



COMMISSION OF ARCHITECTURAL REVIEW
APPLICATION / CERTIFICATE OF APPROPRIATENESS

PROPERTY (Location of Work)

Address 411 North 1st Street

Historic District Jackson Ward

PROPOSED ACTION

- Alteration (including paint colors)
 Rehabilitation
 Demolition
 Addition
 New Construction (Conceptual Review required)
 Conceptual Review
 Final Review

OWNER

Name Lester Johnson Jr.
 Company Concepts in Catering
 Mailing Address PO Box 5522
Richmond VA 23220
 Phone 804-307-3383
 Email ljohnson@mamajskitchen.com
 Signature [Signature]
 Date 6-22-2017

APPLICANT (if other than owner)

Name Robert Himmel
 Company HimmelHume Architecture, Inc.
 Mailing Address 3800 Stillman Parkway,
suite 203, Henrico, VA 23233
 Phone 804-249-4717
 Email rhimmel@himmelhume.com
 Signature [Signature]
 Date 6-29-17

ACKNOWLEDGEMENT OF RESPONSIBILITY

Requirements: A complete application includes all applicable information requested on checklists to provide a complete and accurate description of existing and proposed conditions. Preliminary review meeting or site visit with staff may be necessary to process the application. Owner contact information and signature is required. Late or incomplete applications will not be considered.

Zoning Requirements: Prior to CAR review, it is the responsibility of the applicant to determine if zoning approval is required and application materials should be prepared in compliance with zoning.

Compliance: If granted, you agree to comply with all conditions of the COA. Revisions to approved work require staff review and may require a new application and CAR approval. Failure to comply with the COA may result in project delays or legal action. The COA is valid for one (1) year and may be extended for an additional year, upon written request.

(Space below for staff use only)

Application received: ECE VED

11:42 am

COA-019857

Date/Time JUN 30 2017

Complete Yes No

By _____



CERTIFICATE OF APPROPRIATENESS

ALTERATION AND ADDITION CHECKLIST

Well in advance of the COA application deadline contact staff to discuss your project, and if necessary, to make an appointment to meet with staff for a project consultation.

Complete all applicable sections and submit with the COA application form. Staff can assist you in determining what items are required for your scope of work. An incomplete application may cause delays in processing or may be deferred to the next agenda. Application materials must clearly represent current and proposed conditions. Refer to Standards for Rehabilitation outlined in Section 30.930.7(b) of the City Code, as well as, the *Richmond Old and Historic Districts Handbook and Design Review Guidelines*.

PROPERTY ADDRESS: 411 North 1st Street

BUILDING TYPE

- single-family residence
- multi-family residence
- commercial building
- mixed use building
- institutional building
- garage
- accessory structure
- other

ALTERATION TYPE

- addition
- foundation
- wall siding or cladding
- windows or doors
- porch or balcony
- roof
- awning or canopy
- commercial sign
- ramp or lift
- other

WRITTEN DESCRIPTION

- property description, current conditions and any prior alterations or additions
- proposed work: plans to change any exterior features, and/or addition description
- current building material conditions and originality of any materials proposed to be repaired or replaced
- proposed new material description: attach specification sheets if necessary

PHOTOGRAPHS place on 8 ½ x 11 page, label photos with description and location (refer to photograph guidelines)

- elevations of all sides
- detail photos of exterior elements subject to proposed work
- historical photos as evidence for restoration work (not applicable)

DRAWINGS (refer to required drawing guidelines)

- current site plan (plat)
- proposed site plan (no changes)
- current floor plans (see demolition plans)
- proposed floor plans
- legal "plat of survey"
- list of current windows and doors
- list of proposed window and door
- current roof plan (see demolition plans)
- proposed roof plan
- current elevations (all sides)
- proposed elevations (all sides)
- demolition plan
- perspective and/or line of sight



Mama J's Catering

411 North 1st Street

City of Richmond Jackson Ward Old and Historic District

COMMISSION OF ARCHITECTURAL REVIEW SUBMISSION NARRATIVE

DESCRIPTION OF WORK - REHABILITATION

The existing building, constructed in 1977, has masonry exterior walls with wood floor and roof construction and contains parking on the first level and office space on the second floor. Exterior decoration/ornamentation is minimal. The building completely fills the parcel and faces west onto 1st Street. The site is bounded by a public sidewalk along 1st street (west), a private alley (south), an adjacent vacant private property zoned B-2 used as a parking lot (east), and an abutting two story commercial building zoned B-2 (north).

The second floor will remain office space but work includes significant interior alterations and new finishes. The first floor parking will be converted to a catering kitchen. Work at the first floor includes removing the floor slab and lowering the floor approximately one foot and enclosing the south wall with construction matching the adjacent existing construction. Work includes a new floor slab with all new interior construction. Existing roof top HVAC equipment will be removed and replaced with new HVAC equipment for both floors as well as make-up air units and exhaust fans for the kitchen hoods.

West (1st Street) Façade

The 1st street façade is brown brick with vinyl clad punched windows on the second floor and an entrance door and openings with steel railings at the first floor. The second floor windows will be replaced with dark bronze aluminum storefront frames and clear glass. One of the existing openings at the first floor will be extended to the sidewalk for a new dark bronze aluminum entrance and the other openings will be infilled with dark bronze aluminum storefront frames with clear glass. The existing entrance will be replaced with a dark bronze aluminum storefront entrance. A gas meter serving the facility is located against this façade near the north end. This will be replaced with a new, and possibly larger, meter in the same location.

South Façade

The south wall is open at the first floor for access to the existing parking area. This will be fully infilled with concrete masonry (CMU) matching the wall at the second floor above. The second floor is painted CMU with a several punched window openings matching the windows in the west façade. Three new punched openings, matching the existing openings, are added to the second floor wall. The existing windows will be removed and all the openings infilled with dark bronze aluminum storefront frames with clear glass. All the CMU at this façade will be repainted.



East Façade

The entire east wall is painted CMU and with a single punched opening at the second floor with a window matching the windows in the west façade and a hollow metal door and frame at the first floor. The window will be replaced with dark bronze aluminum storefront frames and clear glass matching the new windows in the other facades and the door will be replaced with a hollow metal door and frame painted to match the wall.

North Façade

The abutting building conceals nearly the entire north wall. Approximately three and a half feet of brick clad wall is exposed at the west end. No alterations are planned for this façade.

COLORS

West (1st Street) Façade

The existing brown brick is to remain as-is. Brick at the repair around the enlarged existing opening will match the existing as closely as possible.

Wall Color: Existing to remain

Windows/Doors Color: Dark bronze aluminum storefront, clear glass

Coping Color: Existing to remain

South Façade

The south façade is currently painted in a mural style. This wall will be repainted.

Wall Color: Sherwin Williams Secret Garden SW6181

Windows Color: Dark bronze aluminum storefront, clear glass

Gutters/Downspout Color: White

East Façade

The east façade is currently painted in a mural style. This wall will be repainted.

Wall Color: Sherwin Williams Secret Garden SW6181

Windows/Doors Color: Dark bronze aluminum storefront, clear glass

Coping Color: Existing to remain

Hollow Metal Door/Frame: Painted to match wall color

North Façade

This exposed portion of this wall is existing brown brick and will remain as-is.

Wall Color: Existing to remain

Coping Color: Existing to remain



PORCHES AND DECKS

None

NEW CONSTRUCTION

The scope of new construction is shown on the drawings and is described above under “Description of Work”. New work generally consists of infilling the exterior opening at the south façade, installing windows and a new entrance in the existing openings at west façade, replacing existing doors and windows with new and interior construction as shown. The work does not extend beyond the existing building perimeter.

A site plan is included with the drawings.

OUTBUILDINGS

None

DEMOLITION

No building demolition

RELOCATION

None

SITE IMPROVEMENTS

Other than patching of the existing public sidewalk, no site improvements are anticipated.

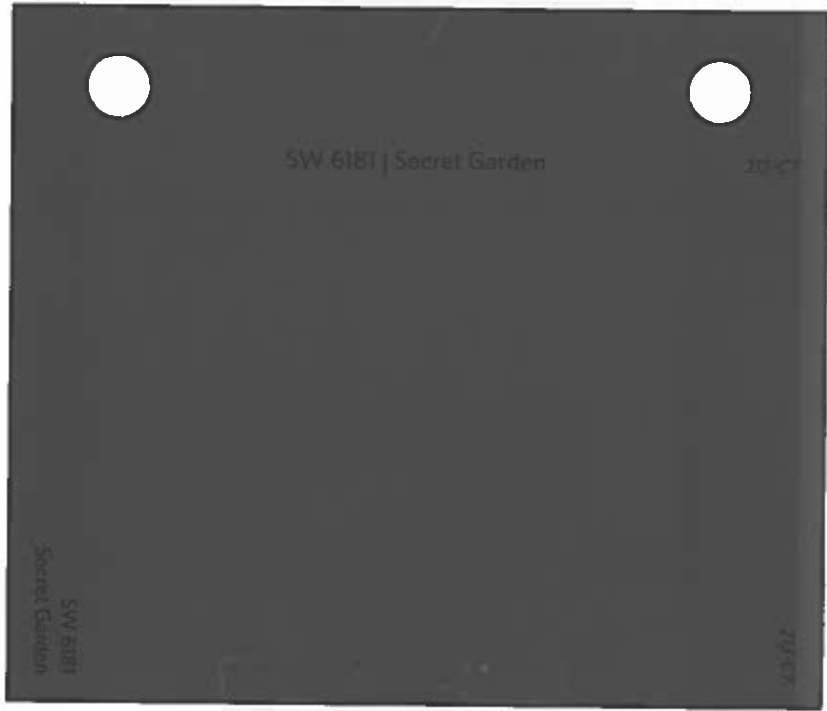
SIGNAGE AND AWNINGS

Signs and awnings are not anticipated at this time.

