



Commission of Architectural Review SUBMISSION APPLICATION

City of Richmond, Room 510 – City Hall
900 East Broad Street, Richmond, Virginia 23219
PHONE: (804) 646-6335 FAX: (804) 646-5789

12 COPIES OF SUPPORTING DOCUMENTATION ARE REQUIRED FOR PROCESSING YOUR SUBMISSION

LOCATION OF WORK: 2015 Venable Street DATE: 5/25/2017

OWNER'S NAME: Project:HOMES TEL NO.: (804)233-0911

AND ADDRESS: 88 Carnation Street EMAIL: marion.cake@projecthomes.org

CITY, STATE AND ZIPCODE: Richmond, VA 23225

ARCHITECT/CONTRACTOR'S NAME: David R. Winn TEL. NO.: (804) 252-0948

AND ADDRESS: 10132 Berrymeade Place EMAIL: ylwtvn@aol.com

CITY, STATE AND ZIPCODE: Glen Allen, VA 23060

Would you like to receive your staff report via email? Yes No

REQUEST FOR CONCEPTUAL REVIEW

I hereby request Conceptual Review under the provisions of Chapter 114, Article IX, Division 4, Section 114-930 6(d) of the Richmond City Code for the proposal outlined below in accordance with materials accompanying this application. I understand that conceptual review is advisory only.

APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

I hereby make application for the issuance of a certificate under the provisions of Chapter 114, Article IX, Division 4 (Old and Historic Districts) of the Richmond City Code for the proposal outlined below in accordance with plans and specifications accompanying this application.

DETAILED DESCRIPTION OF PROPOSED WORK (Required):

STATE HOW THE DESIGN REVIEW GUIDELINES INFORM THE DESIGN OF THE WORK

PROPOSED. (Include additional sheets of description if necessary, and 12 copies of artwork helpful in describing the project. The 12 copies are not required if the project is being reviewed for an administrative approval. See instruction sheet for requirements.)

Remove and replace exterior finishes, windows and doors and roof. Repair and replace exterior trim work. Repair front porch floor and columns. Build addition on rear of house on first floor for bedroom. Where possible, architectural features will be saved or replaced with same to recover the form and details of the home. Railings, trim, porches, columns and other features of the home will be maintained. Windows and doors replaced with wood. Front siding is vinyl over deteriorated T111, will be removed and replaced with hardiplank.

Signature of Owner or Authorized Agent: X
Name of Owner or Authorized Agent (please print legibly): Marion Cake

(Space below for staff use only)

Received by Commission Secretary ECE VED APPLICATION NO. _____
DATE MAY 24 2017 1:27pm SCHEDULED FOR _____

Note: CAR reviews all applications on a case-by-case basis. COA-018233-2017
Revised 10-02-2014

**INSTRUCTIONS FOR COMPLETING AND SUBMITTING
THE APPLICATION AND REQUIRED MATERIALS
FOR REVIEW BY THE
COMMISSION OF ARCHITECTURAL REVIEW**

The Commission of Architectural Review will meet on the 4th Tuesday of each month, with the exception of December when the Commission meeting date is adjusted for the holiday schedule. *Please refer to the attached schedule for specific meeting and deadline dates.*

One (1) signed and completed application and twelve (12) copies of any supporting documentation and should be sent (for receipt prior the submission deadline) to:

**Secretary, C.A.R.
Room 510 - City Hall
900 E. Broad Street
Richmond, VA 23219**

Please consult the deadline schedule or contact CAR staff for the **submission deadline** for a particular meeting. The submission deadline allows time for staff review, public notice and distribution to Commission members. Applications are advertised 10 days in advance of the meeting. When the scale of a project is of substantive impact to the district where it is located direct public notices are sent to property owners within 150' of the project site in advance of the meeting.

In cases where permits are required to complete the work, permit applications should be submitted to the Bureau of Permits and Inspection in Room 110 of City Hall. A building permit application is necessary to evaluate building and zoning code issues. These issues should be identified prior to submittal to the Commission. In some situations more specialized permits such as demolition, work-in-street, encroachment, sign, mechanical, or electrical permits may be required in addition to or in lieu of a building permit.

One (1) signed original of the application and twelve (12) copies of any supporting artwork must be provided. The twelve copies are not required if the project is being reviewed for administrative approval. The artwork should be no larger than 11" x 17". Reductions of larger size drawings are acceptable only as long as the submittal at the reduced size is legible.

