

BOARD OF ZONING APPEALS

November 10, 2025

1900 Decatur Street LLC 2006 Channel View Terrace Chester, VA 23836

Lory Markham 208 East Grace Street Richmond, VA 23219

To Whom It May Concern:

RE: BZA 43-2025

You are hereby notified that the Board of Zoning Appeals will hold a public hearing on **Wednesday**, **December 3**, **2025** at **1:00 PM** in the 5th Floor Conference Room, City Hall, 900 E. Broad Street to consider an application for a building permit to convert a vacant building to a multifamily (5 unit) dwelling at 1900 DECATUR STREET (Tax Parcel Number S000-0293/012), located in a B-3 (General Business) District. This meeting will be open to inperson participation with a virtual option. The public will have the option to provide their comments by teleconference/videoconference via Microsoft Teams, or in writing via email as indicated below.

Please be advised that the applicant or applicant's representative is required to participate in the subject public hearing either by teleconference/videoconference or in person. For teleconference participation call 804-316-9457 and entering code 213 490 569#. video access by computer, smart phone or https://richmondva.legistar.com/Calendar.aspx. Select the Board of Zoning Appeals dropdown and 2025 drop-down, click meeting details for December 3, 2025 meeting and then click video access. In the event you have difficulty accessing a public hearing you may contact Mr. William Davidson at 804-396-5350 or by email at Chuck.Davidson@rva.gov for assistance. The Board of Zoning Appeals Rules of Procedure provides that in the case of an application for a variance or a special exception, the applicant, proponents or persons aggrieved under §15.2-2314 of the Code of Virginia, shall be permitted a total of six (6) minutes each to present their case. The Board of Zoning Appeals will withhold questions until the conclusion of the respective presentations. For the purposes of the record it also requested that before addressing the Board you identify yourself and spell your name.

Finally, when you submitted your application to the zoning office you were given a handout entitled, Suggestions for Presenting Your Case to the Board, which indicated that you should discuss your request with your neighbor(s) and neighborhood

BZA 43-2025 Page 2 November 10, 2025

association(s) prior to appearing before the Board of Zoning Appeals. Contact information for civic group(s) can be found by navigating to the Civic Group webpage of the City's website at https://www.rva.gov/planning-development-review/civic-groups. Once there, you can search for your property using the interactive map. A dialogue box will provide you with the names of all civic groups within which your property may lie. Once you have those group names, simply scroll down the page to the appropriate group(s) to find the contact information for each. The Board understands that given the current situation it is not practical to conduct face-to-face discussions with either your neighbors or neighborhood association(s) but the Board requests that you make a good faith effort to provide them with relevant information regarding your case.

If you have any questions regarding the Board's procedures or any issue involving presentation of your case, please feel free to contact me.

Very truly yours,

Roy W. Benbow, Secretary Phone: (804) 240-2124

E-mail: Roy.Benbow@rva.gov

Zoj w. Lanteer

cc: Zoning Administrator

Notice of this meeting is being sent to the persons whom the Board of Zoning Appeals believes to be property owners in the immediate vicinity of the property concerned in this application. This notice is for their information only, and there is no need for them to appear unless they so desire. The Board will, however, welcome such views as any persons care to express during the hearing on this application.

Assefa Sosina 10913 Virginia Forest Ct Glen Allen, VA 23060 Assouan Marie B 1700 Timberly Waye Richmond, VA 23238 Byrnes Keith C 1016 W 48th St Richmond, VA 23225

Emsea Holdings Llc 1521 Greycourt Ave Richmond, VA 23227 Glenboy Management 12120 Blossom Point Rd Chester, VA 23831 James Elnora 113 E 18th St Richmond, VA 23224

Khem Thorn And Say Mao 4601 Halleys Cir Glen Allen, VA 23060 Mccray Charleine T 46 E 32nd Street Richmond, VA 23224 Morehead Robert P 2845 Bluebell Dr Virginia Beach, VA 23456

Perez Blanca 6000 Westbourne Dr Richmond, VA 23230 Pond L Kent Po Box 864 Colonial Heights, VA 23834 Pulliam Paul A 501 Woodstock Rd Richmond, VA 23224

Reaves Irvine L 6318 Glyndon Ln Richmond, VA 23225 River Breeze Properties Llc P.o. Box 302 Oilville, VA 23129 Smith Jeff 11 S 1st St

Tyras Konstantinos 6197-a Spencer Terrace Bronx, NY 10471 Zion Baptist Church Tr 2006 Decatur St Richmond, VA 23224 Richmond, VA 23219

PIN: S0000293012 PID: 41480

As of: 11/7/2025 9:30:09 PM

City of Richmond, VA Report

Property Owner

Name: 1900 DECATUR STREET LLC

2006 CHANNELVIEW TER **Mailing Address:** CHESTER, VA 23836

Parcel Use: B Community Ctr / Club

Neighborhood: 473

Property Information

Property Address: 1900 Decatur St

PIN S0000293012

Size: 0.109 Acres, 4755.500 Square Feet

Property Description: 0048.03X0150.00 IRG0000.000

Current Assessment

Year	Land	Improvements	Total
2026	\$42,000	\$251,000	\$293,000

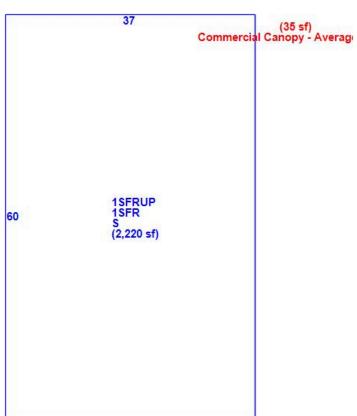
Deed Transfers					
Recordation Date	Book	Page	Deed Type	Consideration	⊘ Grantee
6/20/2025	ID2025	10181	DG	N/A	1900 DECATUR STREET LLC
8/23/2023	ID2023	12720	BS	\$300,000	H & C PROPERTIES LLC
1/1/1776	ID2023	12720	BS	\$300,000	YOUNG MENS LOVE & UNION CLUB

Details for Commercial Building 1

Year Built:	Finished Area:
1920	4,440

Commercial Card 1 Photo/Sketch





OB01 (0 sf)

Section 1	
Year Built:	1920
Style:	Unknown Commercial Style
Model:	Commercial
Framing Class:	Wood Joist
Perimeter Shape:	UNKNOWN
Perimeter:	194
Wall Height:	10
Section Area:	2220
Sprinkler Area:	0
HVAC:	N/A

Building Sub-Areas (sq ft)

Code	Description	Gross Area	Living Area
1SFR	1 Story Frame - Fin	2,220	2,220
1SFRUP	1 Story Frame - Upper - Fin	2,220	2,220
OB01	Outbuilding	0	0
S	Slab	2,220	0
Totals		6,660	4,440

Section 2	
Year Built:	1920
Style:	Unknown Commercial Style
Model:	Commercial
Framing Class:	Wood Joist
Perimeter Shape:	UNKNOWN
Perimeter:	194
Wall Height:	9
Section Area:	2220
Sprinkler Area:	0
HVAC:	N/A

Outbuildings			
Code	Description	Sub Code-Description	Size
CMCPAV	Commercial Canopy - Average	Typical	710.00 SF

Assessment History			
Year	Land	Improvements	Total
2025	\$40,000	\$239,000	\$279,000
2024	\$40,000	\$239,000	\$279,000
2023	\$36,000	\$228,000	\$264,000
2022	\$31,000	\$213,000	\$244,000
2021	\$24,000	\$211,000	\$235,000
2020	\$24,000	\$211,000	\$235,000
2019	\$24,000	\$206,000	\$230,000
2018	\$16,000	\$206,000	\$222,000
2017	\$16,000	\$206,000	\$222,000
2016	\$16,000	\$206,000	\$222,000
2015	\$17,000	\$205,000	\$222,000
2014	\$17,000	\$205,000	\$222,000
2013	\$17,000	\$205,000	\$222,000
2012	\$17,000	\$205,000	\$222,000
2011	\$17,000	\$205,000	\$222,000
2010	\$17,000	\$205,000	\$222,000
2009	\$20,300	\$206,100	\$226,400
2008	\$17,300	\$205,100	\$222,400
2007	\$17,300	\$43,700	\$61,000
2006	\$16,500	\$30,600	\$47,100
2005	\$15,700	\$29,100	\$44,800

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Not a Legal Document

Subject to terms and conditions www.actDataScout.com

RICHMOND BOARD OF ZONING APPEALS APPLICATION FORM



THE RICHMOND ZONING ADMINISTRATION OFFICE ROOM 110, CITY HALL, 900 EAST BROAD STREET RICHMOND, VIRGINIA 23219 (804) 646-6340

TO BE COMPLETED BY THE APPLICANT		
PROPETY OWNER: 1900 Decatur Street Llc PHONE: (Home) (_)(Mobile) ()		
ADDRESS 2006 CHANNELVIEW TER FAX: (_) (Work) (_)		
CHESTER, VA 23836 E-mail Address:		
CHESTER, VA 25050		
PROPERTY OWNER'S 5921		
REPRESENTATIVE: Lory Markham PHONE: (Home) () (Mobile) (804) 248-2561		
(Name/Address) 208 East Grace Street FAX: () (Work) ()		
Richmond, VA 23219 E-mail Address: lory@markhamplanning.com		
TO BE COMPLETED BY THE ZONING ADMINSTRATION OFFICE		
PROPERTY ADDRESS (ES) 1900 Decatur Street		
TYPE OF APPLICATION:		
ZONING ORDINANCE SECTION NUMBERS(S): 30-300 & 30-438.3(4)		
APPLICATION REQUIRED FOR: A building permit to convert a vacant building to a multifamily(5 unit)dwelling.		
TAX PARCEL NUMBER(S): S000-0293/012 ZONING DISTRICT: B-3(General Business)		
REQUEST DISAPPROVED FOR THE REASON THAT: The side yard and street side yard(setback) requirements are not		
met. A side yard of fifteen feet (15') is required; 2.12'± is existing and is proposed along the western property line. A street side		
yard of ten feet (10') is required 9.29'± is existing and is proposed along the eastern property line.		
DATE REQUEST DISAPPROVED: 06/24/2025 FEE WAIVER: YES NO: 🗵		
DATE FILED: 09/04/2025 TIME FILED: 11:39 a.m. PREPARED BY: Colleen Dang RECEIPT NO. BZAC-174885-2025		
AS CERTIFIED BY: (ZONING ADMINSTRATOR)		
I BASE MY APPLICATION ON:		
SECTION 17.20 PARAGRAPH(S) OF THE CHARTER OF THE CITY OF RICHMOND SECTION 15.2 -2309.2 OF THE CODE OF VIRGINIA [OR]		
SECTION 1040.3 PARAGRAPH(S) (1) OF THE ZONING ORDINANCE OF THE CITY OF RICHMOND		
TO BE COMPLETED BY APPLICANT		
I have received the handouts, Suggestions for Presenting Your Case to the Board & Excerpts from the City Charter		
I have been notified that I, or my representative, must be present at the bearing at which my request will be considered.		
SIGNATURE OF OWNER OR AUTHORIZED AGENT:DATE:DATE:DATE:DATE:		

*** TO BE COMPLETED BY THE SECRETARY TO THE BOARD OF ZONING APPEALS ***

CASE NUMBER: BZA 43-2025 HEARING DATE: December 3, 2025 AT 1:00 P.M.