Mama J's Catering
411 North 1st Street

EXTERIOR WINDOWS AND DOORS

	WEST FAÇADE		SOUTH FAÇADE		EAST FAÇADE		NORTH FAÇADE	
	NO.	TYPE	NO.	TYPE	NO.	TYPE	NO.	TYPE
DOORS - EXISTING	1	FULLY GLAZED WOOD STILE & RAIL	0	NA	1	FLUSH HOLLOW METAL DOOR & FRAME	0	NA
DOORS - NEW	2	REPLACE 1 EXIST. AND PROVIDE 1 NEW WITH FULLY GLAZED ALUM. STOREFRONT	0	NA	1	REPLACE EXIST. WITH FLUSH HOLLOW METAL DOOR & FRAME	0	NA
WINDOWS - EXIST.	7	FIXED VINYL CLAD WOOD, CLEAR GLASS	3	FIXED VINYL CLAD WOOD, CLEAR GLASS	1	FIXED VINYL CLAD WOOD, CLEAR GLASS	0	NA
WINDOWS - NEW	7	REPLACE EXIST. WITH FIXED ALUM. STOREFRONT, CLEAR GLASS	6	REPLACE 3 EXIST. AND PROVIDE 3 NEW WITH FIXED ALUM. STOREFRONT, CLEAR GLASS	1	REPLACE EXIST. WITH FIXED ALUM. STOREFRONT, CLEAR GLASS	0	NA



MAMA J'S CATERING RENOVATION

CITY OF RICHMOND, VIRGINIA

OWNER

LESTER JOHNSON
MAMA J'S
411 N. 1ST STREET, RICHMOND, VA 23219
(804) 307-3383

ARCHITECT

HIMMELHUME ARCHITECTURE
3900 STILLMEAD PARKWAY
SUITE 203
HENRICO, VA 23233
CONTACT: ROBERT HIMMEL, AIA
(804) 249-4717

STRUCTURAL ENGINEER

LOUISA ENGINEERING INC.
2817 NORTH PARKWAY RD.
SUITES 208 & 209
HENRICO, VA 23294
CONTACT: JOHN MEDZA, PE
(804) 512-4665

MEP ENGINEER

ONEIL ENGINEERING SERVICES
2420 NEW DORSET TERRACE
POWHEATAN, VA 23139
CONTACT: PATRICK ONEIL, PE
(804) 821-3699

ABBREVIATIONS

AB	Anchor Bolt	FLR	Floor	PLUMB	Plumbing
AFF	Above Finished Floor	FT	Footing	PLYWD	Plywood
ALUM	Aluminum	FTG	Field Verity	PSF	Pounds per Square Foot
AIT	Alternate	FV	Field Verity	PSI	Pounds per Square Inch
APPROX	Approximate	CA	Coarse	PT	Point
ARCH	Architectural	QALV	Galvanized	R	Riser
BD	Board	GB	Grade Beam	ROD	Rod
BL	Building Line	GEN	General	REIN	Reinforcing
BLDG	Building	GL	Glass	RELOC	Relocate/Relocated
BLKG	Blocking	GND	Ground	REID	Required
BM	Beam	GR	Grade	RM	Room
BOT	Bottom	GYP BD	Gypsum Board	RO	Roof Opening
BRC	Bearing	HB	Hase Bib	SAG	Sound Attenuation Blanket
BSMT	Basement	HIDW	Hardware	SBC	Standard Building Code
CEM	Cement	HDMO	Hardware	SCHD	Schedule
CJ	Construction Joint	HM	Hardware	SECT	Section
CL	Center Line	HOR	Horizontal	SHR	Shower
CLG	Ceiling	HP	High Point	SHR	Shower
CLR	Clear	HT	Height	SHW	Shower
CMU	Concrete Masonry Unit	ID	Inside Diameter	SHW	Shower
COL	Column	INSUL	Insulation	SI	Similar
CONC	Concrete	INT	Interior	SO	Structural Opening
CONST	Construction	JT	Joint	SOG	Shoe on Grade
CONT	Continuous	L	Angle	SPA	Stand Pipe
CTR	Center	LAV	Lavatory	SPC	Splice, Spacing
DA	Diameter	LG	Long	SPEC	Specification
DM	Dimension	LOC	Location	SS	Stainless Steel
DN	Down	LP	Low Point	STA	Station
DS	Down Spout	LT	Light	SIC	Standard
DWGS	Drawings	MATL	Material	SID	Standard
EA	Each	MAX	Maximum	STF	Stiffener
EF	Each Face	MECH	Mechanical	STIF	Stiffener
EJ	Each Joint	MFG	Manufacturer	STR	Strap
EQ	Equipment	MIN	Minimum	STR	Steel
EW	Each Way	MISC	Miscellaneous	STRUC	Structural
EXT	Existing	MOD	Modified	SYM	Symmetrical
EXST	Existing	MTL	Metal	T	Tread
FD	Floor Drain	NA	Not Applicable	TEL	Telephone
FDM	Foundation	NIC	Not in Contact	TEMP	Temperature
FEC	Fire Extinguisher	NIS	Not in Scale	THK	Thick
FF	Finish Floor	OC	On Center	TYP	Typical
FIN	Finish	OD	Outside Diam.	UNO	Unless Note Otherwise
FIN FLR	Finish Floor	OPPG	Opposite	VERT	Vertical
		OPP	Opposite	WD	Work
		PL	Property Line	WPF	Welded Wire Fabric

GENERAL PROJECT NOTES

1. ALL WORK SHALL COMPLY WITH THE 2009 VIRGINIA UNIFORM STATEWIDE BUILDING CODE (VUSBC) OR THE BUILDING CODE AND REGULATIONS IN EFFECT AT THE TIME OF CONSTRUCTION
2. THE CONTRACTOR SHALL PROCURE ALL APPLICABLE PERMITS AND PAY ALL FEES BEFORE BEGINNING CONSTRUCTION
3. THESE DRAWINGS ARE INTENDED TO SHOW THE GENERAL SCOPE OF CONSTRUCTION AND MAY NOT SHOW ALL DETAILS AND INFORMATION REQUIRED FOR CONSTRUCTION. PROVIDE ALL MATERIALS AND LABOR TO COMPLETE THE WORK WHETHER OR NOT SPECIFICALLY INDICATED
4. BEFORE BEGINNING CONSTRUCTION
 - a. NOTIFY OWNER OF ANY DISCREPANCIES
 - b. NOTIFY OWNER OF ANY HAZARDOUS CONDITIONS OR MATERIALS AFFECTING THE WORK AND THE SAFETY OF WORKERS AND OCCUPANTS
5. DIMENSIONS ARE TO FACE OF STUD, FACE OF MASONRY OR FACE OF EXISTING CONSTRUCTION UNLESS OTHERWISE NOTED
6. DO NOT OBSTRUCT PUBLIC SIDEWALKS, STREETS, ALLEYS WITHOUT PROPER PERMITS
7. COMPLY WITH OWNERS CONTRACT REQUIREMENTS, GENERAL, AND SUPPLEMENTARY CONDITIONS (IF ANY) AND OTHER REQUIREMENTS OF THE OWNER/PERMIT
8. PROTECT ALL EXISTING CONSTRUCTION TO REMAIN DURING CONSTRUCTION. REPAIR ANY AREAS DAMAGED BY CONSTRUCTION ACTIVITIES TO MATCH EXISTING
9. VERIFY CONTINUITY OF VAPOR BARRIER UNDER ALL SLABS ON GRADE PRIOR TO PLACING CONCRETE. AVOID DAMAGE TO VAPOR BARRIER DURING CONCRETE PLACEMENT.
10. REFER TO DOCUMENTS BY OTHERS FOR RELATED SITE WORK. COORDINATE THIS WORK WITH WORK BY OTHERS.
11. DO NOT OBSTRUCT PUBLIC SIDEWALKS, ALLEYS, STREETS WITHOUT PROPER PERMITS

BUILDING CODE INFORMATION

PROJECT NAME: MAMA J'S COMMERCIAL KITCHEN
ADDRESS: 411 N. 1ST STREET, RICHMOND, VA 23219
PROPOSED USE: B. COMMERCIAL, KITCHEN W/ TAKE OUT (DOWNSTAIRS) B. GEN. OFFICES (UPSTAIRS)
OWNER-CONTACT PERSON: LESTER JOHNSON PHONE: (804) 307-3383

APPLICABLE CODES
- BUILDING CODE: 2012 VUSBC

BUILDING PLANNING

OCCUPANCY: B
MIXED OCCUPANCY YES / (NO)
REQUIRED FIRE SEPARATION: NONE (TABLE 508.4)

