....	\$4,000	\$2,000,000 to \$3,499,999.....	\$5,000	\$3,500,000 to \$4,999,999.....	\$7,000	\$5,000,000 and above.....	\$8,000	<p>Part 3 Review Fees: <i>If the actual costs exceed the estimated costs upon which a Part 2 fee was previously paid, please adjust accordingly. If the actual costs are less than the estimated costs upon which a Part 2 fee was previously paid, please indicate so that we may issue a refund.</i></p> <table style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="text-align: left;"><u>ACTUAL COST</u></th> <th style="text-align: right;"><u>PART 3 REVIEW FEE</u></th> </tr> </thead> <tbody> <tr><td>Less than \$100,000.....</td><td style="text-align: right;">\$250</td></tr> <tr><td>\$100,000 to \$249,999.....</td><td style="text-align: right;">\$500</td></tr> <tr><td>\$250,000 to \$499,999.....</td><td style="text-align: right;">\$1,000</td></tr> <tr><td>\$500,000 to \$999,999.....</td><td style="text-align: right;">\$2,000</td></tr> <tr><td>\$1,000,000 to \$1,999,999.....</td><td style="text-align: right;">\$4,000</td></tr> <tr><td>\$2,000,000 to \$3,499,999.....</td><td style="text-align: right;">\$5,000</td></tr> <tr><td>\$3,500,000 to \$4,999,999.....</td><td style="text-align: right;">\$7,000</td></tr> <tr><td>\$5,000,000 and above.....</td><td style="text-align: right;">\$8,000</td></tr> </tbody> </table>	<u>ACTUAL COST</u>	<u>PART 3 REVIEW FEE</u>	Less than \$100,000.....	\$250	\$100,000 to \$249,999.....	\$500	\$250,000 to \$499,999.....	\$1,000	\$500,000 to \$999,999.....	\$2,000	\$1,000,000 to \$1,999,999.....	\$4,000	\$2,000,000 to \$3,499,999.....	\$5,000	\$3,500,000 to \$4,999,999.....	\$7,000	\$5,000,000 and above.....	\$8,000
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<p>Expedited Review Fees: <i>Upon request, if the current workload at the department permits, the department may review complete, fully documented applications within five business days. The director reserves the right to refuse requests for expedited review if the current workload at the department so warrants.</i></p> <table style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="text-align: left;"><u>ACTUAL COST</u></th> <th style="text-align: right;"><u>EXPEDITED REVIEW FEE</u></th> </tr> </thead> <tbody> <tr><td>Less than \$100,000.....</td><td style="text-align: right;">\$500</td></tr> <tr><td>\$100,000 to \$249,999.....</td><td style="text-align: right;">\$1,000</td></tr> <tr><td>\$250,000 to \$499,999.....</td><td style="text-align: right;">\$2,000</td></tr> <tr><td>\$500,000 to \$999,999.....</td><td style="text-align: right;">\$4,000</td></tr> <tr><td>\$1,000,000 to \$1,999,999.....</td><td style="text-align: right;">\$8,000</td></tr> <tr><td>\$2,000,000 to \$3,499,999.....</td><td style="text-align: right;">\$10,000</td></tr> <tr><td>\$3,500,000 to \$4,999,999.....</td><td style="text-align: right;">\$14,000</td></tr> <tr><td>\$5,000,000 and above.....</td><td style="text-align: right;">\$16,000</td></tr> </tbody> </table>	<u>ACTUAL COST</u>	<u>EXPEDITED REVIEW FEE</u>	Less than \$100,000.....	\$500	\$100,000 to \$249,999.....	\$1,000	\$250,000 to \$499,999.....	\$2,000	\$500,000 to \$999,999.....	\$4,000	\$1,000,000 to \$1,999,999.....	\$8,000	\$2,000,000 to \$3,499,999.....	\$10,000	\$3,500,000 to \$4,999,999.....	\$14,000	\$5,000,000 and above.....	\$16,000	<p>Send your fee payment with this form to:</p> <p style="text-align: center;">Tax Credit Division Virginia Department of Historic Resources 2801 Kensington Avenue Richmond, Virginia 23221</p> <p>Note: Please indicate whether you are sending Part 2 or Part 3 review fee. Checks should be made out to Virginia Department of Historic Resources.</p> <ul style="list-style-type: none"> • <i>Review fees may be claimed as an eligible expense.</i>
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UNITED STATES DEPARTMENT OF THE INTERIOR
NATIONAL PARK SERVICE

OMB Approved
No. 1024-0009
Form 10-168
Rev. 2014

**HISTORIC PRESERVATION CERTIFICATION APPLICATION
PART 2 – DESCRIPTION OF REHABILITATION**

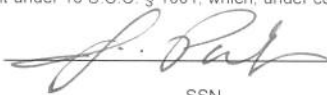
NPS Project Number
34754, DHR 2016-140

Instructions: This page must bear the applicant's original signature and must be dated. The National Park Service certification decision is based on the descriptions in this application form. In the event of any discrepancy between the application form and other, supplementary material submitted with it (such as architectural plans, drawings and specifications), the application form takes precedence. A copy of this form will be provided to the Internal Revenue Service.

1. Property Name 22 E. Broad Street
 Street 22 E. Broad Street
 City Richmond County _____ State VA Zip 23219-1732
 Name of Historic District Broad Street Commercial Historic District
 Listed individually in the National Register of Historic Places; date of listing _____
 Located in a Registered Historic District; name of district Broad Street Commercial Historic District
 Part 1 – Evaluation of Significance submitted? Date submitted 08/03/2016 Date of certification 09/01/2016

2. Project Data
 Date of building 1895-1924 Estimated rehabilitation costs (QRE) \$941,107
 Number of buildings in project 1 Floor area before / after rehabilitation 11,090 / 11,193 sq ft
 Start date (estimated) 07/01/2016 Use(s) before / after rehabilitation res/comm / res/comm
 Completion date (estimated) 07/12/2016 Number of housing units before / after rehabilitation 0 / 8
 Number of phases in project 2 Number of low-moderate income housing units before / after rehabilitation 0 / 0

3. Project Contact (if different from applicant)
 Name Mary Harding Sadler Company Sadler & Whitehead Architects, PLC
 Street 726 W. 33rd Street City Richmond State VA
 Zip 23225-3531 Telephone (804) 231-5299 Email Address sadler@sadlerandwhitehead.com

4. Applicant
 I hereby attest that the information I have provided is, to the best of my knowledge, correct. I further attest that [check one or both boxes, as applicable] (1) I am the owner of the above-described property within the meaning of "owner" set forth in 36 CFR § 67.2 (2011), and/or (2) if I am not the fee simple owner of the above-described property, the fee simple owner is aware of the action I am taking relative to this application and has no objection, as noted in a written statement from the owner, a copy of which (i) either is attached to this application form and incorporated herein, or has been previously submitted, and (ii) meets the requirements of 36 CFR § 67.3(a)(1) (2011). For purposes of this attestation, the singular shall include the plural wherever appropriate. I understand that knowing and willful falsification of factual representations in this application may subject me to fines and imprisonment under 18 U.S.C. § 1001, which, under certain circumstances, provides for imprisonment of up to 8 years.
 Name Justin Paley Signature  Date 9.23.16
 Applicant Entity 22 E Broad LLC SSN _____ or TIN 81-3412472
 Street 409 E. Main Street, Suite 301 City Richmond State VA
 Zip 23219-3845 Telephone (804) 687-9096 Email Address justinpaley@gmail.com
 Applicant, SSN, or TIN has changed since previously submitted application.

NPS Official Use Only

The National Park Service has reviewed the Historic Preservation Certification Application – Part 2 for the above-named property and has determined that:

the rehabilitation described herein is consistent with the historic character of the property and, where applicable, with the district in which it is located and that the project meets the Secretary of the Interior's Standards for Rehabilitation. This letter is a preliminary determination only, since a formal certification of rehabilitation can be issued only to the owner of a "certified historic structure" after rehabilitation work is complete.

the rehabilitation or proposed rehabilitation will meet the Secretary of the Interior's Standards for Rehabilitation if the attached conditions are met.

the rehabilitation described herein is not consistent with the historic character of the property or the district in which it is located and that the project does not meet the Secretary of the Interior's Standards for Rehabilitation.

Date _____ National Park Service Authorized Signature _____
 NPS conditions or comments attached

**HISTORIC PRESERVATION CERTIFICATION APPLICATION
PART 2 – DESCRIPTION OF REHABILITATION**

Property name 22 E. Broad Street NPS Project Number 34754, DHR 2016-1
Property address 22 E. Broad Street Richmond VA 23219-1732

5. Detailed description of rehabilitation work Use this page to describe all work or create a comparable format with this information.
Number items consecutively to describe all work, including building exterior and interior, additions, site work, landscaping, and new construction.

Number 1	Feature 22 E. Broad Street overview	Date of Feature 1895-1924
-----------------	--	----------------------------------

Describe existing feature and its condition

The three-story, two-bay-wide, Main Street Commercial Style building at 22 E. Broad Street was constructed between 1895 and 1925, and has both Classical and Italianate elements. The original storefront and transom have been replaced but the upper floors retain a high degree of integrity. The building has a curved brick pediment and a corbeled brick cornice. Paired 1/1 windows open below two-story, brick, arched, recessed panels. The bays are defined by brick pilasters topped with corbeled brick capitals. The rear of the building is three bays wide with 2/2 windows with segmental arched lintels and stone sills. The centered, double-leaf, paneled wood loading door appears to be original.

The first floor commercial space, which has a non-historic entry, non-historic finishes, and non-historic barber stations is open. Small utilitarian spaces are tucked below the rear mezzanine, which is accessed at the rear via a relocated historic stair. The first floor and mezzanine have an original pressed tin ceiling. The plan of the second and third floors is defined by large spaces with a stair on the east side and a freight elevator at the front and rear. A light well once illuminated the interior, but it has been completely infilled. Remaining historic interior fabric includes a wood stair with its original newel posts and rail, wood floors, and molded window casing.

Photo numbers All Drawing numbers All

Describe work and impact on feature

The proposed rehabilitation of 209 E. Broad Street will re-create commercial and residential uses in the building.

The building's historic features will be preserved. The existing modern storefront will be replaced with a compatible new storefront and entry. The historic openings at the rear will be preserved. The interior will have commercial tenants at the front of the first floor and basement level, and eight apartment units.

The project will have two phases, as follows:

Phase 1:

Schedule: 07/01/2016 - 07/19/2017

Scope of work:

Rehabilitate exterior

Rehabilitate apartments, common areas and basement

Rehabilitate commercial space to cold vanilla shell (no HVAC, WC, or lighting)

Estimated cost: \$881,107

Phase 2:

Schedule: 07/19/2017 - 3/31/2018

Scope of work:

Complete commercial space tenant upfit with HVAC, WC, and lighting

Estimated cost: \$60,000

Number 2	Feature Site	Date of Feature 1895-1924
-----------------	---------------------	----------------------------------

Describe existing feature and its condition

This commercial building has east and west side party walls, and is sited on a typical urban lot with no front setback. The rear of the building faces a common alley.

**HISTORIC PRESERVATION CERTIFICATION APPLICATION
PART 2 – DESCRIPTION OF REHABILITATION**

Photo numbers 1-4

Drawing numbers A.0

Describe work and impact on feature

The historic site will be preserved without alteration.

The primary impact to the site will be the rehabilitation and reuse of the building.

Number 3	Feature Facade (South Elevation)	Date of Feature 1895-1924
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Describe existing feature and its condition

Constructed of painted brick the front elevation is organized by two two-story arched brick panels with keystones, and enhanced by a corbeled brick cornice. The original storefront has been replaced and the storefront transom has been infilled with a large non-historic sign. The non-historic glass and aluminum frame entry is on the east side of the facade. The upper floors retain a high degree of integrity. The second floor has 1/1 double-hung, wood windows with stone sills and flat lintels. The 1/1 wood windows at the third floor have Roman arches. Between each pair of third floor windows is a circular vent. The building's curved brick pediment has a circular vent at the center. This entry and stair is shared with the adjacent property.) A non-historic blade sign projects from the front of the building.

Photo numbers 1-3

Drawing numbers D.300, A.301

Describe work and impact on feature

The facade will be repaired as needed and remaining historic materials will be preserved. The brick wall will be repainted. The historic windows will be retained and repaired in kind. The non-historic storefront and sign will be removed. A clearly contemporary aluminum storefront with two side entries will be installed. The new storefront will be compatible with the building's historic character.

The impact will be the preservation of the historic facade and all its remaining historic elements.

Number 4	Feature Rear (North) Elevation	Date of Feature 1895-1924
-----------------	---------------------------------------	----------------------------------

Describe existing feature and its condition

The three-story, three-bay-wide rear elevation is painted brick laid in common bond topped with a molded wood cornice. The rear window openings have segmental arch lintels and stone sills. The window openings are concealed by plywood on the basement, 1st and mezzanine levels, with the original 2/2 wood windows remaining intact only at the third floor. Fragments of the mezzanine level windows remain. A pair of historic loading doors is centered at the basement level.

Photo numbers 4

Drawing numbers D.300, A.301

Describe work and impact on feature

The brick wall and molded cornice will be preserved and repainted. Any necessary Masonry repairs will be achieved as noted in Number 6 below. The historic wood sash windows at the third floor will be repaired in kind. The missing sash at the basement, first and mezzanine levels will be replaced to match the historic configuration. Infill panels will be removed from all window openings, and window sash will be replaced to match the historic configuration. Shop drawings will be provided for review and approval in a future amendment.

**HISTORIC PRESERVATION CERTIFICATION APPLICATION
PART 2 – DESCRIPTION OF REHABILITATION**

The impact will be revealing previously hidden historic features and the preservation of historic building fabric.

Number 5	Feature Roof	Date of Feature unknown
-----------------	---------------------	--------------------------------

Describe existing feature and its condition

The existing flat roof is concealed from views from public rights of way. The roof is deteriorated and must be replaced.

Photo numbers -- Drawing numbers A.202

Describe work and impact on feature

A new TPO roof will be installed over R25 rigid insulation. The new roof will be sloped slightly to facilitate drainage. The existing parapet and cap will be repaired as needed prevent water infiltration. Two new low-profile 3'x3' skylights will be installed near the middle of the roof. The rooftop HVAC equipment will be set back from the front and rear of the building to prevent visibility from the ground below. Mock-ups of proposed HVAC equipment will be submitted with a future amendment. A new roof hatch will be installed to provide access for maintenance.

The impact of the work is the retention and preservation of the historic roof form and the installation of new roofing and gutters to ensure a water-tight building envelope.

Number 6	Feature Masonry	Date of Feature 1895-1924
-----------------	------------------------	----------------------------------

Describe existing feature and its condition

The front and rear walls are painted brick. The side walls are party walls, shared with adjacent properties. The non-historic bulkhead below the first floor storefronts is unpainted red brick laid in running bond.

Photo numbers 1-4 Drawing numbers D.300, A.301

Describe work and impact on feature

The existing brick masonry will be preserved and repainted. Any cleaning will be completed with soap and water or other non-abrasive cleaner, in accordance with Preservation Brief #1: Assessing Cleaning and Water-Repellent Treatments for Historic Masonry Buildings. Some repointing may be necessary. Any repointing will be completed in accordance Preservation Brief #2: Repointing Mortar Joints in Historic Masonry Buildings. New mortar joints will match historic joints in strength, joint profile, and appearance.

The impact of the masonry repairs will be the preservation of historic building fabric and the prevention of water infiltration.

Number 7	Feature Windows and Doors	Date of Feature 1895-1924; later doors
-----------------	----------------------------------	---

Describe existing feature and its condition

Historic 1/1 wood windows remain intact at the facade on the second and third floors (photos 1-3). The third floor windows have arched upper sash. Historic 2/2 windows remain intact at the rear, at the 3rd floor. The second floor window are shared with the mezzanine below. The star-shaped muntin pattern in the transoms remain intact, although these sash are in poor condition (photo 16). They are concealed from the exterior by plywood infill (photo 4).

Most doors are non-historic, including the glass and aluminum frame front entry and the flush panel doors leading to rest rooms, storage areas, stairs and rear elevator.

**HISTORIC PRESERVATION CERTIFICATION APPLICATION
PART 2 – DESCRIPTION OF REHABILITATION**

Historic doors are limited to the pair of wood loading doors centered on the rear elevation (photos 4 and 7).

Photo numbers 1-4, 6-8, 10, 12, 16, 18, 21

Drawing numbers D.300, A.301

Describe work and impact on feature

Existing historic wood windows will be retained and repaired in kind. Rotten elements, including missing muntins, will be replaced in kind. New windows will match the historic configuration. Shop drawings will be submitted for review and approval in a future amendment.

The historic wood loading doors will be preserved. New doors will be clearly contemporary and compatible with the building's historic character.

Number 8	Feature Plan	Date of Feature 1895-1924,1948
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Describe existing feature and its condition

The first floor commercial space is open at the front of the building and has non-historic built-ins for the existing barbershop (photo 5). The rear of the first floor has non-historic partitions below the mezzanine, which is accessed by an historic stair, which appears to have been relocated from elsewhere on the first floor (photo 6). The mezzanine was expanded, according to the city's property cards, in 1948, after the end (1930) of the period of significance (property card enclosed). Non-historic toilets and storage are enclosed below the mezzanine. The plans of the mezzanine, second and third floors are open (sheet AS.101), with the exception of several minor, non-historic frame partitions. No evidence of the historic plan remains The second floor has a non-historic raised platform over the the rear mezzanine (photo 15). The platform is accessed via non-historic steps and is protected by a solid drywall railing (photo 15). A light well existed in the middle of the open space of the second and third floors, but the opening was closed by a previous owner and the balustrades removed (photos 13 and 17). The basement has a largely open plan interrupted by two frame enclosures - a mechanical closet and an elevator equipment room (photo 24). For stairs and elevators see No. 9 below.

Photo numbers 5-24

Drawing numbers AS.101, A.201-A.204, D.201-D.202

Describe work and impact on feature

Significant portions of the building's floor plan will be preserved. Modern finishes and partitions will be removed. The front commercial space will remain open. New partitions for bathrooms and living space will be added at the rear of the first floor and in the mezzanine to create two apartments as shown on sheets A.201 and A.203. Non-historic partitions will be removed from the upper floors and new partition walls will be constructed to create three apartments on the second and third floors as shown on sheets A.202 and A.204. Commercial tenant upfit plans for the basement and first floor commercial spaces will be submitted with a future amendment. For stairs and elevators see No. 9 below.

Number 9	Feature Interior Stairs and Elevator	Date of Feature 1895-1924, later
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Describe existing feature and its condition

The building has several existing stairs. An historic stair that spans the first and mezzanine levels on the west wall retains its original balustrade and newel post but was clearly relocated when the mezzanine was expanded in 1948 (photo 6). A non-historic enclosed wood stair provides access from the mezzanine to the second floor on the east wall (photos 25-26), and a short, non-historic stair run accesses a non-historic raised platform at the rear of the second floor. Near the middle of the east wall, an historic stair with turned balusters links the second and third floors.

The building had two historic open elevators, one near the front (southwest) corner, and one at the rear (northeast) corner. The elevators have non-historic frame enclosures, but retain their historic rails and elements of the original equipment. The front elevator retains a wire cage.

Photo numbers 6,9,13-15,17-18,20-22, 28-42

Drawing numbers A.201-204,A.401,A.501,AS.101,D.201-202

**HISTORIC PRESERVATION CERTIFICATION APPLICATION
PART 2 – DESCRIPTION OF REHABILITATION**

Describe work and impact on feature

The historic stairs will be preserved, repaired and reused within apartment units, as shown on sheets A.201-A.204. The non-historic stairs at the second floor will be demolished. One new stairs will provide access between the basement and first floor for the commercial tenant. A second new fire stair will link all floors at the center of the building.

Elements of the two elevators will be preserved in place, including the rails and gears. New flooring will be installed in the floor openings, but the flooring will be run in a contrasting pattern so that the location of the open elevator shafts will be clearly evident.

Number 10	Feature Interior Finishes and Trim	Date of Feature 1895-1924, later
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Describe existing feature and its condition

The building retains the following historic finishes:

Basement: painted and unpainted red brick walls, concrete floors, exposed wood ceiling structure at the rear and unpainted drywall at the front (photos 22-24, 40-42).

First floor: vinyl tile floors, non-historic wall paneling and barbershop equipment, and a molded tin ceiling with an area of dropped ceiling at the front (photos 5-8, 27).

Mezzanine: wood floors, modern panel product ceiling and walls, with fragments of old beadboard wainscot (photos 9-10, 31-32).

Second and third floors: wood flooring, window casing, and wood baseboards (photos 11-21). The ceilings on the second floor are plaster in the front 2/3 (photo 13) and molded tin at the rear 1/3 (photo 16). The third floor ceilings are acoustical tile on wood battens attached to a damaged historic plaster ceiling (photos 17-18).

Photo numbers 5-24, 27, 31-32, 40-42

Drawing numbers A.101

Describe work and impact on feature

Historic finishes and materials, including wood floors, stairs, plaster walls, trim, and casings, will be repaired and needed and preserved. The existing west wall in the commercial space (photos 5 and 6), now covered in paneling, will be furred out with a drywall finish. Rotten wood flooring and deteriorated plaster walls will be repaired in kind. Plaster ceilings throughout the building are compromised, and a drywall ceiling either tight to the structure or 6" below the structure is proposed in the second and third floor spaces. The pressed tin ceilings in the 1st and 2nd floors will be preserved very close to their historic levels; they must be minimally dropped to allow for the installation of a fire rated ceiling between floors. Areas of pressed tin ceiling that are deteriorated beyond repair will be replaced in kind. New finished ceilings will be added at the rear of the basement, as required for fire separation. The ceiling structure at the front of the basement will be exposed. New partitions will be painted drywall. Bathrooms will have ceramic tile floors and ceramic wall tile. New baseboard trim and door casings will be simple and clearly differentiated from the historic trim.

The impact of the proposed work is the preservation of character-defining historic finishes and the removal of incompatible modern finishes.

Number 11	Feature Building Systems	Date of Feature unknown
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Describe existing feature and its condition

Existing plumbing, electrical, and HVAC systems are obsolete, and in need of replacement.

Several historic light fixtures remain on the 3rd floor (photos 17-18). Most existing mechanical equipment is in the basement (photos 23-24). One thru-wall AC unit is installed on the front of the building (photos 3 and 26), and two thru-wall AC units are installed on the rear of the building (photo 4).

Photo numbers 4, 17-18, 23-24, 26

Drawing numbers A.601 and A.602

HISTORIC PRESERVATION CERTIFICATION APPLICATION PART 2 – DESCRIPTION OF REHABILITATION

Describe work and impact on feature

New plumbing, electrical, and HVAC systems will be installed throughout the building. Windows will not be interrupted by HVAC ducts or dropped ceilings. To the degree possible, building systems will be installed in the basement and in the attic. Soffits will be used to conceal mechanical equipment and ducts over kitchens and bathrooms. Ducts will be exposed in the basement. Several small chases painted to match the wall and ceiling will be needed to conceal ductwork in apartments on the second and third floors (see RCPs on sheets A.601 and A.602). These chases will prevent ceilings from being dropped in primary spaces. Some HVAC equipment will be located on the roof. A mock-up demonstrating that the rooftop HVAC equipment will not be visible from the ground will be submitted with a future amendment.

Remaining historic light fixtures (3rd floor pendant fixtures seen in photos 17-18) will be preserved and reused.

The impact will be the upgrading of building systems, allowing satisfactory contemporary use of the building without imposing on its historic character.

Add Item

PHOTO KEY

22 E. Broad Street, Richmond, Virginia
 NPS #34754, DHR #2016-140
 Part 2 Photos taken August 2016



HARVEY FLATS
 22 E BROAD ST RICHMOND VIRGINIA USA

REVISIONS	TAG	DATE

walter PARKS
 ARCHITECT

313 N. ADAMS STREET
 RICHMOND, VIRGINIA 23220
 T: 644-4761 / F: 644-4763

PROJECT #: 16.44
 DATE: 9/23/16

AS-BUILT PLANS
AS.101



25. Detail of existing storefront bulkhead



26. Detail of non-historic storefront entry



27. Detail of dropped ceiling at 1st floor front



28. Detail of non-historic elevator enclosure



29. Detail of elevator cab



30. Relocated stair to mezzanine



31. Detail of mezzanine. Note former stair rail



32. Change of flooring at mezzanine extension. Non-historic stair landing



33. Non-historic stair from mezzanine to 2nd floor



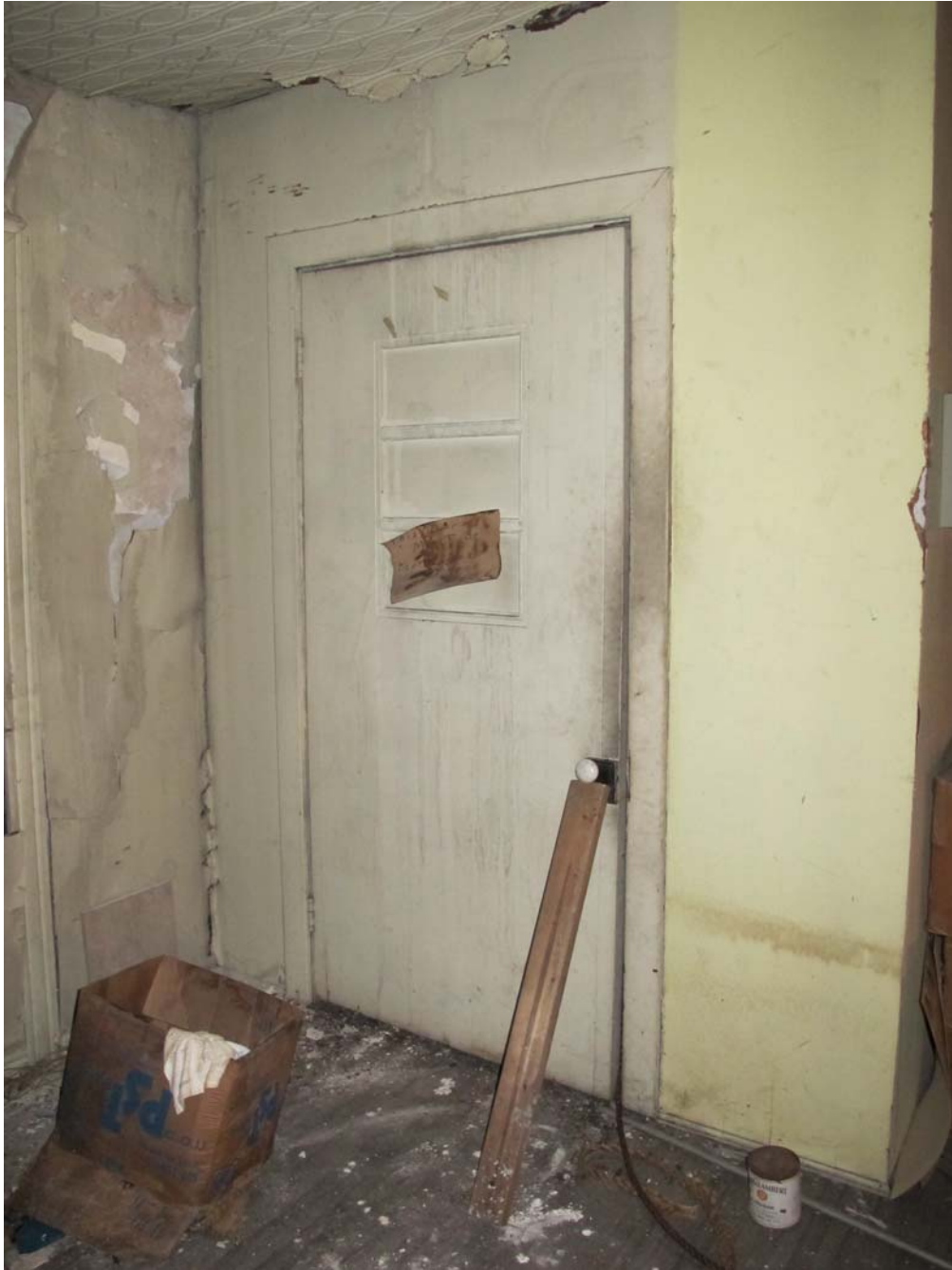
34. Non-historic stair from mezzanine to 2nd floor



35. Non-historic stair enclosure at 2nd floor mezzanine



36. Non-historic stair to 2nd floor mezzanine



37. Non-historic enclosure of rear elevator at 2nd fl



38. Detail within front elevator shaft at 2nd fl



39. Rear elevator enclosure at the 3rd floor.



40. Basement enclosure of elevator and equipment



41. Detail of original stair opening between basement and 1st floors



42. Basement stairs

22 E Broad St, Richmond, VA
 NPS #34754, DHR 2016-140
 Part 2
 City of Richmond Property Card

1922 CITY OF RICHMOND, VA.

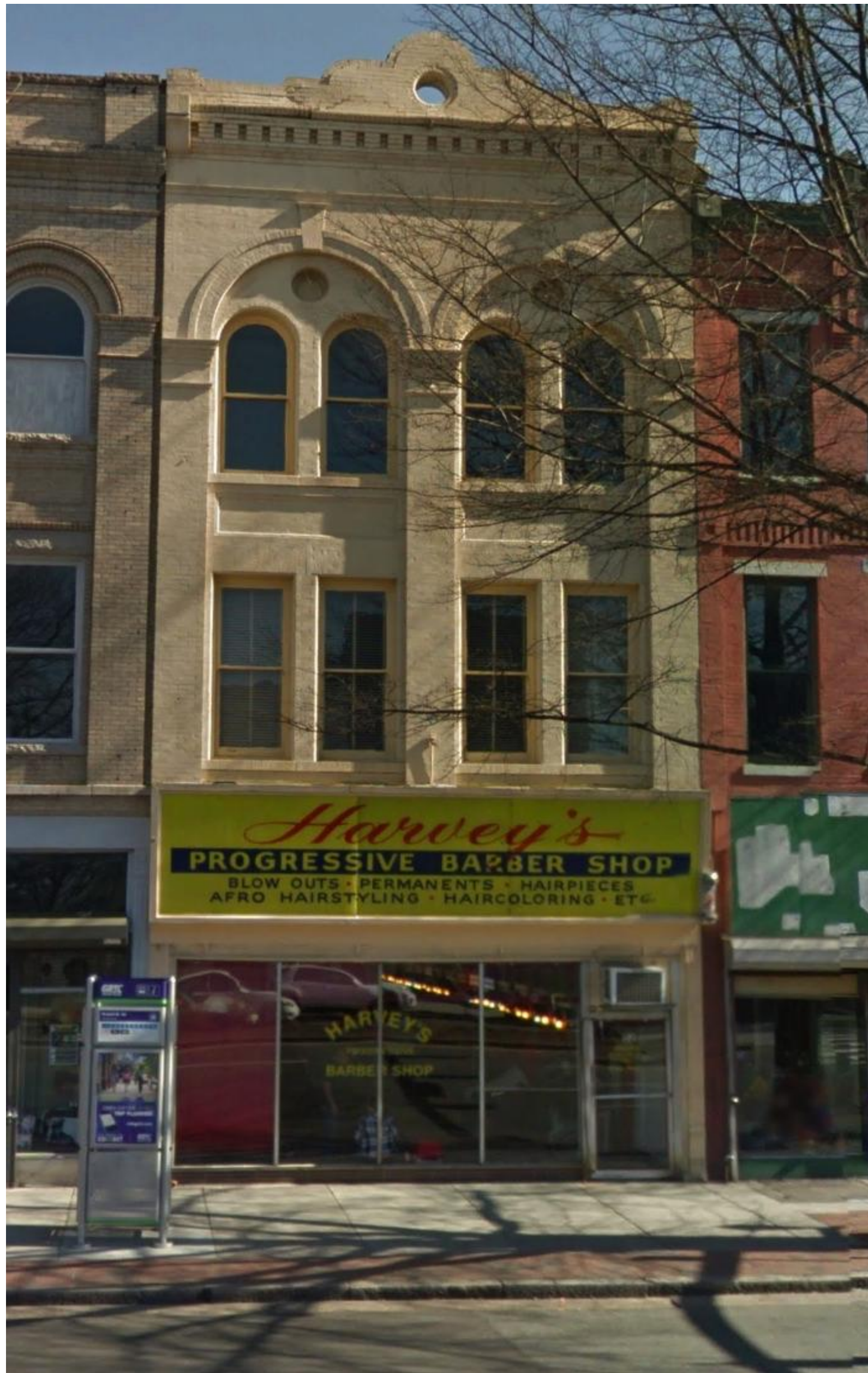
MAP	BLOCK	LOT	DIMENSIONS	ASSESSMENTS	1934	1935	1936	1937	1940	1941	1944	2000
77	76	37	23 x 123 23 x 123	LAND	37990	25790	25790	20580	20580	21180	16500	16500
ORIGINAL				BUILDING	10000	9000	9000	9000	9000	9000	9000	16500
HOUSE No.	22 N Broad 1 st & Broad Ave			IMPROVEMENTS								
				TOTAL	42500	34790	34790	29580	29580	30180	26500	33000

Point of Beginning by Deed

YEAR	OWNER'S NAME	BILL No.	ASSESSED VALUE	SEWER	AREA	SPECIAL	TOTAL TAX	DATE PAID	Construction
1930	Julian W Tyler			H.L.-49	5-29-54	11-15-55			13.11.11
1935	" .. "	20815	16500	M.S.-55	16720	M.O.-56	16.720		36.
1936	" .. "	20884	17000		19800		19800		
			33500		36520		36.520		
1937			34790	Com			765.38		Garage none
1938			34790	Com			765.38		Outbuildings none
1939			29580	Com					Income
1940	Tyler, Rosa W								Mortgages
1941									Elevators
									No. rooms 3
									No. baths none
									No. floors 3
									Basement yes
									Heating Steam
									Light Electric
									Water City
									Sewerage cess

12/22/48 note about mezzanine addition

New Improvements Added
 DEC 22 1948 \$1500 Add. Mezz



PROJECT DESCRIPTION

The scope of the work is the rehabilitation of one historic three-story masonry structure into 8 apartments and 1 commercial space. The commercial space occupies the first floor facing Broad Street and most of the full basement. There is one apartment unit accessed directly from the alley, while the other eight units are reached from the Broad Street entrance.