BOARD OF ZONING APPEALS CASE BZA 43-2025 150' Buffer

APPLICANT(S): 1900 Decatur Street LLC

PREMISES: 1900 Decatur Street (Tax Parcel Number S000-0293/012)

SUBJECT: A building permit to convert a vacant building to a multifamily (5 unit) dwelling.

REASON FOR THE REQUEST: Based on Sections 30-300 & 30-438.3(4) of the Zoning Ordinance for the reason that:

The side yard and street side yard (setback) requirements are not met.





BOARD OF ZONING APPEALS PRESENTATION SUGGESTIONS

CITY OF RICHMOND, VIRGINIA

When presenting your request for a variance or exception to the Board of Zoning Appeals, it is important that you consider the points outlined below. The City Charter requires that every decision of the Board must be based upon a finding of fact that the Board must determine from sworn testimony, together with pertinent evidence, presented at its public hearing. It is essential that the Board receive thorough and complete information in order for it to adequately consider your case and make an informed decision.

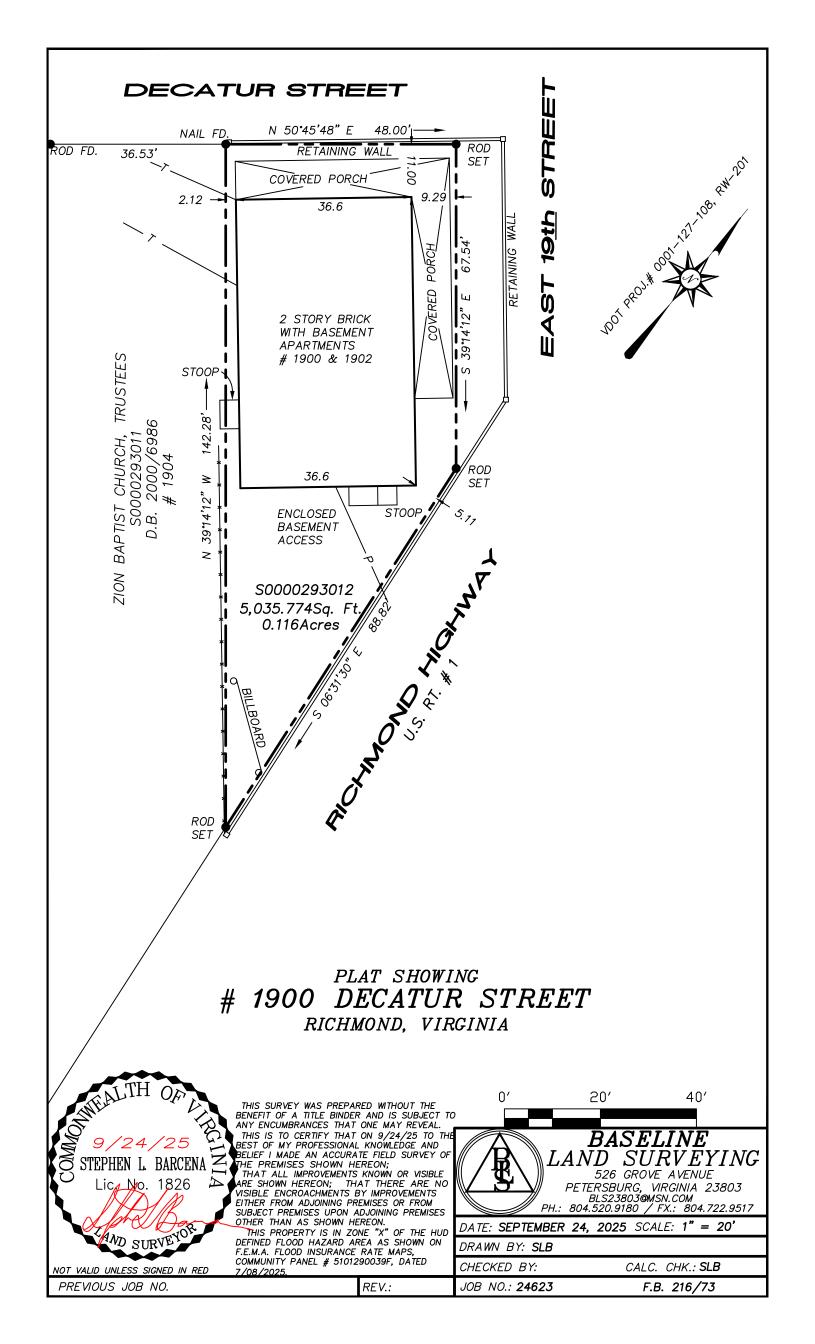
- 1. The powers and duties of the Board of Zoning Appeals (BZA) are specified in Section 17.20 of the City Charter and Article X, Division 5, of the Zoning Ordinance. The Zoning Office will assist you in identifying how your case should be filed. If you have questions regarding your case filing, please contact the Zoning Administration Office (804-646-6340) or at PDRZoningAdministration@Richmondgov.com. Please review the applicable provisions of the City Charter or the Zoning Ordinance thoroughly and address them when presenting your case to the Board to show that the applicable requirements have been satisfied.
- 2. The Board of Zoning Appeals is a quasi-judicial board whose decisions are controlled by statutory law and also take into consideration applicable case law that has been handed down by the Richmond Circuit Court and the Virginia Supreme Court. The Board suggests that if you have any legal questions regarding statutory or case law as it may apply to your application, that those legal issues should be discussed with an attorney before you make your final decision to submit an application to the Board.
- 3. The Board considers it essential that you discuss your case with nearby residents (notification letters are sent to all property owners within a 150-foot radius of your property) and any nearby civic association(s). Information regarding your neighborhood association(s) and/or contact person(s) may be obtained here. Once on the page, you can search for your property using the interactive map. A dialogue box will provide you with the names of all civic groups within which your property may lie. Once you have those group names, scroll down the page to the appropriate group(s) to find the contact information for each.

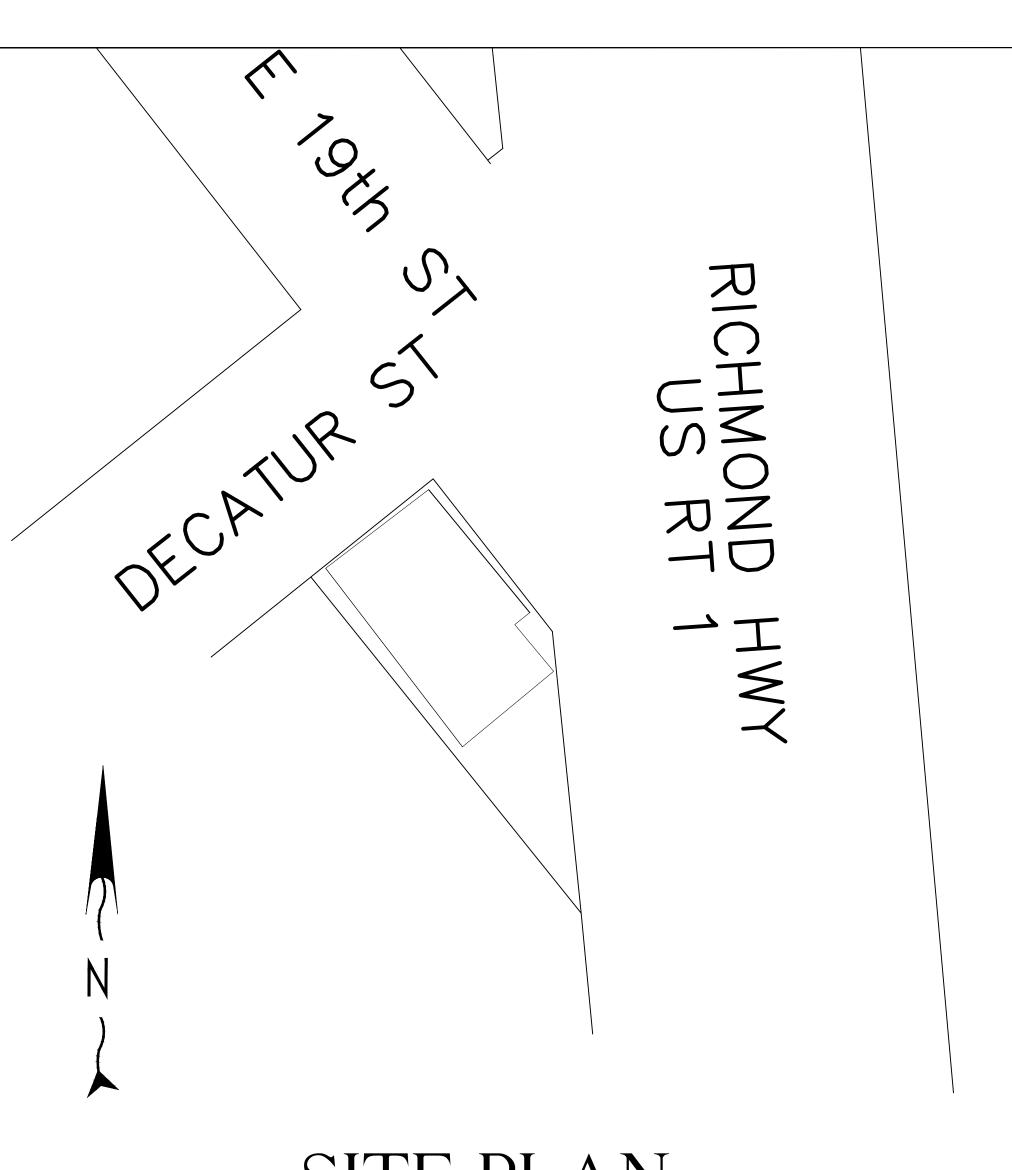
Be advised that if you fail to discuss your request with your neighbors and neighborhood association(s), you should anticipate that your case will be continued until the Board's next regularly scheduled meeting. It is highly recommended that you contact your neighborhood association as soon as possible to determine their meeting schedule in order to be sure you allow yourself enough time to talk to all concerned parties prior to the hearing before the Board. The Board's Rules of Procedure require payment of a one-hundred fifty dollar (\$150) continuance fee if the applicant must request a continuance for the reason that the applicant failed to discuss their case with their neighbor(s) or neighborhood association(s).