TYPE OF CONSTRUCTION

CONSTRUCTION TYPE: IIB (TABLE 601)

GENERAL BUILDING LIMITATIONS

-AREA OF BUILDING: (1ST FLOOR 2,371 GSF) (2ND FLOOR 2,371 GSF) (TOTAL 4,742 GSF)
-ALLOWABLE FLOOR AREA: (B-19,000) (TABLE 503)
-HEIGHT OF BUILDING: 24'-2" NUMBER OF STORES: 12 EXISTING (2 ALLOWED)

FIRE PROTECTION SYSTEMS

-BUILDING IS NOT SPRINKLERED

FIRE RESISTANT CONSTRUCTION / FIREPROOFING SCHEDULE

ITEM	REQ'D RATING	UL/TM #
- EXTERIOR WALLS: LOAD BEARING	2	EXISTING
- FIRE/PARTY WALLS	1	W5B TABLE 721.103-1.4
- SHAFTS	1	X
- TENANT SEPARATION	X	X
- INTERIOR WALL: LOAD BEARING	0	X
- INTERIOR WALL: NON-LOAD BEARING	0	X
- COLUMNS	0	X
- BEAMS	0	X
- FLOOR/CEILING	0	X
- ROOF/CEILING	0	X
- CHIMNEYS	0	X

REQUIRED SEPARATION OF OCCUPANCIES: NON REQUIRED (TABLE 508.4)
TABLE 1018.1

FIRE PROOFING NOTES

1. ALL FIRE RESISTIVE RATINGS ARE ASSUMED TO BE THERMALLY UNRESTRAINED.

MEANS OF EGRESS

-OCCUPANT LOAD: UPSTAIRS: OFFICE B=100 GROSS (24 PEOPLE)
DOWNSTAIRS: KITCHEN B=100 GROSS (8 PEOPLE)
DOWNSTAIRS: SERVING B=100 GROSS (4 PEOPLE)

-NUMBER OF EXITS: 1 (1015.1)
-REQUIRED EXIT WIDTH: N/A
-TRAVEL DISTANCE: EXIT ACCESS TRAVEL DISTANCE (F, I, M, B) 200'
-DEAD ENDS: NOT LIMITED PER 1018.4
-EXIT THRU KITCHEN: OK PER 1014.2.4.3
-DOWNWIND PATH OF TRAVEL: (1014.3) 530 OCCUPANT NON-SPRINKLERED: B=100'

TOILET FIXTURE COUNT

UPSTAIRS: 2902 2 SEPARATE FACILITIES REQUIRED
DOWNSTAIRS: 1 REQUIRED - 2 PROVIDED
1 SERVICE SINK AND 1 WATER FOUNTAIN REQUIRED AND PROVIDED FOR SINGLE TENANT SPACE

SITE



INFORMATION TAKEN FROM CITY OF RICHMOND GIS

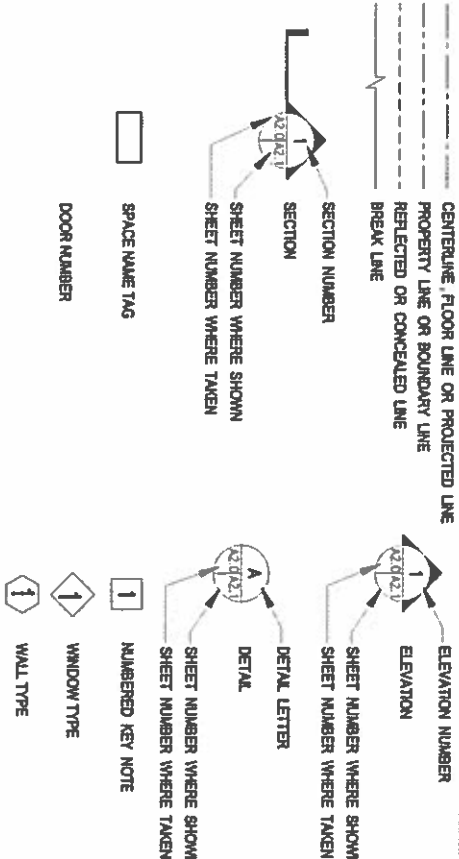
LOCATION MAP

SCALE: NIS

INDEX OF DRAWINGS

- T1.0 COVER SHEET
- A1.0 PLAT AND PHOTOS
- A2.0 DEMO PLANS
- A3.0 ROOF PLAN
- M4.0 FLOOR PLAN
- A5.0 EXTERIOR ELEVATIONS
- A6.0 STREET SCOPE

SYMBOLS



411 N. 1ST STREET, RICHMOND, VA
MAMA J'S CATERING

COVER SHEET

FILE NAME:
DATE: 01/13/2017

DRAWN BY: RJA
CHECKED BY: J. HUME



DATE	DESCRIPTION

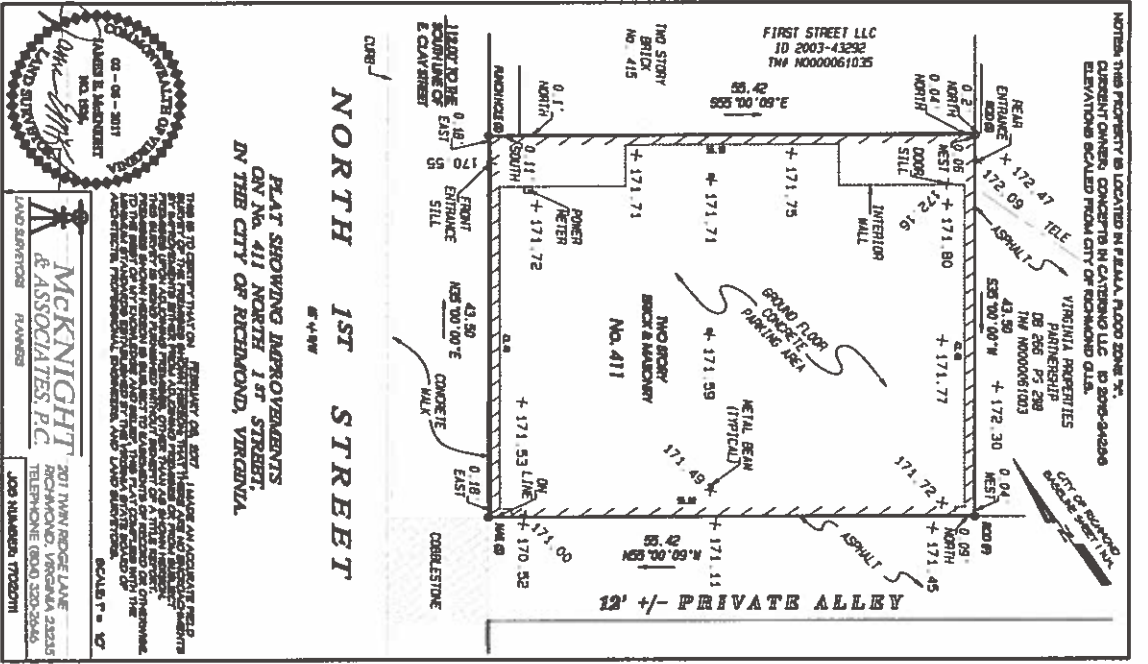
REVISIONS

Copyright © 2017

CONCEPT BY: HIMMELHUME ARCHITECTURE, LLC 3452 PARK AVENUE, SUITE 100 RICHMOND, VA 23226
ARCHITECT: LESTER JOHNSON
PROJECT NO: 17-001
DATE: 01/13/2017
APPROVED FOR CONSTRUCTION: ROBERT HIMMEL, AIA
HIMMELHUME ARCHITECTURE, LLC

SHEET No.

T1.0



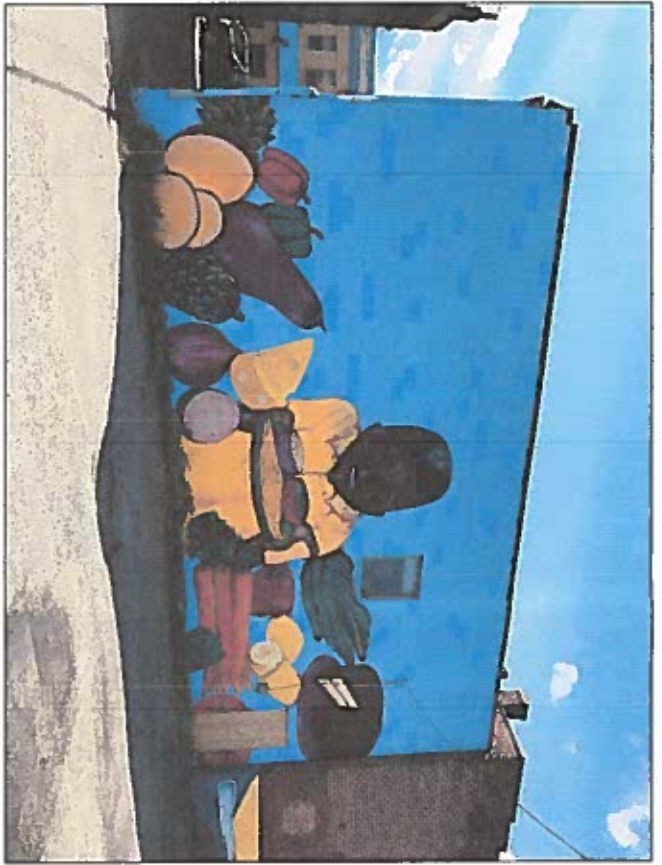
SITE SURVEY

DATE: 05-08-2013
 DRAWN BY: R.J.H.
 CHECKED BY: J. H. H.W.C.