VICINITY MAP



GENERAL NOTES

GENERAL NOTES

- PERFORM ALL WORK IN ACCORDANCE WITH APPLICABLE BUILDING CODES.
- VERIFY EXISTING CONDITIONS, DIMENSIONS AND VERTICAL ELEVATIONS THAT AFFECT THE WORK INDICATED IN THESE DOCUMENTS AND NOTIFY THE ARCHITECT IF THERE ARE ANY DISCREPANCIES, DISCREPANCIES AND CONDITIONS THAT REQUIRE ADDITIONAL DOCUMENTATION BEYOND THAT SHOWN IN THESE PROJECT DOCUMENTS IN ORDER FOR THE CONTRACTOR TO PERFORM HIS WORK SHALL BE PROVIDED AND INCLUDED IN THE CONTRACTOR'S BASE BID.
- DO NOT SCALE DRAWINGS. DIMENSIONS SHOWN ON DRAWINGS SHALL GOVERN. ALL DIMENSIONS ARE TAKEN TO FACE OF STUDS OR EXISTING MASONRY/ CONCRETE OR OTHER EXISTING CONSTRUCTION, UNLESS OTHERWISE INDICATED.
- OBTAIN AND PAY FOR ALL PERMITS, PROCESS AND COMPLETE ALL INSPECTIONS AND REPORTS, SECURE FINAL BUILDING CODE OFFICIAL SIGN-OFFS AND OBTAIN A CERTIFICATE OF OCCUPANCY. PROVIDE THE OWNER WITH A BONAFIDE RELEASE OF ALL LIENS WITH EACH SUBCONTRACTOR'S SIGNATURE.
- INSTALL ARCHITECT'S SIGN WITHIN 30 DAYS OF NOTICE TO PROCEED, ADJACENT TO CONTRACTOR'S SIGN OR AS APPROVED BY THE OWNER. ARCHITECT'S SIGN SHALL BE FURNISHED BY THE ARCHITECT. THE CONTRACTOR SHALL MAINTAIN SIGN IN NEAT APPEARANCE THROUGH DURATION OF THE CONTRACT. REMOVE AND TURN OVER SIGN TO THE ARCHITECT AT PROJECT COMPLETION.
- SCHEDULE A KICK OFF MEETING WITH ARCHITECT, CONTRACTOR AND MAJOR SUBCONTRACTORS TO COORDINATE ALL BUILDING SYSTEMS.
- PROVIDE ALL TEMPORARY FACILITIES AND UTILITIES REQUIRED FOR COMPLETION OF THE PROJECT.
- IF LEAD PAINT IS ENCOUNTERED, COMPLY WITH OSHA 29CFR 1926.62
- PROTECT ALL EXISTING ELEMENTS AND FINISHES TO BE SALVAGED, REUSED OR MAINTAINED, FROM DAMAGE. REPAIR DAMAGE TO EXISTING BUILDING FROM CONSTRUCTION ACTIVITIES TO LIKE NEW OR ORIGINAL CONDITIONS WITHOUT ADDITIONAL COSTS TO THE OWNER.
- ISOLATE CONSTRUCTION ACTIVITIES FROM OCCUPIED AREAS, PARKED VEHICLES, ADJACENT BUILDINGS OR PROPERTY FOR NOISE, DUST, HEAT LOSS AND GENERAL ACCESS.
- KEEP CONSTRUCTION SITE CLEAN AND FREE OF DEBRIS AT ALL TIMES.
- PROVIDE A SUBMITTAL/ SHOP DRAWING LOG WITHIN 30 DAYS OF NOTICE TO PROCEED TO THE ARCHITECT. LOG MUST INDICATE ANTICIPATED DATES FOR DESIGN PROFESSIONAL REVIEW, PROVIDE SHOP DRAWINGS AND/OR SUBMITTALS FOR APPROVAL PRIOR TO PURCHASE AND INSTALLATION OF ALL ITEMS. PRIOR TO SUBMITTING SHOP DRAWINGS AND SUBMITTALS, REVIEW EACH ITEM FOR CONFORMANCE WITH THE MEANS, METHODS, TECHNIQUES, SEQUENCES AND OPERATIONS OF CONSTRUCTION, AND COMPLIANCE WITH THE CONSTRUCTION DOCUMENTS. ALL SUBMITTALS SHALL BE FOR PRODUCTS SPECIFIED OR INDICATED. SUBSTITUTIONS MUST BE SO IDENTIFIED AND MAY REQUIRE ADDITIONAL REVIEW TIME BY THE ARCHITECT OR ENGINEER.
- ALL ITEMS FOR CONSTRUCTION SHALL BE NEW, UNUSED AND OF HIGHEST QUALITY. INSTALL ALL PRODUCTS IN ACCORDANCE WITH MANUFACTURER'S WRITTEN RECOMMENDATIONS.
- ALL WOOD IN CONTACT WITH CONCRETE OR MASONRY OR IN ROOF APPLICATIONS (CURBS, BLOCKING ETC.) SHALL BE PRESSURE PRESERVATIVE TREATED.
- ALL GLAZING SHALL COMPLY WITH HAZARDOUS LOCATION REQUIREMENTS AS INDICATED IN BUILDING CODE.
- PROVIDE CAULKING BETWEEN DISSIMILAR MATERIALS IN ORDER TO INSURE WEATHER TIGHTNESS AND/ OR CONTINUITY OF FINISHES.
- PROVIDE ADEQUATE FRAMING/ BLOCKING OR CONCEALED SUPPORTS AND FASTENING DEVICES FOR ALL ITEMS TO BE MOUNTED TO THE CEILINGS OR WALLS.
- EXTEND ALL FLOOR, WALL, AND CEILING FINISHES UNDER OR BEHIND ANY ITEM OF EQUIPMENT, FURNITURE, ETC.
- SIGNAGE: ALL SIGNAGE FOR FIRE EQUIPMENT SHALL BE PERMANENTLY INSTALLED AND BE READILY VISIBLE ON THE ENTRANCE DOOR. LETTERS MUST CONTRAST WITH THE SIGN BACKGROUND. SIGNAGE MUST BE 4" IN HEIGHT AND SHALL READ "SPRINKLER CONTROL VALVES". PROVIDE TACTILE WARNING SIGNAGE STATING "EXIT" AT DOORS TO ENCLOSED STAIRWAYS, ADJACENT TO THE LATCH SIDE OF THE DOOR, 60 INCHES ABOVE FINISHED FLOOR TO THE CENTERLINE OF THE SIGN.

UNIT TYPE MATRIX	
UNIT TYPE	QUANTITY
1 Bed/1 Bath	1
1 Bed/1 Bath Loft	1
2 Bed/2 Bath	1
2 Bed/2 Bath Loft	1
Studio	4
	8

GROSS BUILDING AREA	
FLOOR	AREA
BASEMENT	2,695.54
1ST FLOOR	2,695.54
1ST FLOOR MEZZANINE	410.38
2ND FLOOR	2,695.54
3RD FLOOR	2,695.54
	11,192.54 sq ft

RENTABLE AREA SUMMARY		
APT #	UNIT TYPE	AREA
000	COMMERCIAL	2,694.73
100	COMMERCIAL	1,101.99
101	1 Bed/1 Bath	561.33
102	1 Bed/1 Bath Loft	748.27
201	2 Bed/2 Bath	862.78
202	Studio	701.32
203	Studio	688.72
301	2 Bed/2 Bath Loft	841.34
302	Studio	728.22
303	Studio	672.32
		9,601.02 sq ft

- THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING THE INTEGRITY OF FIRE RATED ASSEMBLIES THAT ARE PENETRATED BY BUILDING SYSTEMS. REPAIR ALL VOIDS AND HOLES IN FLOORS, WALLS, CEILINGS, ROOFS WITH SOLID MATERIAL TO MATCH ADJACENT CONSTRUCTION, FIRE RATINGS AND PERFORMANCE.
- PROVIDE 1/8" THICK, 4" TALL BRUSHED ALUMINUM NUMBERS AT EACH APARTMENT ENTRY DOOR, UNLESS OTHERWISE NOTED.
- WHERE NEW ROOFING IS INDICATED, PROVIDE FLASHING AT ADJOINING STRUCTURES AND PENETRATIONS TO ENSURE THEY ARE WATERTIGHT AND MAINTAIN REQUIRED WARRANTY. UNLESS OTHERWISE INDICATED, EXTEND ROOF MEMBRANE UP THE BACK OF PARAPETS AND UNDER COPINGS TO BUILDING EXTERIOR.
- BUILDING TO BE WATERTIGHT AGAINST ELEMENTS.
- CLEAN BRICK OF ALL EXTRANEUS MATERIAL WITH MILD SOAP AND WATER, INCLUDING BUT NOT LIMITED TO TAR, PAINT, VEGETATION AND REMOVE ABANDONED WIRING, CONDUITS, PIPING, AND BLOCKING INTERIOR AND EXTERIOR. REPAIR SURFACE VOIDS AND REPOINT AS REQUIRED FOR A CONTINUOUS APPEARANCE. SEAL ALL INTERIOR BRICK. CLEANING AND REPAIR SHALL COMPLY WITH NATIONAL PARK SERVICE BRIEFS.
- WHERE TUBS ARE LOCATED AGAINST FIRE RATED ASSEMBLIES, PROVIDE ADDITIONAL LAYER OF 1/2" GYPSUM TO COVER TUB FLANGE UP TO CEILING.
- DEMOLISH OPENINGS AT NEW WINDOW AND DOOR OPENINGS LARGE ENOUGH TO ACCOMMODATE NEW WINDOWS, LINTELS AND SILLS. PROVIDE SILLS TO MATCH ADJACENT WINDOWS. TOOTH-IN BRICK AT ALL NEW MASONRY OPENINGS. SAW CUTTING IS NOT ALLOWED.
- PROVIDE 4" MINIMUM BETWEEN HINGE SIDE OF DOOR OPENINGS AND NEAREST ADJOINING WALL OR PARTITION, UNLESS OTHERWISE NOTED.
- UNLESS OTHERWISE NOTED, EXISTING WINDOWS TO REMAIN SHALL BE MADE OPERABLE. REPAIR EXISTING WEIGHTS AND CORDS AS REQUIRED FOR SMOOTH OPERATION. REGLAZE BROKEN PANES, SAND AND PAINT EXISTING WOOD TRIM.
- WHERE EXISTING WOOD FLOORING IS INDICATED TO REMAIN, REMOVE PLYWOOD PATCHES (IF ANY) OR DAMAGED MATERIAL AND REPLACE WITH SALVAGED WOOD FLOORING TO MATCH IN SIZE, COLOR, FIXTURE, SPECIES AND AGE.
- PROVIDE 3/8" PLYWOOD DRAFTSTOP IN ATTICS ABOVE AND IN LINE WITH DWELLING UNIT SEPARATION WALLS.
- EACH FINISH SUB-CONTRACTOR SHALL INSPECT THE SUBSTRATE AND DETERMINE THE SUITABILITY FOR THE TYPE OF MATERIAL TO BE INSTALLED. REPORT ALL UNSUITABLE CONDITIONS TO CONTRACTOR FOR CORRECTION. CARPET AND TILE CONTRACTORS SHALL PROVIDE FLASH PATCHING AS REQUIRED FOR A TRUE AND LEVEL FINISH. CLEAN ALL SURFACES TO RECEIVE NEW FINISHES OF FOREIGN MATERIAL THAT WOULD ADVERSELY AFFECT THE APPLICATION AND PERFORMANCE OF NEW FINISHES. COMMENCEMENT OF WORK IS ACKNOWLEDGEMENT OF THE CONTRACTOR'S ACCEPTANCE OF THE SUBSTRATE.
- COMPLY WITH THE CITY OF RICHMOND CROSS CONNECTION AND BACKFLOW PROGRAM REQUIREMENTS. PROVIDE DETAIL DRAWINGS OF EXISTING UTILITIES AND NEW BACKFLOW AND SPRINKLER INSTALLATIONS TO THE DEPARTMENT OF UTILITIES FOR APPROVAL PRIOR TO INSTALLATION.
- PROVIDE ALL HOOKUPS AS REQUIRED FOR INDICATED EQUIPMENT.

HISTORIC PRESERVATION GENERAL NOTE:

WORK MUST COMPLY WITH THE SECRETARY OF THE INTERIOR'S STANDARDS FOR REHABILITATION. WORK MUST CONFORM TO THE REQUIREMENTS OF THE DEPT OF HISTORIC RESOURCES AND THE NATIONAL PARK SERVICE OUTLINED IN CORRESPONDENCE TO THE OWNERS, WHO MAINTAIN A RECORD OF THESE REQUIREMENTS.

MASONRY/ CONCRETE WALL REPAIRS:

- CAREFULLY REVIEW ALL EXISTING CONDITIONS PRIOR TO BID. ARCHITECTURAL DRAWINGS INDICATE WORK NOTES AT SPECIFIC LOCATIONS AS A CONVENIENCE TO THE CONTRACTOR BUT MAY NOT SHOW THE COMPLETE SCOPE OF REPAIRS/ RESTORATION REQUIRED TO COMPLETE THE WORK. OMISSION OF NOTES AT EVERY LOCATION WHERE SAID WORK IS REQUIRED DOES NOT RELIEVE THE CONTRACTOR FROM INCLUDING THE REPAIRS. ALL CONDITIONS EXPOSED TO VIEW BOTH INTERIOR AND EXTERIOR SHALL BE INCLUDED IN THE BID.
- CAREFULLY INSPECT ALL STRUCTURAL, MEMBERS, INCLUDING BUT NOT LIMITED TO BEAMS, LINTELS, MASONRY, ARCHES, ETC. AND NOTIFY ARCHITECT IN WRITING OF ANY STRUCTURALLY UNSOUND CONDITIONS REQUIRING REPAIR OR INVESTIGATION BEYOND THE SCOPE INDICATED PRIOR TO SUBMITTING BID.
- INSPECT ALL PARGED OR CONCRETE SURFACES AND PROVIDE PATCHING FOR ANY SPALLING CRACKED OR OTHERWISE DAMAGED CONDITIONS AS REQUIRED FOR CONTINUOUS APPEARANCE. VERIFY EXTENT OF VISIBLE DAMAGE PRIOR TO BID. ONLY COMPLETELY CONCEALED DAMAGE NOT OTHERWISE NOTED ON DRAWINGS WILL BE APPROVED FOR CHANGE ORDER.
- PROVIDE GENERAL AND CLOSE-UP COLOR HIGH RESOLUTION PHOTOGRAPHS OF THE MASONRY BEFORE AND AFTER REPAIRS/ RESTORATION.
- REMOVE ALL EXTRANEUS MATERIALS FROM FACE OF BUILDING, INCLUDING BUT NOT LIMITED TO VINES, PLANT GROWTH, ALGAE, ABANDONED WIRING, CONDUITS, ABANDONED PLUMBING AND MECHANICAL PIPES, METAL ANCHORS, NAILS, WOOD BLOCKING, TAR, ETC. AND REPAIR SURFACE BEHIND AS REQUIRED FOR CONTINUOUS APPEARANCE.
- REMOVE GRAFFITI FROM MASONRY IN ACCORDANCE WITH NATIONAL PARK SERVICE NPS PRESERVATION BRIEF 38, U.N.O.
- REPAIR/REPLACE ANY DAMAGED, SPLIT, SEVERELY SPALLED BRICK OR MASONRY UNITS. BRICKS WITH SURFACE HOLES LESS THAN 1" X 1" X 1" DEEP MAY REMAIN. RE-WORK BRICK AT NEW OR ENLARGED OPENINGS AS REQUIRED FOR NEW WINDOWS, DOORS, VENTS, ETC. BRICK SHALL BE REBUILT USING SALVAGED MATCHING UNITS AS MUCH AS POSSIBLE BY TOOTHING THE NEW INTO THE OLD
- REPOINT ALL EXTERIOR BRICK AND OR STONE AS REQUIRED BACK TO STRUCTURAL SOUNDNESS AND WATER-TIGHTNESS. MATCH THE MORTAR TO THE COLOR, TEXTURE, STRENGTH, JOINT WIDTH AND JOINT PROFILE OF THE EXISTING HISTORIC MASONRY. NOTE THAT MODERN MORTARS ARE NOT APPROPRIATE FOR HISTORIC RESTORATION. USE A LIME-RICH MORTAR THAT IS ELASTIC AND ALLOWS FOR POTENTIAL MOVEMENT IN HISTORIC MASONRY. PERFORM MASONRY REPOINTING IN ACCORDANCE WITH THE GUIDANCE PROVIDED IN NPS PRESERVATION BRIEF 2 REPOINTING MORTAR JOINTS IN HISTORIC MASONRY BUILDINGS. PROVIDE SAMPLE FOR ARCHITECT'S REVIEW. MASONRY THAT WAS PREVIOUSLY PAINTED SHALL BE REPAINTED AFTER ALL LOOSE PAINT IS SCRAPPED AND WALL IS PREPARED FOR NEW PAINT.
- SEAL/CAULK ALL MASONRY AND CONCRETE JOINTS TO OTHER MATERIALS AS REQUIRED FOR WATER TIGHTNESS.
- UPON COMPLETION OF REPOINTING AND REPAIR/ RESTORATION WORK, REMOVE ALL RESIDUAL FILM FROM FACE OF MASONRY WITH STIFF NYLON OR NATURAL BRISTLE BRUSH AND LOW PRESSURE WASHING WITH MILD CLEANERS.

WINDOW REPAIRS:

- SURVEY ALL EXISTING CONDITIONS PRIOR TO BID. CONDITIONS OF EXISTING WINDOWS VARY.
- PROVIDE WINDOW MULLIONS WHERE MISSING.
- SCRAPE ALL LOOSE PAINT, SAND SMOOTH, PRIME AND PAINT PRIOR TO REGLAZING. REFERENCE AND FOLLOW NATIONAL PARK SERVICE BRIEF NPS 9 THE REPAIR OF WOOD HISTORIC
- REGLAZE PANES WITH NEW GLASS WHERE PREVIOUSLY REMOVED, MISSING OR BROKEN. WHERE ORIGINAL GLASS REMAINS, REMOVE AND REPLACE ALL GLAZING PUTTY
- MAKE WINDOW SASH PANELS OPERABLE AND WEATHERTIGHT.
- PROVIDE BACKER ROD AND CAULKING AT WINDOW PERIMETER AND SEAL WEATHER TIGHT TO EXISTING MASONRY WINDOWS.

MECHANICAL

- ALL VENTS TO BE RUN THROUGH THE ROOF, INCLUDING FANS, DRYER VENTS & MAKE-UP AIR INTAKES. WHERE VISIBLE, PENETRATIONS TO BE PAINTED TO MATCH ROOF COLOR.
- IF DRYER VENTS EXCEED ALLOWABLE RUN LENGTH BOOSTER FANS MUST BE INSTALLED.
- ALL HVAC TO BE SINGLE ZONE, 14 SEER ELECTRIC HEAT PUMP SYSTEM WITH CONDENSERS ON THE ROOF. EVERY UNIT IS TO HAVE ITS OWN SYSTEM. LOCATE CONDENSERS TO ON ROOF UNLESS OTHERWISE SPECIFIED.
- RETURN AIR GRILL TO BE A VENT SET INTO A DOOR OR WALL. SEE PLAN. (DOORS TO HVAC CLOSET WILL NOT BE LOUVERED). FILTER TO BE READILY ACCESSIBLE.
- NO EXPOSED DUCT, U.N.O.
- ALL REFRIGERANT LINES NEED TO BE ENCLOSED IN WALLS OR CEILINGS.
- NO CFC'S IN MECHANICAL UNITS.
- MUST SUBMIT DUCT LOCATION DIAGRAM TO ARCHITECT FOR APPROVAL PRIOR TO OBTAINING PERMIT.
- ALL UNITS TO USE R-410A COOLANT
- FOR THROUGH PENETRATIONS AND DETAILS IN RATED WALL ASSEMBLIES, SEE MECHANICAL PLANS.

ELECTRICAL

- ALL ELECTRIC SERVICE TO BE INDIVIDUALLY METERED IN UNITS.
- LIGHTS FOR THE KITCHEN & BAR WILL BE TRACK LIGHTS SUSPENDED FROM THE CEILING, OR RECESSED CANS OR PENDANTS. PER ENERGY CODE.
- ALL ELECTRICAL FEEDERS TO BE CONCEALED. ALL APPLIANCES ARE ELECTRIC (NO GAS).
- ALL WIRE IS TO BE CONCEALED IN NEW WALL CONSTRUCTION. IN CASES WHERE WIRING CANNOT BE CONCEALED (BRICK WALLS) IT SHOULD BE RUN IN CONDUIT (EMC). CONDUIT RUNS SHOULD BE MADE AS SHORT AS POSSIBLE, CO-ORDINATE WITH ARCHITECT.
- ELECTRICAL PANELS SHOULD BE LOCATED IN A DISCRETE LOCATION. REFER TO ARCHITECTURAL DRAWINGS FOR EP LOCATIONS.
- DOMINION VIRGINIA POWER CONNECTION SHOULD ENTER BUILDING UNDERGROUND.
- EMERGENCY EGRESS LIGHTING SHOULD BE EITHER BALLASTED IN CORRIDOR LIGHTS, OR LED LIGHTS SET AS HIGH AS PRACTICAL.

PLUMBING

- PLUMBING TO BE WET VENTED.
- PENETRATIONS THROUGH THE ROOF TO BE PAINTED TO MATCH ROOF COLOR.
- WHERE POSSIBLE SANITARY LINES ARE TO BE RUN IN WALLS ABOVE THE FLOOR TO MINIMIZE PENETRATIONS INTO THE SPACES BELOW. FOR EXAMPLE: IN KITCHEN PENINSULA SINKS THE WASTE LINE SHOULD RUN IN THE WALL BEHIND SINK TO A VERTICAL STACK IN AN ADJACENT WALL.
- ALL PLUMBING LINES SHOULD BE RUN IN CONCEALED SPACES.
- IF PLUMBING MUST BE EXPOSED IT SHOULD BE RUN AS TIGHT TO STRUCTURE AS POSSIBLE.
- EXPANSION TANKS SHOULD NOT BE INSTALLED IN EACH UNIT. VERIFY CODE COMPLIANCE WITH LOCAL PLUMBING REVIEWER.
- WATER SUPPLY FOR EACH UNIT WILL BE SUB-METERED. PROVIDE ADEQUATE SPACE FOR METER.
- INDIVIDUAL UNIT WATER SHUT OFF VALVES SHOULD BE INSTALLED IN MECHANICAL CLOSET. VALVES SHOULD BE LABELED "WATER SHUT OFF".
- INSTALL BACK FLOW PREVENTER ABOVE GRADE WITH DRAIN.
- WASHER DRYER TO HAVE PAN WITH DRAIN.

FIRE SUPPRESSION

- PROVIDE SPRINKLER VALVE.
- CONCEAL STAND PIPE IN WALLS.
- STAND PIPE VALVES TO BE IN CABINETS.

HAZARD NOTES

UNDERGROUND STORAGE TANKS (UST) ARE TO BE "CLOSED IN PLACE". A MINIMUM OF 8 SOIL SAMPLES ADJACENT TO THE BOTTOM OF THE USTS TO BE ANALYZED FOR TOTAL PETROLEUM HYDROCARBON VIA EPA METHOD 8015B.

ALL ABOVE GROUND STORAGE TANKS TO BE REMOVED FROM THE SITE SHALL BE IN ACCORDANCE WITH APPLICABLE LOCAL AND STATE REGULATIONS.

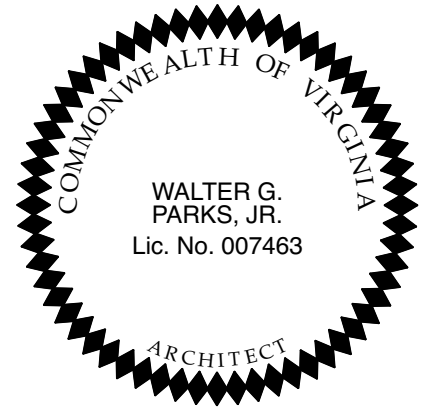
ASBESTOS-CONTAINING MATERIALS ARE TO BE MANAGED UNDER A SITE-SPECIFIC OPERATIONS AND MAINTENANCE PROGRAM DEVELOPED IN ACCORDANCE WITH STATE AND FEDERAL GUIDELINES BY A LICENSED ASBESTOS PROJECT DESIGNER.

LEAD-BASED PAINT SHALL BE DISPOSED OF IN ACCORDANCE WITH LOCAL AND STATE REGULATIONS.

- AREAS IDENTIFIED WITH LEAD PAINT SUBJECT TO PAINT REMOVAL SHOULD BE PERFORMED IN A CONTROLLED MANNER PER OSHA 29 CFR 1926.62.

POLYCHLORINATED BIPHENYLS - PCB CONTAINING LIGHT BALLASTS SHOULD BE DISPOSED OF IN ACCORDANCE WITH ALL STATE AND FEDERAL APPLICABLE REGULATIONS BY AN ELECTRICAL CONTRACTOR FAMILIAR WITH PCB'S.

ALL AREAS CONTAINING PIGEON GUANO ARE TO BE PROPERLY CLEANED IN ACCORDANCE WITH APPLICABLE REGULATIONS.



HARVEY FLATS
22 E BROAD ST RICHMOND VIRGINIA USA

REVISIONS	
TAG	DATE

SHEET LIST CD

SHEET	NAME

walter PARKS
ARCHITECT

313 N. ADAMS STREET
RICHMOND, VIRGINIA 23220
t: 644-4761 / f: 644-4763

PROJECT #: 16.44
DATE: 9/23/16

COVER
A.0



DOOR SCHEDULE											
DOOR NO	DOOR					FRAME		HARDWARE SET #	FIRE RATING	LOCATION	NOTES
	WIDTH	HEIGHT	THICKNESS	MATERIAL	TYPE	MATERIAL	HEAD/JAMB #				
11	3'-0"	6'-8"	1 3/4"	WD	F1	HM	J1/H1	1	45 MIN	APARTMENT ENTRY	
12	2'-10"	6'-8"	1 3/8"	WD	F	WD	J2/H2	3	-	BEDROOM	
13	2'-10"	6'-8"	1 3/8"	WD	F	WD	J2/H2	3	-	BATHROOM	
14	2'-10"	6'-8"	1 3/8"	WD	F	WD	J2/H2	4	-	CLOSET	
15	2'-8"	6'-8"	1 3/8"	WD	F3	WD	J2/H2	4	-	CLOSET (W/D)	
16	2'-4"	6'-8"	1 3/8"	WD	F3	WD	J2/H2	4	-	CLOSET (MECH)	
17	2'-0"	6'-8"	1 3/8"	WD	F	WD	J2/H2	4	-	CLOSET	
20	(2) 2'-0"	6'-8"	1 3/8"	WD	F3	WD	J2/H2	5	-	CLOSET (W/D)	
21	(2) 2'-6"	6'-8"	1 3/8"	WD	F3	WD	J2/H2	5	-	CLOSET	
30	3'-0"	6'-8"	1 3/4"	WD	F	HM	J2/H2	3	-	COMMERCIAL SPACE BATHROOM	
31	3'-0"	6'-8"	1 3/8"	WD	F3	WD	J2/H2	4	-	COMMERCIAL SPACE JANITOR'S CL	
32	3'-0"	6'-8"	1 3/4"	WD	F1	HM	J1/H1	1	-	BASEMENT	
33	3'-0"	6'-8"	1 3/4"	WD	F1	HM	J1/H1	1	-	BASEMENT	
34	3'-0"	6'-8"	1 3/4"	WD	F1	HM	J1/H1	1	-	BASEMENT	
H1	(2) 2'-9"	6'-8"	-	-	-	-	-	6	-	HISTORIC DOORS @ ALLEY	

FLOOR AND ROOF TYPES

<p>FA-1 EXISTING CONCRETE SLAB (BASEMENT)</p>	<p>FA-5 - NON RATED FLOOR IN UNIT NEW JOIST AND WOOD FLOOR</p>
<p>FA-2 EXISTING JOIST AND WOOD FLOOR</p> <p>FLOOR BETWEEN R-2 TENANTS. 1 HOUR FIRE RATING UL L569 SEE UL LISTING STC RATING 55</p>	<p>FA-6 - FLOOR PATCH NEW JOIST AND WOOD OR TILE FLOOR</p> <p>FLOOR BETWEEN R-2 TENANTS. 1 HOUR FIRE RATING UL L569 SEE UL LISTING STC RATING 55</p>
<p>FA-3 EXISTING JOIST AND WOOD FLOOR</p> <p>FLOOR BETWEEN R-2 TENANTS. 1 HOUR FIRE RATING UL L569 SEE UL LISTING STC RATING 55</p>	<p>FA-7 - COMMERCIAL SPACE / BASEMENT BELOW EXISTING JOIST AND WOOD FLOOR @ FIRST FLOOR</p>
<p>FA-4 EXISTING JOIST AND WOOD FLOOR</p> <p>FLOOR BETWEEN R-2 TENANTS. 1 HOUR FIRE RATING UL L569 SEE UL LISTING STC RATING 55 ASTM E119-98</p>	<p>RA-1 EXISTING ROOF STRUCTURE W/ NEW INSULATION AND T.P.O.</p>

INSULATION SCHEDULE			
LOCATION	CAVITY	STC RATING	INSULATION TYPE
FLOORS	R-15	STC 55	BLOWN FIBERGLASS OR FACED BATED
WALLS	R-15	STC 55	BLOWN FIBERGLASS
ROOF	R-25	STC 55	RIGID

WALL TYPES

- GENERAL WALL TYPE NOTES:**
- WOOD STUDS SPECIFIED. CONSULT W/ ARCHITECT FOR METAL STUD WALL DETAILS PRIOR TO BEGINNING FRAMING.
 - ALL RATED WALLS EXTEND TO UNDERSIDE OF DECKING UNLESS NOTED OTHERWISE.
 - PROVIDE DRAFT STOPPING BETWEEN UNITS.