- 4. You are also strongly encouraged to discuss your pending case with the Secretary of the Board, Roy Benbow at (804) 240-2124 well before the hearing. The BZA Secretary can be helpful by explaining the BZA public hearing requirements and process.
- 5. Utilizing photographs, plans, maps, diagrams and such other written or graphic evidence as needed to fully explain your request can be a great help to the Board in understanding your request and thereby improve your chances for success. Remember . . . a picture is worth a thousand words.
- 6. Note that, although the Board is not authorized to grant a waiver from the zoning regulations based on financial circumstances alone, it may be a factor to be taken into consideration along with other facts in a case. If your case involves such a factor, please provide the Board with complete and relevant financial information for its review.
- 7. The Board's hearings are informal, although all testimony is taken under oath. You are not required to be represented by an attorney in presenting your case. However, if you choose, you may have legal representation and/or may utilize such technical experts or other persons to testify on your behalf as you feel are needed to adequately explain your request to the Board.

Acknowledgement of Receipt by Applicant or Authorized Agent: 9

Revised: November 10, 2020





SITE PLAN

1'' = 30'

GENERAL NOTES:

1. OWNER / DEVELOPER H & C PROPERTIES LLC 111 VIRGINIA ST.

RICHMOND, VA 23219 CONTACT: CHRIS FARAG PH (804) 909-0949

OLD SOUTH DISTRICT

ADVANCED ENGINEERING,LLC 2. ENGINEER P.O. BOX 72692

RICHMOND, VA 23235 3. TAX PARCEL (GPIN) -S0000293012

B-3 - BUSINESS (GENERAL BUSINESS) 5. ZONING CITY 6. WATER SEWER

4. DISTRICT

0.1092 ACRES 7. LAND AREA

8. OPEN SPACE CALCULATIONS:

LOT AREA - 0.1092 ACRES - 4,757 SF BLDG FOOT PRINT (WITH PORCHES) - 2,446 SF OPEN AREA: 4,757 SF - 2,446 SF = 2,311 SF = 48.58%

SCOPE OF WORK:

THIS PROJECT CONSISTS OF THE RENOVATION OF THE EXISTING TWO STORY ASSEMBLY USE BUILDING TO BE USED AS A MULTI TENANT 5 UNIT APARTMENT BUILDING.

SHEET INDEX:

SITE/EX CONDITIONS PLAN 1st FLOOR / FRAMING PLAN 2ND FLOOR / FRAMING PLAN TYPICAL SECTIONS **ELEVATIONS** FIRE RATED ASSEMBLIES FIRE RATED ASSEMBLY DEAILS S-2 DECK CONNECTION DETAILS S-3

FLOOR AREAS:

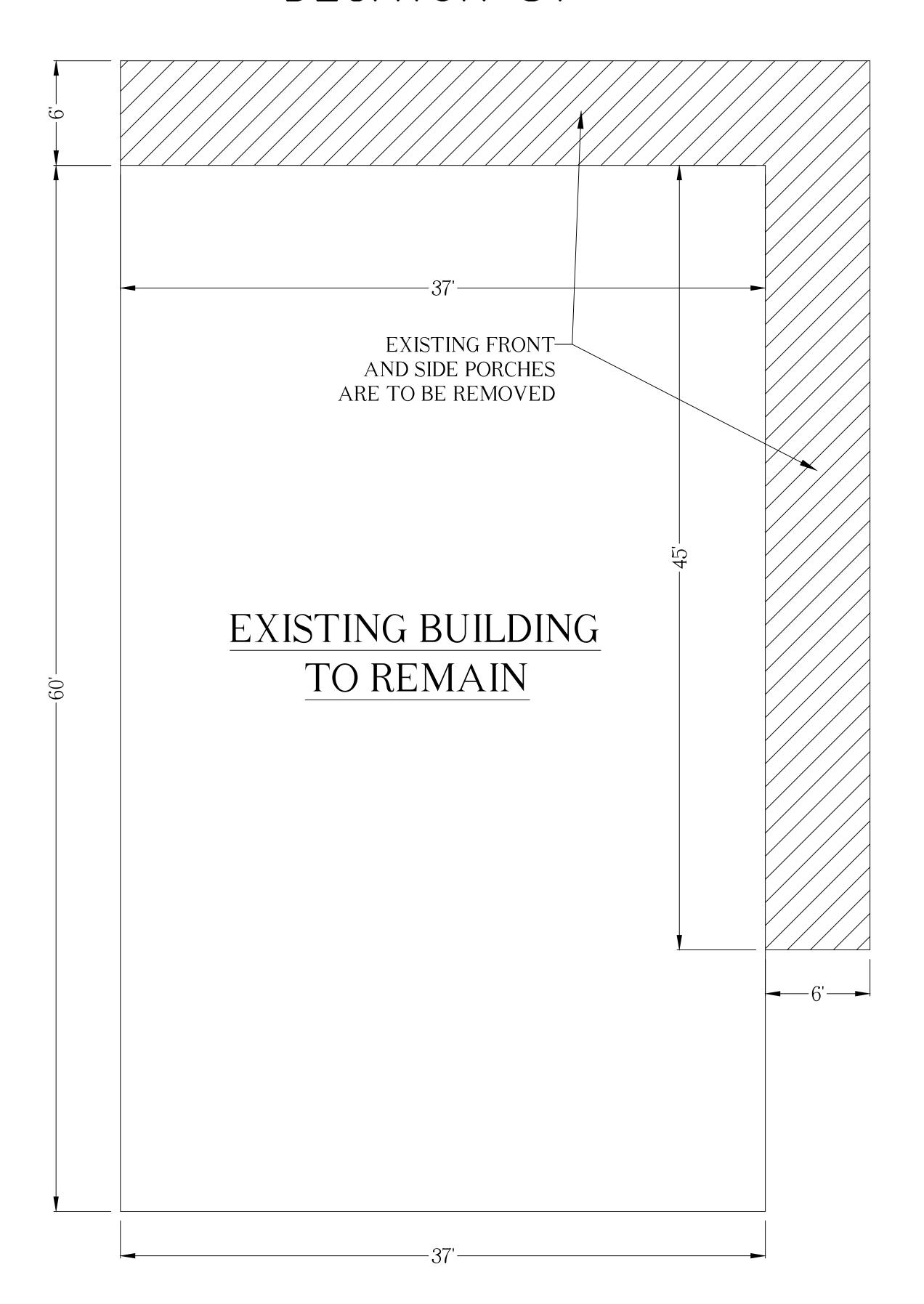
ADADTMENT #1

APARTIVIENT #1	1,045 8
APARTMENT #2	522 S
APARTMENT #3	515 S
APARTMENT #4	920 S
APARTMENT #5	1,092 S

CODE DATA

2021 IBC / INTERNATIONAL BUILDING CODE / 2021 VCC 2021 IMC / INTERNATIONAL MECHANICAL CODE / 2021 VMC 2021 IPC / INTERNATIONAL PLUMBING CODE / 2021 VPC 2020 NEC - NATIONAL ELECTRIC CODE 2021 IFC / INTERNATIONAL FIRE CODE / 2021 VFC 2021 IECC / INTERNATIONAL ENERGY CONSERVATION CODE / 2021 VECC 2021 IFGC / INTERNATIONAL FUEL GAS CODE / 2021 VFGC

DECATUR ST



DEMO PLAN 1/4" = 1'-0"

CODE NOTES:

RISK CATEGORY: II 1. USE GROUP (BUILDING): R-2

2. TYPE CONSTRUCTION: V-B

3. BUILDING AREA: EXISTING 3,134 SF (FOOTPRINT) TOTAL 3,134 SF (FOOTPRINT)

TOTAL FIRE AREA 770 SF (MAX APARTMENT - SINGLE STORY) HEIGHT AND AREA LIMITATIONS (SPRINKLED BLDG) ALLOWED 7,000 SF / 3 STORY 60 ft HEIGHT -- OK

4. BUILDING IS FULLY SPRINKLED

OCCUPANCY LOAD 5 APARTMENT UNITS (AVERAGE 3 PER UNIT)