*A detailed project description and a statement of how the proposed work conforms to the Old and Historic District Design Review Guidelines is necessary for your application to be considered complete. Please refer to the **Application Submission Requirements for instructions on what materials are required for the type of project you propose.** Please be sure to **sign** the application.*

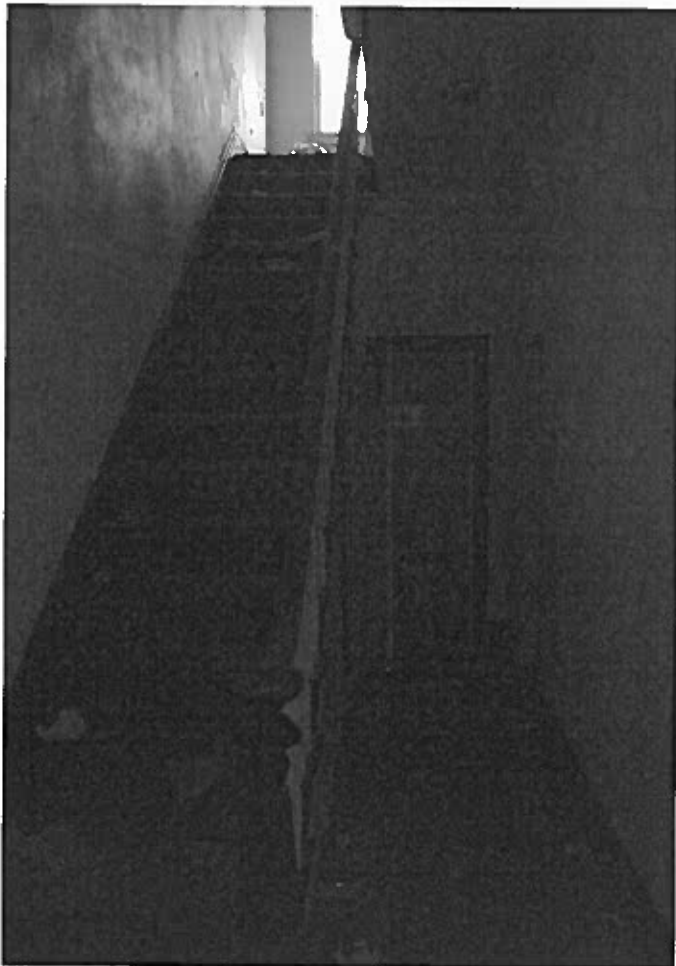
The staff of the Commission is available to advise the applicant regarding the preparation of the application and its review prior to submittal. This pre-submittal review is strongly encouraged. Please call staff (646-6335). Applications may be faxed (Fax 646-5789) for preliminary review. **However, a signed original application and 12 copies of supporting materials are needed to constitute a complete submittal.**

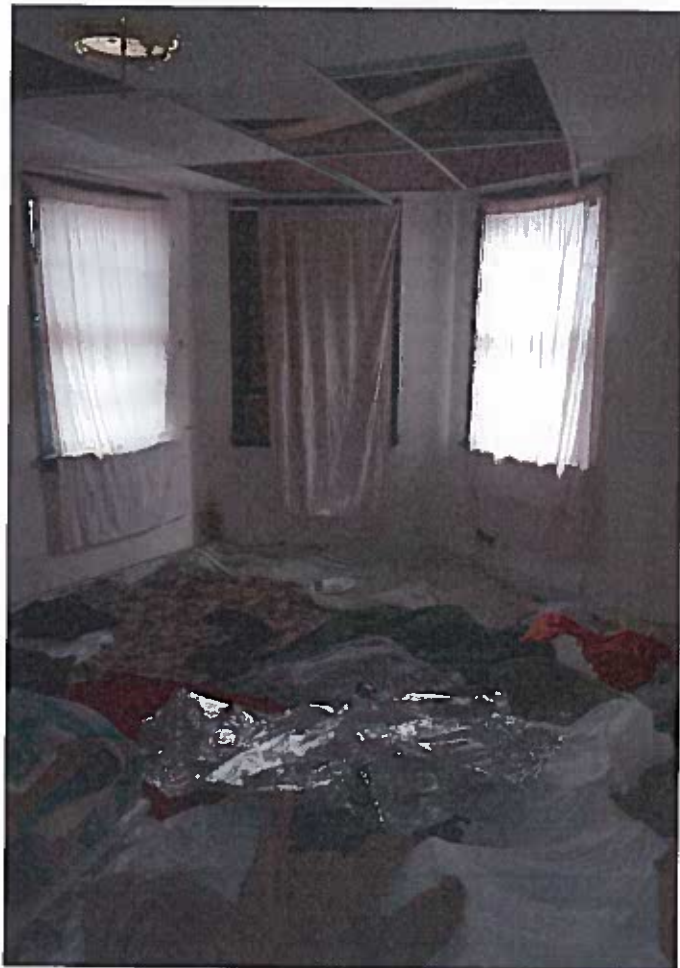
The applicant is *encouraged to attend* the Commission meeting, which is held in the 5th floor conference room of City Hall starting at 3:30 P.M. The application portion of the meeting starts at 4:00 P.M. Deferrals may occasionally occur if the applicant or a representative is not present to answer questions that may arise in the course of Commission discussion.