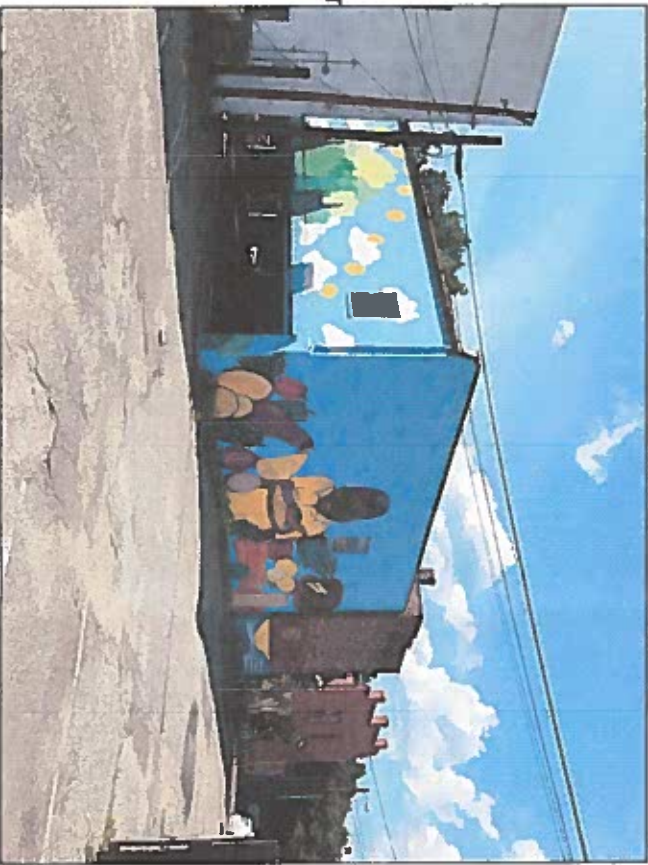
MCKNIGHT & ASSOCIATES, P.C.
 LAND SURVEYORS
 201 THOMAS ROSS LANE
 RICHMOND, VIRGINIA 23226
 TELEPHONE: (804) 330-2646
 FAX: (804) 330-2646
 JOSH MCKNIGHT, LICENSED SURVEYOR



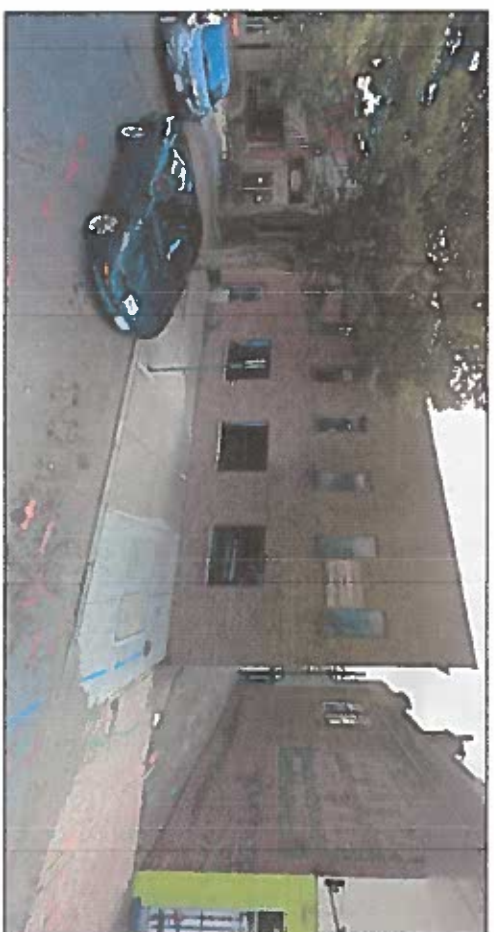
VICINITY MAP
 INFORMATION TAKEN FROM CITY GIS



EAST FACADE



SOUTH CORNER FACADE



WEST FACADE



WEST/SOUTH FACADES

DATE	DESCRIPTION

REVISIONS

Copyright © 2014
 Himmelhume Architecture, LLC is a registered professional architectural firm in the Commonwealth of Virginia. All rights reserved. No part of this document may be reproduced or transmitted in any form or by any means, electronic or mechanical, including photocopying, recording, or by any information storage and retrieval system, without the prior written permission of Himmelhume Architecture, LLC.

HIMMELHUME ARCHITECTURE

HIMMELHUME ARCHITECTURE
 3800 STILLMANN PARKWAY, SUITE 203
 RICHMOND, VA 23233
 (804) 249-4717

**411 N. 1ST STREET, RICHMOND, VA
 MAMA J'S CATERING**

FILE NAME: DWG. TITLE
 PLAT AND PHOTOS

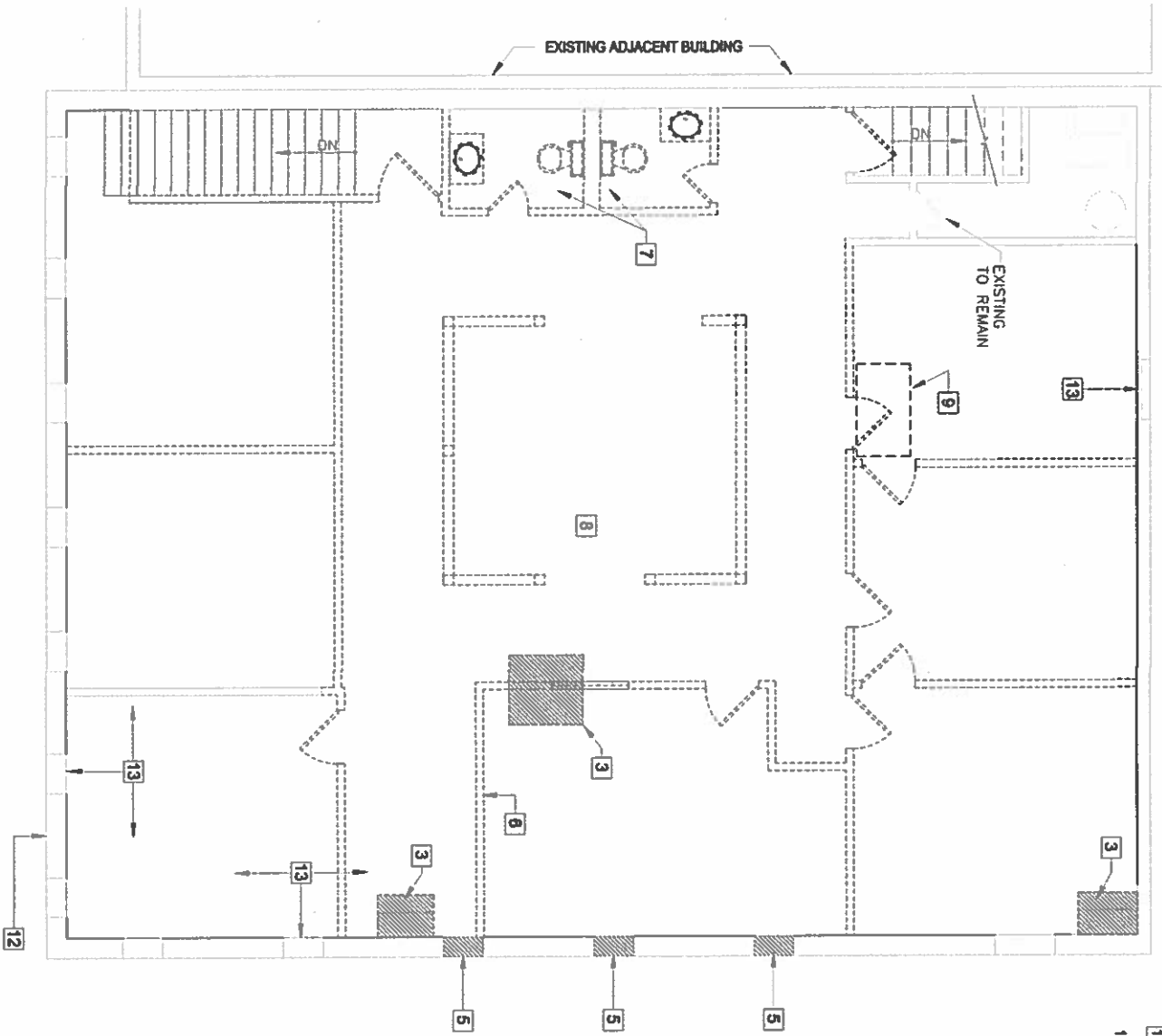
DATE: 05/20/2013

DRAWN BY: R.J.H.
 CHECKED BY: J. H. H.W.C.