TOTAL OCCUPANCY

6. DESIGN LOADS (PER IBC 2021)

BUILDING DESIGN DATA FLOOR LOAD: Lf = 40 PSF DESIGN ROOF LIVE LOAD: Lr = 20 PSF

EARTHQUAKE LOAD DESIGN DATA SEISMIC IMPORTANCE FACTOR (Ie): 1.25 MAPPED SPECTRAL RESPONSE ACCELERATIONS DESIGN ROOF DEAD LOAD: Lr = 10 PSF SITE CLASS "D" GROUND SNOW LOAD (Pg): 20 PSF FLAT ROOF SNOW LOAD (Pf): 20 PSF

Sds=0.193 Sd1=0.099 SEISMIC DESIGN CATEGORY : B SNOW EXPOSURE FACTOR (Ce): 1.00 BASIC SEISMIC FORCE RESISTING SYSTEM: OPENION SHLEAR WALLS IMPORTANCE FACTOR SNOW (Is): 1.10 THERMAL FACTOR (Ct): 1.0 RESPONSE MODIFICATION FACTOR (R): 1.5 SEISMIC RESPONSE COEFFICIENT (Cs): 0.129 WIND LOAD DESIGN DATA
ULTIMATE DESIGN WIND SPEED (3 SEC GUST): 115 MPH

(SEISMIC DOES NOT CONTROL) NOMINAL DESIGN WIND SPEED: 90 MPH EQUIVALENT LATERAL FORCE ANALYSIS PROCEDURE USED WIND EXPOSURE: B FLOOD LOAD DESIGN DATA INTERNAL PRESSURE COEFFICIENT (GCpi): +.18 / -.18 BUILDING IS NOT LOCATED IN A FLOOD HAZARD AREA NO FLOOD DESIGN REQUIRED

REQUIRED HANDICAP BUILDING SIGNAGE DESIGNED FOR USE BY THE PHYSICALLY DISABLED SHALL BE IN ACCORDANCE WITH ICC A117.1 - 2017.

SPECTRAL RESPONSE COEFFICIENTS

DESIGN BASE SHEAR (V): 30 Lbs / LF

7. HANDICAP CONTROLS AND OPERATING MECHANISMS SHALL COMPLY WITH ICC A117.1 - 2017

ALL EGRESS DOORS SHALL BE READILY OPENABLE FROM THE SIDE WHICH EGRESS IS TO BE MADE WITH OUT THE USE OF KEY, KNOWLEDGE, OR SPECIAL EFFORT.

10. ALL LOCKS AND LATCHES INSTALLED ON REQUIREDEXIT/EGRESS DOORS SHALL COMPLY WITH THE PROVISIONS OF VCC 2021.

11. ALL DOORS TO BE A MINIMUM OF 3'-0" WIDE

12. EMERGENCY EGRESS AND EXIT LIGHTING TO BE PROVIDED.

13. ALL MATERIALS UTILIZED FOR WALLS AND PARTITIONS IN BUILDINGS AND STRUCTURES OF TYPES 1 AND 2 CONSTRUCTION SHALL BE NON-COMBUSTABLE IN ACCORDANCE WITH VCC 2021.

14. INTERIOR FINISH MATERIALS INSTALLED IN ROOMS OR ENCLOSED SPACES SHALL HAVE A MAXIMUM FLAME SPREAD RATING OF ASTM CLASS III (76-200), CLASS I (0-25), OR CLASS II (26-75) MATERIALS ARE ACCEPTABLE IN LIEU OF CLASS III. SMOKE DEVELOPMENT RATINGS SHALL NOT EXCEED 450 PER VCC 2021 TABLE 803.5. 15. INSULATING BATTS, BLANKETS, FILLS, OR SIMILAR TYPES OF MATERIALS, WHERE

EXPOSED AS INSTALLED IN ROOMS OR SPACES, INCLUDING ATTICS AND CRAWL SPACES OF BUILDINGS OF ANY TYPES OF CONSTRUCTION, SHALL HAVE A FLAME SPREAD RATING OF 25 OR LESS AND A SMOKE DEVELOPED RATING OF 450 OR LESS WHEN TESTED.

16. ROOF TOP HVAC EQUIPMENT PROPOSED.

17. ELECTRICAL PLANS ARE TO BE SUBMITTED WITH A A/E SEAL OR PLANS DESIGNED AND SIGNED BY THE LICENSED INSTALLING ELECTRICAL CONTRACTOR PRIOR TO INSTALLATION. CODE OF VA 54.1-402.

18. A LICENSED ELECTRICAL CONTRACTOR MUST SECURE A PERMIT PRIOR TO THE ELECTRICAL INSTALLATION.

19. STAMPED ELECTRICAL PLANS ARE REQUIRED TO BE ON THE JOB SITE FOR ELECTRICAL INSPECTIONS. IF DRAWINGS STAMPED "INSPECTOR USE ONLY" ARE NOT READILY AVAILABLE ON SITE FOR THE INSPECTOR, ELECTRICAL INSPECTION WILL BE REJECTED.

20. PLUMBING PLANS ARE TO BE SUBMITTED WITH A A/E SEAL OR PLANS DESIGNED AND SIGNED BY THE LICENSED INSTALLING PLUMBING CONTRACTOR PRIOR TO INSTALLATION. CODE OF VA 54.1-402.

21. A LICENSED PLUMBING CONTRACTOR MUST SECURE A PERMIT PRIOR TO THE PLUMBING INSTALLATION.

22. STAMPED PLUMBING PLANS ARE REQUIRED TO BE ON THE JOB SITE FOR PLUMBING INSPECTIONS. IF DRAWINGS STAMPED "INSPECTOR USE ONLY" ARE NOT READILY AVAILABLE ON SITE FOR THE INSPECTOR, PLUMBING INSPECTION WILL BE REJECTED.

23. PLAN REVIEW LETTERS ARE CONSIDERED PART OF THE APPROVED CONSTRUCTION DOCUMENTS AND SHALL BE MAINTAINED ON THE JOB SITE WITH THE STAMPED APPROVED PLANS FOR USE BY THE INSPECTION STAFF.

24. IF INSUFFICIENT COPIES OF REQUESTED INFORMATION ARE SUBMITTED, THE PERMIT APPLICATION WILL BE CHARGED A FEE TO MAKE THE NECESSARY COPIES AND PAYMENT WILL BE REQUIRED PRIOR TO ISSUANCE OF THE PERMIT.

25. THE PERMIT APPLICANT IS RESPONSIBLE FOR ENSURING THAT ALL CONTRACTORS SUBCONTRACTORS, OWNERS, ETC. RECEIVE COPIES OF THIS LETTER IN ORDER TO BE AWARE OF ANY CONDITIONS OR ISSUES THAT HAVE BEEN DISCUSSED OR AGREED UPON DURING THE PERMIT APPROVAL PROCESS.

26. PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY, IT IS THE PERMIT HOLDERS RESPONSIBILITY TO ENSURE THAT ALL INSPECTION APPROVALS ARE RECEIVED FROM THE APPLICABLE COUNTY DEPARTMENTS AND ALL OUTSTANDING FEES, ie RE-INSPECTION FEES, TEMPORARY OCCUPANCY FEES, ETC. HAVE BEEN PAID.

27. ALL REQUIRED BUILDING, PLUMBING, MECHANICAL, AND ELECTRICAL DRAWINGS MUST BE PRESENT ON SITE FOR THE APPROPRIATE INSPECTORS USE, UNLESS OTHERWISE NOTED.

28. RECEPTACLES, CONTROLS FOR LIGHTS, THERMOSTAT, AND PLUMBING FIXTURES WILL BE OPERABLE AND WITHIN REACH RANGES AS SPECIFIED IN SECTION

29. ALL WORK TO BE IN COMPLIANCE WITH THE 2021 VIRGINIA EXISTING BUILDING CODE

BITE/EX CONDITIONS PLAN AS NOTED 04/20/25 DECATUR ST APARTMENTS 1900 DECATUR STREET RICHMOND, VA 23223 Lie. No. 36446 8-5-25 Advanced Engineering, LLC 825 P.O.Box 72692 Richmond, VA. 23235 REMOVED THIRD STORY (804) 909-3633 (804) 893-3554 FAX 5-19-25 JK ADD CODE REFERENCES E-Mail: AdvEngineering@aol.com NO. DATE BY





BRACED WALL LINE (BWL)
SINGLE-SIDED GYPSUM BOARD (SS GB)
PER R602.10.4

BRACED WALL LINE (BWL)
CONTINUOUS OSB (CS WSP)
PER R602.10.4

ALL LUMBER #2 YELLOW PINE EXCEPT AS NOTED

ALL WINDOW AND DOOR OPENINGS ARE READ AS FEET AND INCHES EXAMPLE: 3068 = 3'0" X 6'8"