<p>2X4 INTERIOR PARTITION</p>	<p>UL# U327 1 HOUR WALL STC RATING 52</p>
<p>FURRED INTERIOR PARTITION</p>	<p>UL# U340 1 HOUR WALL STC RATING 54</p>
<p>FURRED INTERIOR PARTITION</p>	<p>GA FILE NO WP 3820 2 HOUR WALL STC RATING 55-59</p>
<p>2X6 INTERIOR PLUMBING PARTITION</p>	

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PROJECT #: 16.44
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GENERAL INFO
A.101

LIGHTING SCHEDULE

Mark	Description	Manufacturer	Product Name/No.	Color/Finish	Location	Lighting	Mounting	Notes
UNIT FIXTURES								
F1	5'0" CEILING FAN W/ LIGHT	ROYAL PACIFIC, LTD.	EUROPA, 1004LED	BRUSHED NICKEL	LIVING ROOM & BEDROOM	(1) 15W LED	BOTTOM OF FIXTURE @ 9'-4"	HARDWIRE CEILING FAN/LIGHT TO SEPARATE SWITCHES - LIGHT TO BE DIMMABLE. FAN TO HAVE VARIABLE SPEED PADDLE SWITCH. NO REMOTE CONTROL. PROVIDE ADDITIONAL DOWNRODS FOR CEILING HIGHER THAN 10'-0". ADA COMPLIANT. PROVIDE 3000K COLOR TEMPERATURE.
F2	18" LENGTH VANITY WALL SCONCE	ACCESS LIGHTING	CD3438550PLN1213B	BRUSHED STEEL, ORAL	UNIT BATH	(2) 15W FLUORESCENT (1) 28W FLUORESCENT, USE LED TWIST-IN BULB	CENTER ABOVE VANITY	
F3	4" RECESSED CAN	LITON	JH576-2NE-2T-w/BLN1314H-WH	WHITE	BATH	(1) 15W FLUORESCENT	RECESSED, CENTER ABOVE TUB	WET LOCATION LISTED. PROVIDE 3000K COLOR TEMPERATURE.
F3a	UNDER CABINET LIGHTING	ROYAL PACIFIC, LTD.	8075	WHITE	UNIT 102 ONLY	(1) 15W FLUORESCENT	TIGHT TO UNDERSIDE OF CABINET	W/D & MECH CLOSETS MOUNT ABOVE DOOR, WALK-IN CLOSETS CENTER ON CEILING.
F4	4" FLUORESCENT STRIP W COVER	LITHONIA LIGHTING	88L2LFB55	WHITE	CLOSETS / MECH	(1) 25W LED	FLUSH TO CEILING	DAMP LOCATION LISTED.
F5	9" SLIM SURFACE LED, DIM WALL SCONCE	PHILIPS LIGHTOLIER	SFR830K7210U	WHITE	KITCHEN, BATH @ UNIT 102 ONLY	(1) 10.1 LED	FLUSH TO CEILING	PROVIDE DIMMING SWITCH, WET LOCATION, ENERGY STAR
F6	MINI PENDANT, DIM	ACCESS LIGHTING	28033-3C-85-WH	WHITE, CLEAR	UNIT KITCHEN	(1) 11W A-19 REPLACEMENT LED (3) 75W PAR 30, USE LED TWIST-IN BULB	CENTER OF FIXTURE @ 6'-6"	3000K COLOR TEMPERATURE, DIMMABLE
F8	4'-0" TRACK KIT	NUVO	TK316-WH	WHITE	THROUGHOUT UNIT	(1) 25W LED	FLUSH TO CEILING	ON SEPARATE SWITCH (3) 15W COMPACT FLUORESCENT PAR 30
F9	DECORATIVE SURFACE MOUNT, 12" DIA.	ACCESS LIGHTING	20747LEDD-SAT7ST	SATIN FROST	THROUGHOUT UNIT & CORRIDOR	(1) 30W LED	FLUSH TO CEILING	3000K COLOR TEMPERATURE
COMMON FIXTURES								
F10	EXISTING DECORATIVE PENDANT				THROUGHOUT CORRIDOR	REPLACEMENT LIGHTING TO MATCH EXISTING NUMBER OF LAMPS & WATTS	REPLACEMENT LIGHTING TO MATCH EXISTING NUMBER OF LAMPS & WATTS	
F11	SATIN NICKEL	SUNPARK ELECTRONICS	FL55240-3000K	SATIN NICKEL	COMMERCIAL BATH	(1) 19W LED	CENTER OF FIXTURE @ 9'-0"	CLEAN & RE-AMP FIXTURES
F12	ADA WALL SCONCE	TBD			ENTRY CORRIDOR		CENTER OF FIXTURE @ 9'-0"	3000K COLOR TEMPERATURE
F13	4" RECESSED CAN	LITON	JH710A-LLF-GL24-w/BLN1314H-WH	WHITE RING, WHITE REFLECTOR	COMMERCIAL BATH	(1) 28W LED	RECESSED	PROVIDE 3000K COLOR TEMPERATURE
F14	4" LED STRIP W/ COVER	AMERICAN FLUORESCENT (AFX)	LWFL7483000L3001	WHITE	UTILITY SPACES	(1) 25W LED	FLUSH TO CEILING	DAMP LOCATION LISTED, ENERGY STAR
F15	EMERGENCY BACKUP	TBD			THROUGHOUT CORRIDOR			
F16	WALKWAY/STEP LIGHT				ENTRY CORRIDOR			
F17	LED TAPE LIGHT							

PLUMBING FIXTURES & ACCESSORIES

Mark	Description	Manufacturer	Product Name/No.	Color/Finish	Location	Notes
A	DOUBLE BOWL SINK	ELKAY	GQURMET, EG9P0118	STAINLESS STEEL	KITCHEN	UNDERMOUNT
B	KITCHEN FAUCET	DELTA	ESSA, 9113-AR-DST	ARCTIC STAINLESS	KITCHEN	ADA COMPLIANT
C	CABINETS/PULLS	BEHRENDSON	METRO, 4114-18PN-P	BRUSHED NICKEL	KITCHEN & BATH	
D	TOILET	AMERICAN STANDARD	CASET3, 2514-101	WHITE	BATH	ADA COMPLIANT. WATER SENSE. EVER CLEAN SURFACE
E	BATHUB, RIGHT HAND OUTLET	AMERICAN STANDARD	PRINCETON, 2391-202	WHITE	BATH	ADA COMPLIANT
J	BATHUB, LEFT HAND OUTLET	AMERICAN STANDARD	PRINCETON, 2390-202	WHITE	BATH	ADA COMPLIANT
F	TUBSHOWER FAUCET TRIM KIT	DELTA	T14459-SS	STAINLESS STEEL	BATH	ADA COMPLIANT
G	SINK FAUCET	DELTA	TRINISC, 559HA-SS-DST	STAINLESS STEEL	BATH	ADA COMPLIANT
H	18" TOWEL BAR	DELTA	TRINISC, 7391B-SS	STAINLESS STEEL	BATH	
J	24" TOWEL BAR	DELTA	TRINISC, 7556A-SS	STAINLESS STEEL	BATH	
K	TOILET PAPER HOLDER	DELTA	TRINISC, 7556D-SS	STAINLESS STEEL	BATH	
L	ROBE HOOK	MOEN	ALIGN, YB0403 BN	BRUSHED NICKEL	BATH	
M	3" CURVED SHOWER ROD	CREATIVE SPECIALTIES, MOEN	DN21458N	BRUSHED NICKEL	BATH	
P	24" X 18" WALL MOUNT ADA SINK	KASON	1751 SERIES ADJUSTABLE LEGS WITH INTEGRAL FEET UNLIMITED 95.1	STAINLESS STEEL, SATIN FINISH	COMMERCIAL BATH	ADA COMPLIANT. USE ADA COMPLIANT DECORATIVE TRAP ONLY
Q	SHelf SUPPORT BRACKET	WS BATH COLLECTIONS	SHABBS-175	SATIN NICKEL	UNIT KITCHEN	MOUNT BRACKETS 34" O.C. MAX.
R	BI-LEVEL WATER FOUNTAIN	ELKAY	EZ517L8	STAINLESS STEEL	COMMERCIAL SPACE	ADA COMPLIANT
S	80CM STAINLESS STEEL STORAGE RAK	KEA	GRUNDTAL, 802-135-40	STAINLESS STEEL	UNIT KITCHEN	SECURE TO UNDERSIDE OF KITCHEN TABLE COUNTERTOP
T	11CM STAINLESS STEEL S-HOOKS	KEA	GRUNDTAL, 201-783-81	STAINLESS STEEL	UNIT KITCHEN	HANG ON STEEL RAIL

APPLIANCES

Mark	Description	Manufacturer	Product Name/No.	Color/Finish	Location	Notes
E1	30" TOP REFRIGERATOR	FRIGIDARE GALLERY	FGH21640F	STAINLESS STEEL	UNIT KITCHEN	ENERGY STAR
E2	24" DISHWASHER	FRIGIDARE GALLERY	FGD24860 F	STAINLESS STEEL	UNIT KITCHEN	ENERGY STAR
E3	30" FREESTANDING RANGE	FRIGIDARE	FFH73048L S	STAINLESS STEEL	UNIT KITCHEN	
E4	30" OVER-THE-RANGE MICROWAVE	FRIGIDARE	FFMV164L S	STAINLESS STEEL	UNIT KITCHEN	
E5	TOP LOAD LAUNDRY CENTER	FRIGIDARE	FFL4391120W	WHITE	UNIT	ENERGY STAR

FINISHES

Mark	Description	Manufacturer	Product Name/No.	Color/Finish	Location	Notes
CT1	12" X 24" PORCELAIN FLOOR TILE	DALTILE	VOLUME 1.0	STEREO GRAY (VL73)	UNIT BATH & COMMERCIAL BATH	INSTALLED RUNNING-BOND JOINT
CT2	12" X 24" PORCELAIN WALL TILE	FLORIDA TILE	RHYME	IVORY STACCATO 28503	UNIT BATH	INSTALLED VERTICALLY, STRAIGHT-JOINT
CT3	4" X 16" BACKSPLASH TILE	DALTILE	ELEVARIE	ELEMENT (EL43), MATTE FINISH	UNIT KITCHEN	
CT4	12" X 24" FLOOR ACCENT TILE, CUT INTO 12" X 4" X 12" PIECES	DALTILE	VOLUME 1.0	SONIC WHITE (VL75)	UNIT 102 BATH ONLY (LINING BORDER OF HOLE IN FLOOR)	REFER TO UNIT PLAN FOR TILE LOCATION
GR1	FLOOR GROUT	MAPEI	TBD		UNIT BATH	COORD. W/ CT1 & CT4
GR2	WALL GROUT	MAPEI			UNIT BATH	COORD. W/ CT2
GR3	BACKSPLASH GROUT	MAPEI			UNIT KITCHEN	COORD. W/ CT3
GT1	3CM GRANITE		ARABESCO	POLISHED	UNIT KITCHEN & BATH	EASED EDGES, POLISH ALL EXPOSED EDGES
PT1	OVERALL (A GYP BD CEILING PAINT)	SHERWIN WILLIAMS	SW7015, REPOSE GRAY	FLAT	THROUGHOUT UNIT & CORRIDOR	
PT2	UNIT TRIM PAINT	SHERWIN WILLIAMS	SW7006, EXTRA WHITE	GLOSS	THROUGHOUT UNIT	
PT3	UNIT BATHROOM PAINT	SHERWIN WILLIAMS	SW7015, REPOSE GRAY	SEMI-GLOSS	UNIT BATH	
PT4	UNIT WD RAILINGS PAINT	SHERWIN WILLIAMS			THROUGHOUT UNITS W/ EXISTING WD STAIR RAILINGS	
PT5	CORRIDOR TRIM PAINT	SHERWIN WILLIAMS		GLOSS	THROUGHOUT CORRIDOR/ COMMERCIAL SPACE	
PT6	CORRIDOR ACCENT PAINT	SHERWIN WILLIAMS		FLAT	CORRIDOR & STAIRWELL	
PT7	BRICK PAINT	SHERWIN WILLIAMS		SEMI-GLOSS	BASEMENT	PAINT ONLY WHERE ALREADY PAINTED
PT8	TIN CEILING INTUMESCENT PAINT (ASTM E119-99)	TBD	TBD	TBD	1ST FLOOR TIN CLG	SPRAYED ON ALL SURFACES
WD1	WOOD CABINETRY	ADVANTA CABINETRY	CALIBRA II	STORM	UNIT KITCHEN & BATH	
WD2	EXISTING WOOD FLOORS				THROUGHOUT	REFINISH AND REPAIR
WD3	NEW WOOD FLOORS	TBD	TBD		NEW FLOOR LOCATION @ ELEVATOR SHAFT HOLE IN UNITS	INSTALL PERPENDICULAR TO EXISTING FLOOR DIRECTION
SC1	EXISTING STAINED CONCRETE			CLEAR COAT	THROUGHOUT BASEMENT	
BR1	EXISTING BRICK WALLS			CLEAR COAT SEAL	THROUGHOUT BASEMENT	CLEAR COAT AND SEAL UNPAINTED BRICK & PAINT ONLY WHERE ALREADY PAINTED
MTL1	EXISTING TIN CEILING				THROUGHOUT 1ST FLOOR	
MTL2	NEW TIN CEILING MOLDING	ARMSTRONG	METALWORKS, 56054TW1	WHITE	THROUGHOUT 1ST FLOOR	TO CONCEAL CORNERS & EDGES WHERE EXIST. TIN CEILING IS CUT

NOTES:
1. PAINT BRICK ONLY WHERE ALREADY PAINTED

FINISH SCHEDULE

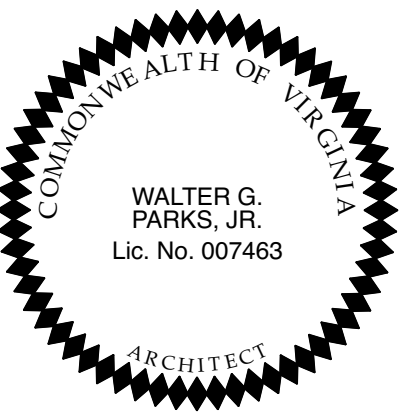
ROOM NAME	FLOORS	TRIM		DOORS	WALLS		CEILING	CASEWORK			NOTES
		BASE	DOOR		GYP	BRICK		CABINETS	COUNTERTOP	BACKSPLASH	
UNITS											
APARTMENTS - 1ST-3RD FLOOR											
BATH	CT1 / CT4	PT2	PT2	CLEAR COAT BIRCH	PT3, CT2	-	PT1	WD1	GT1	GT1	*CT4 USED ONLY AT UNIT 102
BEDROOM	WD2 / WD3				PT1						
CLOSET											
KITCHEN								WD1	GT1	CT3	
LIVING ROOM											
MECH											
W/D											
COMMON AREAS											
STAIR 1	WD2	PT5	PT5	CLEAR COAT BIRCH	PT1 / PT6	-	PT1				
1ST FLOOR CORRIDOR											
2ND FLOOR CORRIDOR											
3RD FLOOR CORRIDOR											
COMMERCIAL SPACE											
COMMERCIAL TOILET	CT1	PT5	PT5	CLEAR COAT BIRCH	PT1	-	PT1				
1ST FLOOR COMMERCIAL	WD2						MTL1 & MTL2, PT8				
BASEMENT COMMERCIAL	SC1					BR1 / PT7	PT1				*PAINT BRICK ONLY WHERE ALREADY PAINTED

NOTES:
1. PRIME ALL EXTERIOR MTL SURFACES WITH RUST-INHIBITOR PRIOR TO PAINTING

EXTERIOR FINISHES

Mark	Description	Manufacturer	Product Name/No.	Color/Finish	Location	Notes
ALLM1	ALUMINUM STOREFRONT	KAWNEER			COMMERCIAL ENTRY	
BR1	EXISTING BRICK				THROUGHOUT	
MTL1	MISC. METALS					
PT60	OVERALL BRICK PAINT				OVERALL	
PT41	ACCENT BRICK PAINT				OVERALL	
PT62	WINDOW TRIM PAINT				OVERALL	
PT63	EXISTING WD DOOR ACCENT PAINT				REAR ENTRY DOOR	REFURBISHED AS NEEDED

NOTES:
1. PRIME ALL EXTERIOR MTL SURFACES WITH RUST-INHIBITOR PRIOR TO PAINTING



HARVEY FLATS
22 E BROAD ST RICHMOND VIRGINIA USA

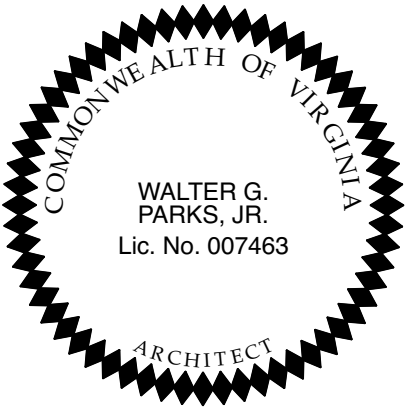
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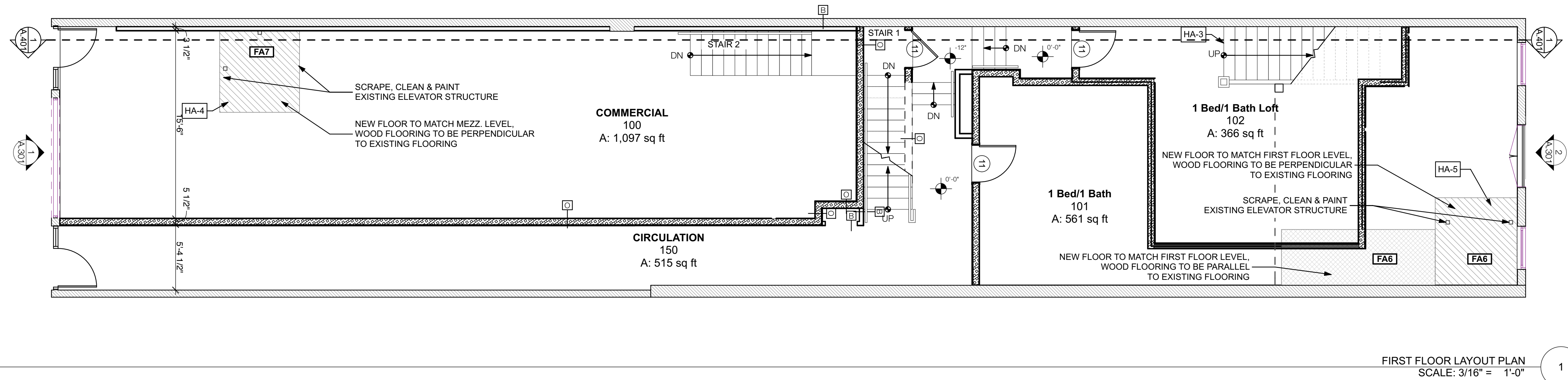
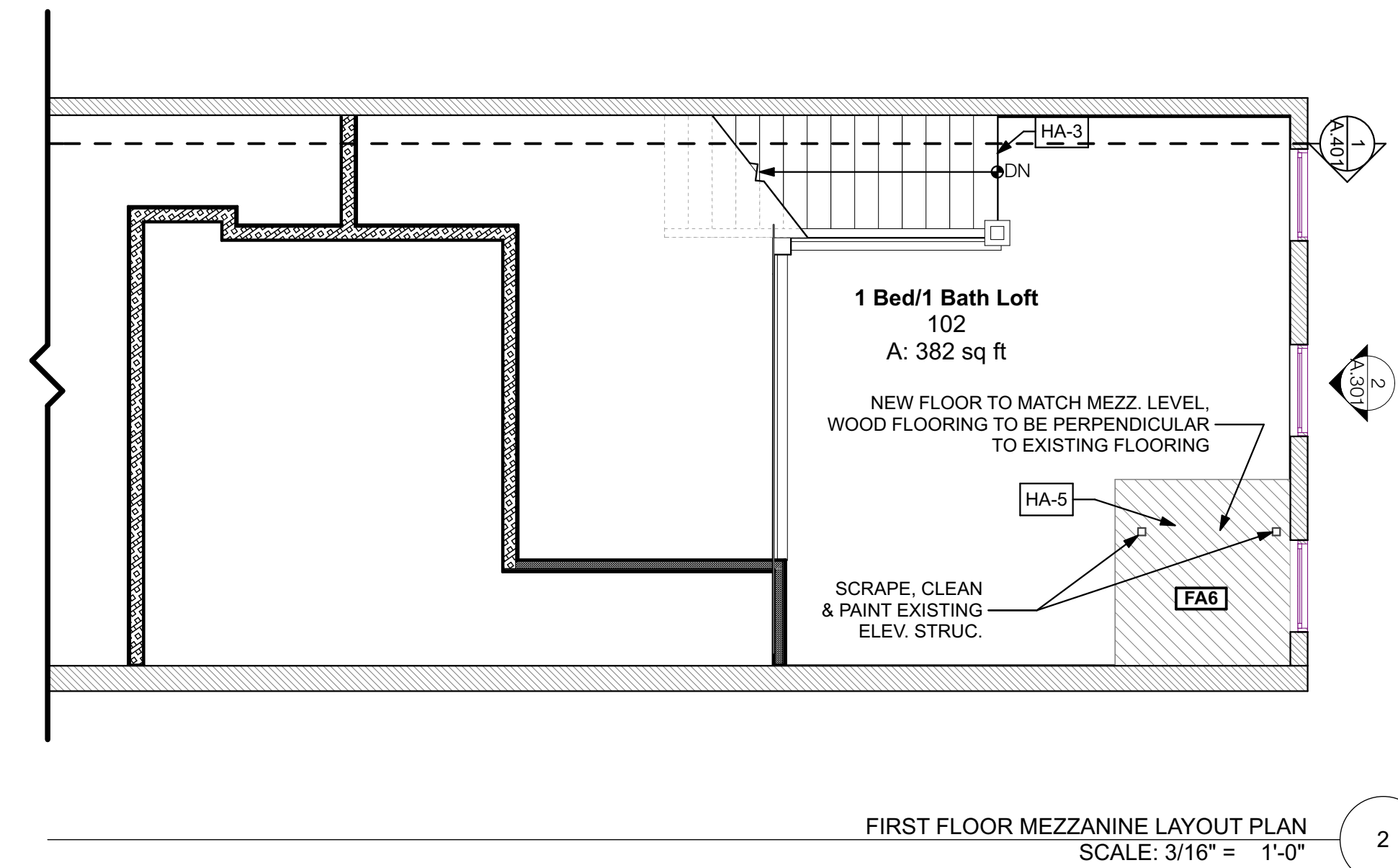
PROJECT #: 16.44
DATE: 9/23/16

SCHEDULES
A.102



HARVEY FLATS
 22 E BROAD ST RICHMOND VIRGINIA USA

HISTORIC ARTIFACT KEY		
NAME	ITEM DESCRIPTION	NOTES
HA-1	HISTORIC STAIR	
HA-2	HISTORIC STAIR	EXISTING STAIR TO REMAIN, CLEAN & PAINT/STAIN
HA-3	HISTORIC STAIR	
HA-4	HISTORIC ELEVATOR	SALVAGE: STEEL COLUMNS FIX ELEVATOR IN BASEMENT PATCH WD FLOORING W/ PERPENDICULAR ORIENTATION
HA-5	HISTORIC ELEVATOR	SALVAGE GEARS @ TOP FLOOR, CLEAN AND PAINT



SEE A.203 FOR BASEMENT PLAN

WHITE BOX SCOPE

- REMOVE FLOORING. CLEAN & PREP FOR NEW TILE.
- BASE SHALL RUN ON ALL WALLS, SEE TRIM TYPES.
- GYPSUM WALLS SHALL BE COMPLETELY PAINTED WITH TWO COATS OF PAINT, WHITE.
- PLASTER WALLS SHALL BE PAINTED WITH TWO COATS OF PAINT, WHITE.
- UNPAINTED BRICK SHALL REMAIN UNPAINTED, PATCH ALL VOIDS WITH BRICK AND MATCHING MORTAR. SEAL ALL SURFACES.
- NEW DOORS AND WINDOWS THROUGHOUT
- CEILINGS SHALL BE COMPLETELY PAINTED WITH TWO COATS OF PAINT.
- MECHANICAL UNIT SUFFICIENT TO CONDITION THE SPACE AS AN ASSEMBLY OR BUSINESS SPACE SHALL BE PROVIDED, UNLESS OTHERWISE NOTED. DUCTWORK, GRILLES, RETURNS AND THERMOSTATS TO BE PROVIDED WHERE DIRECTED BY OWNER/ARCHITECT.
- PANEL CEILINGS TO BE SALVAGED, STORED & REINSTALLED
- PROVIDE ELECTRICAL SERVICE ADEQUATE FOR AN ASSEMBLY OR BUSINESS SPACE. PANEL TO HAVE BLANKS FOR NEW CIRCUITS. PROVIDE LIGHTING SUFFICIENT FOR C.O. INSTALL RECEPTICLES @ 20' O.C.
- INSTALL BATHROOMS, DRINKING FOUNTAINS, AND SERVICE SINKS WHERE LOCATED ON PLANS.
- BASEMENT: FLOORS, WALLS & CEILINGS TO BE CLEANED & READY FOR PAINT, OUTLETS INSTALLED @ 20' O.C.
- NEW SPRINKLER SYSTEM

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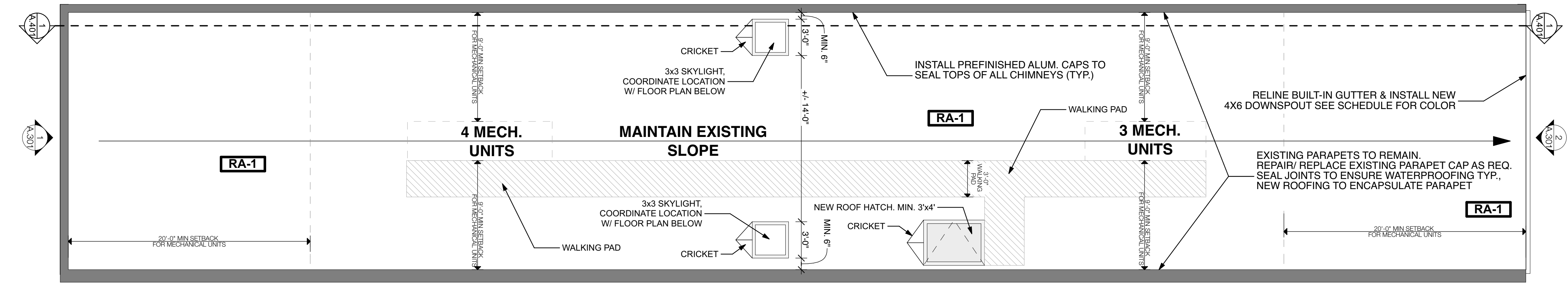
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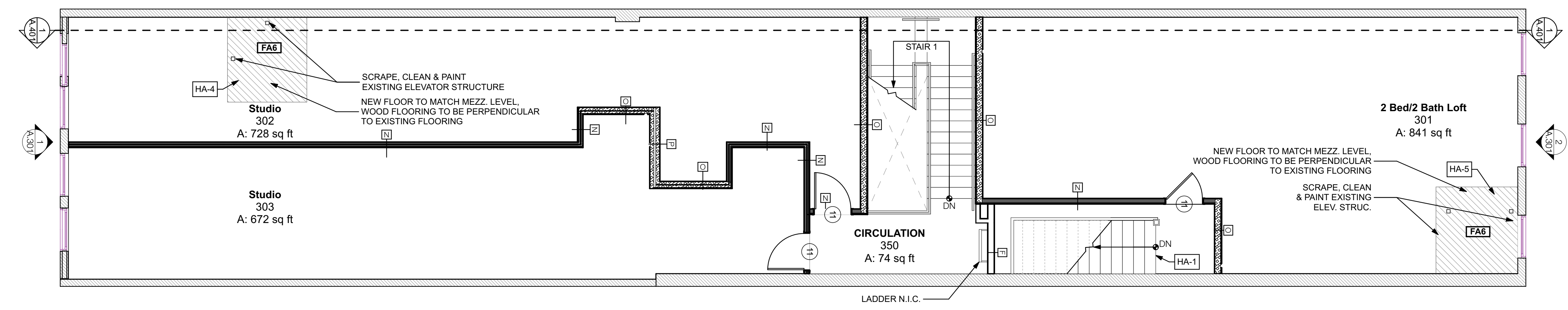
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FIRST FLOOR & MEZZ
LAYOUT PLANS
A.201

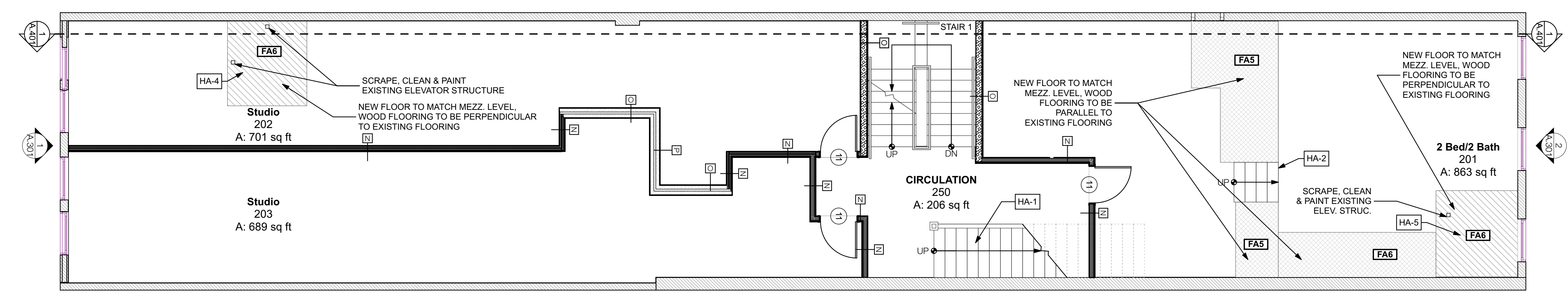
SEE SHEET A.201 FOR HISTORIC ARTIFACT KEY



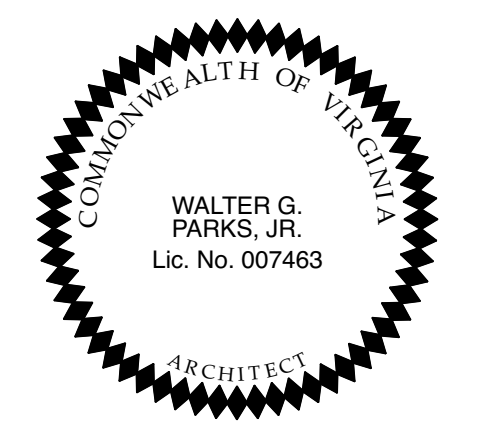
ROOF PLAN
SCALE: 3/16" = 1'-0"



THIRD FLOOR LAYOUT PLAN
SCALE: 3/16" = 1'-0"



SECOND FLOOR LAYOUT PLAN
SCALE: 3/16" = 1'-0"



HARVEY FLATS
22 E BROAD ST RICHMOND VIRGINIA USA

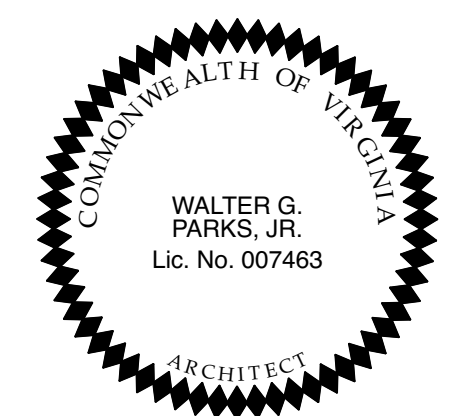
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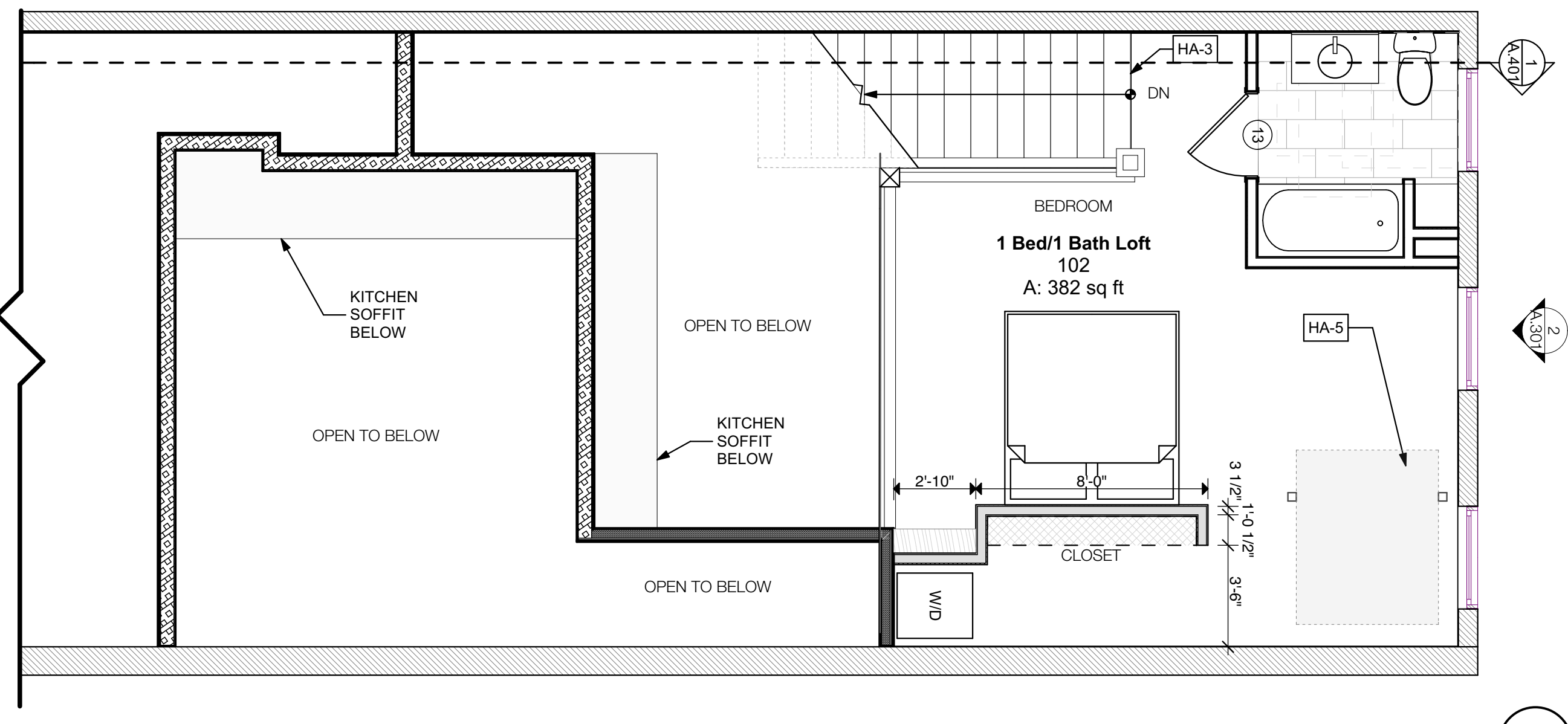
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SECOND & THIRD
FLOOR LAYOUT PLAN
A.202