SHEET No.
A1.0

DEMOLITION GENERAL NOTES

1. DEMOLITION IS SHOWN GENERALLY. PROVIDE ALL DEMOLITION AND CUTTING AND PATCHING AS REQUIRED TO PERFORM THE WORK AND AS DIRECTED BY THE OBTENEMENT. COORDINATE DEMOLITION WITH CONSTRUCTION AND ALL DISCIPLINES.
2. COORDINATE DEMOLITION WITH ALL NEW WORK INCLUDING MECHANICAL AND ELECTRICAL WORK IS INDICATED. COORDINATE THIS WITH GENERAL CONSTRUCTION.
3. REMOVE ALL ITEMS COMPLETELY AND PREPARE ALL SURFACES TO RECEIVE NEW CONSTRUCTION. DO NOT CUT OR ALTER ANY STRUCTURAL OR BEARING COMPONENTS UNLESS SPECIFICALLY INDICATED. PROVIDE TEMPORARY SUPPORT AS REQUIRED UNTIL PERMANENT REPLACEMENT SUPPORTS ARE PROPERLY INSTALLED.
4. REMOVE EXISTING FINISHES WHERE INDICATED AND DIRECTED BY OWNER AND PREPARE SURFACES TO RECEIVE NEW FINISHES.
5. COMPLETELY REMOVE ALL ABANDONED EQUIPMENT, WIRING, CONTROLS NOT BEING REUSED.
6. REMOVE ALL ABANDONED WIRING BACK TO PANEL BOARD.
7. REMOVE ALL ABANDONED PIPING BACK TO NEAREST BRANCH LINE.
8. REPAIR DAMAGE TO CONSTRUCTION TO REMAIN AND PREPARE AS REQUIRED FOR NEW CONSTRUCTION AND FINISHES.
9. DISPOSE OF ALL MATERIALS IN ACCORDANCE WITH REGULATIONS.
10. CAREFULLY REMOVE AND STORE ANY DEMOLITION ITEMS TO BE REUSED.
11. REMOVE TOILET ACCESSORIES AS REQUIRED FOR CONSTRUCTION. SALVAGE FOR REUSE AS DIRECTED BY OWNER.
12. REFER TO ROOF PLAN FOR ADDITIONAL DEMOLITION WORK.

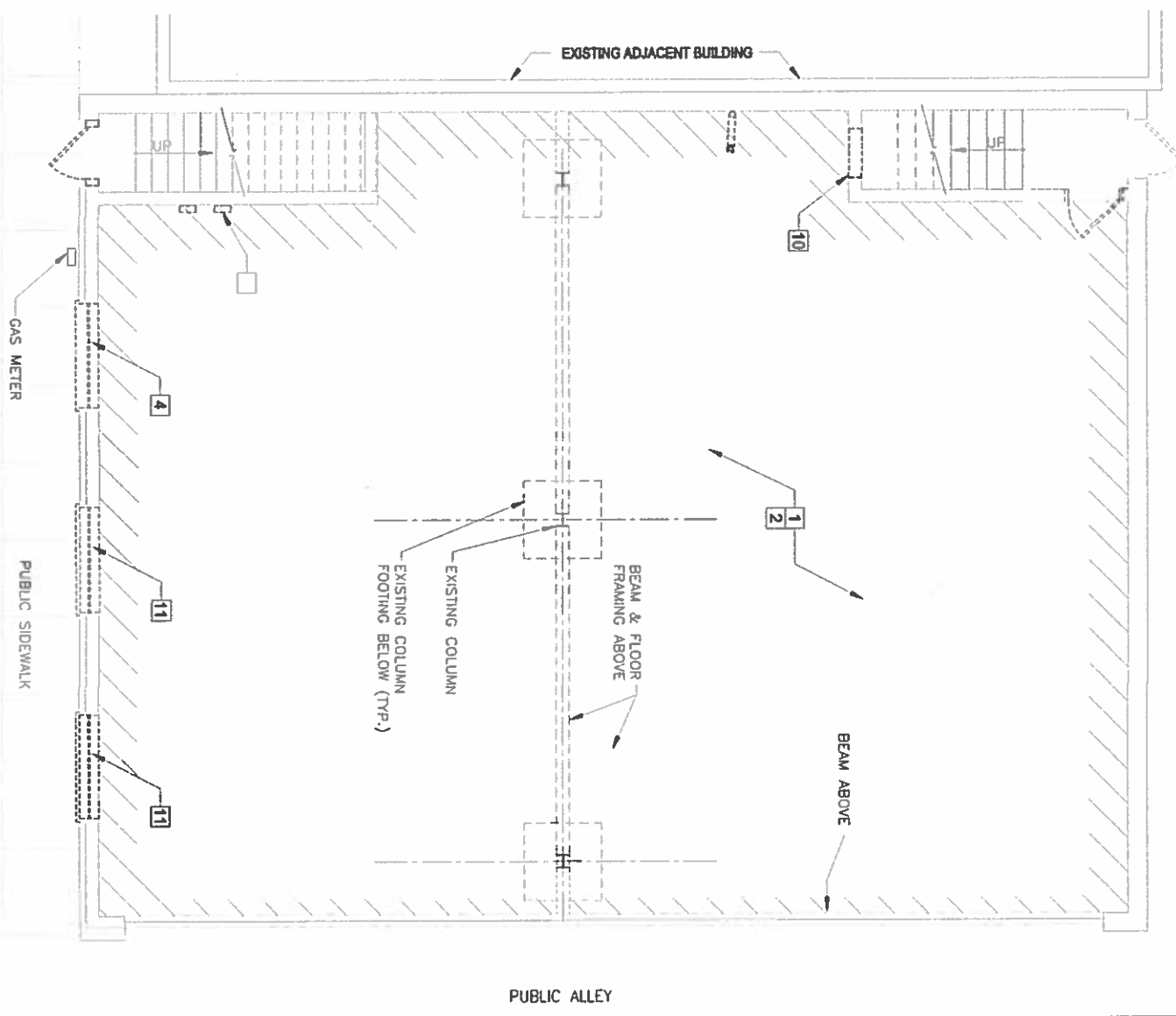


1 SECOND FLOOR DEMO PLAN
SCALE 1/8"=1'-0"
PLAN NORTH
ACTUAL NORTH

DEMOLITION KEY NOTES

1. REMOVE CONCRETE SLAB & SOIL AS REQUIRED FOR NEW CONSTRUCTION (HATCHED OUTLINE)
2. REMOVE EXISTING GYPSUM BOARD CEILING COMPLETELY (HATCHED OUTLINE)
3. CUT OPENINGS FOR DUCTS, COORD WITH MEP. LOCATE OPENING BETWEEN EXIST. JOIST. DO NOT MODIFY EXIST. JOIST.
4. REMOVE STEEL RAILING, SILL & WALL BELOW OPENING
5. CUT OPENINGS FOR WINDOWS, REFER TO STRUCTURAL FOR LINTEL
6. REMOVE EXISTING PARTITIONS & DOORS COMPLETELY (DASHED)
7. REMOVE RESTROOMS COMPLETELY. INCLUDE FIXTURES & FINISHES
8. REMOVE FLOOR AND CEILING FINISHES THROUGHOUT (PREPARE SURFACES FOR NEW CONSTRUCTION)
9. OPENING IN ROOF FOR ROOF SCUTTLE AND RETRACTABLE LADDER LOCATE BETWEEN JOIST. RE: 1/A2.0
10. OPENING FOR ACCESS DOOR RE: FLOOR PLAN
11. REMOVE RAILING AND BRICK SILL
12. REMOVE EXTERIOR SIGN AND FILL HOLES TO MATCH
13. REMOVE ALL EXISTING WINDOWS

FLOOR PLAN LEGEND	
	EXISTING WALL TO REMOVE
	NEW WALL
	NEW DOOR
	EXISTING DOOR TO REMOVE
	DEMOLISH EXISTING DOOR
	DEMOLISH EXISTING WALL



2 FIRST FLOOR DEMO PLAN
SCALE 1/8"=1'-0"
PLAN NORTH
ACTUAL NORTH

SHEET No
A2.0

411 N. 1ST STREET, RICHMOND, VA
MAMA J'S CATERING

FILE NAME:	OWG. TITLE:	DRAWN BY:
	DEMO PLANS	R.J.H.
DATE:		CHECKED BY:
5/26/2017		J. HUME

HIMMELHUME ARCHITECTURE

HIMMELHUME ARCHITECTURE
3800 STELLAHN PARKWAY, SUITE 203
RICHMOND, VA 23233
(804) 240-4717

DATE	DESCRIPTION
	Δ

CONTRACT © 2014

DESIGNED BY HMM/MLL
ALL IN RIGHT OF HMM/MLL
NO PART TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM WITHOUT PERMISSION FROM HMM/MLL ARCHITECTURE, LLC.

REVISIONS	



1 DEMOLITION-ROOF PLAN
 A3.0 SCALE: 1/4" = 1'-0"

1 ROOF PLAN
 A3.0 SCALE: 1/4" = 1'-0"
 REFER TO MEP FOR ITEM NOT SHOWN HERE.



411 N. 1ST STREET, RICHMOND, VA MAMA J'S CATERING		FILE NAME:	DWG. TITLE:	DRAWN BY:	CHECKED BY:
			ROOF PLAN	RJH	J. HUME
		DATE:			
		05/28/2017			

HIMMELHUME ARCHITECTURE
 Himmelhume Architecture
 3000 STALLMAN PARKWAY, SUITE 203
 RICHMOND, VA 23233
 (804) 249-4717

DATE:	DESCRIPTION:

REVISIONS

COPYRIGHT © 2014
 ALL RIGHTS RESERVED
 NO PART OF THIS DOCUMENT MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT PERMISSION IN WRITING FROM HIMMELHUME ARCHITECTURE, LLC.