ALL WINDOWS, DOORS AND INSULATION TO MEET OR EXCEED MINIMUMS OF N1102.1 OF THE 2021 IRBC FOR ZONE 4A

WINDOW AND DOOR U-FACTOR .35, CEILING INSULATION R-60, WALL INSULATION R-15, FLOOR INSULATION R-19

ALL HEADERS ARE (2) 2X8 UNLESS OTHERWISE NOTED

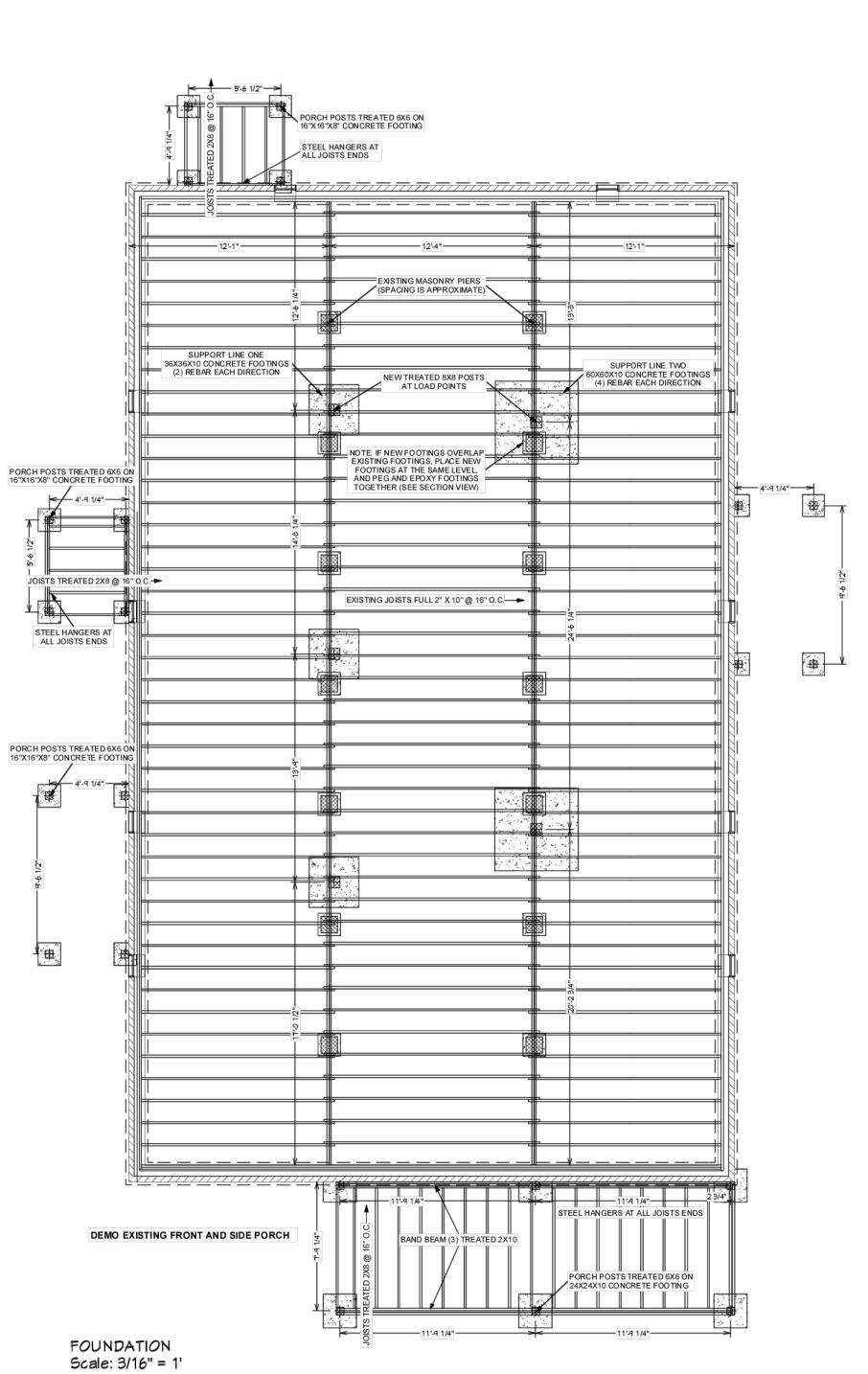
DESIGN LOAD CRITERIA IS BASED ON R301.5 "MINIMUM UNIFORMLY DISTRIBUTED LIVE LOADS." (SEE SIDE CHART) HEADER SPANS ARE PRESCRIBED BY TABLE R502.5 OF THE 2021 VUSBC OR THE APPROPRIATE ENGINEERED LUMBER SPECIFIER'S GUIDE. LOAD CALCULATIONS WILL BE PROVIDED FOR ANY HEADERS OR BEAMS WHEN PRESCRIPTIVE DATA IS NOT AVAILABLE.

IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY MEASUREMENTS, SITE CONDITIONS AND CODE COMPLIANCE BEFORE PROCEEDING.

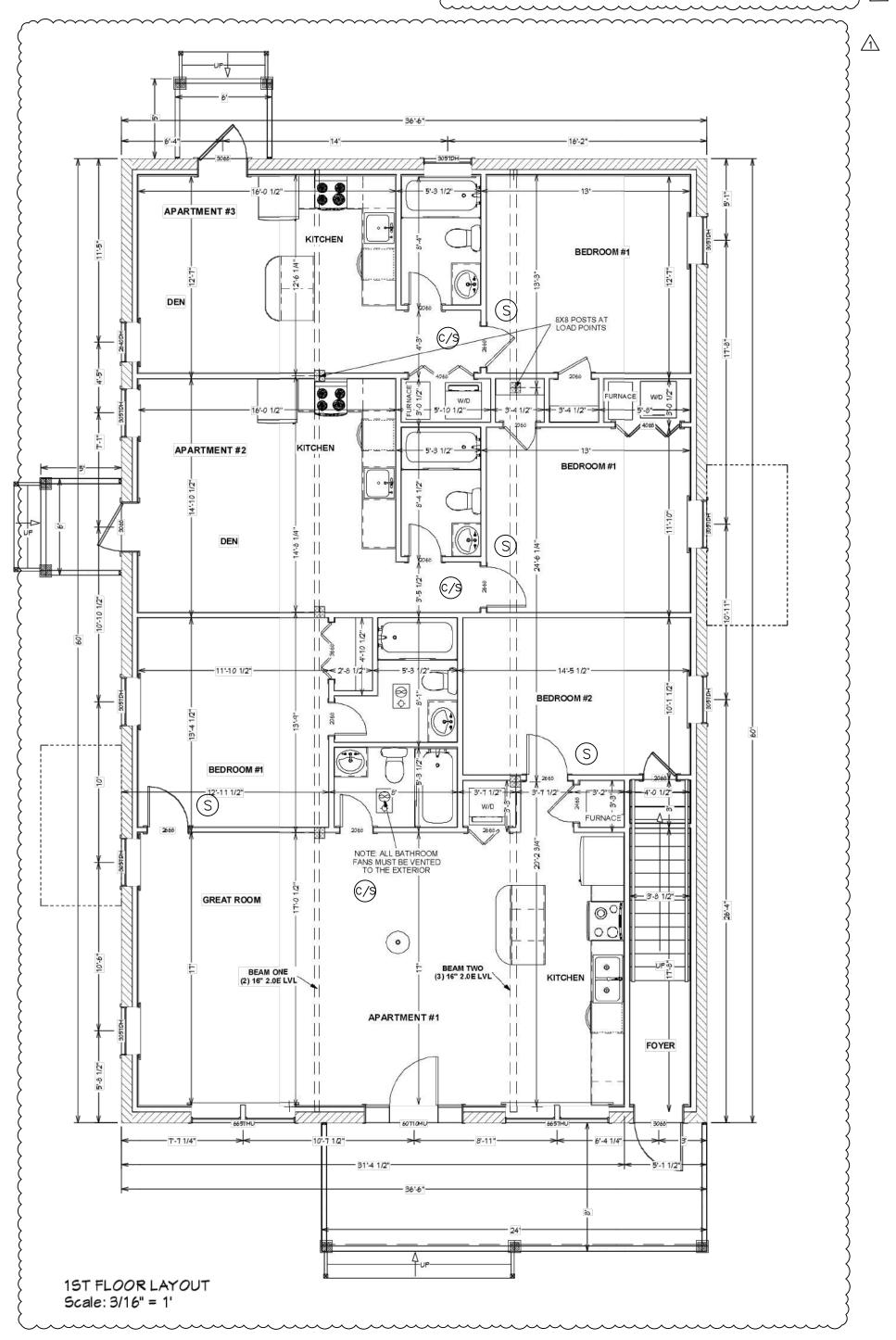
THESE PLANS ARE INTENDED TO ADHERE TO THE 2021 VUSBC.

THESE PLANS ARE INTENDED TO ADHERE TO THE INTERNATIONAL CODE COUNCIL DESIGN WIND SPEED OF 115 MPH AND EXPOSURE "B"

ASSUMED SOIL BEARING CAPACITY 1500 PSF UNLESS DEMONSTRATED TO BE GREATER



DECATUR ST



BEAM LOADING CALCULATIONS

BEAM ONE
TRIBUTARY 2ND-FLOOR LOAD = 12 SQ FT PER LF
12 X (40LL + 10DL) = 600 PLF @ 20' (MAXIMUM SPAN)
TOTAL BEAM LOADING = 600 PLF @ 15.5'
ALLOWABLE LOAD FOR (2) 16" 2.0E LVL = 897 PLF @ 16.5'