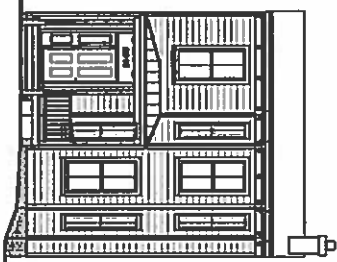








RENOVATION OF 2015 VENABLE STREET RICHMOND, VIRGINIA



LIST OF DRAWINGS

NO.	TITLE
A-001	COVER SHEET / CODE DATA / GENERAL NOTES
A-101	FOUNDATIONS / FIRST FLOOR FRAMING PLANS / FIRST FLOOR PLAN
A-102	2ND FLOOR PLAN / STRUCTURAL NOTES / WINDOW AND DOOR SCHEDULES
A-201	BUILDING ELEVATIONS
A-202	BUILDING ELEVATION - SOUTH
A-301	WALL SECTIONS / DETAILS
A-302	WALL SECTIONS / FENCE DETAIL
E-101	ELECTRICAL POWER AND LIGHTING PLANS

BUILDING DATA - 2015 VENABLE STREET

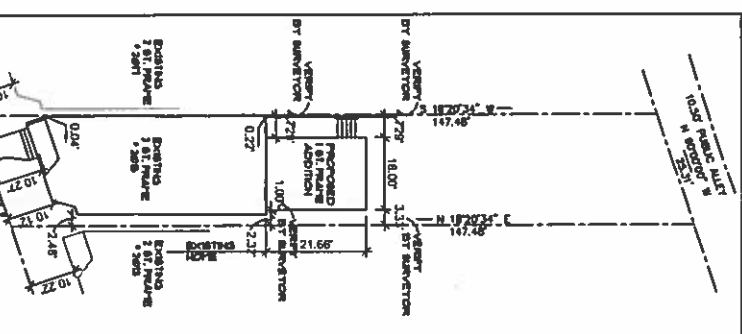
SCOPE OF WORK:	RENOVATION OF / ADDED TO AN EXISTING SINGLE-FAMILY, DETACHED, TWO-STORY RESIDENCE.
APPLICABLE CODES:	2012 VIRGINIA RESIDENTIAL CODE
ZONING DISTRICT:	R-4B
SETBACKS - FRONT:	NOT GREATER THAN 15 FEET (EXISTING IS CONTINUING)
SETBACKS - SIDE:	3 FEET (EXISTING IS NON-COMPLYING)
SETBACKS - REAR:	3 FEET (EXISTING IS COMPLYING)
CONSTRUCTION TYPE:	18 (WOOD FRAME, UNPROTECTED)
USE GROUP:	R-1, SINGLE FAMILY RESIDENCE
BUILDING AREAS:	FIRST FLOOR: 965 SQ FT ADDITION: 247 SQ FT SECOND FLOOR: 1045 SQ FT TOTAL: 2212 SQ FT
FIRE RATED ASSEMBLIES:	A ONE HOUR FIRE RATING WILL BE REQUIRED AT ALL EXTERIOR WALLS AND CEILING TO THE 2ND FLOOR LEVEL. ALL MECHANICAL, ELECTRICAL, AND PLUMBING WORK SHALL BE PROTECTED WITH FIRE RATED ASSEMBLIES FOR THE DESIGNATED TRADE.