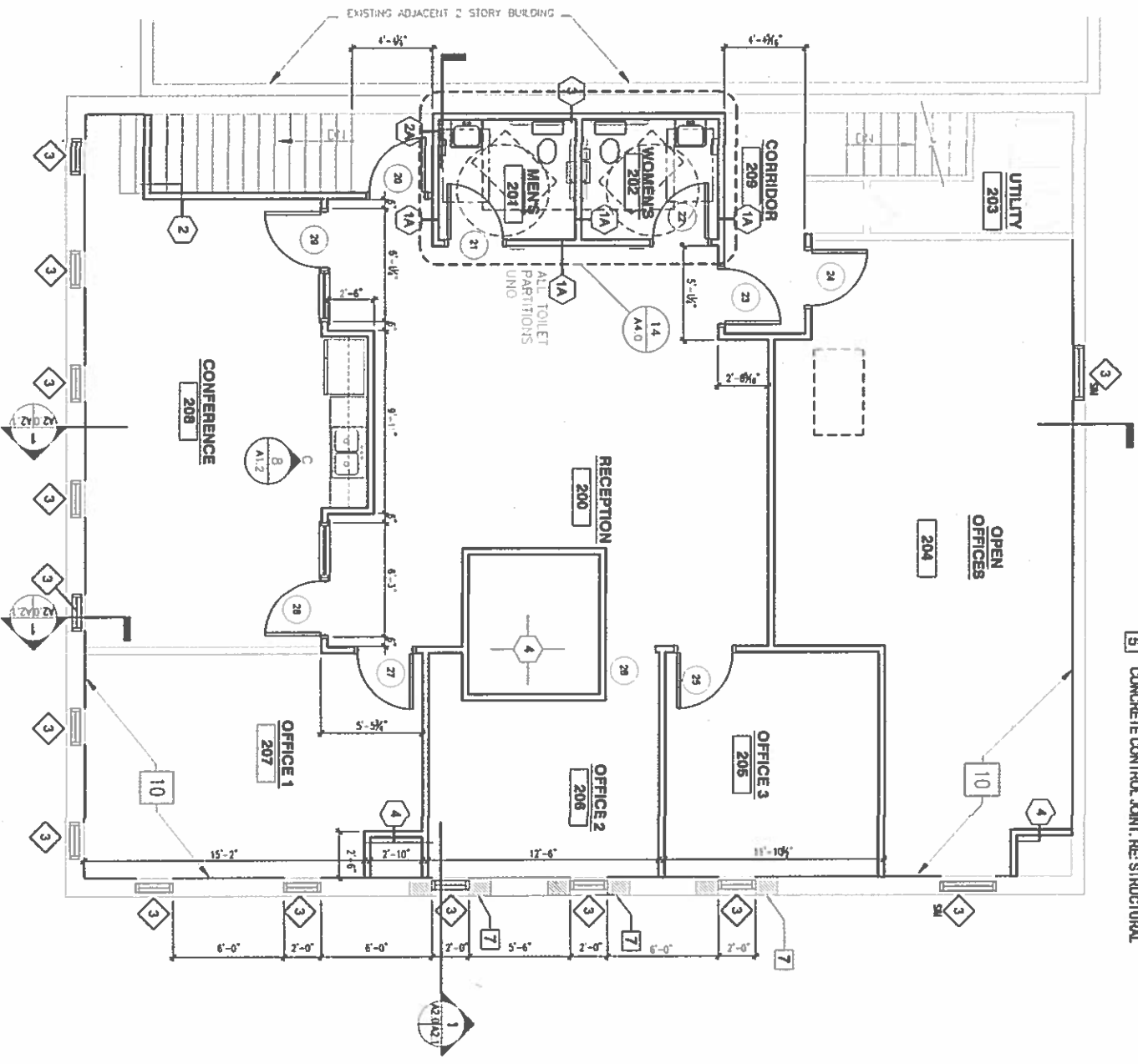
FLOOR PLAN NOTES

1. REPAIR EXPOSED SURFACES TO RECEIVE NEW FINISHES
2. PROVIDE BLOCKING BEHIND FINISHES TO PROPERLY SUPPORT ALL WALL AND CEILING MOUNTED ITEMS WHETHER OWNER OR CONTRACTOR FURNISHED INCLUDING TVs, LOCKERS, TOILET ACCESSORIES, CABINETS, COUNTERS, SHELVING, BRACKETS, DOOR STOPS, ETC.
3. ALL INTERIOR PARTITIONS ARE TYPE 1 UNLESS OTHERWISE INDICATED
4. PATCH ALL OPENINGS IN EXISTING PERIMETER WALLS TO MATCH EXISTING CONSTRUCTION
5. REFER TO LIFE SAFETY PLAN FOR FIRE EXTINGUISHER AND FIRE EXTINGUISHER CABINET LOCATIONS

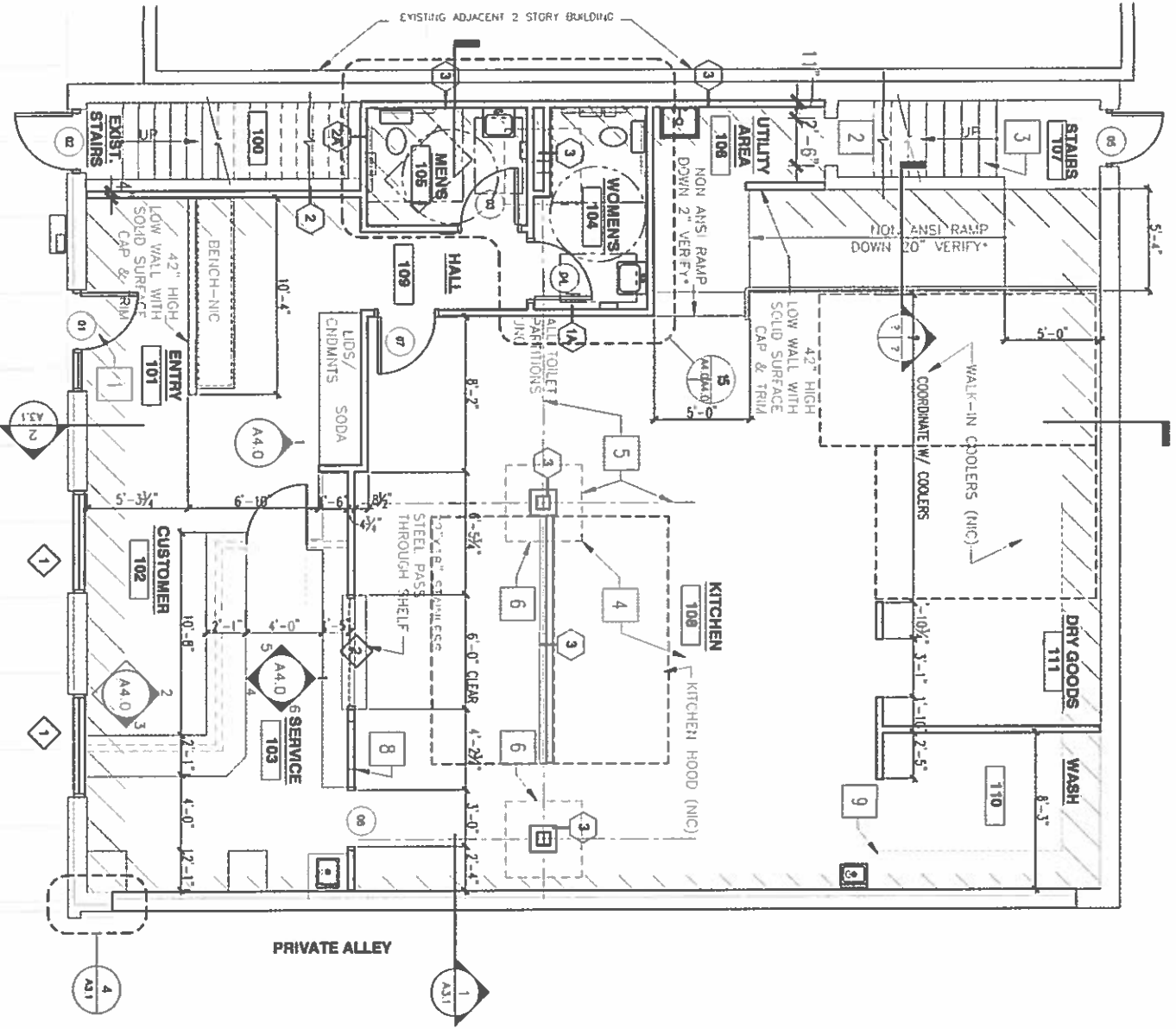
FLOOR PLAN KEY NOTES

- 1 FLOOR AT ENTRANCE DOOR TO ALIGN WITH EXISTING SIDEWALK. ADJUST RAMP LENGTH AS REQUIRED. RAMP SLOPE NOT TO EXCEED 1:12. PROVIDE HANDRAILS IF RAMP HEIGHT EXCEEDS 6"
- 2 PROVIDE 24"x24" ACCESS DOOR TO CONCEALED SPACE BELOW THE STAIRS. LOCATE APPROX. 24" ABOVE FLOOR
- 3 EXISTING STEEL OPEN RISERS STAIR FORM 18 GAUGE STEEL. RISERS AND WELD IN PLACE FROM BACK SIDE
- 4 4" CONCRETE SLAB WITH 6# W. 4" x W. 4 WELDED WIRE FABRIC OVER 10 MIL. POLYTHENE VAPOR BARRIER AND 4" THICK DRAINAGE LAYER. PLACED OVER UNDISTURBED SOIL OR COMPACTED FILL (TOP OF SLAB TO BE FLUSH WITH TOP OF EXISTING FOOTINGS. VERIFY IN FIELD. COORDINATE WITH FLOOR TRANSMISSION AT ENTRY)
- 5 CONCRETE CONTROL JOINT. RE-STRUCTURAL