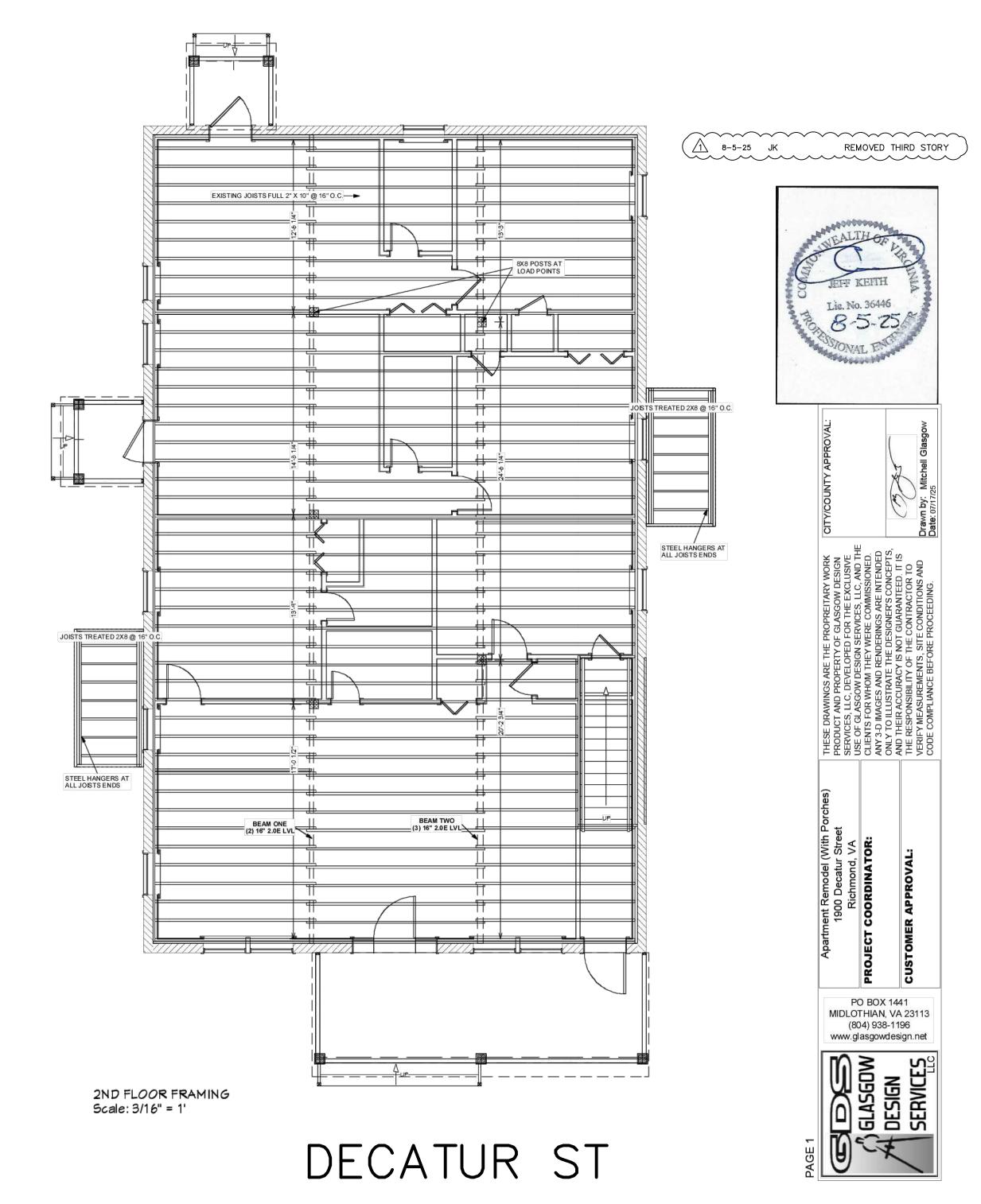
MAXIMUM AXIAL LOAD ON POSTS (LINE ONE)= 600 PLF X 15.5' = 9300 LBS

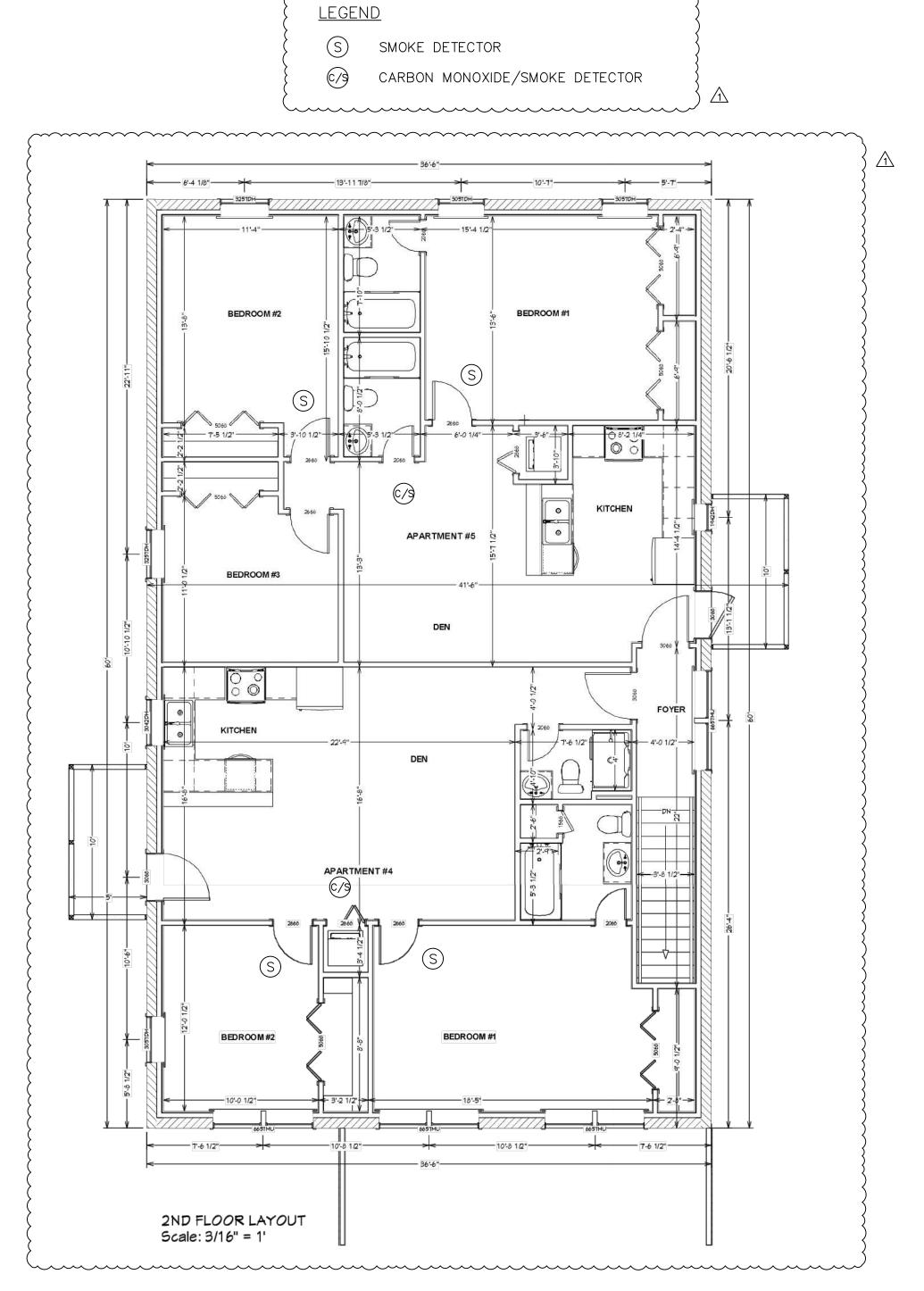
CARBON MONOXIDE/SMOKE DETECTOR

(FROM THE WEYERHAEUSER SPECIFIER'S GUIDE)

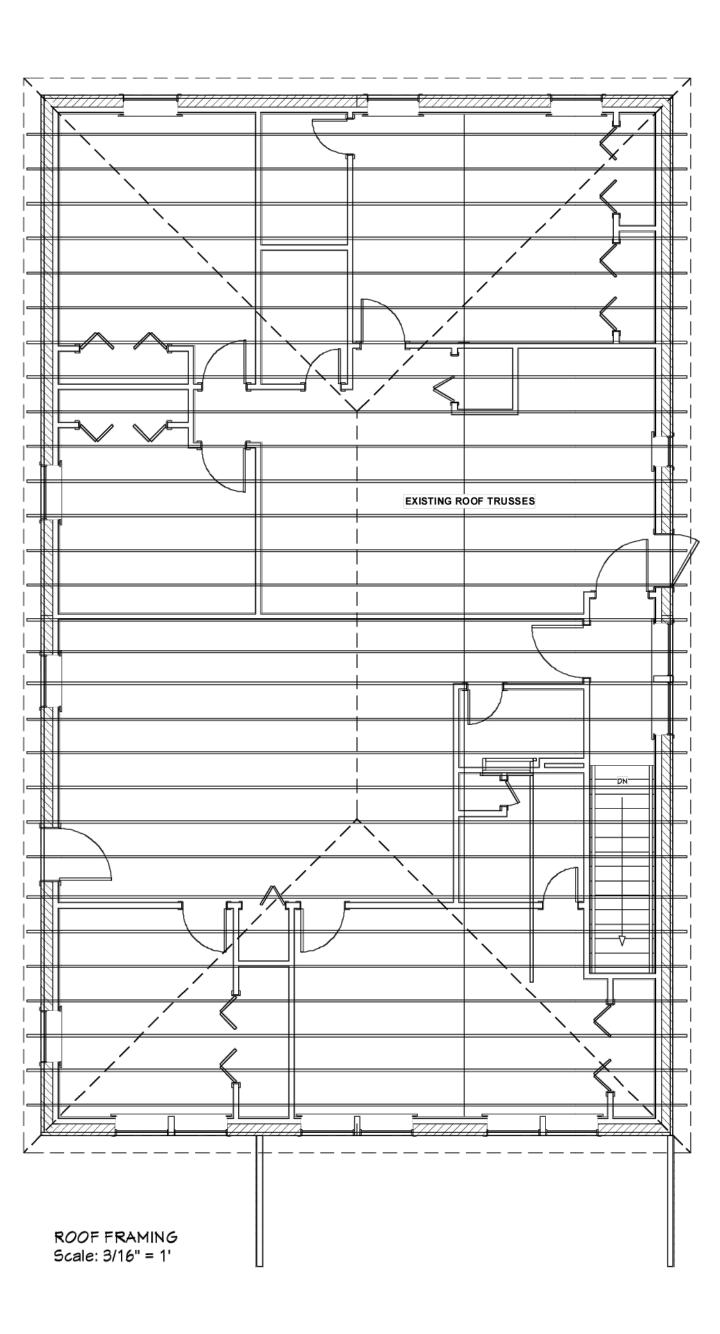
BEAM TWO
TRIBUTARY 2ND-FLOOR LOAD = 12 SQ FT PER LF
12 X (40LL + 10DL) = 600 PLF @ 22.5' (MAXIMUM SPAN)
TOTAL BEAM LOADING = 600 PLF @ 22.5'
ALLOWABLE LOAD FOR (3) 16" 2.0E LVL = 708 PLF @ 24'
(FROM THE WEYERHAEUSER SPECIFIER'S GUIDE)