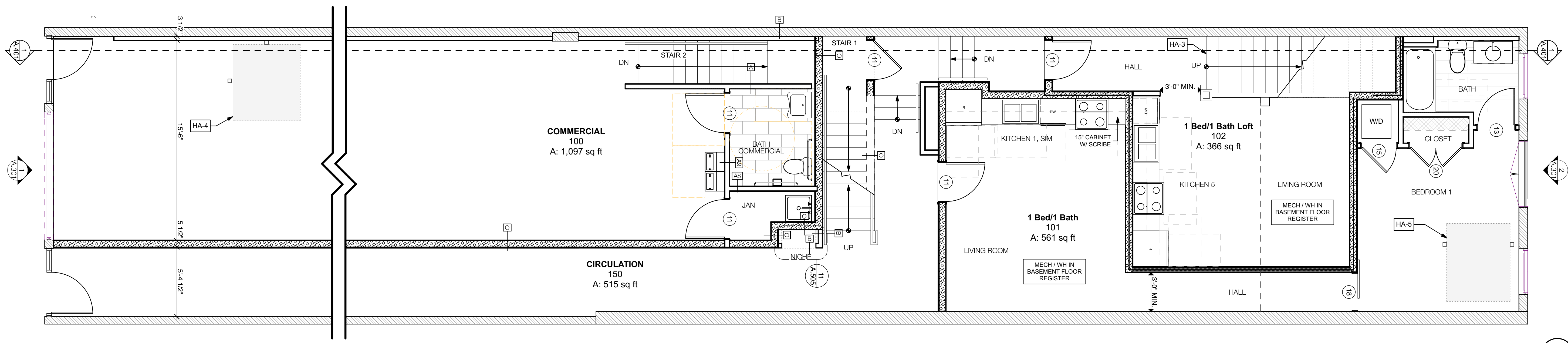


HARVEY FLATS
22 E BROAD ST RICHMOND VIRGINIA USA

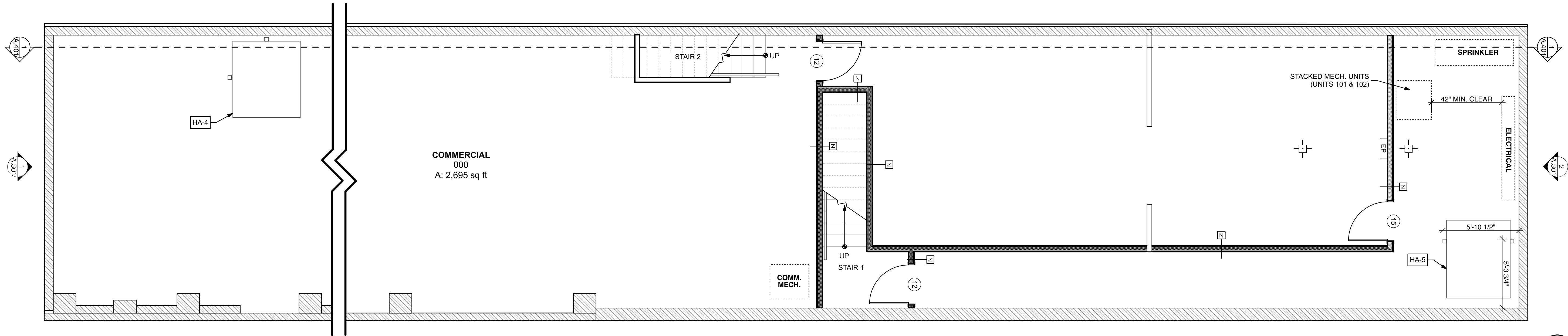
HISTORIC ARTIFACT KEY		
NAME	ITEM DESCRIPTION	NOTES
HA-1	HISTORIC STAIR	EXISTING STAIR TO REMAIN, CLEAN & PAINT/STAIN
HA-2	HISTORIC STAIR	
HA-3	HISTORIC STAIR	
HA-4	HISTORIC ELEVATOR	SALVAGE: STEEL COLUMNS FIX ELEVATOR IN BASEMENT PATCH WD FLOORING W/ PERPENDICULAR ORIENTATION SALVAGE GEARS @ TOP FLOOR, CLEAN AND PAINT
HA-5	HISTORIC ELEVATOR	



FIRST FLOOR MEZZANINE UNIT PLAN
SCALE: 1/4" = 1'-0" 3



FIRST FLOOR UNIT PLAN
SCALE: 1/4" = 1'-0" 2



BASEMENT UNIT PLAN
SCALE: 1/4" = 1'-0" 1

REVISIONS	
TAG	DATE

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ARCHITECT

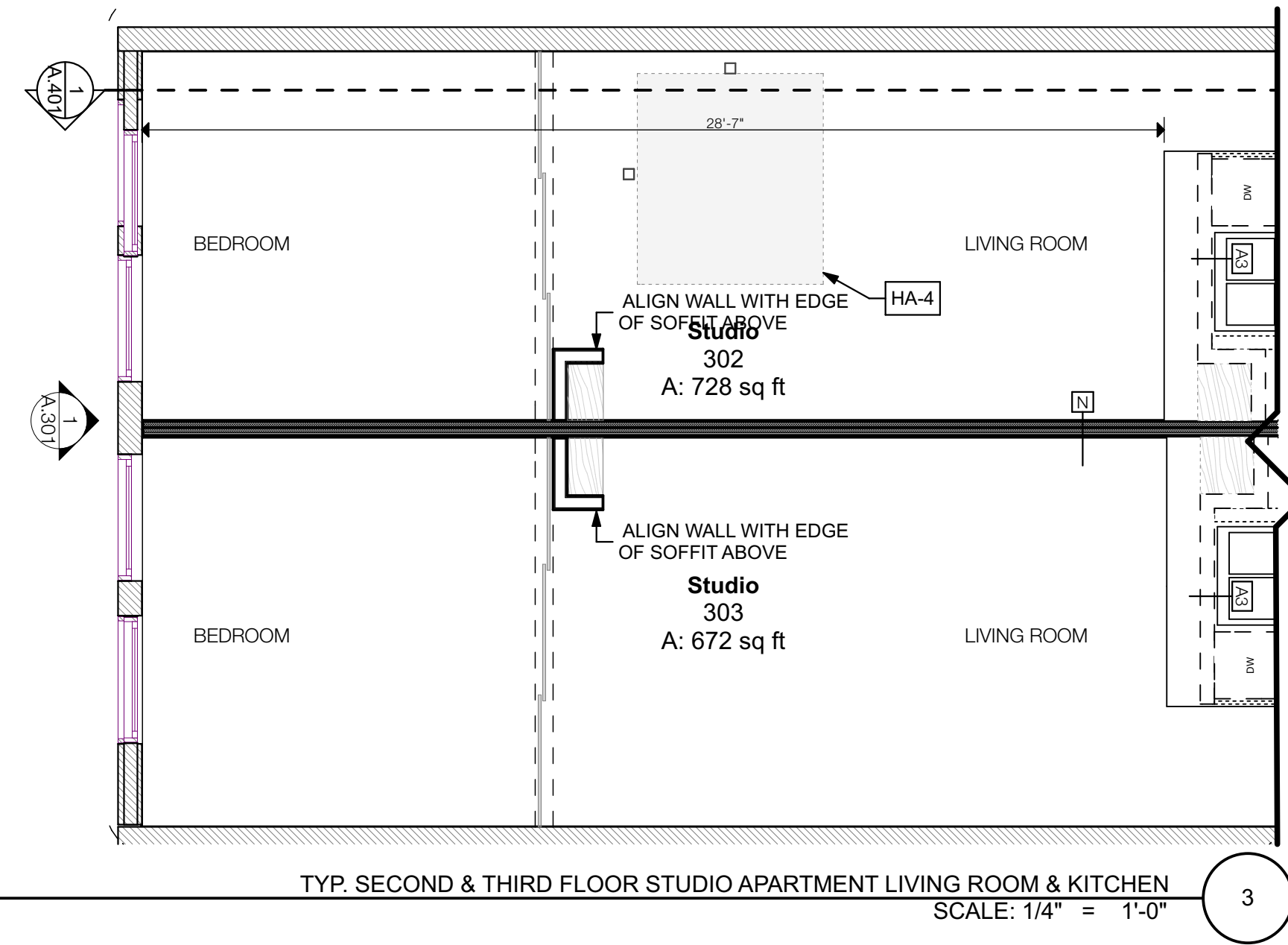
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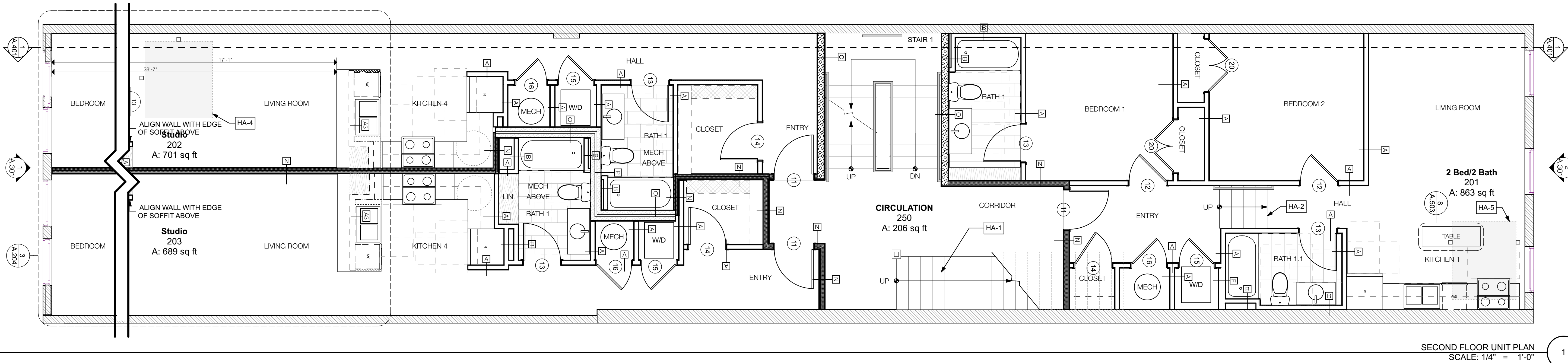
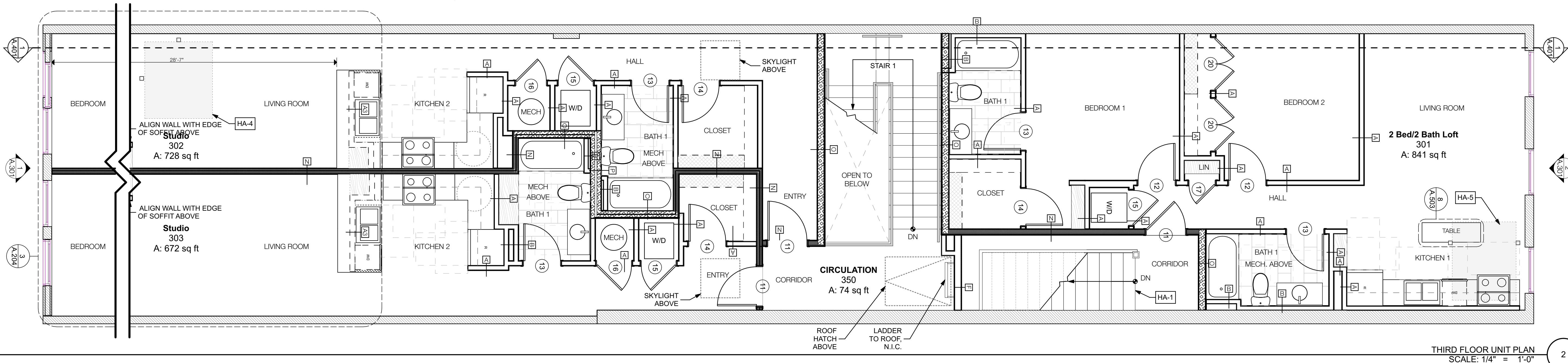
BASEMENT, FIRST
FLOOR & MEZZ UNIT
PLANS
A.203



HARVEY FLATS
22 E BROAD ST RICHMOND VIRGINIA USA



HISTORIC ARTIFACT KEY		
NAME	ITEM DESCRIPTION	NOTES
HA-1	HISTORIC STAIR	EXISTING STAIR TO REMAIN, CLEAN & PAINT/STAIN
HA-2	HISTORIC STAIR	
HA-3	HISTORIC STAIR	
HA-4	HISTORIC ELEVATOR	SALVAGE: STEEL COLUMNS FIX ELEVATOR IN BASEMENT PATCH WD FLOORING W/ PERPENDICULAR ORIENTATION SALVAGE GEARS @ TOP FLOOR, CLEAN AND PAINT
HA-5	HISTORIC ELEVATOR	



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PROJECT #: 16.44
DATE: 9/23/16

SECOND & THIRD
FLOOR UNIT PLANS
A.204



HARVEY FLATS
22 E BROAD ST RICHMOND VIRGINIA USA

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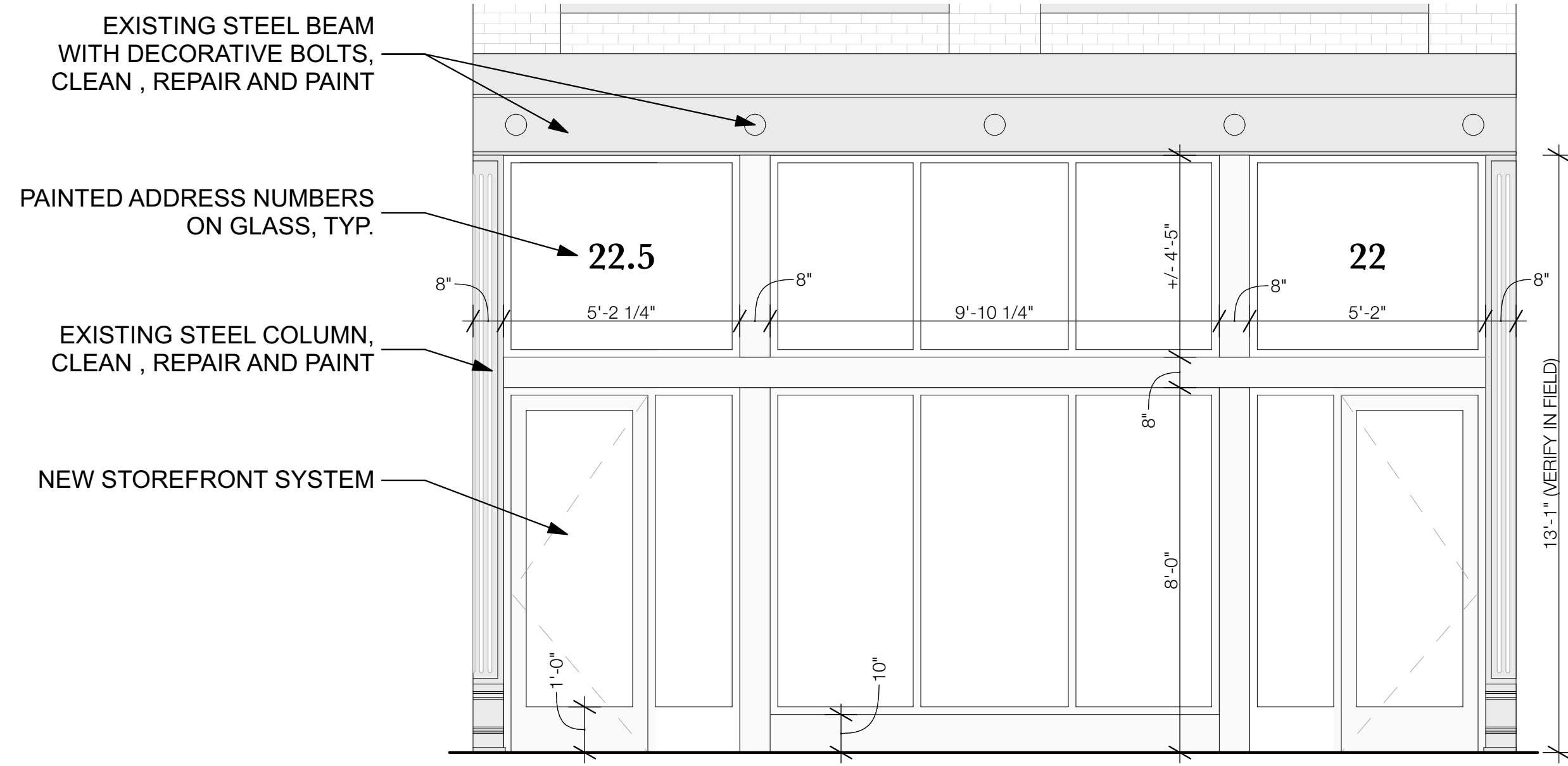
PROPOSED NORTH &
SOUTH ELEVATIONS
A.301

FINISH SCHEDULE

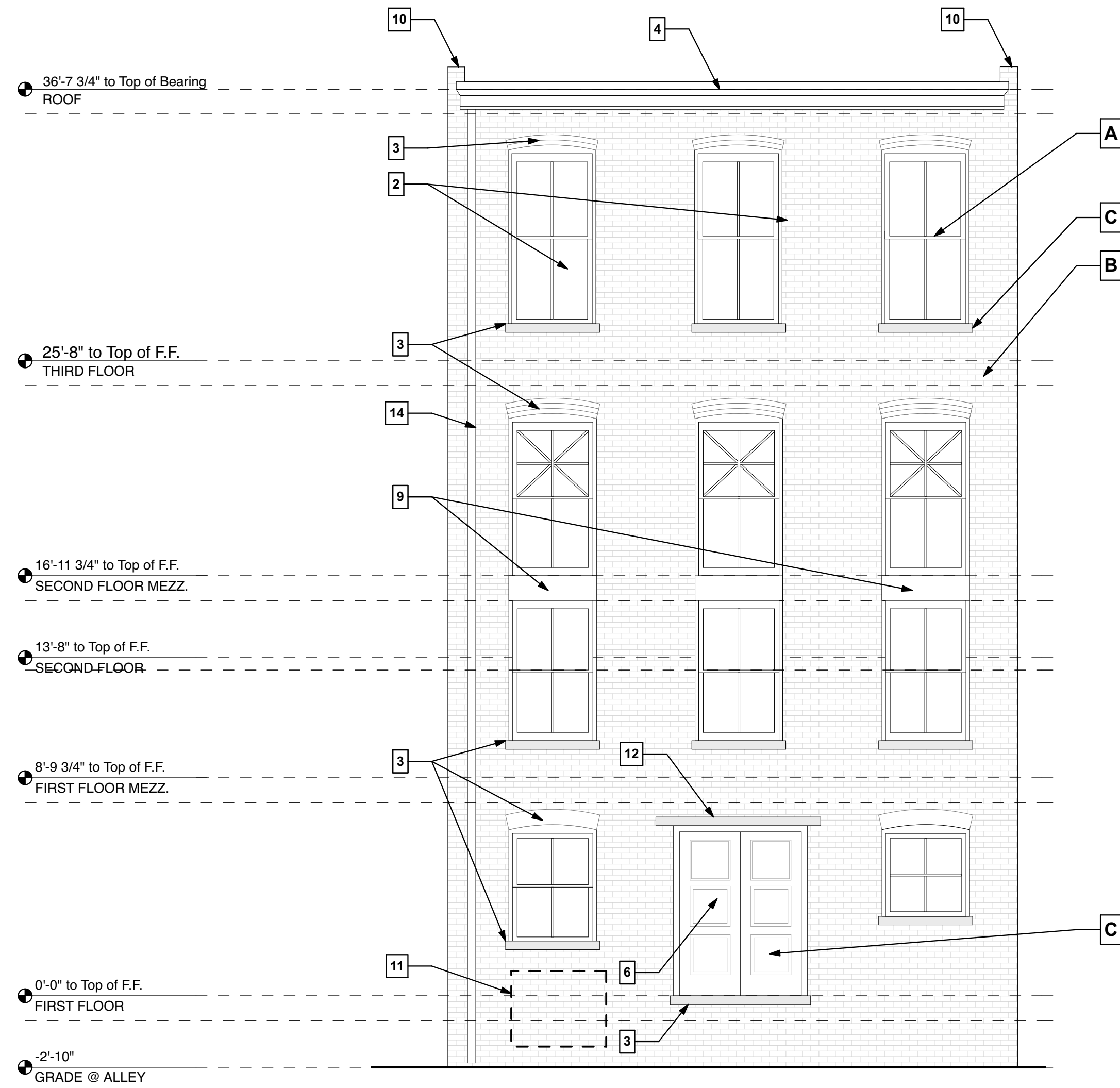
A	WINDOW PT.	TBD
B	OVERALL BRICK PT.	TBD
C	ACCENT PT. / SILL PAINT	TBD

PROPOSED ELEVATION NOTES

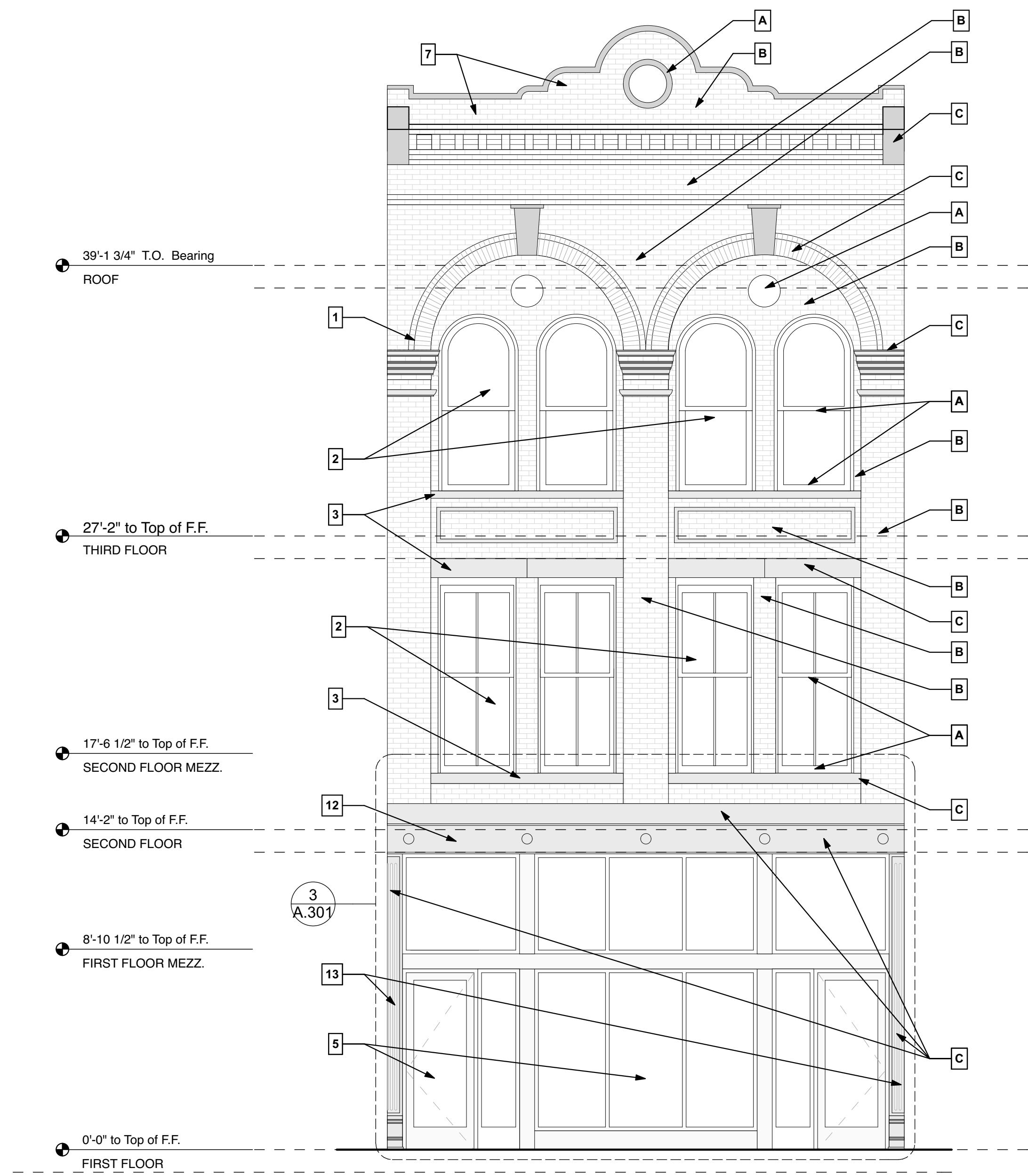
- MASONRY:** EXISTING BRICK MASONRY TO BE CLEANED W/ SOAP AND WATER OR OTHER NON-ABRASIVE METHOD, AND FREE OF ALL VEGETATION, GRAFFITI AND DEBRIS. REPOINT AS REQUIRED.
- EXISTING WINDOWS, RESTORE WINDOW MULLIONS, CLEAN, SCRAPE LOOSE PAINT, RE-CAULK, RE-GLAZE DAMAGED GLASS, BROKEN OR DISCOLORED GLASS, REMOVE ROTTEN WOOD TRIM & SILLS ON INTERIOR & EXTERIOR. FIX UPPER SASH AND MAKE BOTTOM SASH OPERABLE & WEATHERPROOF. PRIME & PAINT.
- RESTORE AND REPAIR ALL EXISTING STONE/ MASONRY SILLS AND HEADERS.
- EXISTING CORNICE & INTEGRATED GUTTER. REPAIR IN KIND AS NEEDED, PREP FOR PAINT.
- NEW ALUMINUM STOREFRONT DOOR AND WINDOWS IN EXISTING OPENING.
- FIX DOORS CLOSED. SCRAPE CLEAN & PAINT.
- REPAIR BRICK WHERE NECESSARY.
- NEW BUILDING SIGNAGE, HAND PAINTED NUMBERS ON GLASS, TYP. (by others, N.I.C)
- REMOVE PLYWOOD TO REVEAL EXISTING CONDITION. NOTIFY ARCHITECT IF DIFFERENT THAN SHOWN.
- EXISTING PARAPET TO REMAIN, WRAP WITH TPO AND REPLACE/ REPAIR CAP.
- REPAIR & PAINT MASONRY AS NEEDED UNDER STEEL PLATE
- EXISTING STEEL BEAM/ HEADER, CLEAN/ PAINT
- EXISTING STEEL COLUMNS, CLEAN & PAINT
- NEW PREFINISHED MTL DOWNSPOUT, SEE PLUMBING DRAWINGS FOR SIZE.



ENLARGED STOREFRONT ELEVATION
SCALE: 3/8" = 1'-0" **3**



BROAD STREET ELEVATION (SOUTH) **2**



SOUTH ELEVATION (BROAD STREET)
SCALE: 1/4" = 1'-0" **1**



HARVEY FLATS
22 E BROAD ST RICHMOND VIRGINIA USA

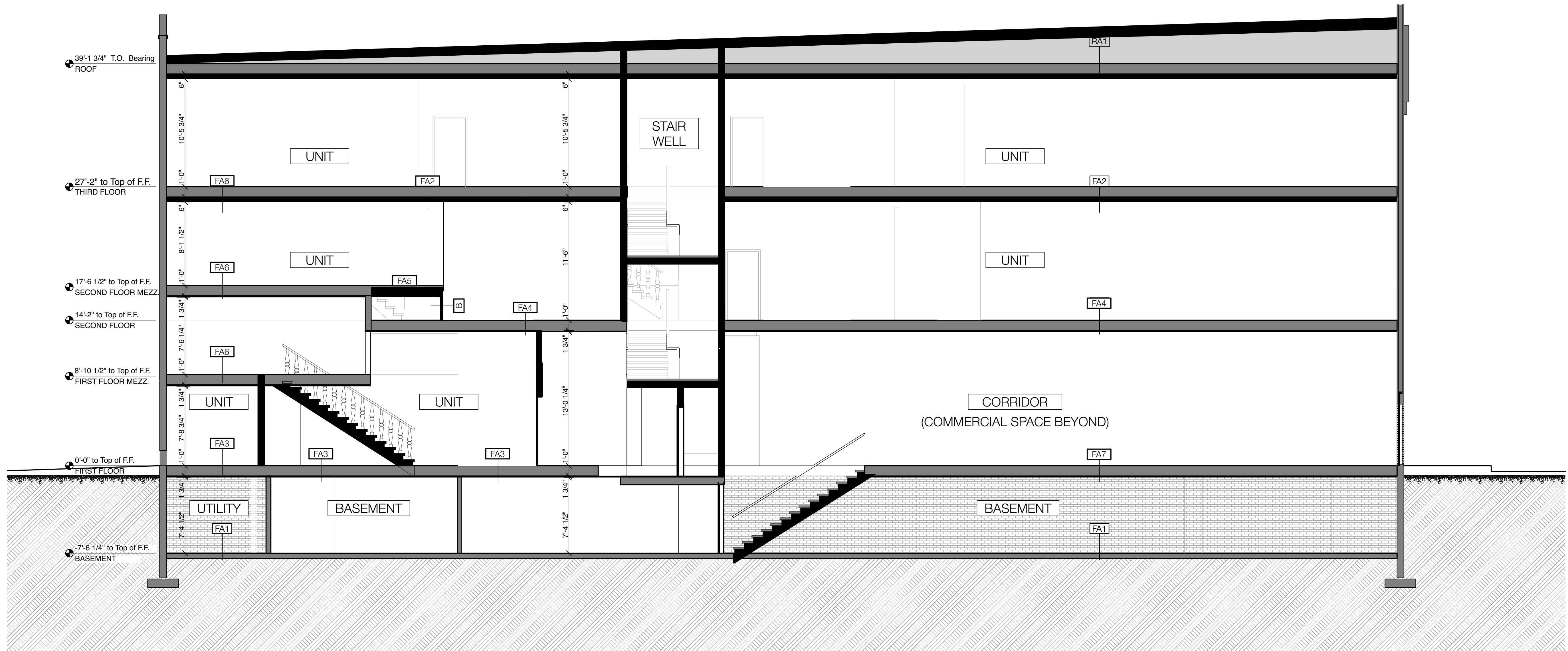
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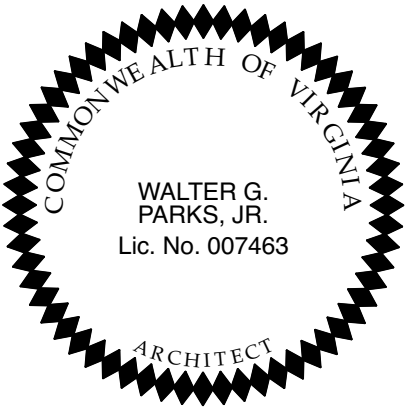
PROJECT #: 16.44
DATE: 9/23/16

SECTIONS
A.401

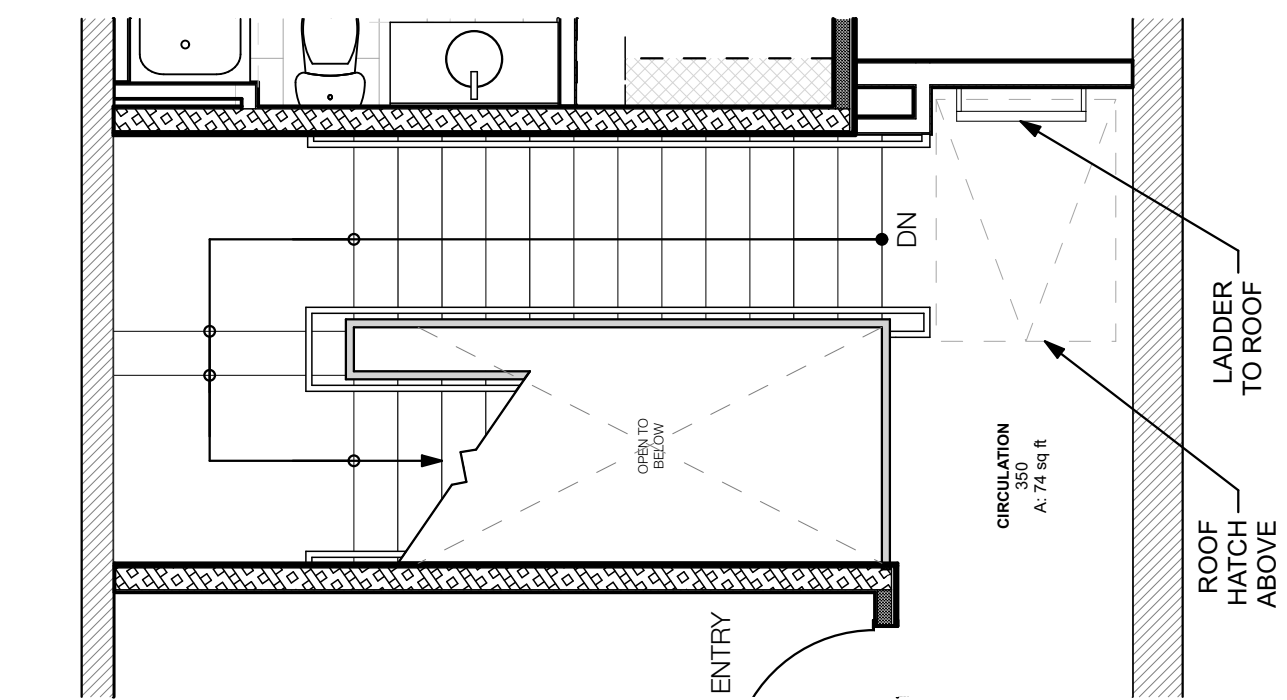


SECTION
SCALE: 3/16" = 1'-0"