- 6 EXIST CONCR. COIL FOOTING. SMOOTH & LEVEL TOP OF FOOTING TO ALIGN WITH FLOOR SLAB.
- 7 TOOTHAN MASONRY AT JAMBS FULL HEIGHT AT BOTH WINDOW JAMBS - TYP. RE-STRUCTURAL FOR LINTELS
- 8 COORDINATE OPENING WITH KITCHEN EQUIP
- 9 R-10 EXTRUDED POLYSTYRENE PERIMETER INSULATION. EXTEND 24" WIDE MIN CONTINUOUSLY ALONG ALL EXTERIOR WALLS IMMEDIATELY BELOW FLOOR SLAB
- 10 PROVIDED 2X2 PRESSURE TREATED PIPING AT 18" OC WITH 1" GYP BD TO 4" ABOVE CEILING AT ALL EXTERIOR WALLS UNO



1 SECOND FLOOR PLAN
SCALE: 1/8"=1'-0"
PLAN NORTH
ACTUAL NORTH



2 FIRST FLOOR PLAN
SCALE: 1/8"=1'-0"
PLAN NORTH
ACTUAL NORTH

FLOOR PLAN LEGEND	
	EXISTING WALL TO REMAIN
	NEW WALL
	NEW ROOM
	EXISTING DOOR TO REMAIN
	DEMOLITION EXISTING WALL
	DEMOLITION EXISTING DOOR

DATE	DESCRIPTION

REVISIONS

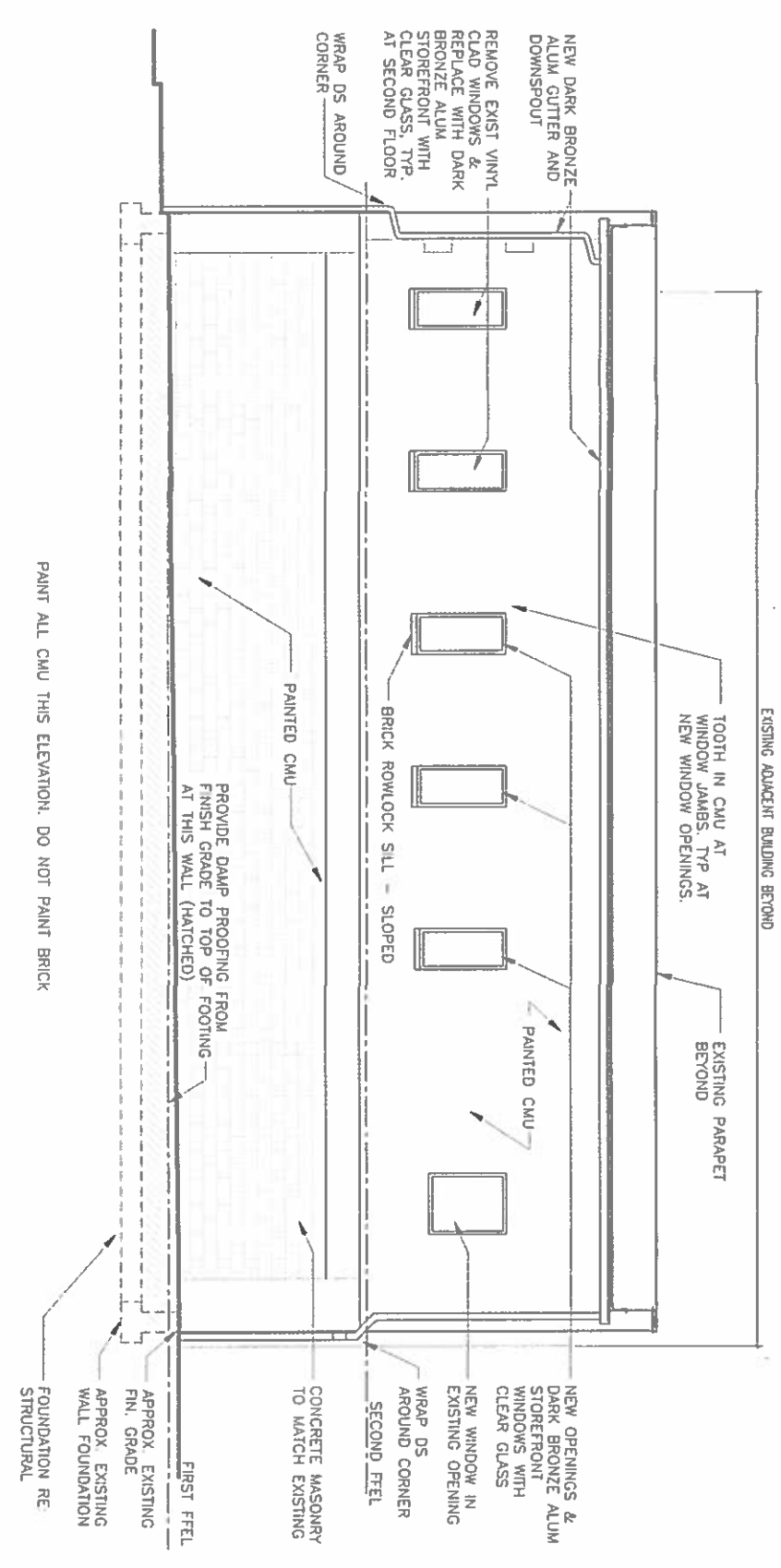
HIMMELHUME ARCHITECTURE
HIMMELHUME ARCHITECTURE
3800 STELLMAN PARKWAY, SUITE 203
RICHMOND, VA 23233
(804) 249-4717