DECATUR ST

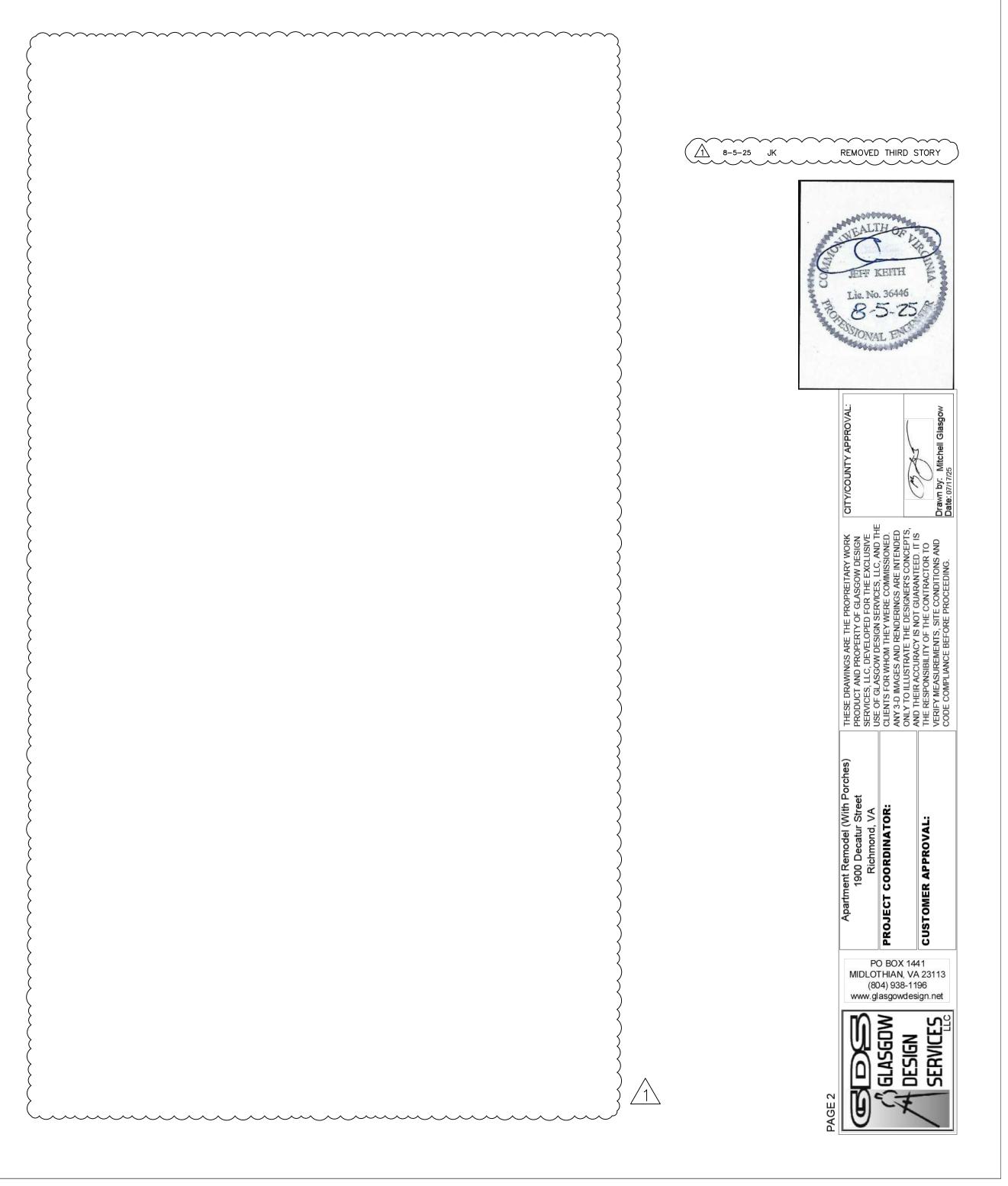


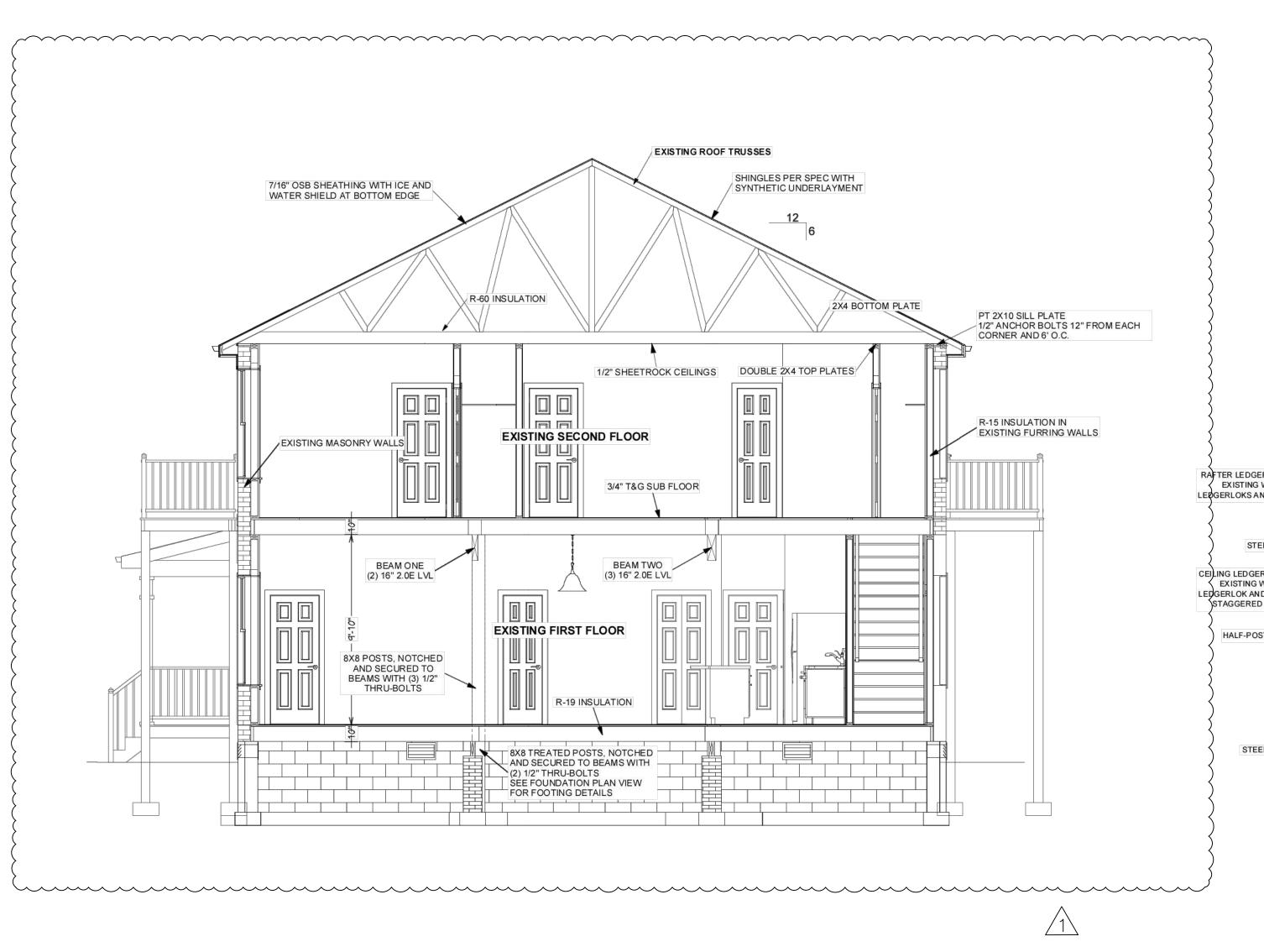


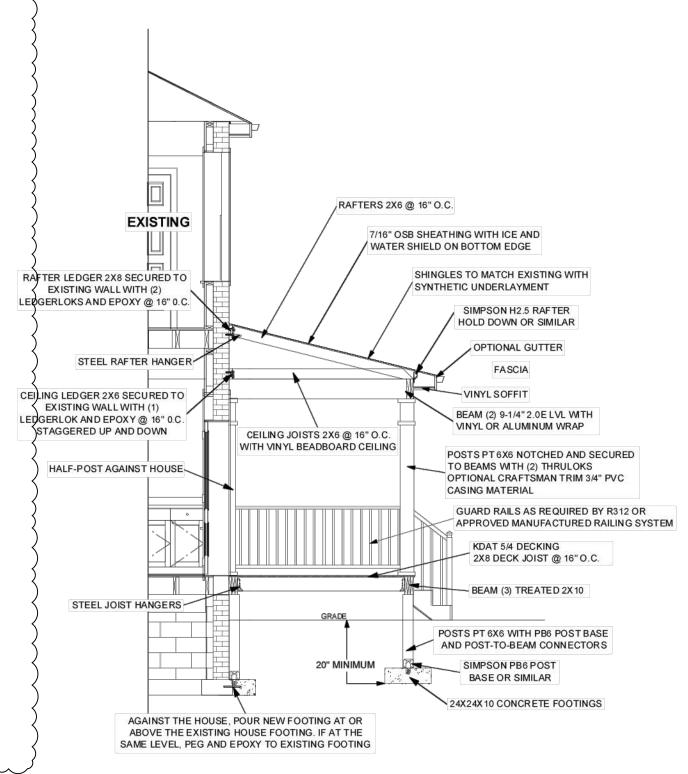


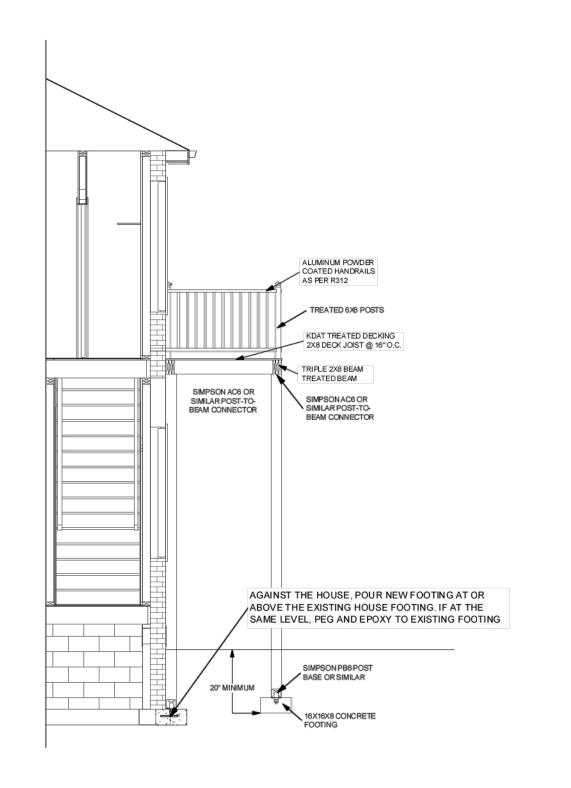


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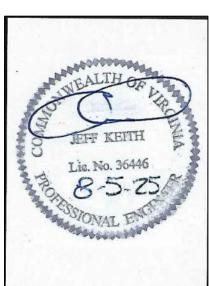