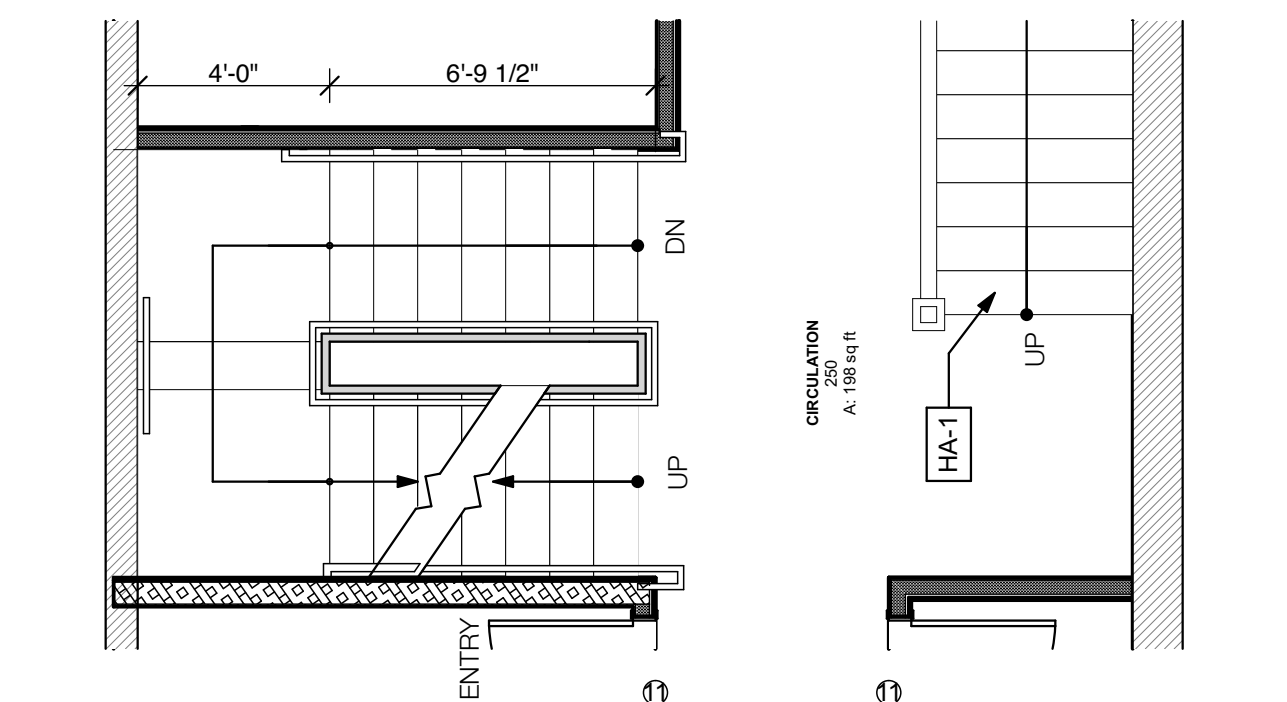
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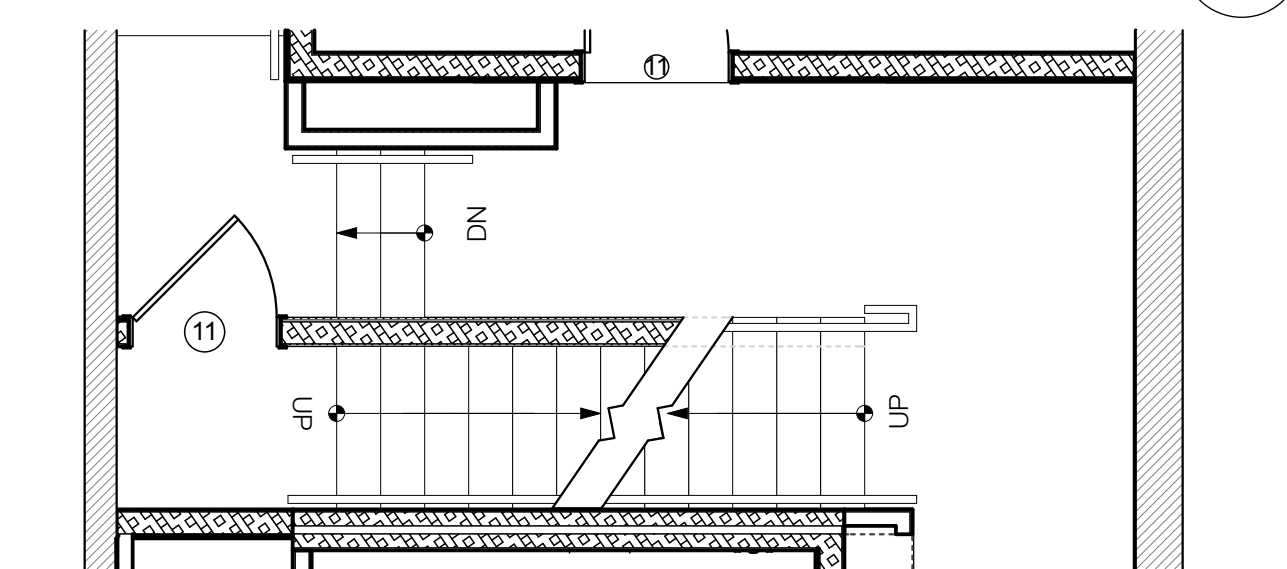
HARVEY FLATS
22 E BROAD ST RICHMOND VIRGINIA USA



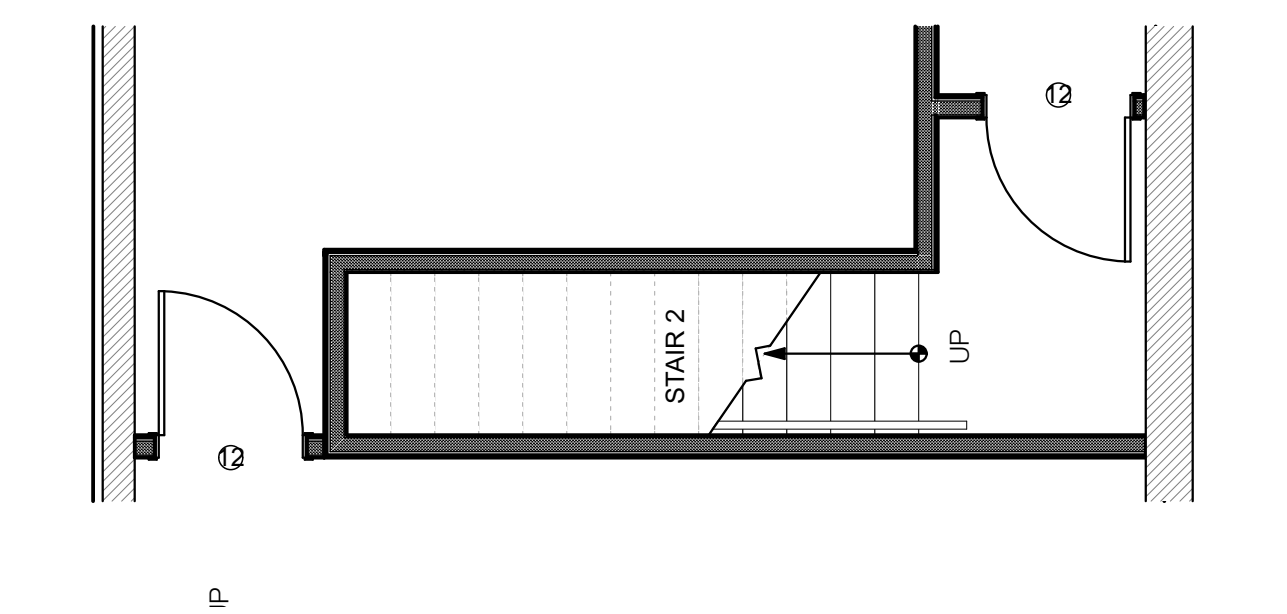
STAIR 1 - THIRD FLOOR PLAN
SCALE: 1/4" = 1'-0" 4



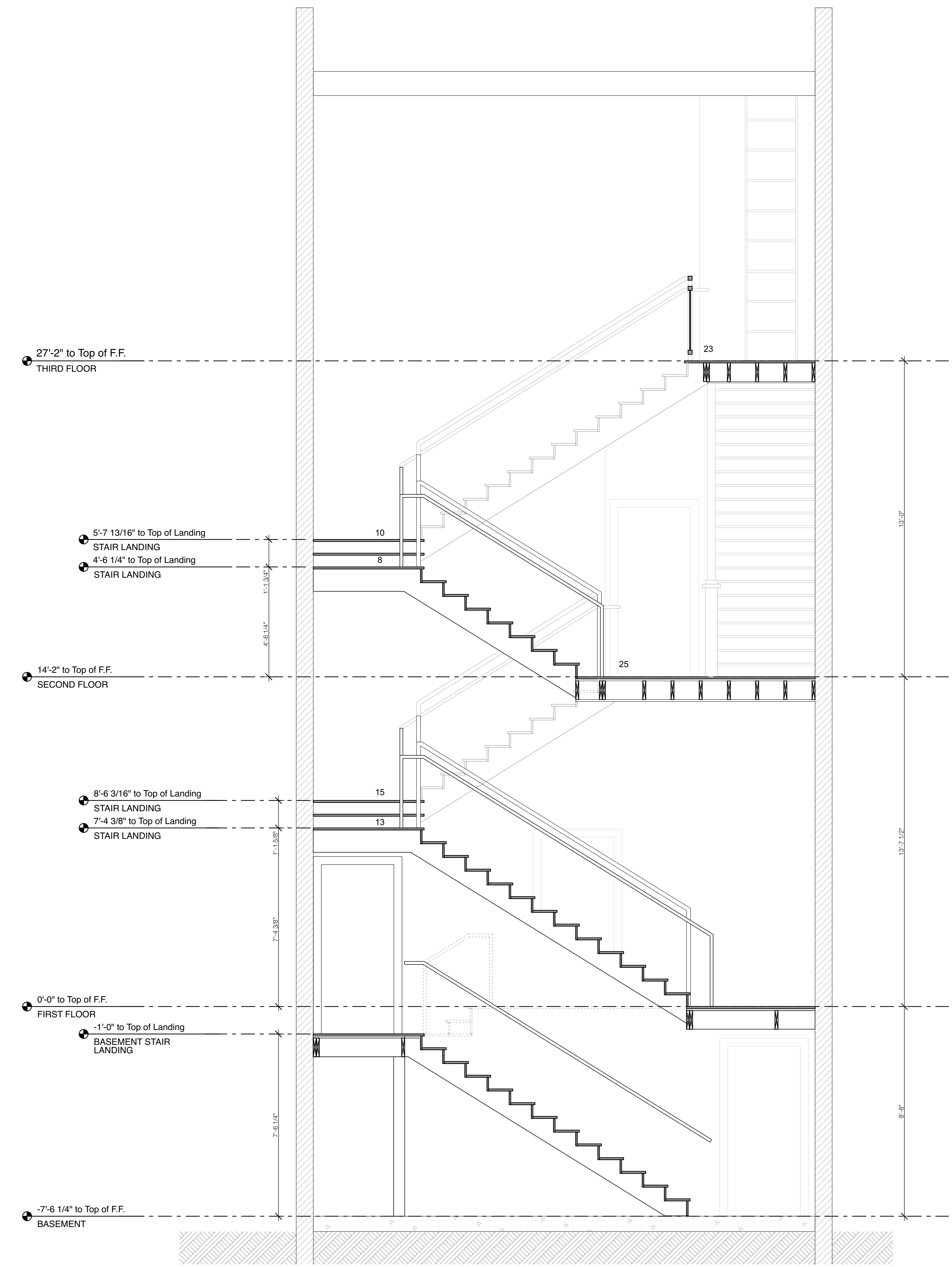
STAIR 1 - SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0" 3



STAIR 1 - FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0" 2



STAIR 1 - BASEMENT FLOOR PLAN
SCALE: 1/4" = 1'-0" 5



STAIR SECTION
SCALE: 3/8" = 1'-0" 1

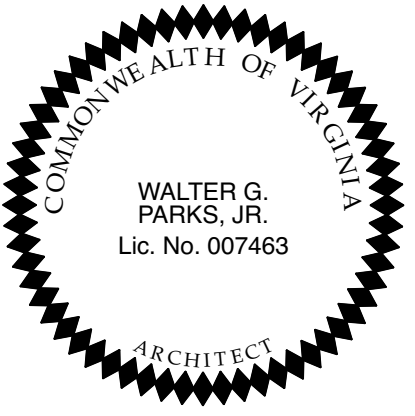
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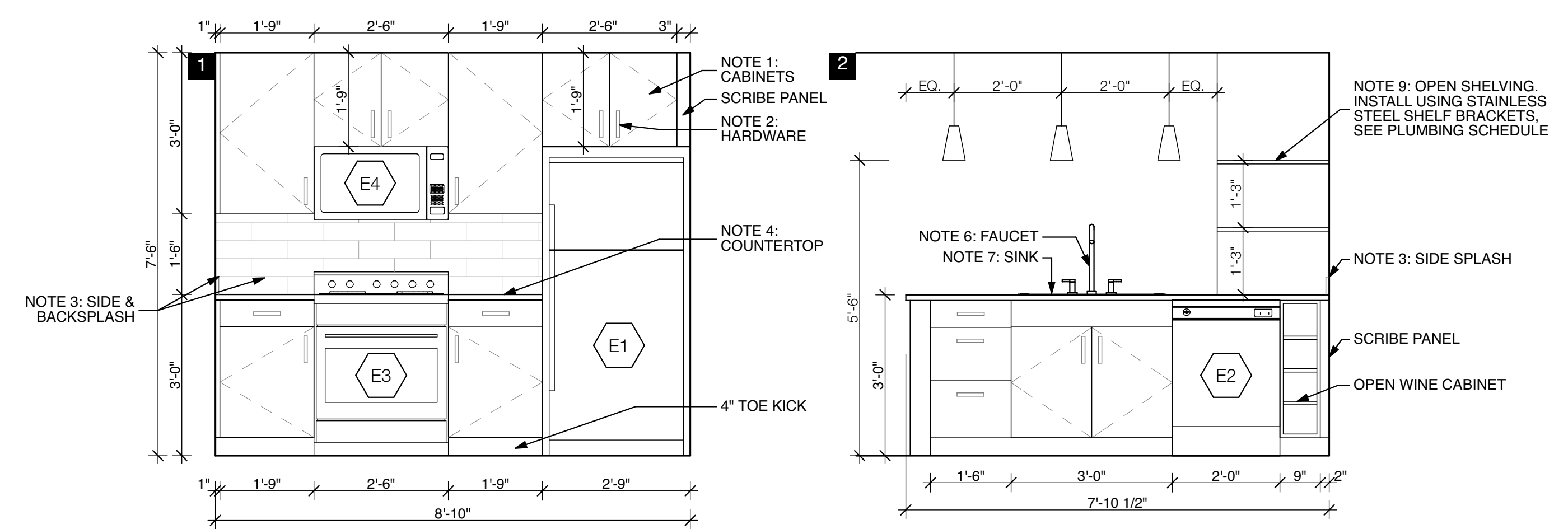
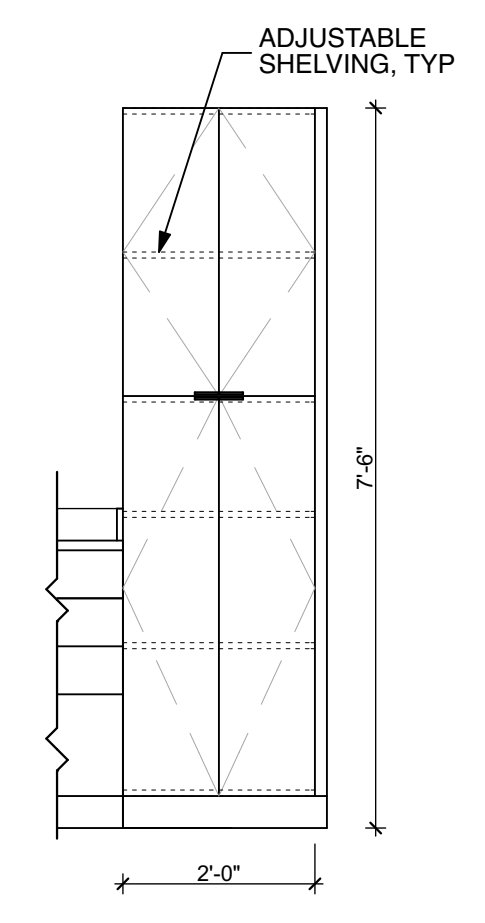
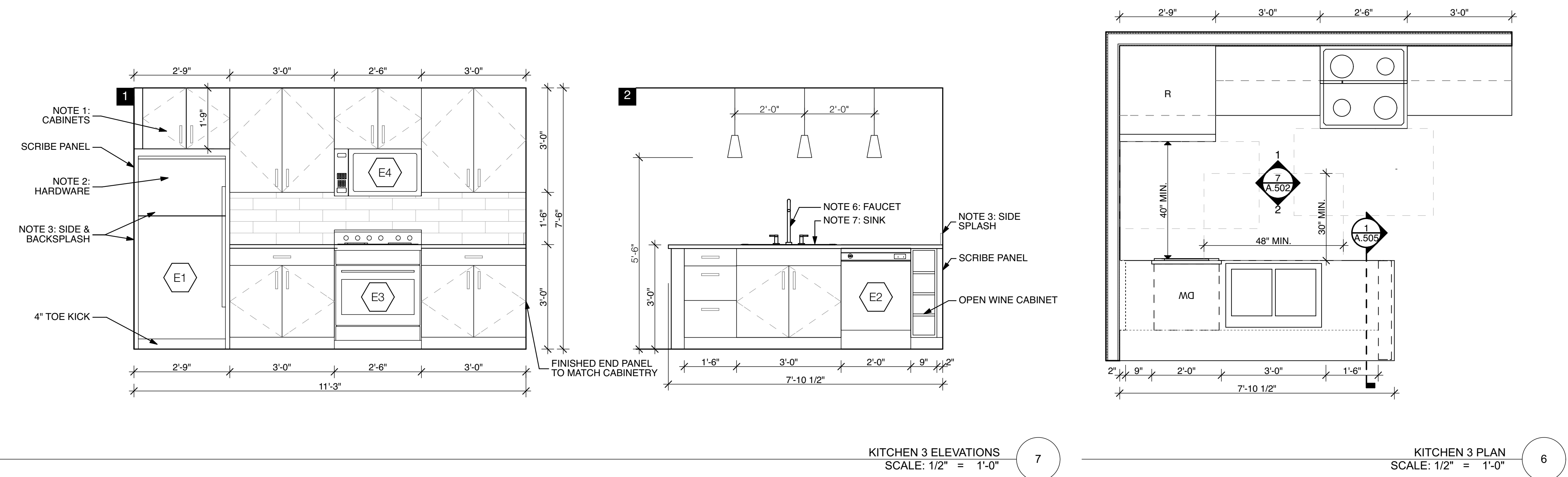
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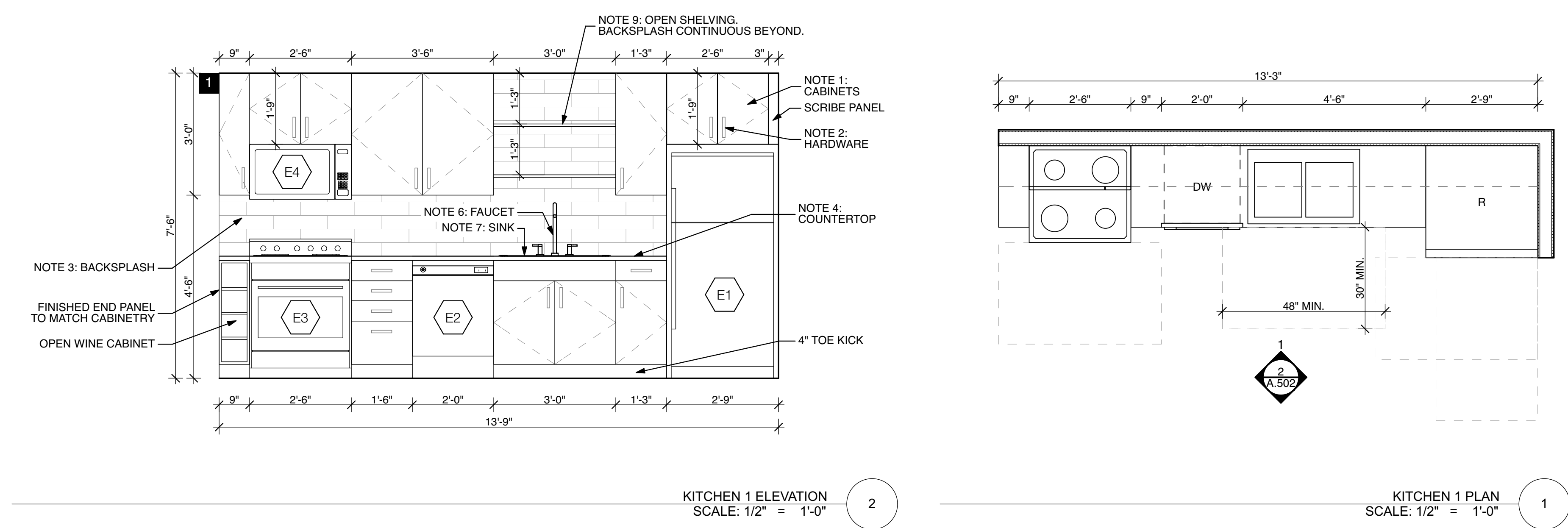
STAIR DETAILS
A.501



HARVEY FLATS
22 E BROAD ST RICHMOND VIRGINIA USA



- KITCHEN NOTES**
- CABINETS:** FULL OVERLAY CABINET, SEE FINISH SCHEDULE.
 - HARDWARE:** SEE FINISH SCHEDULE.
 - BACKSPLASH:** FULL HEIGHT BACKSPLASH, SEE FINISH SCHEDULE. EXPOSED TILE EDGE TO HAVE SCHLUTER STRIP TO MATCH TILE DEPTH. 2CM 4" GRANITE SIDE SPLASH WHERE COUNTER ABUTS ADJACENT WALL.
 - COUNTERTOP:** 3CM GRANITE, POLISH EXPOSED EDGES, SEE FINISH SCHEDULE.
 - APPLIANCES:** STAINLESS STEEL, SEE SPECS. "E" APPLIANCE SYMBOL. REFER TO APPLIANCE SCHEDULE FOR DETAILS.
 - FAUCET:** FIXTURE C, SEE PLUMBING SCHEDULE.
 - SINK:** FIXTURE A, SEE PLUMBING SCHEDULE.
 - ADA SINK:** FIXTURE B, SEE PLUMBING SCHEDULE.
 - OPEN SHELVING:** PROVIDE 1'-0" DEEP, 3/4" THICK OPEN WD SHELVING, STAINED TO MATCH CABINETRY.
 - DIMENSIONS TO FINISH.**
 - ALL RECEPTACLES & SWITCHES TO BE WHITE, ALL COVERS/PLATES TO BE SELECTED BY ARCHITECT.**
 - DRAWER BASES THAT ARE 12" WIDE OR LESS, SPECIFY BOTTOM MOUNTED DRAWER SLIDES TO OPTIMIZE INNER DRAWER WIDTH.**
 - BUILT-IN SHELVING:** PROVIDE 1'-6" DEEP OPEN BIRCH WD SHELVES, CLEAR COAT. INSTALL UNDER COUNTERTOP.



REVISIONS	
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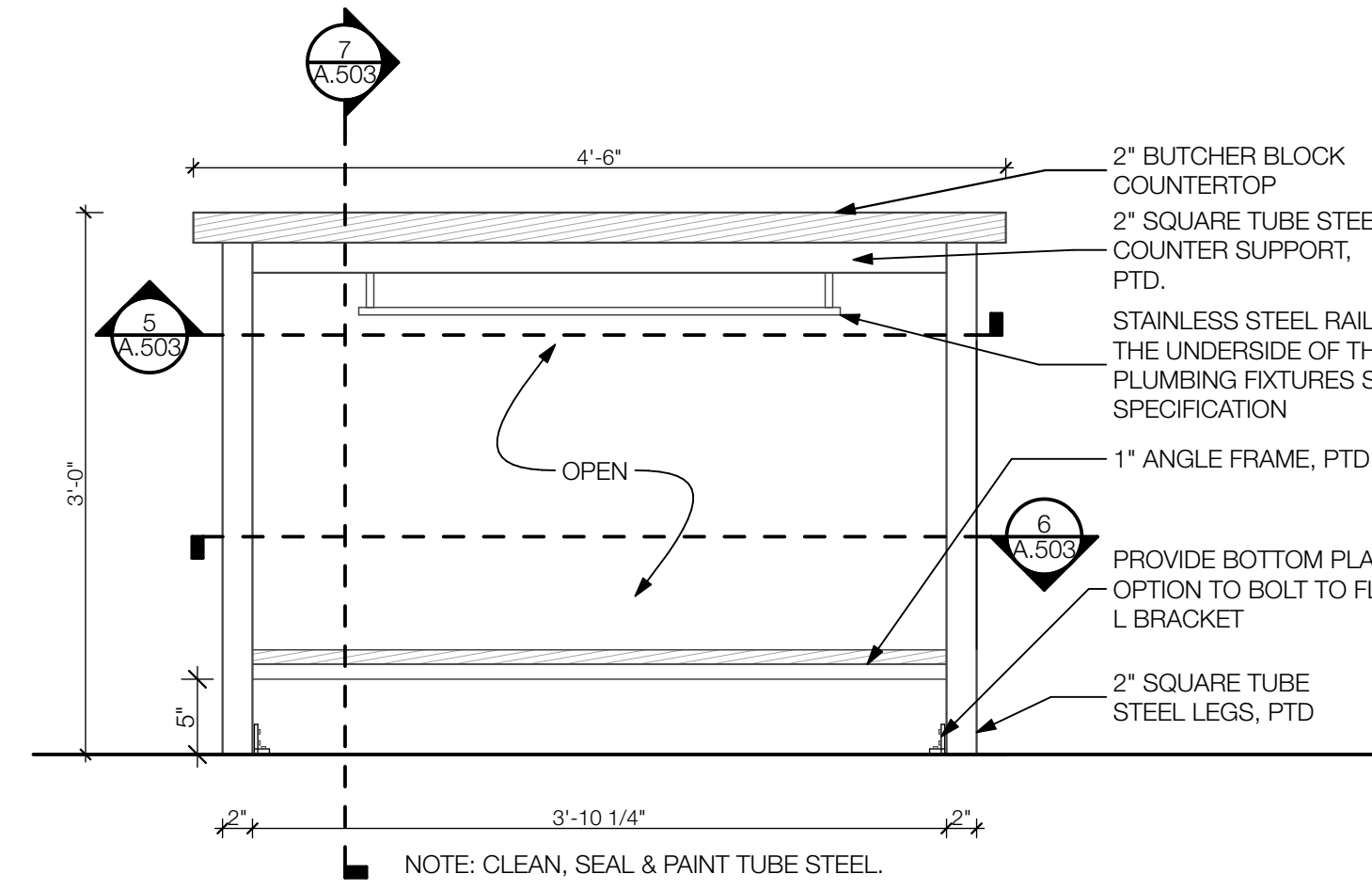
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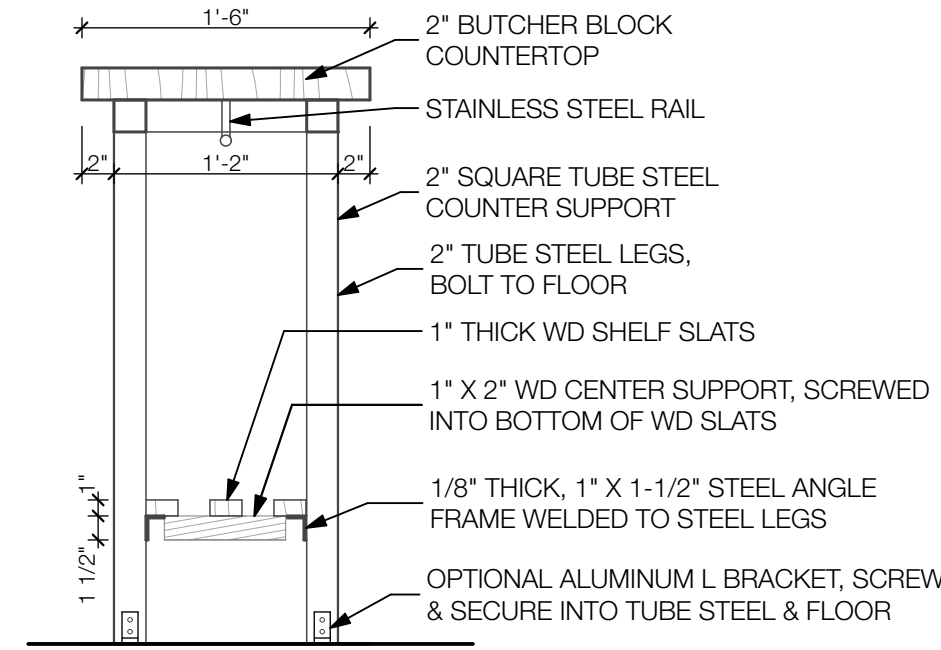
KITCHEN DETAILS
A.502