411 N. 1ST STREET, RICHMOND, VA
MAMA J'S CATERING

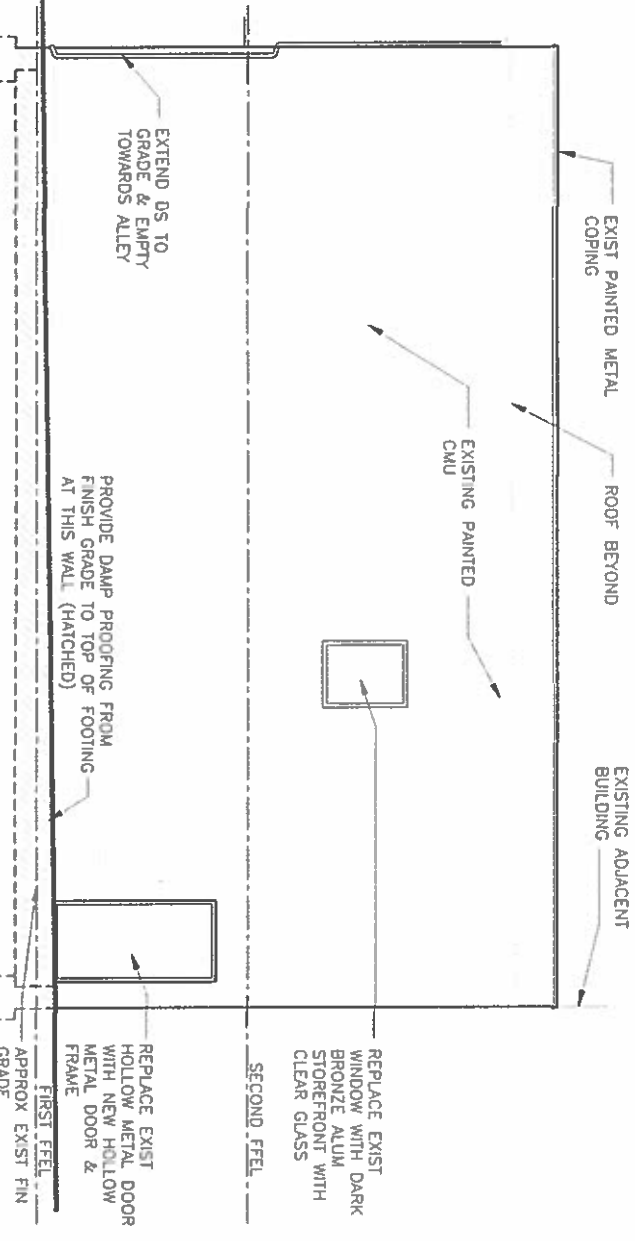
FILE NAME: _____
DWG. TITLE: FLOOR PLANS
DATE: 05/25/2017

DRAWN BY: R.H.
CHECKED BY: J. HUME

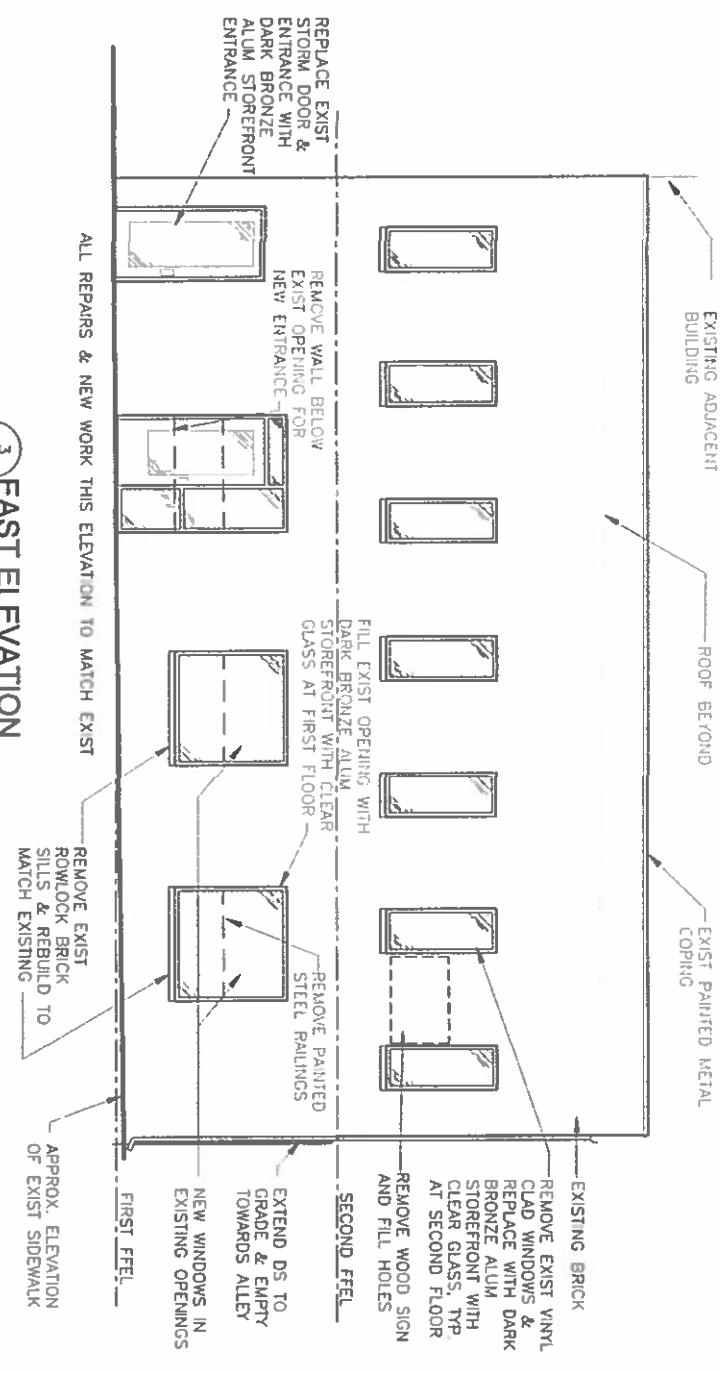
SHEET NO. **A4.0**



1 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



2 WEST ELEVATION
SCALE: 1/4" = 1'-0"



3 EAST ELEVATION
SCALE: 1/4" = 1'-0"

411 N. 1ST STREET, RICHMOND, VA
MAMA J'S CATERING

FILE NAME: DWG. TITLE: EXTERIOR ELEVATIONS
DATE: 10/22/17

DRAWN BY: JH
CHECKED BY: JH

HIMMELHUE ARCHITECTURE
HIMMELHUE ARCHITECTURE
3800 STILLMAN PARKWAY, SUITE 203
RICHMOND, VA 23233
(804) 249-4717

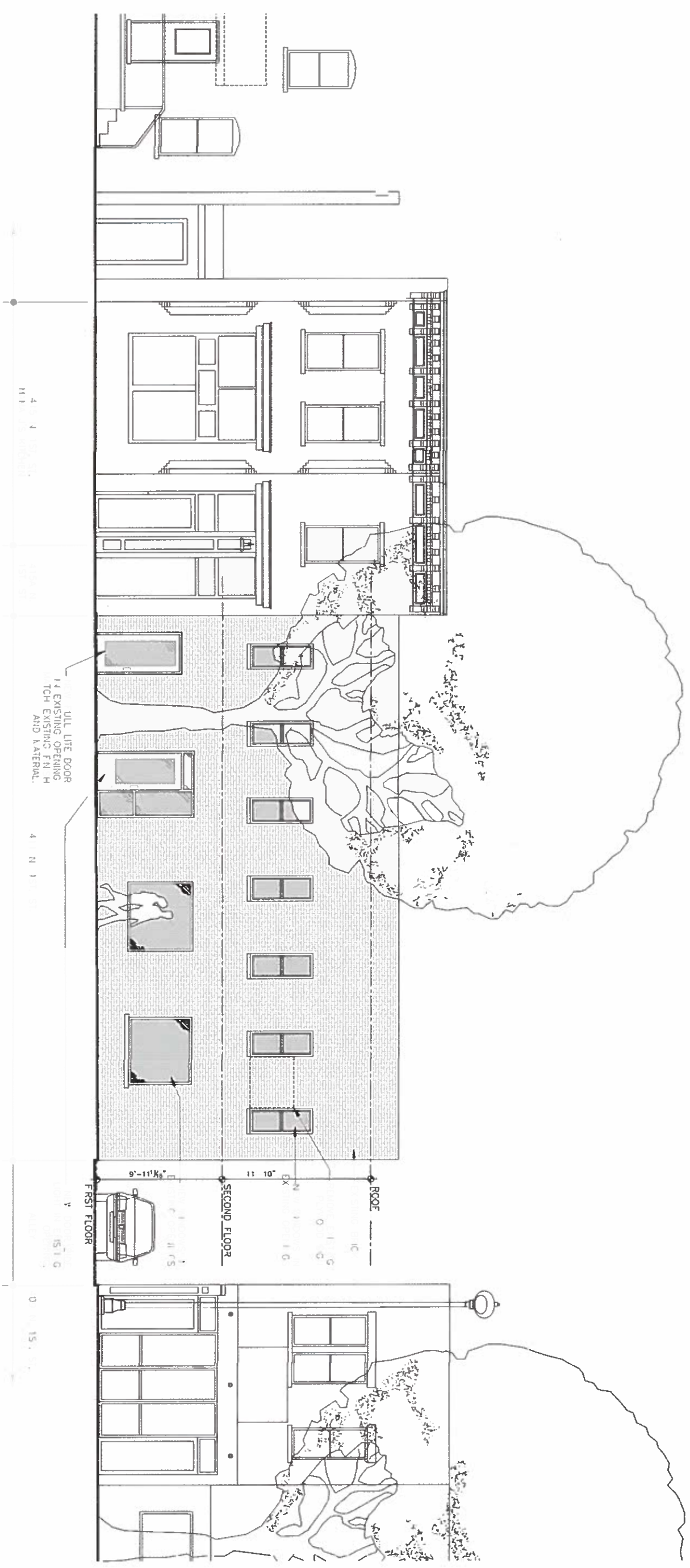
DATE	DESCRIPTION

CONTRACT: © 2014

REVISIONS	

DISCLAIMER: THIS DOCUMENT IS THE PROPERTY OF HIMMELHUE ARCHITECTURE, LLC AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF HIMMELHUE ARCHITECTURE, LLC.

SHEET No. **A5.0**



ULL LITE DOOR
 TO BE ADDED TO
 EXISTING FACADE
 AND MATERIAL.

4'-11" 1/2"
 HIGHEST POINT

4'-11" 1/2"
 HIGHEST POINT

4'-11" 1/2"
 HIGHEST POINT

9'-11" 1/2"
 HIGHEST POINT

0'-15" 1/2"
 HIGHEST POINT

FIRST FLOOR

SECOND FLOOR

ROOF

1 PROPOSED STREETSCAPE
 A6.0 SCALE 1/4" = 1'-0"

411 N. 1ST STREET, RICHMOND, VA
MAMA J'S CATERING

FILE NAME:
 DATE: 05/20/2014

DWG. TITLE
EXTERIOR ELEVATIONS

DRAWN BY:
 R.H.
 CHECKED BY:
 J. HUME

HIMMELHUE
 ARCHITECTURE

HIMMELHUE ARCHITECTURE
 3800 STELLMAN PARKWAY, SUITE 203
 RICHMOND, VA 23233
 (804) 249-4717

DATE	DESCRIPTION

REVISIONS

DESIGNED BY HIMMELHUE ARCHITECTURE, LLC. FOR THE CLIENT. ALL RIGHTS RESERVED. THIS DRAWING IS THE PROPERTY OF HIMMELHUE ARCHITECTURE, LLC. AND MAY BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. ANY REUSE OR MODIFICATION OF THIS DRAWING WITHOUT THE WRITTEN PERMISSION OF HIMMELHUE ARCHITECTURE, LLC. IS PROHIBITED.

SHEET No.
A6.0