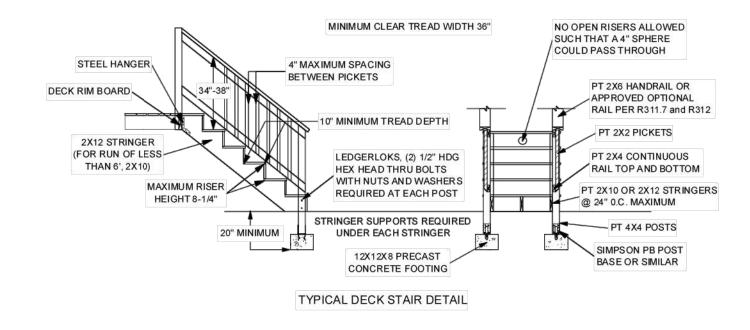


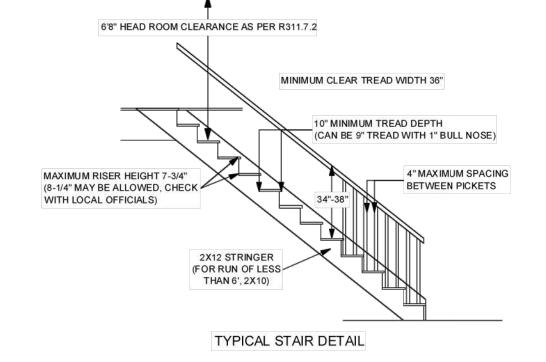
REMOVED THIRD STORY <u>√1</u> 8−5−25 JK

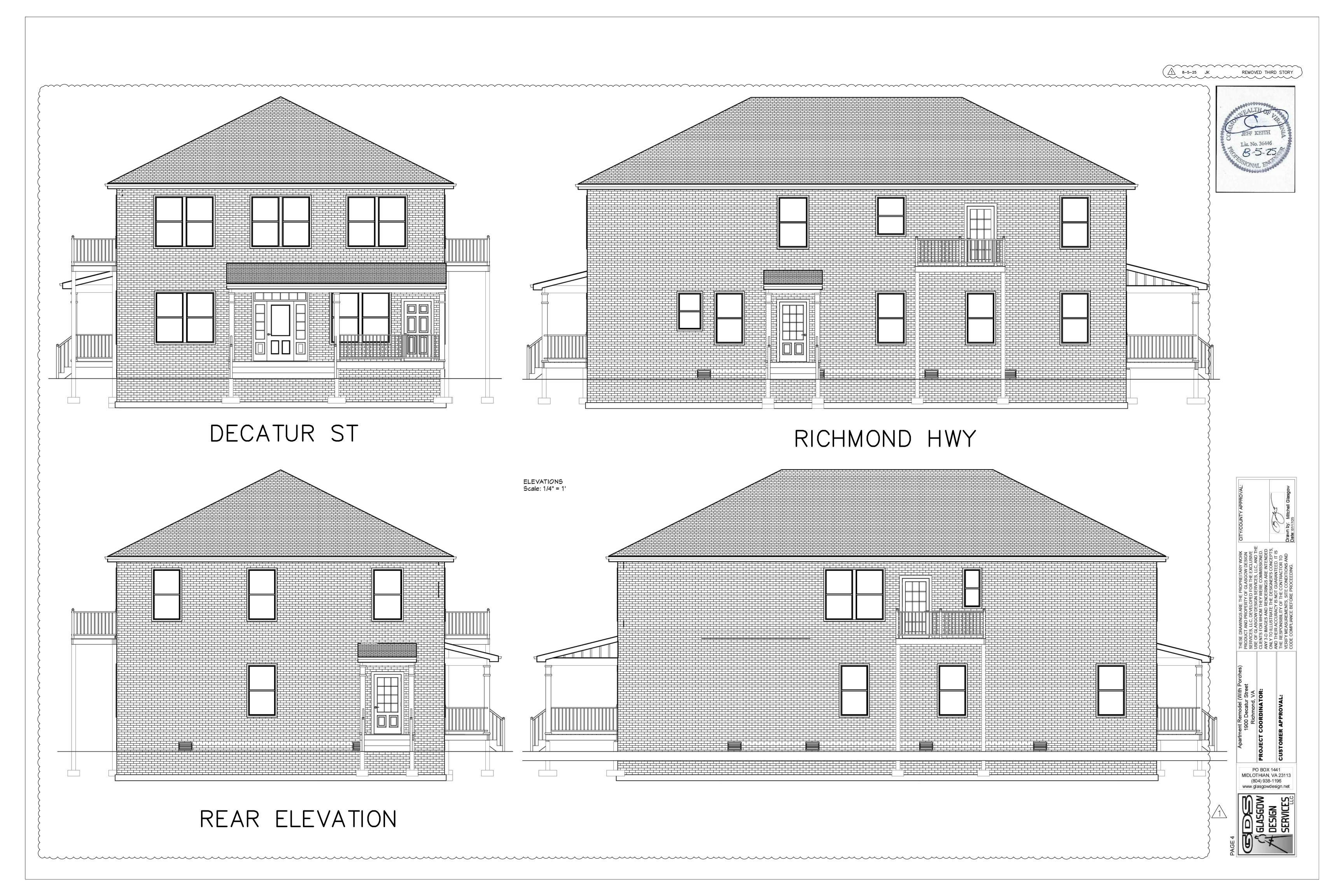


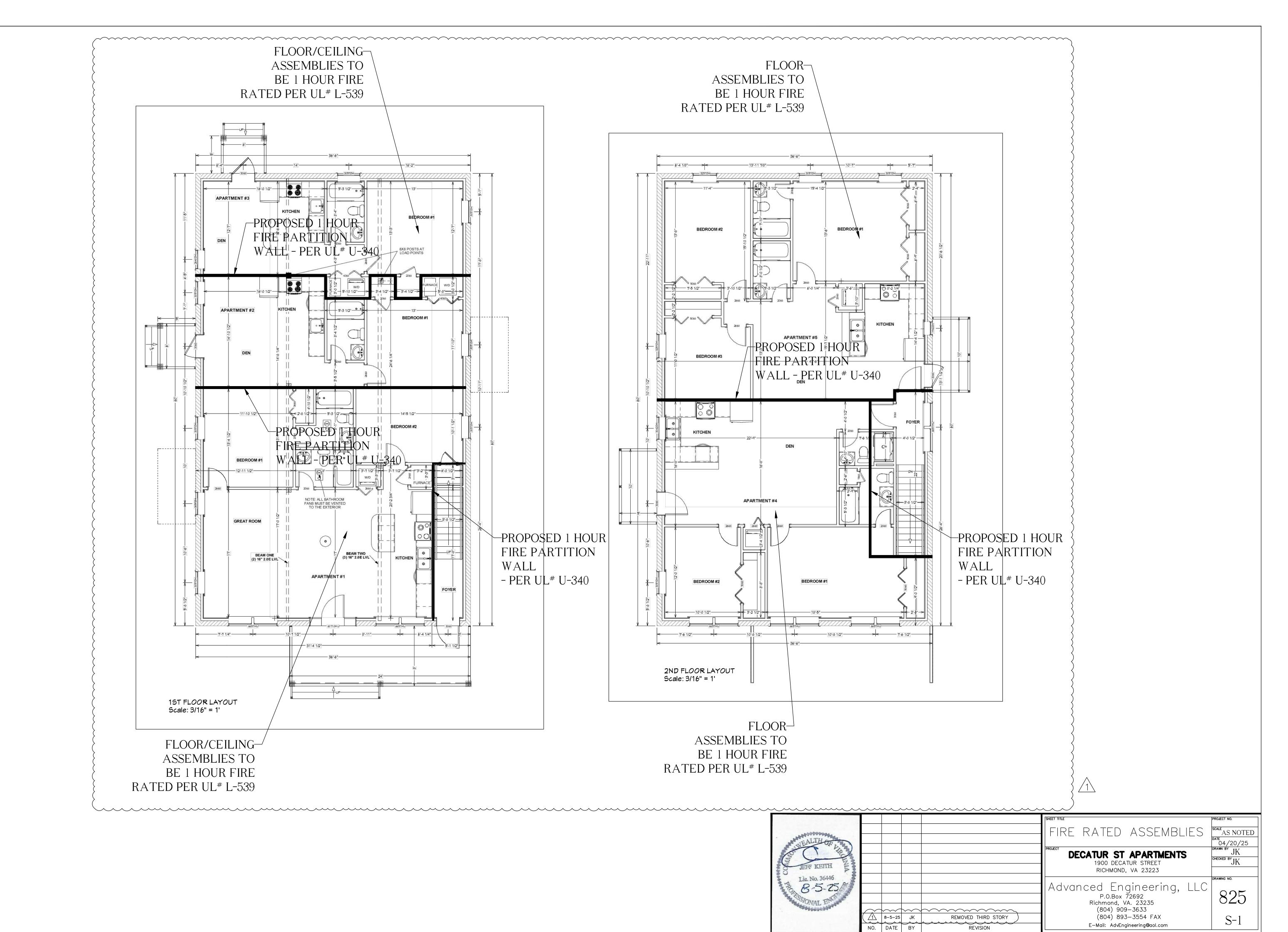
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