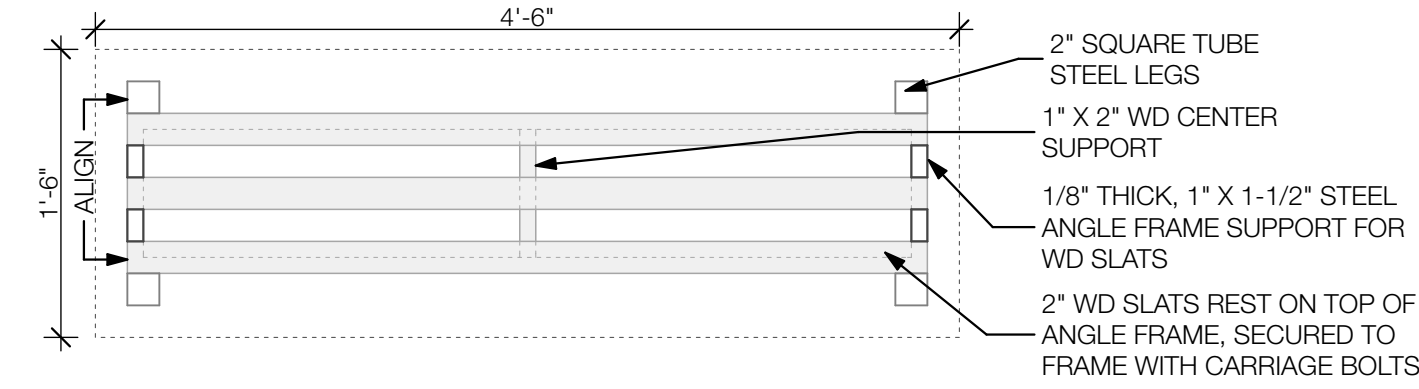
HARVEY FLATS
 22 E BROAD ST RICHMOND VIRGINIA USA



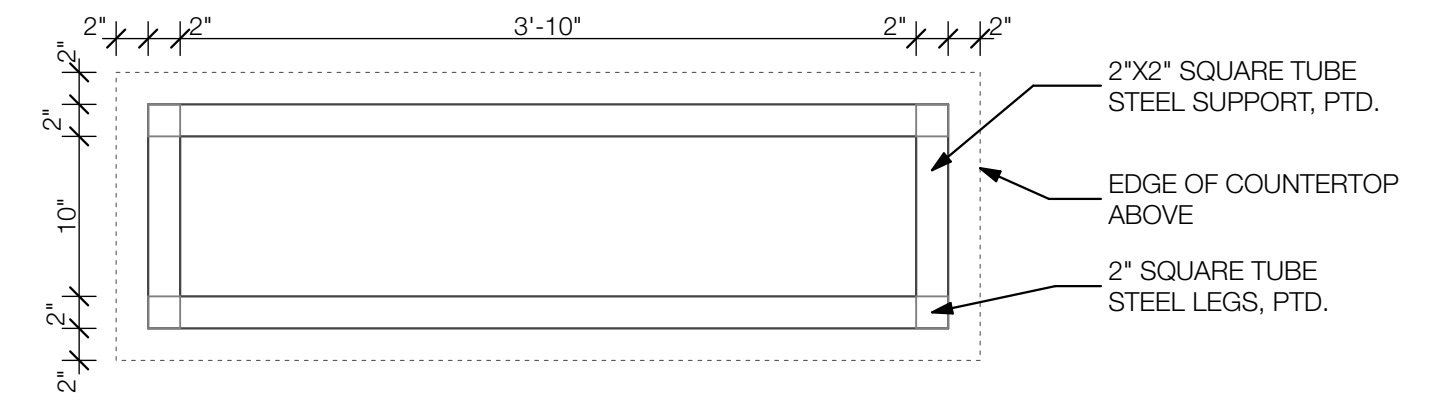
KITCHEN TABLE ELEVATION (FURNITURE N.I.C.)
SCALE: 1" = 1'-0" **8**



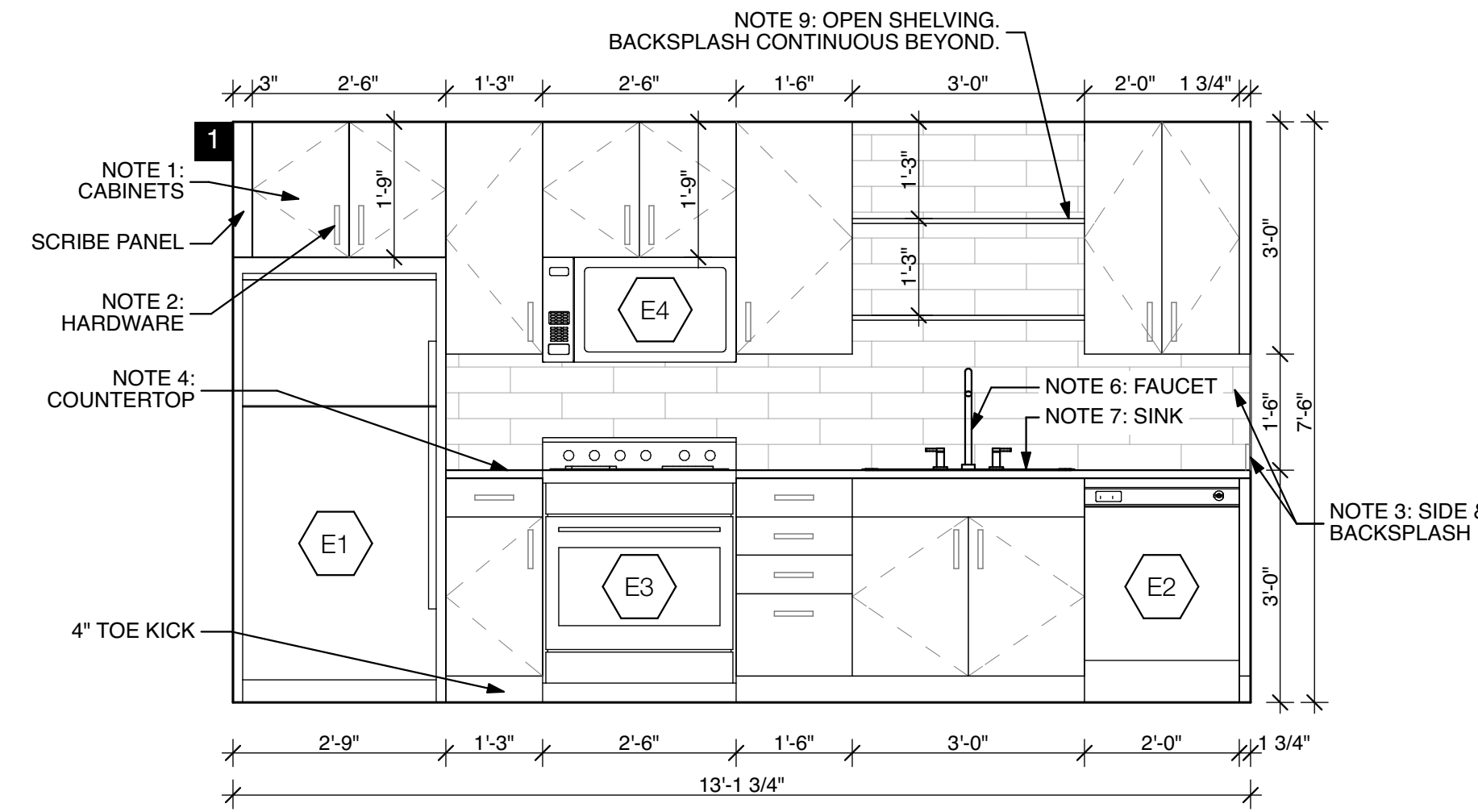
KITCHEN TABLE SECTION
SCALE: 1" = 1'-0" **7**



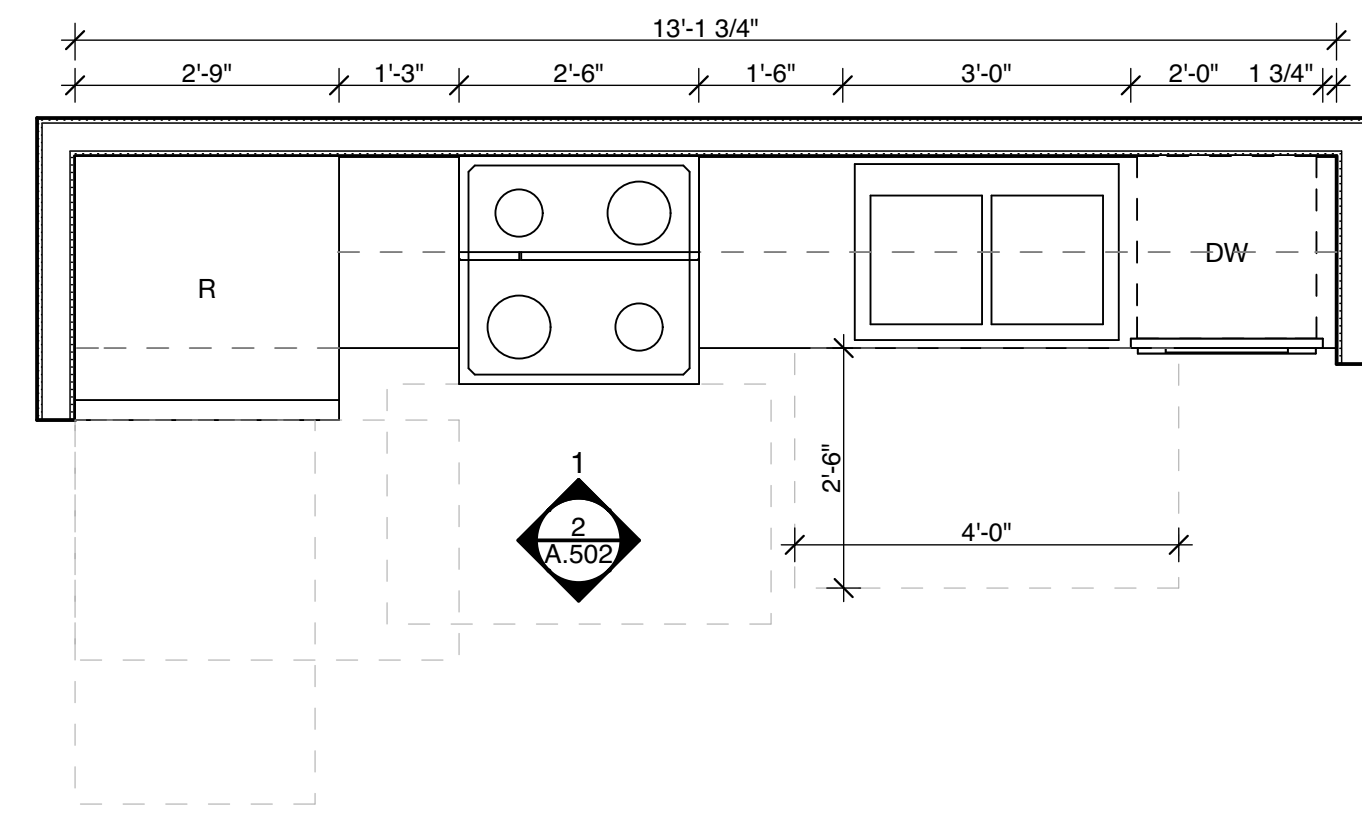
KITCHEN TABLE SHELF DETAIL PLAN
SCALE: 1" = 1'-0" **6**



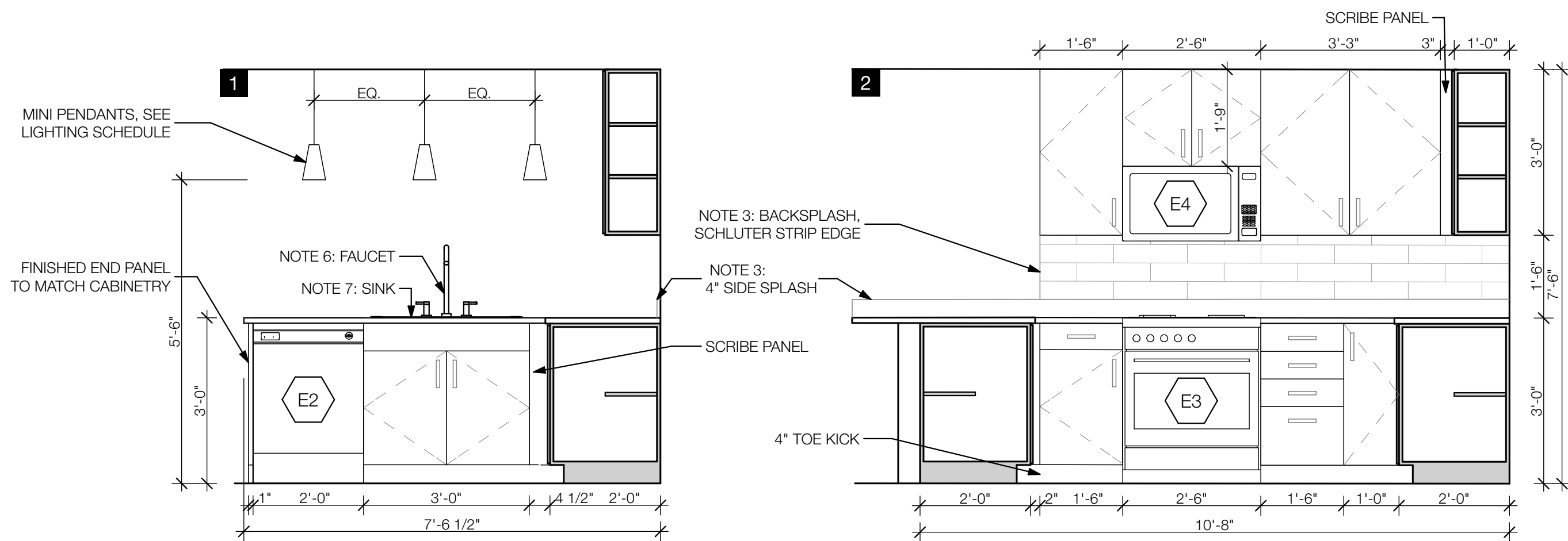
COUNTERTOP SUPPORT PLAN (@ 6'-6" TABLE)
SCALE: 1" = 1'-0" **5**



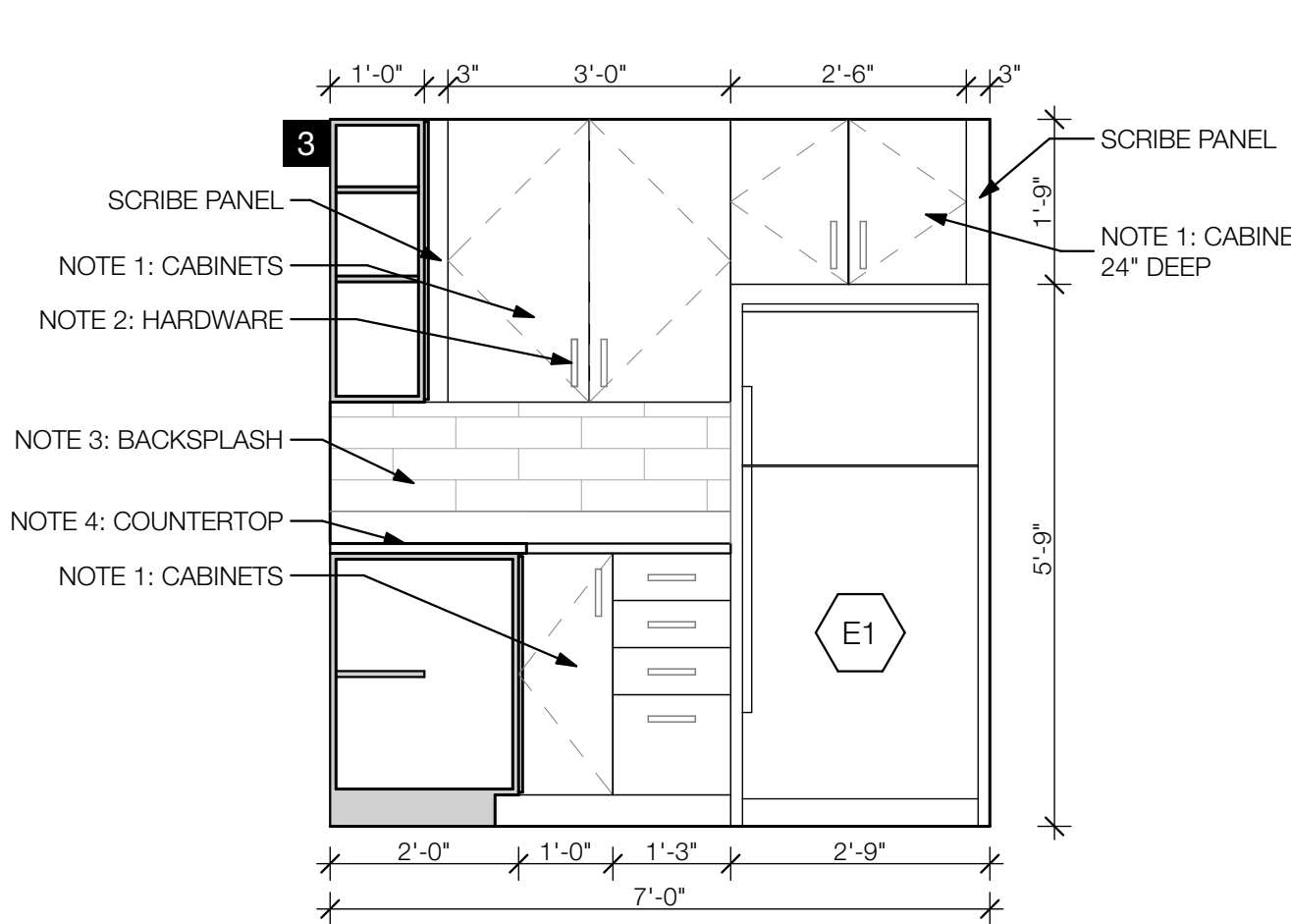
KITCHEN 5 ELEVATION
SCALE: 1/2" = 1'-0" **4**



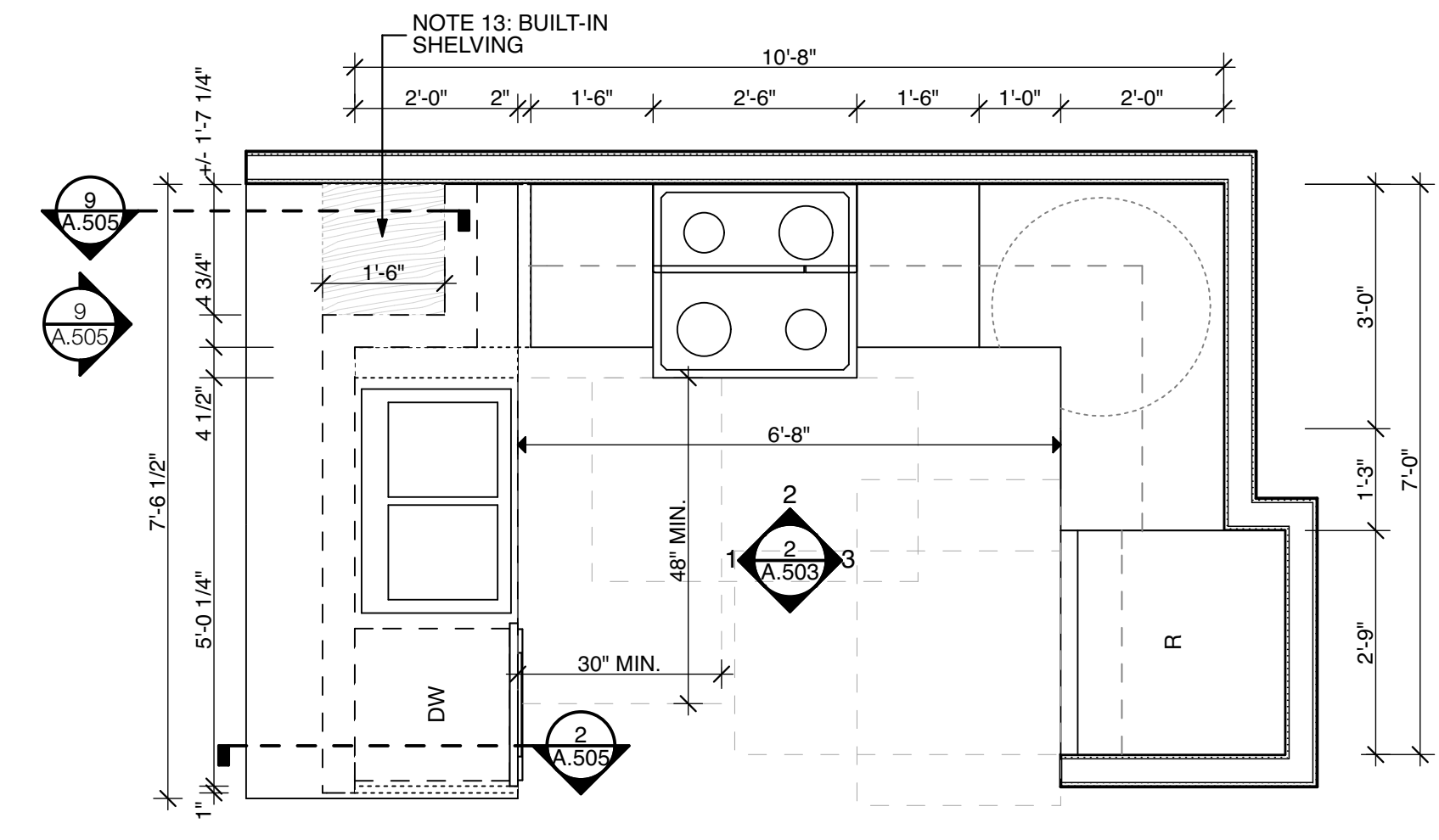
KITCHEN 5 PLAN
SCALE: 1/2" = 1'-0" **3**



KITCHEN 4 ELEVATIONS
SCALE: 1/2" = 1'-0" **2**



KITCHEN 4 PLAN
SCALE: 1/2" = 1'-0" **1**



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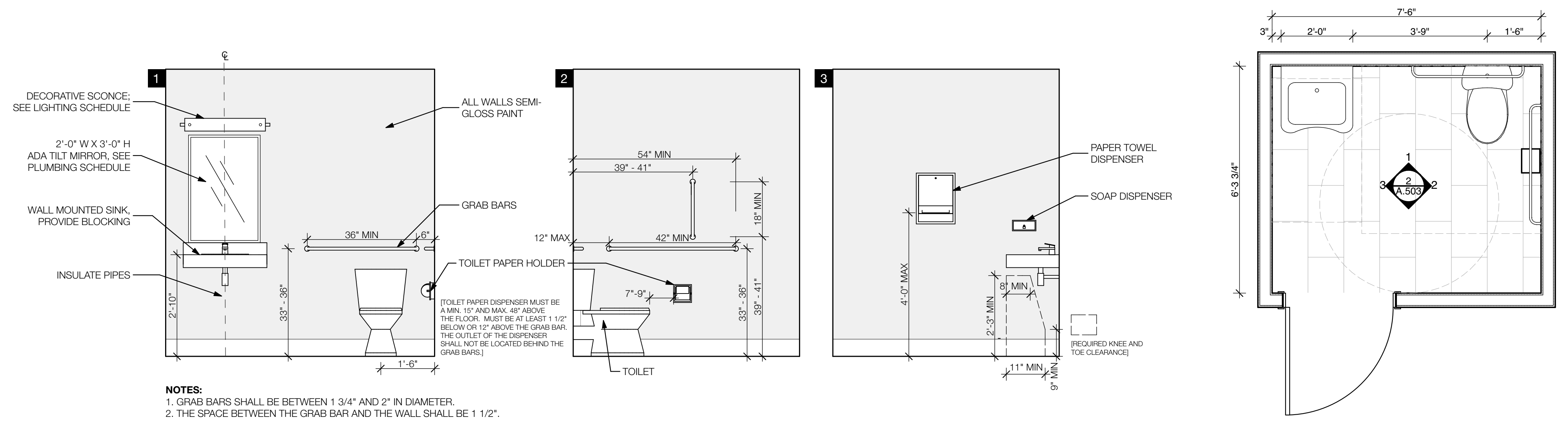
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KITCHEN DETAILS
A.503



HARVEY FLATS
22 E BROAD ST RICHMOND VIRGINIA USA

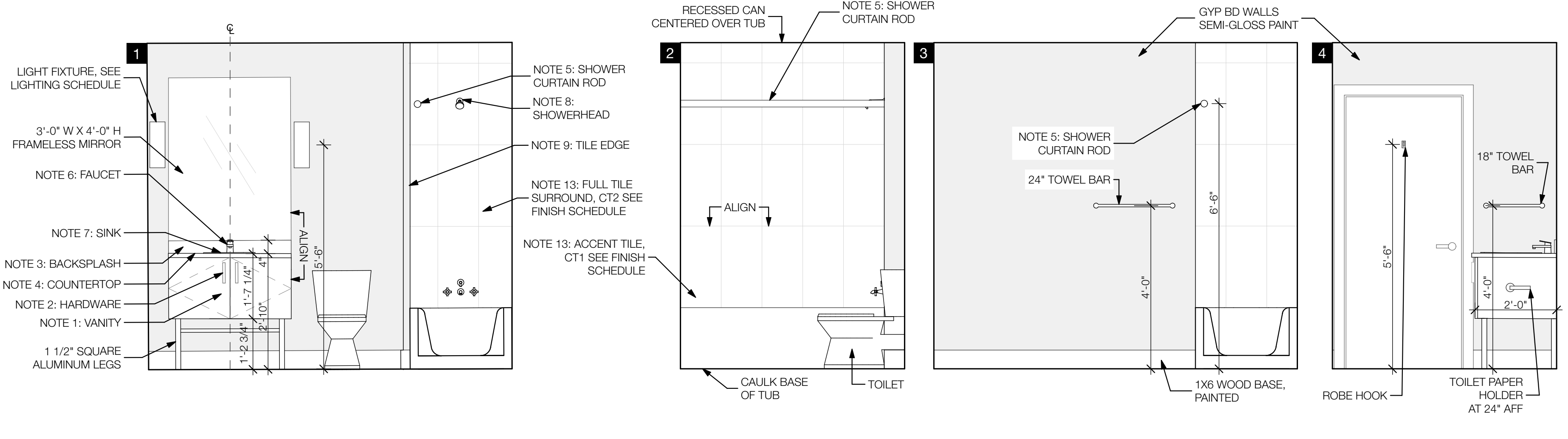
- BATH NOTES**
- VANITY CABINETS:** 24" DEEP WALL CABINET, FULL OVERLAY CABINET, INSTALLED WITH 2" DIAMETER STAINLESS STEEL LEGS. SEE SPECS & FINISH SCHEDULE.
 - HARDWARE:** BRUSHED NICKEL, SEE FINISH SCHEDULE.
 - BACKSPLASH:** 3CM GRANITE, BACK & SIDE SPLASH. SEE FINISH SCHEDULE.
 - COUNTERTOP:** 3CM GRANITE, POLISH EXPOSED EDGES, SEE FINISH SCHEDULE.
 - FAUCET:** SEE PLUMBING SCHEDULE FOR FIXTURE.
 - SINK:** SEE PLUMBING SCHEDULE FOR FIXTURE.
 - SHOWER HEAD & CONTROLS:** SEE PLUMBING SCHEDULE FOR FIXTURE. MOUNTING HEIGHT AT 78" AFF. MIN FLOW RATE 2.0 GPM.
 - TILE EDGE:** ALUMINUM SCHLUTER STRIP EDGING, THICKNESS TO MATCH TILE.
 - SHOWER CURTAIN ROD:** 5" CURVED SHOWER ROD, PROVIDE BLOCKING AT BOTH ENDS. MOUNTING HEIGHT AT 78" AFF.
 - PROVIDE SIDE SPLASHES AT ALL CONDITIONS WHERE COUNTER ABUTS WALL.
 - ALL RECEPTACLES & SWITCHES TO BE WHITE, ALL COVERS/PLATES TO BE WHITE.
 - ALL PLUMBING FIXTURES & BATH ACCESSORIES TO BE BRUSHED NICKEL OR STAINLESS STEEL.
 - FULL TILE SURROUND.
 - PROVIDE QUAD ELECTRICAL OUTLETS AT VANITY. NO OUTLETS SHALL BE LOCATED IN MIRRORS.
 - TOILET PAPER HOLDER:** 24" AFF. PROVIDE BLOCKING. REINFORCE WHEN MOUNTING TO CASEWORK.
 - ALL VALVES AND FITTINGS TO BE BRASS.
 - ALL SANITARY AND WATER LINES TO BE CONCEALED. REFER TO GENERAL MEP NOTES.
 - ALL DIMENSIONS TO FINISH.



NOTES:
1. GRAB BARS SHALL BE BETWEEN 1 3/4" AND 2" IN DIAMETER.
2. THE SPACE BETWEEN THE GRAB BAR AND THE WALL SHALL BE 1 1/2".

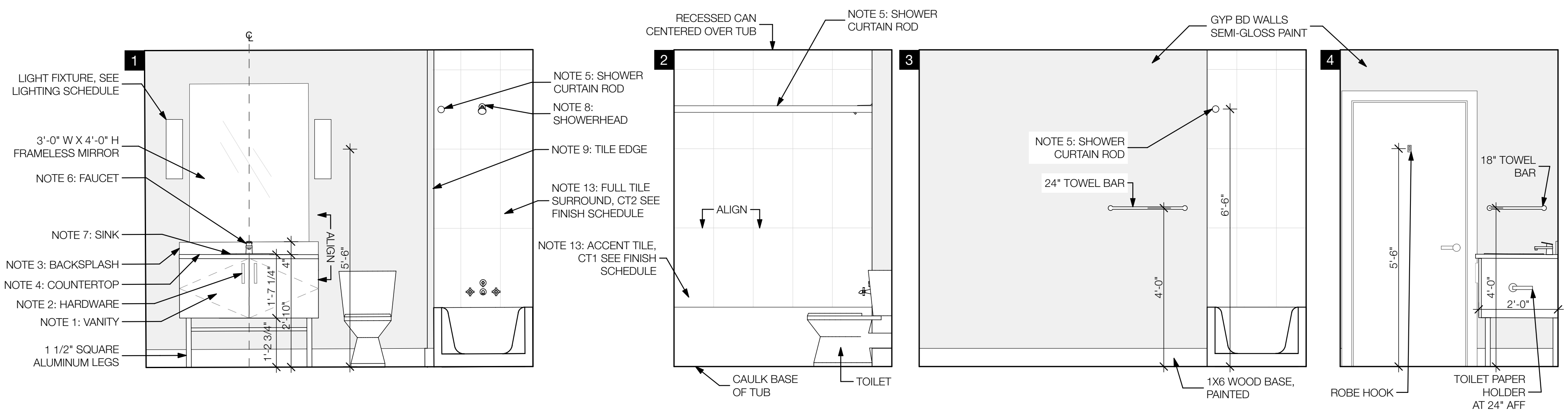
COMMERCIAL BATH ELEVATIONS
SCALE: 1/2" = 1'-0"

COMMERCIAL BATH PLAN
SCALE: 1/2" = 1'-0"



BATH 1.1 ELEVATIONS
SCALE: 1/2" = 1'-0"

BATH 1.1 PLAN
SCALE: 1/2" = 1'-0"



BATH 1 ELEVATIONS
SCALE: 1/2" = 1'-0"

BATH 1 PLAN
SCALE: 1/2" = 1'-0"

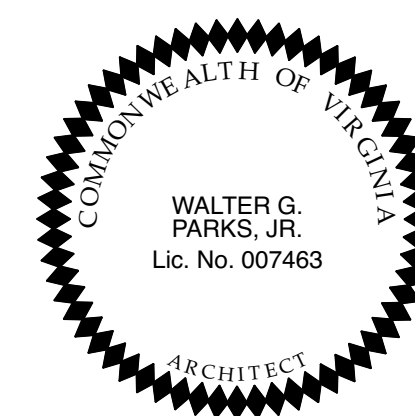
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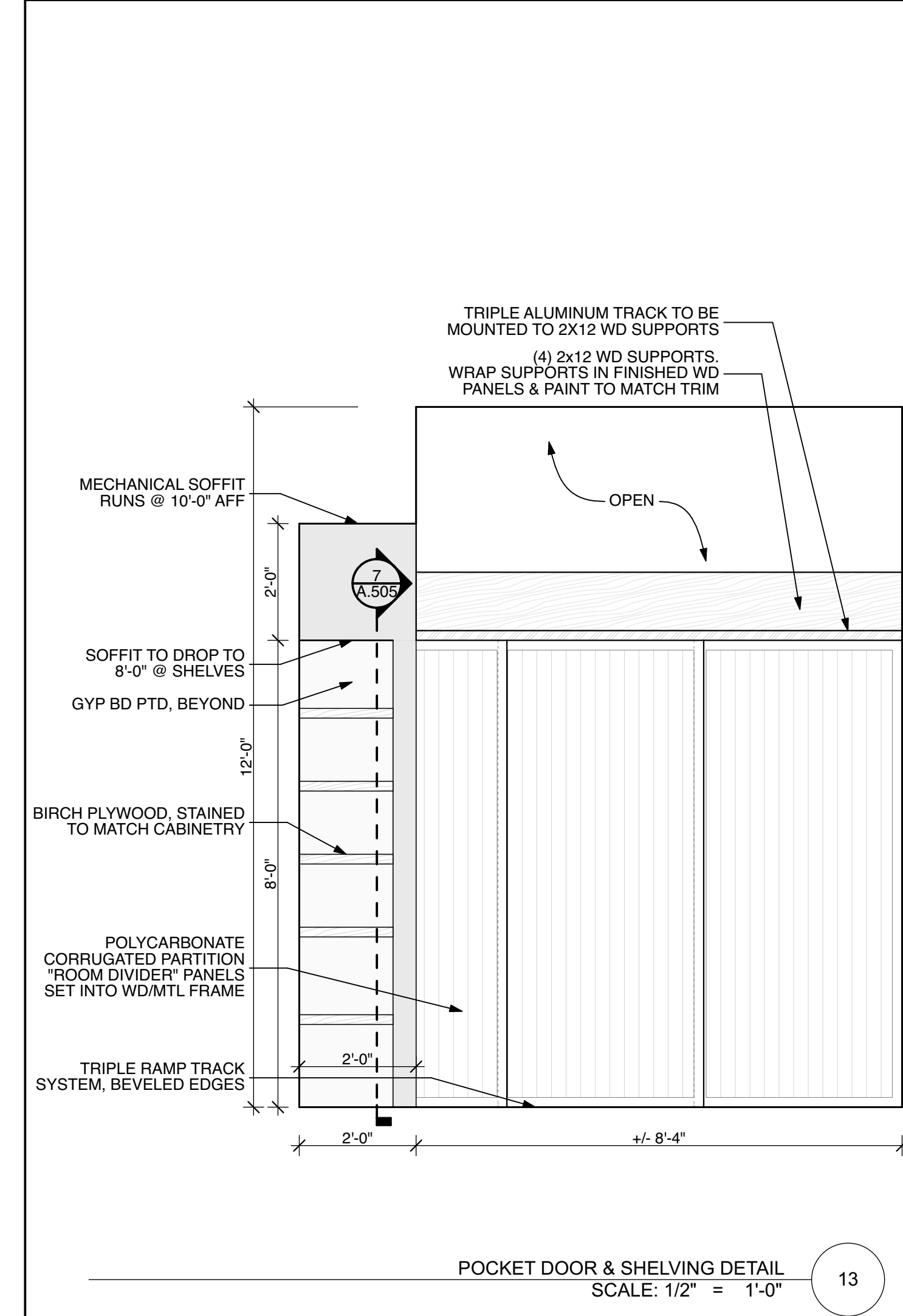
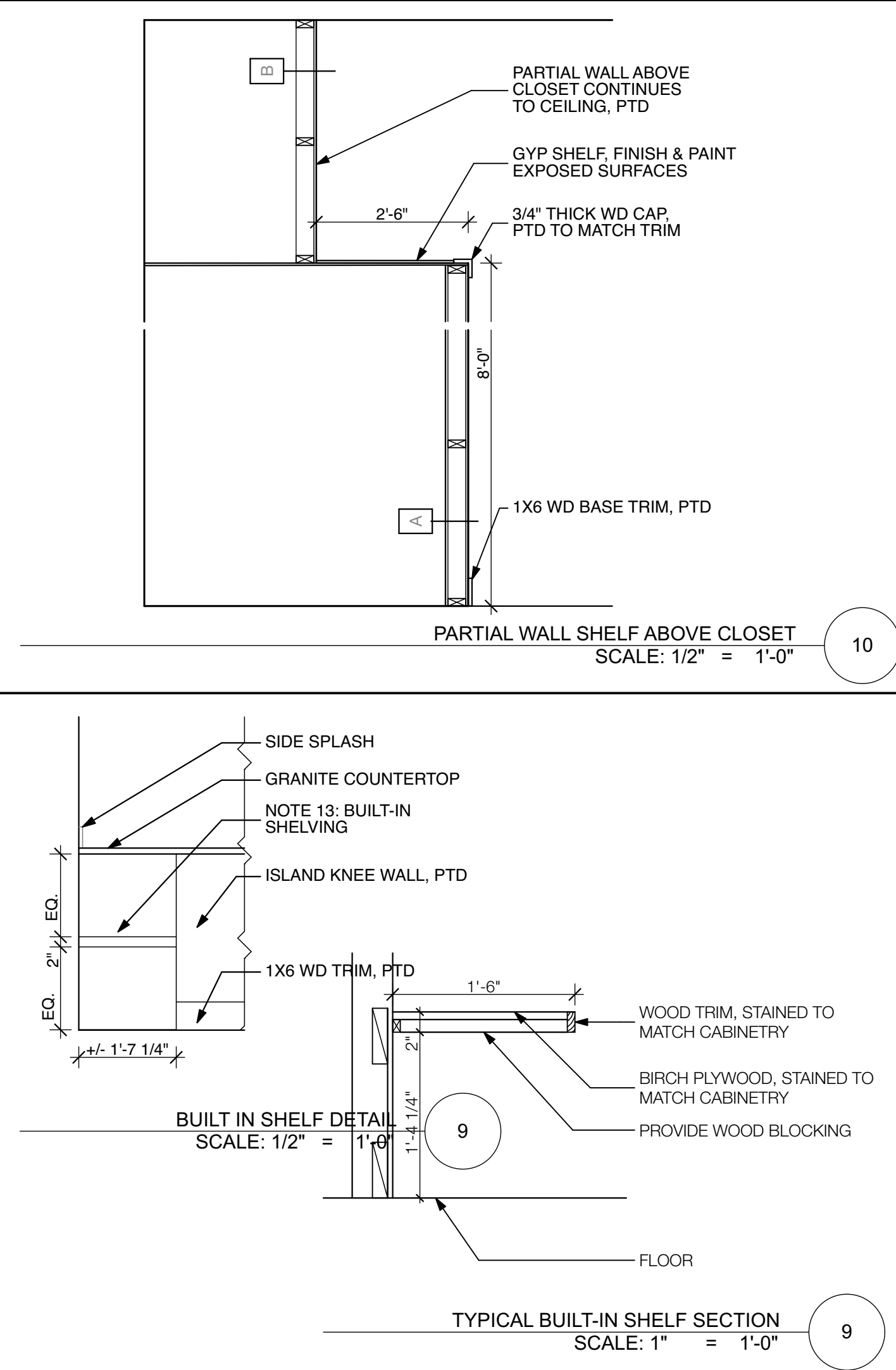
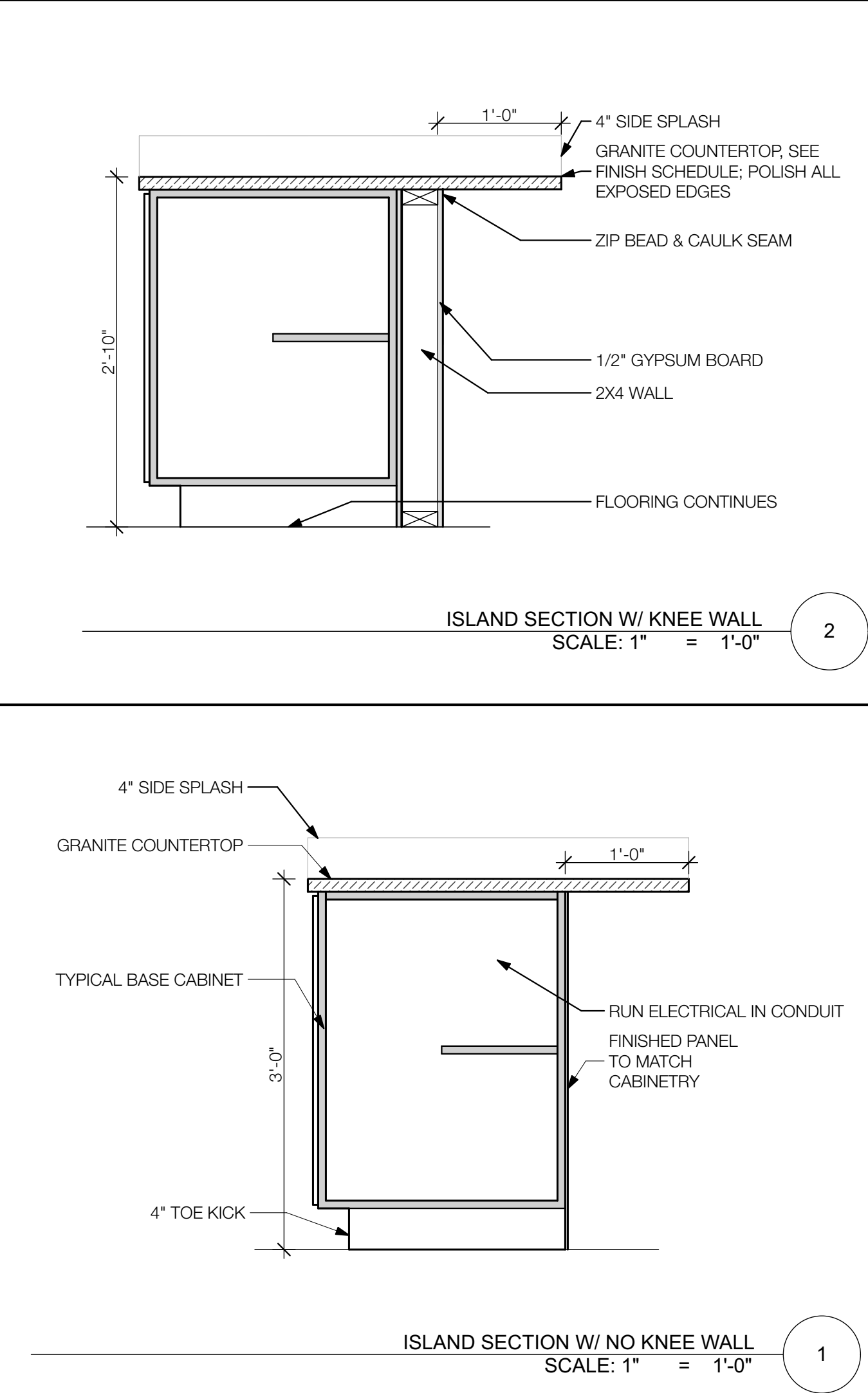
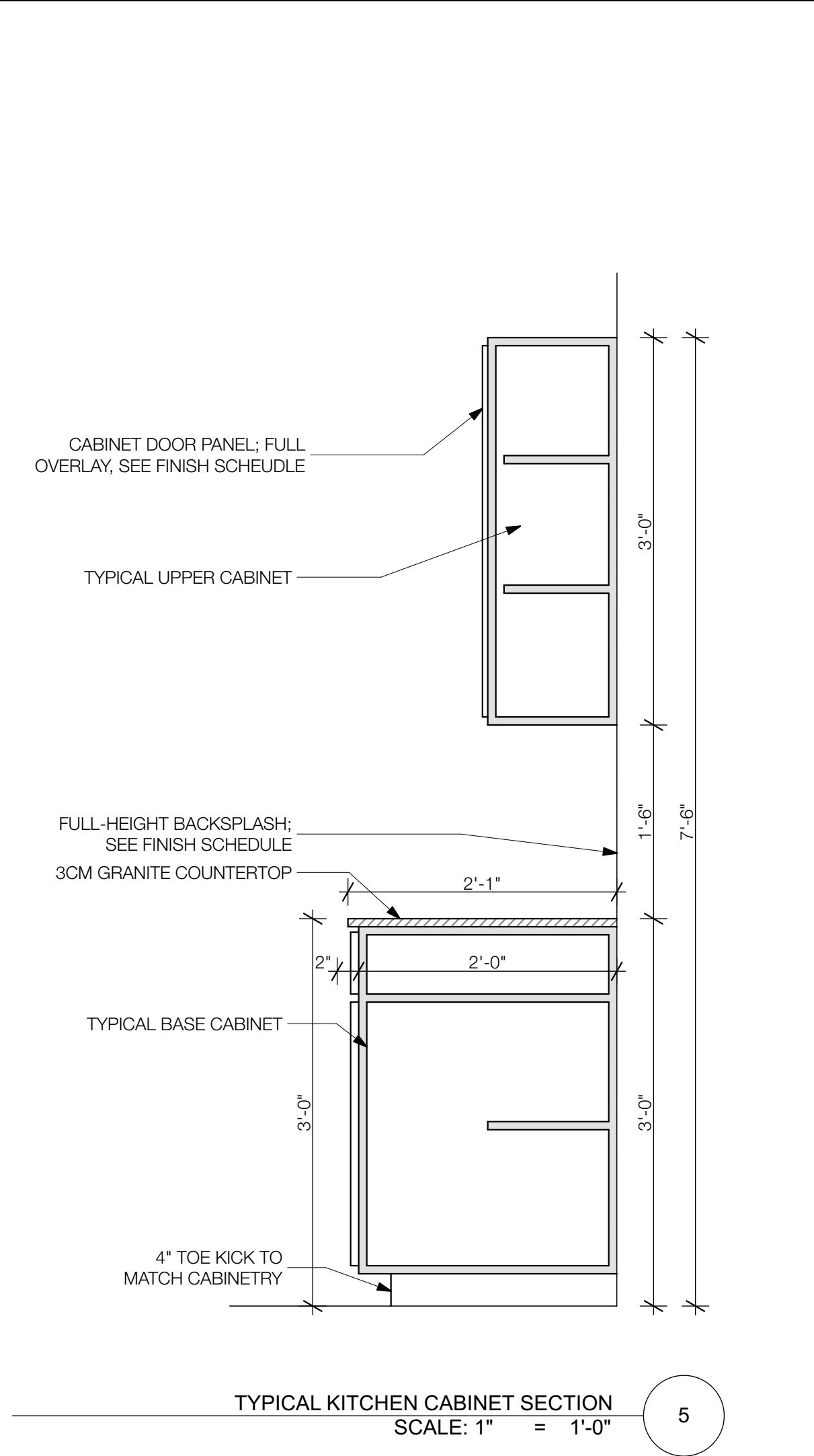
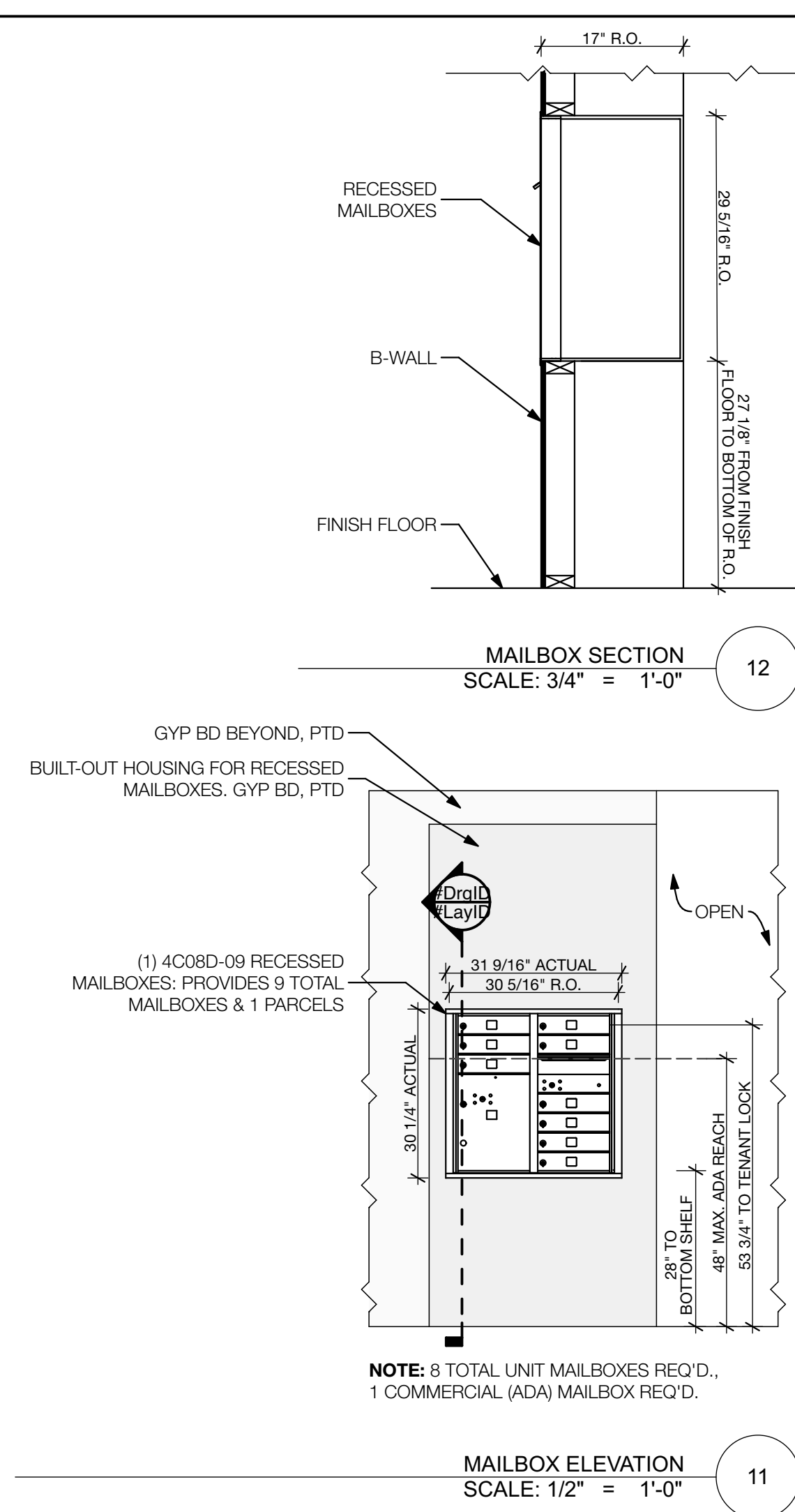
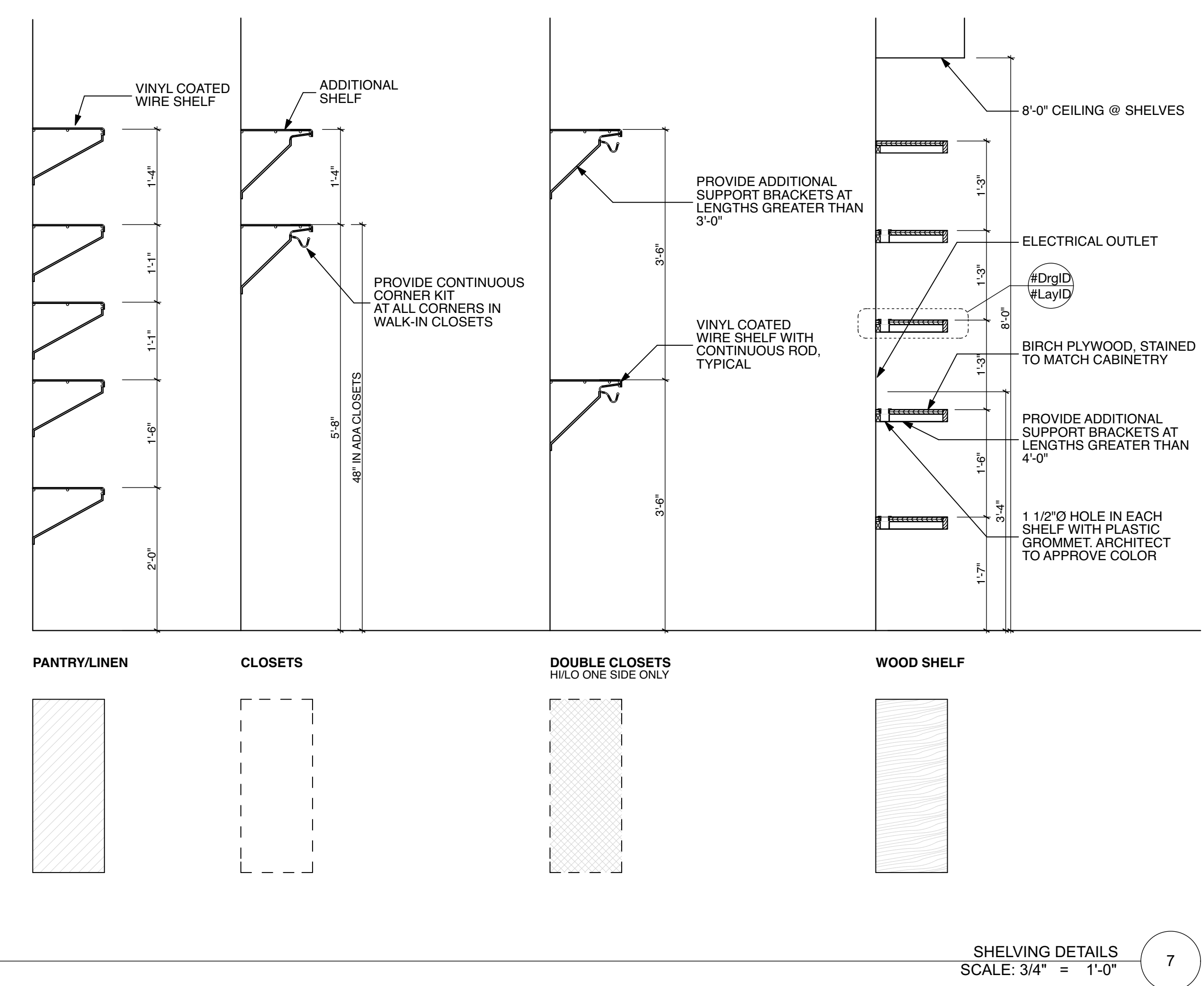
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BATH DETAILS
A.504



HARVEY FLATS

22 E BROAD ST RICHMOND VIRGINIA USA



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DETAILS
A.505



HARVEY FLATS
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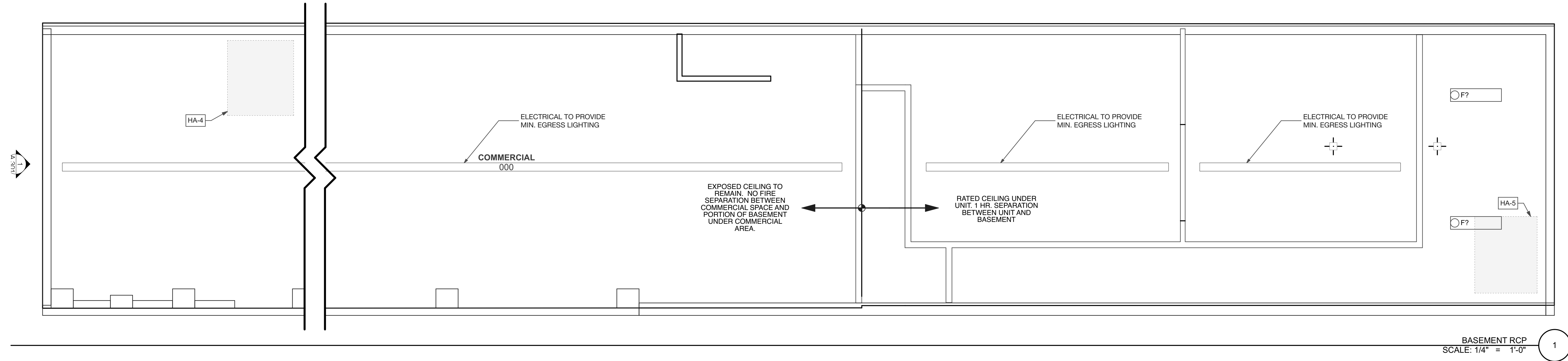
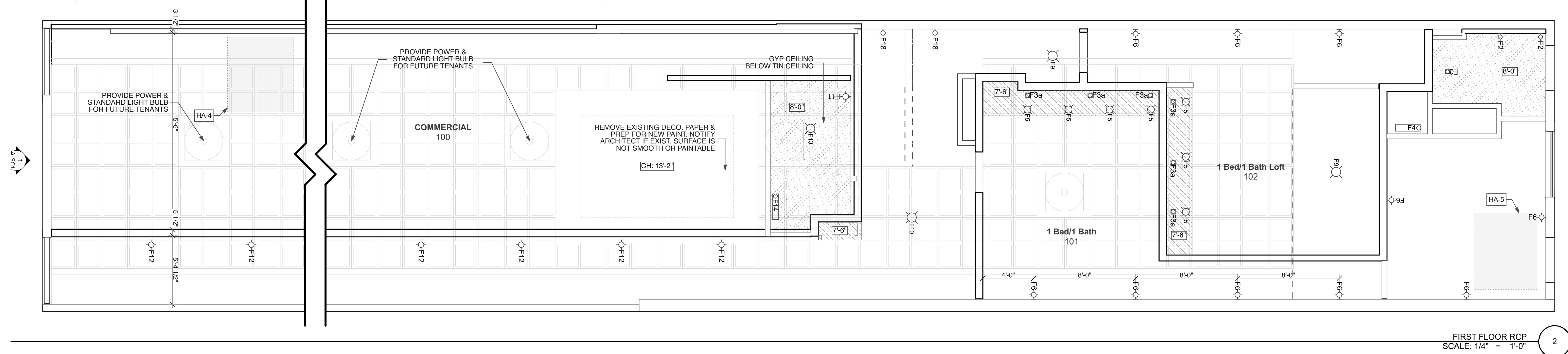
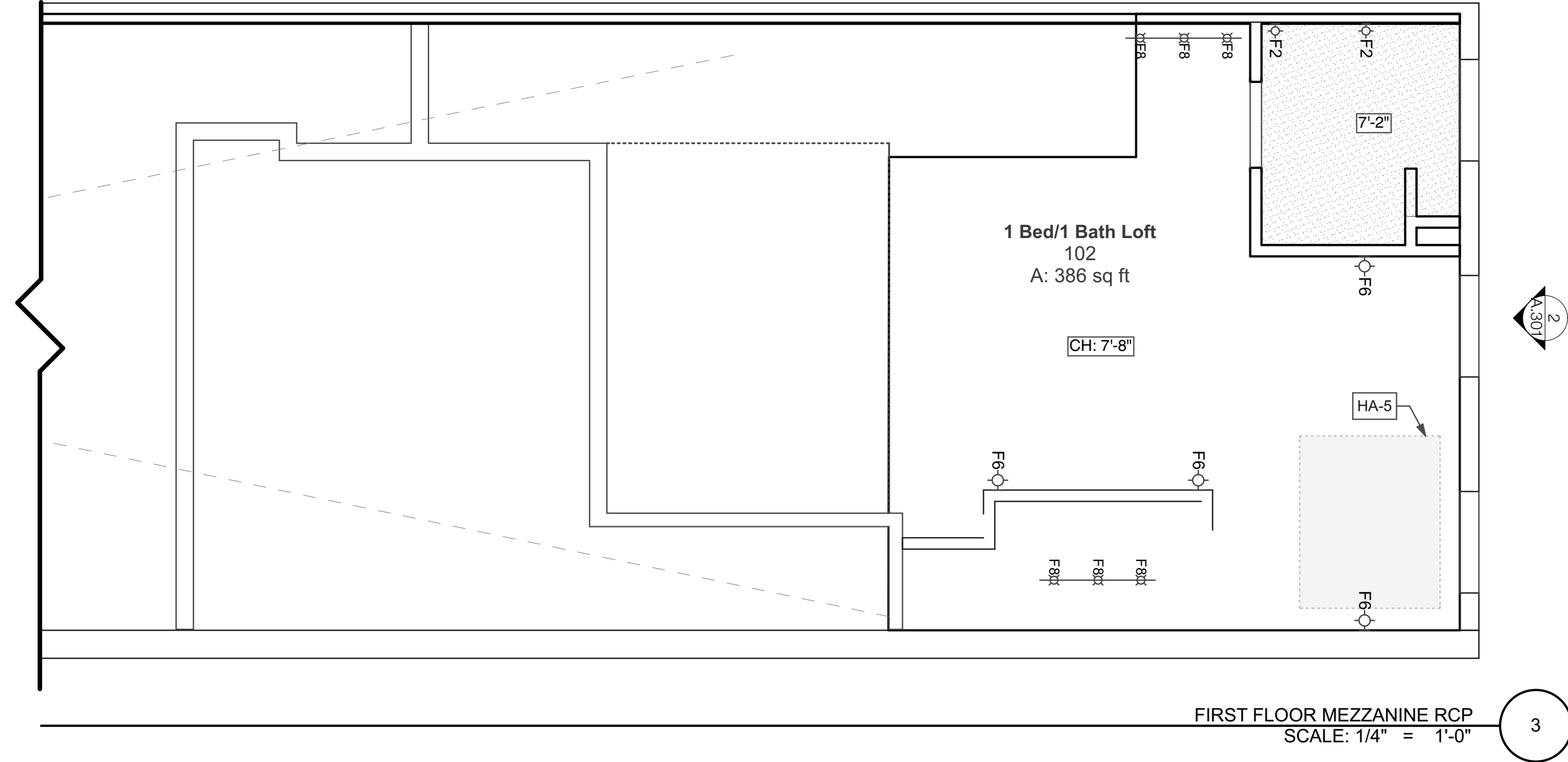
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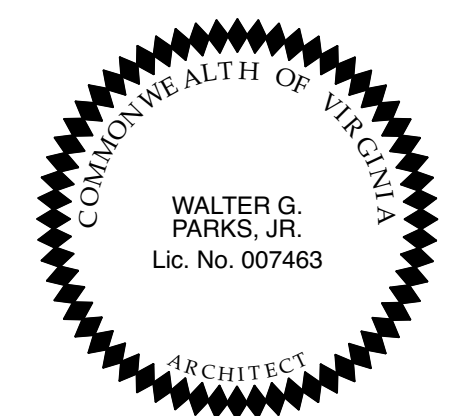
BASEMENT, FIRST FLOOR & MEZZ RCP
A.601

REFLECTED CEILING PLAN LEGEND

	DROPPED INTERIOR GYPSUM BOARD CEILING @ 8'-0" UNLESS OTHERWISE NOTED		1'-0" THICK INTERIOR GYPSUM BOARD SHELF @ 8'-0" UNLESS OTHERWISE NOTED		CEILING FAN W/ LIGHT
	FIRE RATED CEILING, REFER TO CEILING ASSEMBLIES		LIGHT FIXTURE		EXISTING TIN CEILING TO BE REPAIRED & PAINTED WITH INTUMESCENT PAINT
	INTERIOR GYPSUM BOARD BULKHEAD @ 7'-6" UNLESS OTHERWISE NOTED. SEE DETAIL.		3'-0" X 3'-0" VELLUX SKYLIGHT ABOVE		ROOF HATCH
	PARTIAL WALL ABOVE, SEE DETAIL 4/A.505		GYPSUM BOARD CEILING HEIGHT, ONLY WHERE HEIGHT VARIES FROM DESIGNATED FILL, SEE PLANS		

- REFER TO FLOOR PLANS, WALL SECTIONS AND TYPICAL DETAILS FOR ADDITIONAL INFORMATION, INCLUDING WALL TERMINATIONS.
- REFER TO ELECTRICAL DRAWINGS FOR WALL MOUNTED AND UNDER-CABINET FIXTURES.
- REFLECTED CEILING PLANS SHALL GOVERN LOCATIONS OF FIXTURES ONLY. REFER TO MECH. AND ELEC. FOR LOCATIONS OF MECHANICAL DUCTS, DIFFUSERS AND GRILLS. NOTIFY ARCHITECT PRIOR TO INSTALLATION OF ANY CONFLICTS WITH LOCATIONS INDICATED IN DRAWINGS.
- THESE PLANS GENERALLY INDICATE ITEMS THAT ARE INSTALLED ON AND IN THE CEILINGS, EXCEPT AS INDICATED. REFER TO CONTRACT DOCUMENTS TO DETERMINE EXACT QUANTITY AND LOCATION OF ITEMS NOT INDICATED.
- LOCATE SPRINKLER HEADS AND SPRINKLER LINES SO THAT THEY WILL NOT COME INTO CONFLICT WITH THE LIGHTS AS SHOWN ON THE PLAN.
- ALL SPRINKLER HEADS LOCATED IN GYPSUM BOARD TO BE FULLY RECESSED WITH ESCUTCHEON PLATES.
- CONFIRM WITH ARCHITECT THE LOCATION, PENDANT LENGTH, AND EXACT FINAL AFF MOUNTING HEIGHT FOR ALL SUSPENDED FIXTURE TYPES. CONFIRM EXACT FINAL AFF MOUNTING HEIGHT FOR ALL WALL SCONCES.
- FOR LIGHT SWITCHING AND LIGHT SWITCH LOCATIONS, SEE ELECTRICAL PLANS.



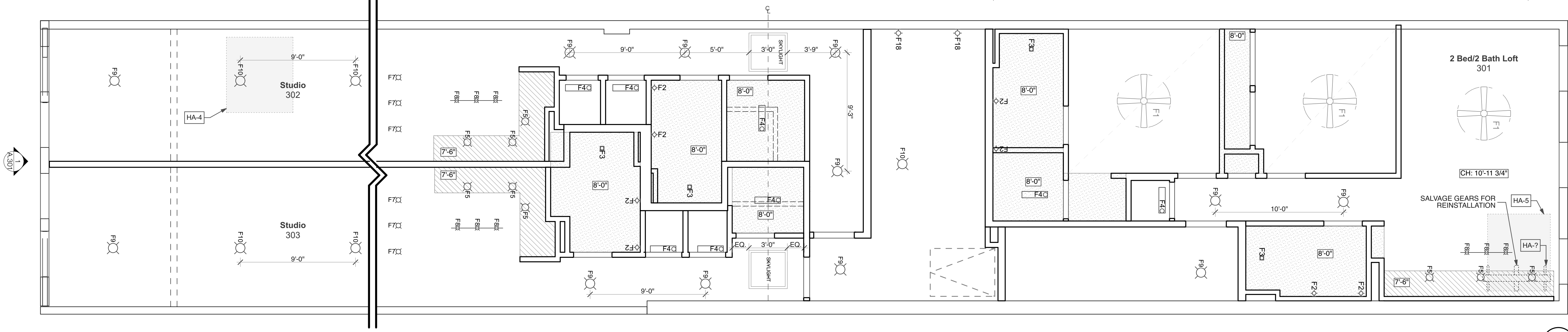


HARVEY FLATS
 22 E BROAD ST RICHMOND VIRGINIA USA

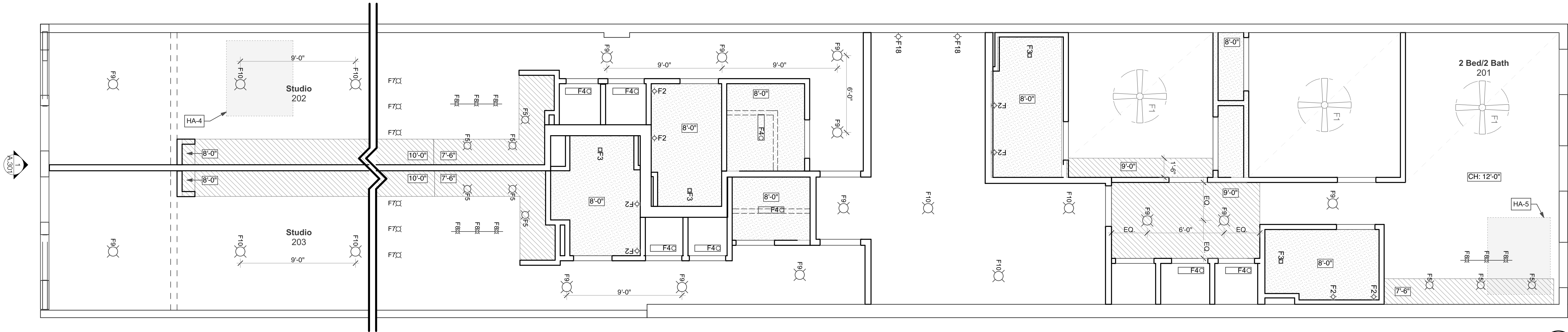
REFLECTED CEILING PLAN LEGEND

	DROPPED INTERIOR GYPSUM BOARD CEILING @ 8'-0" UNLESS OTHERWISE NOTED		1'-0" THICK INTERIOR GYPSUM BOARD SHELF @ 8'-0" UNLESS OTHERWISE NOTED		CEILING FAN W/ LIGHT
	FIRE RATED CEILING, REFER TO CEILING ASSEMBLIES		LIGHT FIXTURE		EXISTING TIN CEILING TO BE REPAIRED & PAINTED WITH INTUMESCENT PAINT
	INTERIOR GYPSUM BOARD BULKHEAD @ 7'-6" UNLESS OTHERWISE NOTED, SEE DETAIL		3'-0" X 3'-0" VELUX SKYLIGHT ABOVE		ROOF HATCH
	PARTIAL WALL ABOVE, SEE DETAIL 4/A.505		GYPSUM BOARD CEILING HEIGHT, ONLY WHERE HEIGHT VARIES FROM DESIGNATED FILL, SEE PLANS		

1. REFER TO FLOOR PLANS, WALL SECTIONS AND TYPICAL DETAILS FOR ADDITIONAL INFORMATION, INCLUDING WALL TERMINATIONS.
2. REFER TO ELECTRICAL DRAWINGS FOR WALL MOUNTED AND UNDER-CABINET FIXTURES.
3. REFLECTED CEILING PLANS SHALL GOVERN LOCATIONS OF FIXTURES ONLY. REFER TO MECH. AND ELEC. FOR LOCATIONS OF MECHANICAL DUCTS, DIFFUSERS AND GRILLS. NOTIFY ARCHITECT PRIOR TO INSTALLATION OF ANY CONFLICTS WITH LOCATIONS INDICATED IN DRAWINGS.
4. THESE PLANS GENERALLY INDICATE ITEMS THAT ARE INSTALLED ON AND IN THE CEILINGS, EXCEPT AS INDICATED. REFER TO CONTRACT DOCUMENTS TO DETERMINE EXACT QUANTITY AND LOCATION OF ITEMS NOT INDICATED.
5. LOCATE SPRINKLER HEADS AND SPRINKLER LINES SO THAT THEY WILL NOT COME INTO CONFLICT WITH THE LIGHTS AS SHOWN ON THE PLAN.
6. ALL SPRINKLER HEADS LOCATED IN GYPSUM BOARD TO BE FULLY RECESSED WITH ESCUTCHEON PLATES.
7. CONFIRM WITH ARCHITECT THE LOCATION, PENDANT LENGTH, AND EXACT FINAL AFF MOUNTING HEIGHT FOR ALL SUSPENDED FIXTURE TYPES. CONFIRM EXACT FINAL AFF MOUNTING HEIGHT FOR ALL WALL SCONCES.
8. FOR LIGHT SWITCHING AND LIGHT SWITCH LOCATIONS, SEE ELECTRICAL PLANS.



THIRD FLOOR RCP
SCALE: 1/4" = 1'-0"



SECOND FLOOR RCP
SCALE: 1/4" = 1'-0"

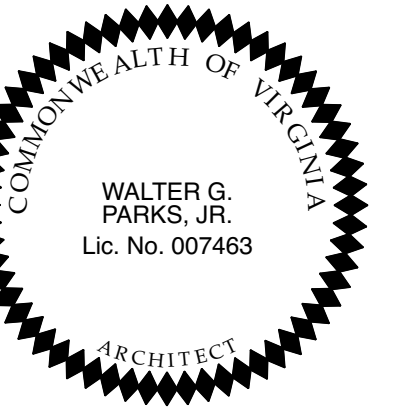
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ARCHITECT

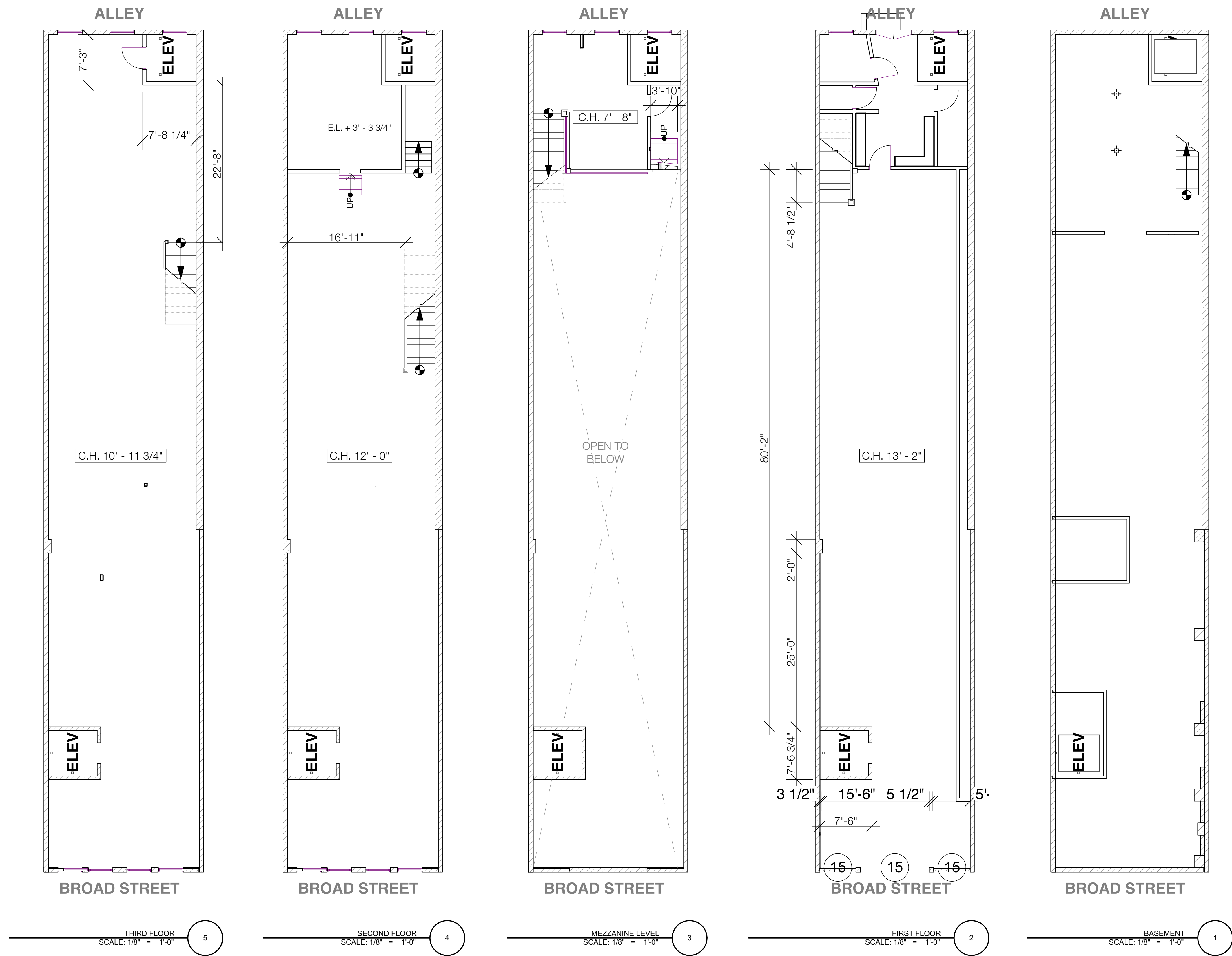
313 N. ADAMS STREET
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T: 644-4761 / F: 644-4763

PROJECT #: 16.44
DATE: 9/23/16

SECOND & THIRD
FLOOR RCP
A.602



HARVEY FLATS
22 E BROAD ST RICHMOND VIRGINIA USA



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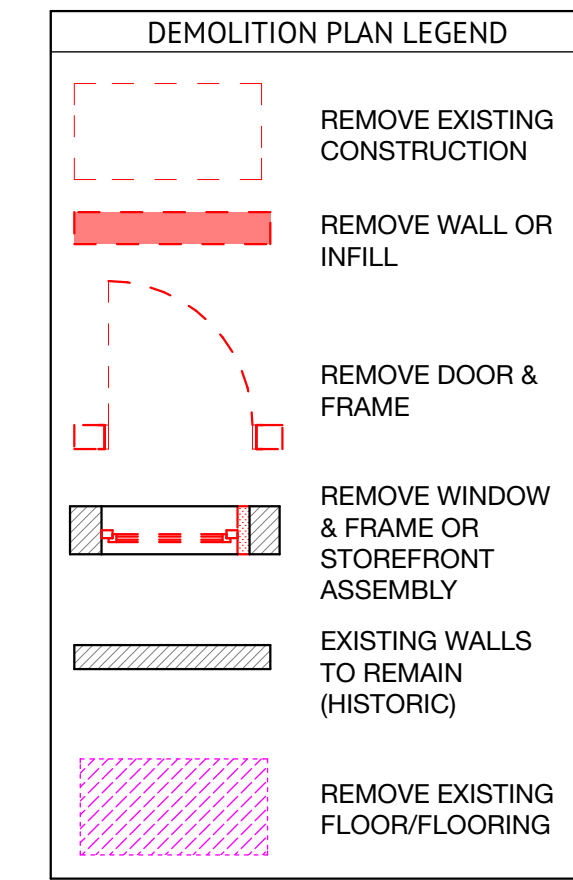
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AS-BUILT PLANS
AS.101



HARVEY FLATS
22 E BROAD ST RICHMOND VIRGINIA USA

DEMO LEGEND



DEMO NOTES

- GENERAL NOTES:**
- FIELD VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS INDICATED ON THE DRAWINGS. COORDINATE THE SCOPE, DIMENSIONS AND EXTENT OF DEMOLITION WORK TO BE PERFORMED WITH THE NEW WORK. ANY VARIATIONS AND/OR DISCREPANCIES WHICH WILL AFFECT THE WORK REQUIRED SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT FOR RESOLUTION, PRIOR TO BEGINNING WORK.
 - REFER TO CIVIL/STRUCTURAL/MECHANICAL/ELECTRICAL/PLUMBING DEMOLITION DRAWINGS FOR RELATED DEMOLITION WORK TO BE PERFORMED. NOTE THAT NOT ALL DEMOLITION WORK IS INDICATED ON ARCHITECTURAL DRAWINGS. ALL CONTRACT DOCUMENTS ARE COMPLEMENTARY AND WHAT IS REQUIRED BY ONE IS IF AS REQUIRED BY ALL.
 - PLAN DIMENSIONS ARE STUD TO STUD OF STRUCTURAL FRAMING, UNLESS OTHERWISE NOTED. FIELD VERIFY ALL DIMENSIONS.
 - ASSUME THAT ALL UNDERGROUND PIPES ARE ACTIVE UTILITIES.
 - ALL EXPOSED SURFACES AFFECTED BY THE DEMOLITION WORK AND WHICH SHALL REMAIN EXPOSED TO VIEW SHALL BE CLEANED AND PATCHED TO MATCH EXISTING ADJACENT SURFACES UNLESS NOTED OTHERWISE.
 - REMOVE ALL DEBRIS FROM BUILDING UNLESS OTHERWISE NOTED. DEMOLITION CONTRACTOR TO LEAVE THE BUILDING AS A CLEAN SHELL.

- SALVAGING NOTES:**
- COORDINATE IN THE FIELD ALL EXISTING ITEMS TO BE SALVAGED PRIOR TO ACTUAL DEMOLITION WORK WITH THE OWNER/ARCHITECT. SALVAGED ITEMS SHALL BE SURFACE CLEANED AND STORED AS DIRECTED BY THE OWNER.
 - ALL EXTERIOR WINDOWS AND DOORS TO REMAIN, UNLESS OTHERWISE NOTED. SALVAGE ALL HISTORIC DOORS AND TRIM, PROTECT FROM DAMAGE DURING CONSTRUCTION.
 - ALL HISTORIC ARTIFACTS TO BE SALVAGED AND STORED AS DIRECTED BY THE OWNER.
 - SALVAGE EXISTING STAIRS, U.N.O.
 - SALVAGE ALL EXISTING LIGHT FIXTURES, SEE LIGHT SCHEDULE

- DEMOLITION KEYNOTES:**
- REMOVE ALL EXISTING EQUIPMENT, EQUIPMENT PADS AND SUPPORTS. PROVIDE A CLEAN, SMOOTH ACCEPTABLE SURFACE TO RECEIVE NEW WORK.
 - REMOVE WALLS AS INDICATED.
 - DEMOLISH ALL EXISTING PLUMBING FIXTURES AND BATHROOM ACCESSORIES.
 - EXISTING CONSTRUCTION AND ITEMS NOT USED AS PART OF NEW CONSTRUCTION, INCLUDING BUT NOT LIMITED TO PIPING, DUCTS, CONDUITS, HANGERS, DRAINS, BOLTS, METAL CLIPS, WOOD BLOCKING AND SIMILAR ITEMS SHALL BE REMOVED AND NOT ABANDONED IN-PLACE UNLESS REMOVAL IS NOT POSSIBLE (AS DETERMINED BY ARCHITECT/OWNER)
 - DEMO ENOUGH OF EXISTING MASONRY WALLS @ WINDOWS & DOORS TO ALLOW TOOTHING-IN OF MASONRY/BRICK TO MATCH EXISTING COURSING AND PATTERN AT NEW FRAMED LOCATIONS.
 - REMOVE ALL SUSPENDED CEILINGS INCLUDING ACCESSORIES, WIRES, STRUTS, LIGHT FIXTURES, DUCTWORK, DIFFUSERS, GRILLES, ETC.
 - REMOVE ALL CONSTRUCTION AS REQUIRED TO UNCOVER & REPAIR WINDOW OPENINGS.
 - REMOVE EXISTING FIRE SPRINKLER LINES AND DEVICES THAT WILL NOT BE REUSED AS PART OF NEW SYSTEM.
 - REMOVE ALL PLUMBING LINES AND CAP BEHIND WALL AND FLOOR FINISHES UNLESS OTHERWISE NOTED.
 - CONSTRUCTION AND FINISHES INDICATED TO BE DEMOLISHED SHALL BE REMOVED IN ITS ENTIRETY INCLUDING THE REMOVAL OF ANY OBSTRUCTIONS UNLESS OTHERWISE NOTED.
 - SEE ELEVATIONS, AND OTHER DEMOLITION DRAWINGS FOR ADDITIONAL DEMOLITION NOTES.
 - REMOVE ALL CHIPPED, CRACKED, WIRED GLASS FROM WINDOWS, TRANSOMS, SIDELIGHTS AND DOORS THAT ARE TO BE REUSED. SCRAPE LOOSE PAINT.
 - COORDINATE REPLACEMENT OF STOREFRONT & NEW ENTRY. PROVIDE TEMPORARY SHORING OR STRUCTURAL SUPPORT/FRAMING AS REQUIRED.
 - REMOVE ALL CARPET AND VINYL FLOOR FINISHES, INCLUDING VINYL BASE. WHEN REMOVING EXISTING FLOORING, REMOVE ALSO ALL ADHESIVE AND RESIDUE, PADDING, TACKLESS STRIPS, AND LOOSE FLASH PATCH DOWN TO BARE FLOOR.
 - REMOVE ALL WALL COVERINGS AND CHAIR RAILS. REMOVE LOOSE PLASTER FROM WALLS/CEILINGS THROUGHOUT BUILDING.
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 - REMOVE ANY ROTTEN WOOD FLOORING. REPLACE WITH IN KIND WOOD FLOOR TO MATCH WIDTH, THICKNESS & SPECIES.
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 - SALVAGE BEAD BOARD & CHAIR RAILINGS, TO BE REINSTALLED PER PLAN.
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 - DEMO FLOOR FOR STAIR WELL. REFER TO LAYOUT PLANS FOR LOCATION & STRUCTURAL PLANS FOR NEW FLOOR FRAMING. SALVAGE WOOD FLOORING.

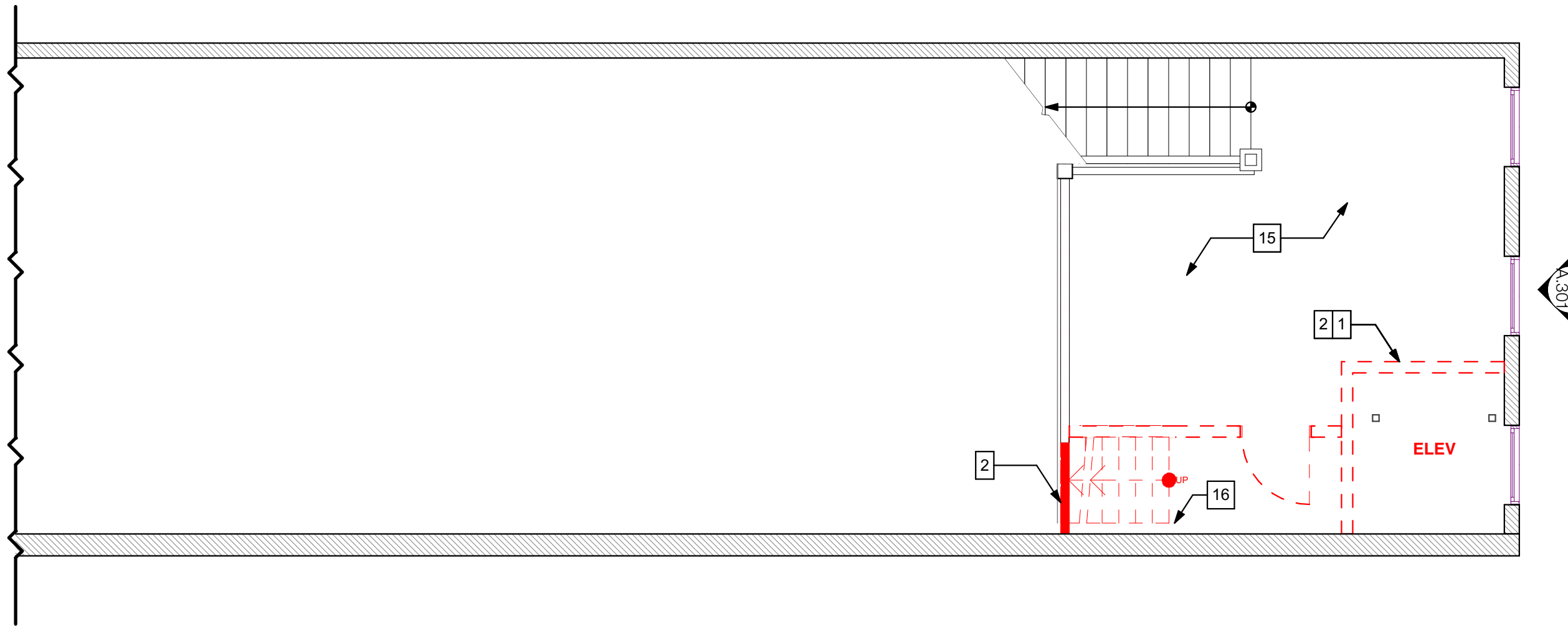
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ARCHITECT

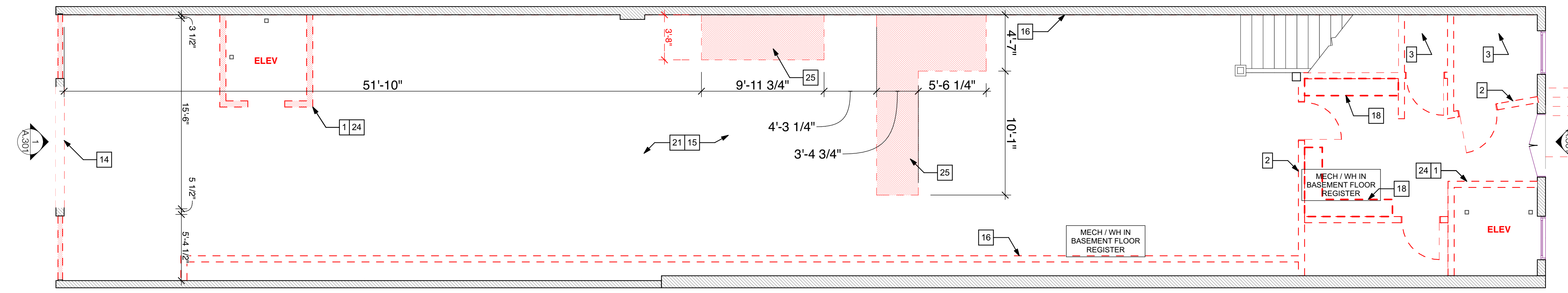
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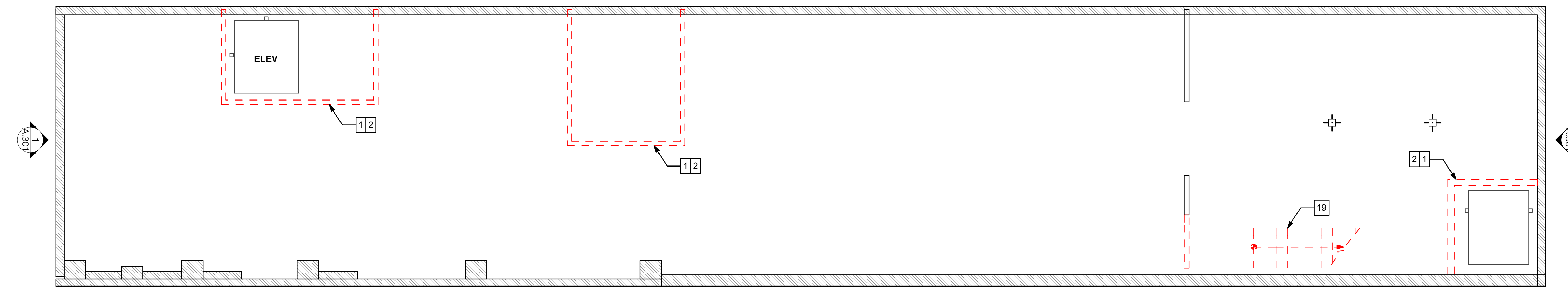
BASEMENT, FIRST FLOOR & MEZZ DEMO PLANS
D.201



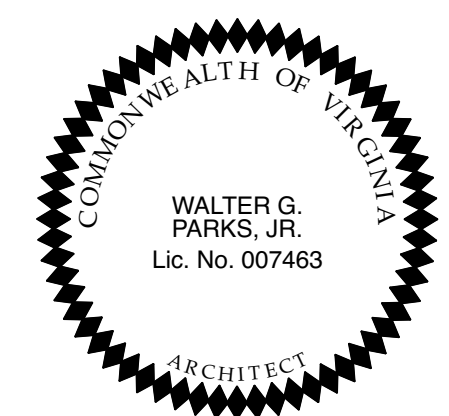
FIRST FLOOR MEZZANINE DEMO PLAN
SCALE: 3/16" = 1'-0" 5



FIRST FLOOR DEMO PLAN
SCALE: 3/16" = 1'-0" 2



BASEMENT DEMO PLAN
SCALE: 3/16" = 1'-0" 1



HARVEY FLATS
22 E BROAD ST RICHMOND VIRGINIA USA

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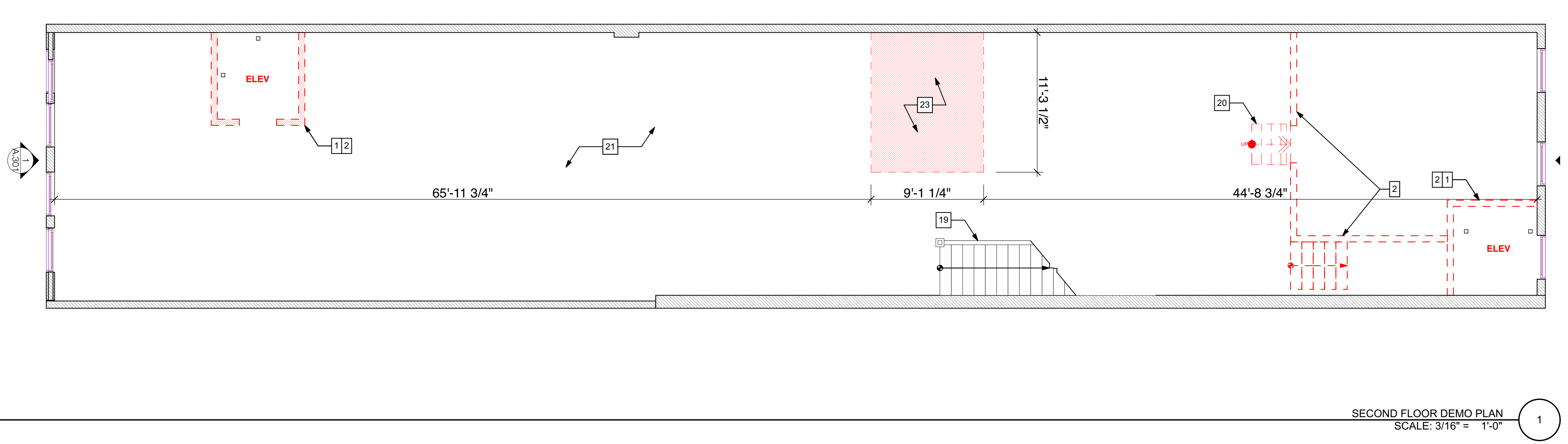
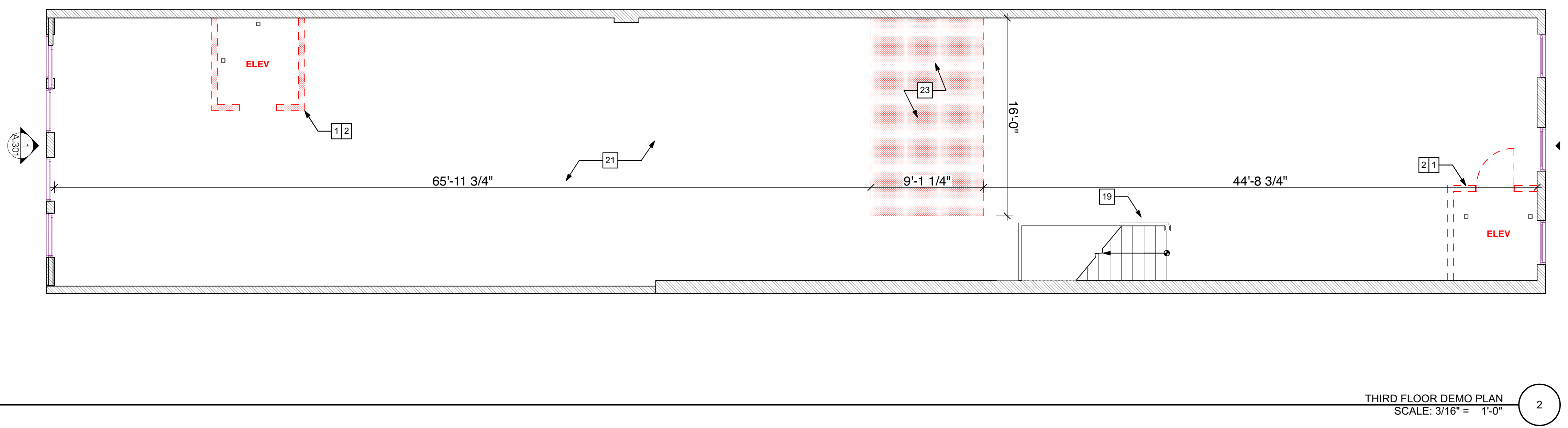
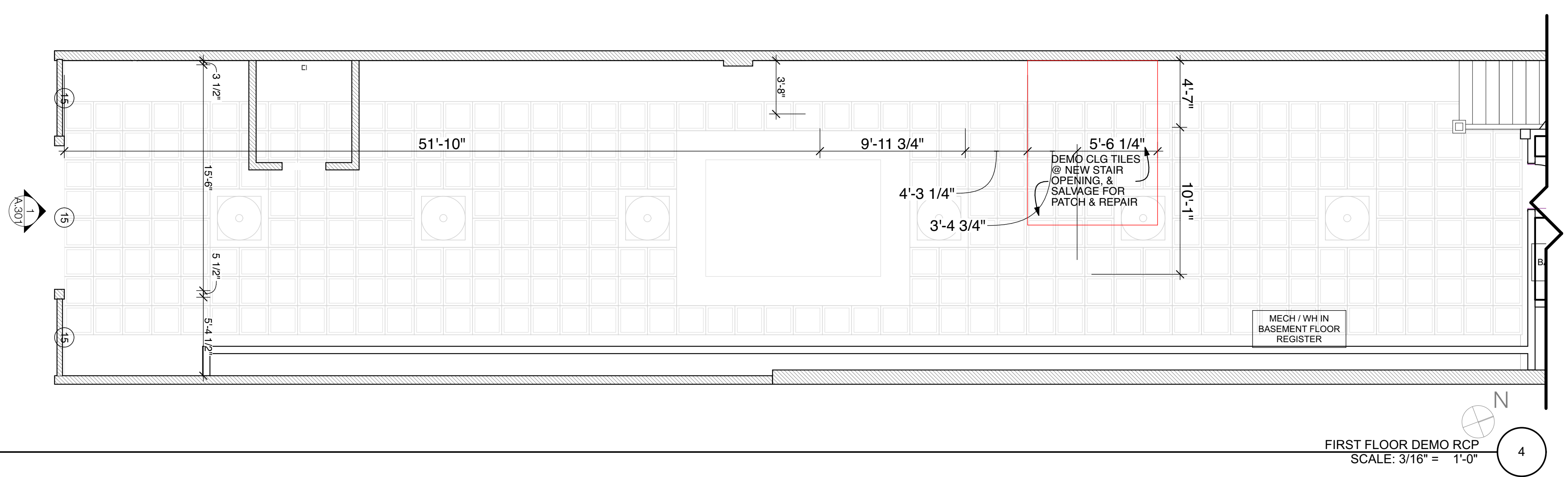
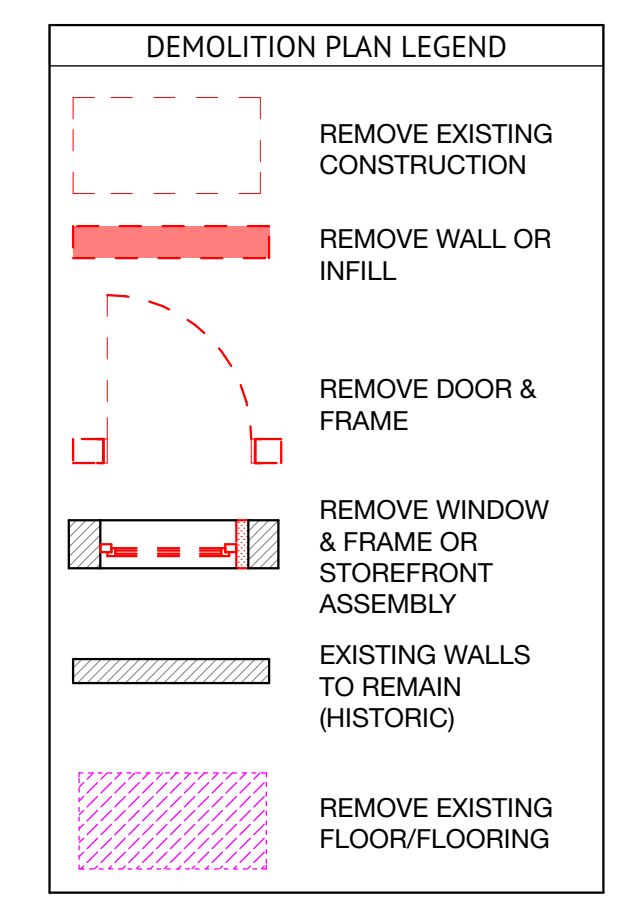
PROJECT #: 16.44
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SECOND & THIRD
FLOOR DEMO
D.202

DEMO NOTES

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DEMO LEGEND



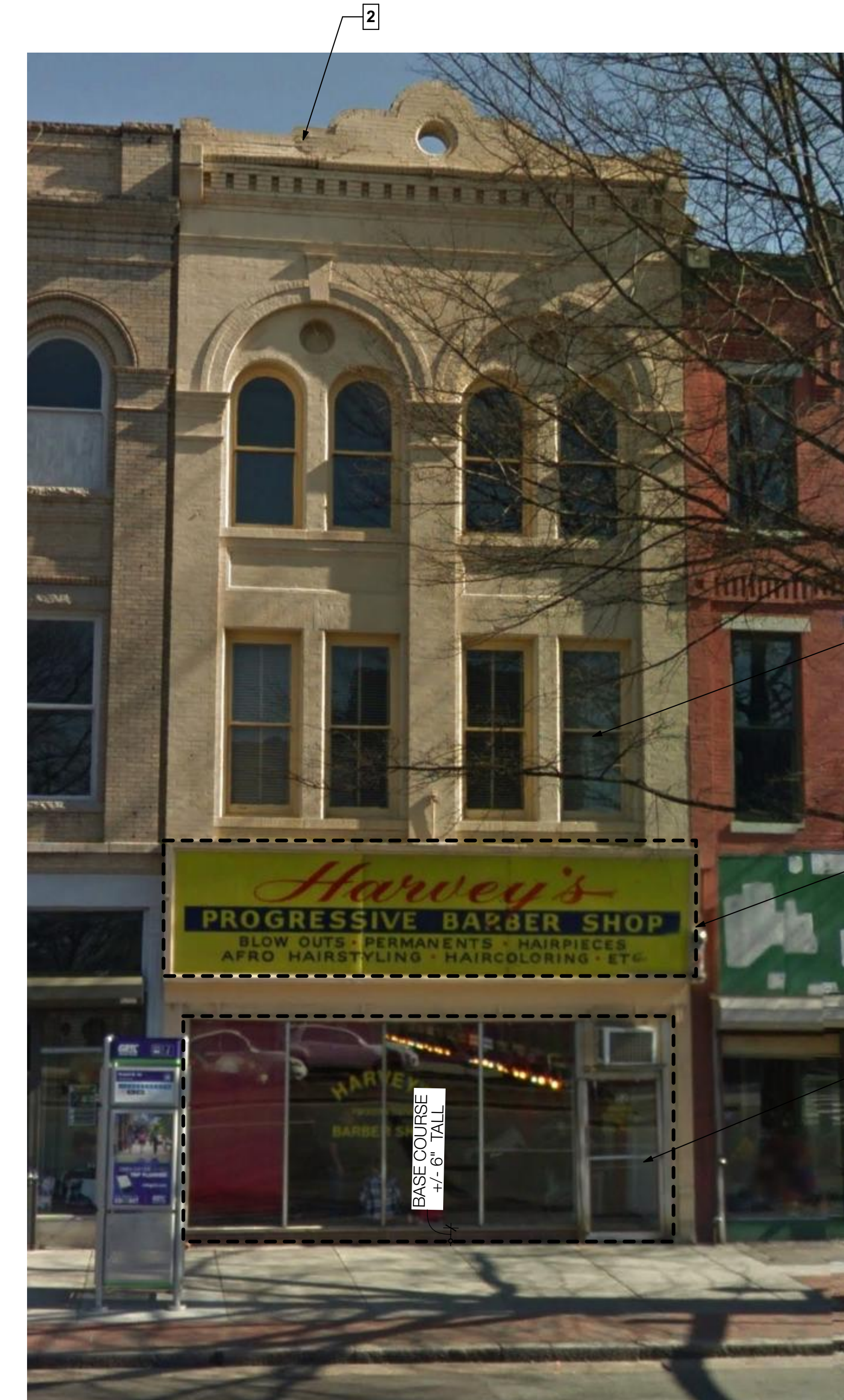
AS IS/DEMO NOTES

1. DEMO ALL EXTERIOR CONDUIT PIPING, MECH & ELEC EQUIPMENT METAL BOXES, CABLES, LIGHTS, ETC. THAT ARE NOT LIVE. WIRES TO REMAIN IN 1 LOCATION.
2. **MASONRY:** EXISTING BRICK MASONRY TO BE CLEANED W/ SOAP AND WATER OR OTHER NON-ABRASIVE METHOD, AND FREE OF ALL VEGETATION, GRAFFITI AND DEBRIS. REPOINT AS REQUIRED. MORTAR TO MATCH EXISTING COLOR AND TEXTURE.
3. **WINDOWS:** EXISTING WINDOWS TO REMAIN UNLESS NOTED OTHERWISE. RESTORE WINDOW MULLIONS, CLEAN, SCRAPE LOOSE PAINT, RECAULK, REGLAZE DAMAGED, BROKEN OR DISCOLORED GLASS, REMOVE ROTTEN WOOD TRIM & SILLS ON INTERIOR & EXTERIOR. FIX UPPER SASH AND MAKE BOTTOM SASH OPERABLE & WEATHERPROOF. PRIME & PAINT. INSTALL INTERIOR STORM WINDOWS.
4. RESTORE AND REPAIR ALL EXISTING SILLS.
5. DEMO EXISTING SIGNAGE/ MTL ENCLOSURE. TAKE CARE TO PRESERVE ORIGINAL BUILDING BEHIND. RESTORE AND REPAIR WALL AS NEEDED.
6. DEMO EXISTING STOREFRONT. PREP OPENING FOR NEW STOREFRONT AND ENTRYS IN EXISTING OPENING.
7. DEMO PLYWOOD INFILL FROM WINDOWS
8. REMOVE BARS FROM EXISTING DOORS. PREP DOORS FOR NEW HARDWARE. SCRAPE CLEAN & PREP FOR NEW PAINT
9. CLEAN & PAINT SIGN. REPAIR EXISTING SUPPORT CABLES AS NEEDED. MAKE SURE SECURED IN PLACE. PROVIDE ELECTRICAL.
10. DEMO CONCRETE STOOP.
11. REMOVE METAL PANEL & RESTORE MASONRY BEHIND.
12. REMOVE ALL VEGETATION & TREAT BASE OF BUILDING.



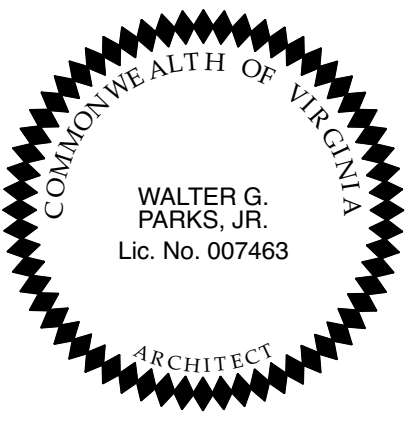
DEMO NORTH ELEVATION (ALLEY)

2



DEMO SOUTH ELEVATION (BROAD STREET)

1



HARVEY FLATS
22 E BROAD ST RICHMOND VIRGINIA USA

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DEMO ELEVATIONS
D.300