GENERAL NOTES

- CONTRACTOR SHALL COMPLY TO THE 2012 VIRGINIA RESIDENTIAL CODE FOR THE CONSTRUCTION OF THE PROJECT.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND SET CONDITIONS BEFORE BEGINNING CONSTRUCTION.
- CONTRACTOR SHALL CHECK, TOUCH OR OTHERWISE MARK THE BRACKER INDICATIONS.
- ALL WOOD SHALL BE MINIMUM 2" X 4" EXCEPT LATH OR ON CONCRETE SLABS SHALL BE PRESURE TREATED TREATED.
- ALL WOOD SHALL BE PROTECTED FROM AND HAVE A BARRIER PENETRATOR.
- ALL ROOF TRUSSES, CHORDS AND BEAMS, IF ANY.
- CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE CODES AND REGULATIONS FOR ALL TRADES AND MATERIALS.
- ALL ROOF FLASHING IN WALLS AND ROOFS SHALL BE THROWN OUT OR REJECTED IF FOUND TO BE DEFECTIVE OR NOT TO MEET THE REQUIREMENTS OF THE CONTRACT DOCUMENTS OCCURRING IN THE MANUFACTURING LOCATIONS IDENTIFIED HEREIN.
- STAIRS AND SLOPED ROOF RAFTERS ARE REQUIRED FOR PERMITS-REQUIRED WOOD ROOF TRUSSES, CHORDS AND BEAMS, IF ANY.
- WALL CONSTRUCTION SHALL BE ALL CONCRETE BLOCKS TO AN APPROVED LOCATION.
- ALL EXPOSED EXTERIOR, DOWNSPOUTS AND FLASHING TO BE PERMITTED.
- INSULATE ALL WALL, WINDOW BANISTER/RAILERS WITH 3 1/2" UNFIBERED BATT OR EQUIVALENT INSULATION.
- SECURING AND SHEET AND ROOFS TO BE DRIVEN AT 4'-0" O.C. MAX.

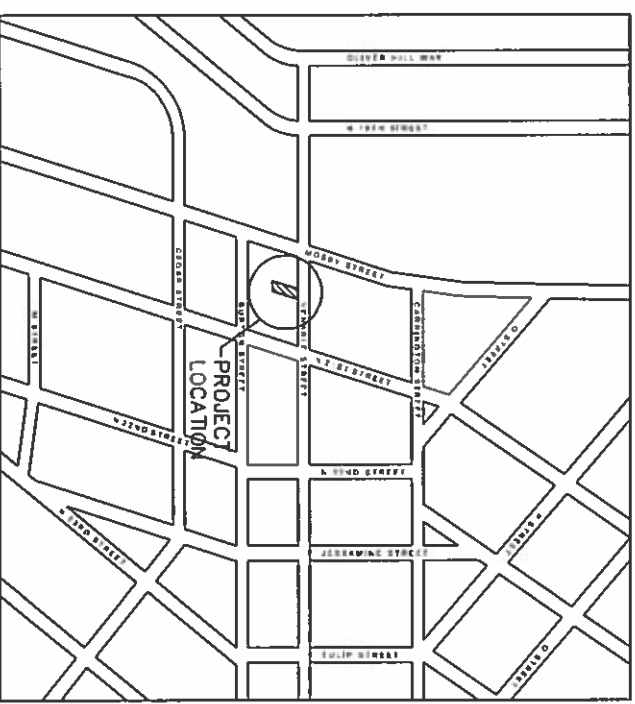
GENERAL NOTES:

- THE GENERAL CONTRACTOR IS TO BE RESPONSIBLE FOR ALL TRADES AND MATERIALS. ALL TRADES AND MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS AND ALL APPLICABLE CODES. THE GENERAL CONTRACTOR SHALL VERIFY ALL TRADES AND MATERIALS ARE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS AND ALL APPLICABLE CODES.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THE APPROVAL OF ALL TRADES AND MATERIALS. ALL TRADES AND MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS AND ALL APPLICABLE CODES.
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SCHEMATIC SITE PLAN
1/16" = 1'-0"

NOTE: DATA FOR THIS SCHEMATIC SITE PLAN WAS OBTAINED FROM THE 2015 VENABLE STREET IN THE CITY OF RICHMOND, VA. THE DATE OF THE DATA IS 04/18/17, BY CHANG, WENGT, LOHRI & ASSOCIATES, P.L.L.C. LAND SURVEYORS - PLANNERS.



LOCATION MAP
NOT TO SCALE

LEGEND

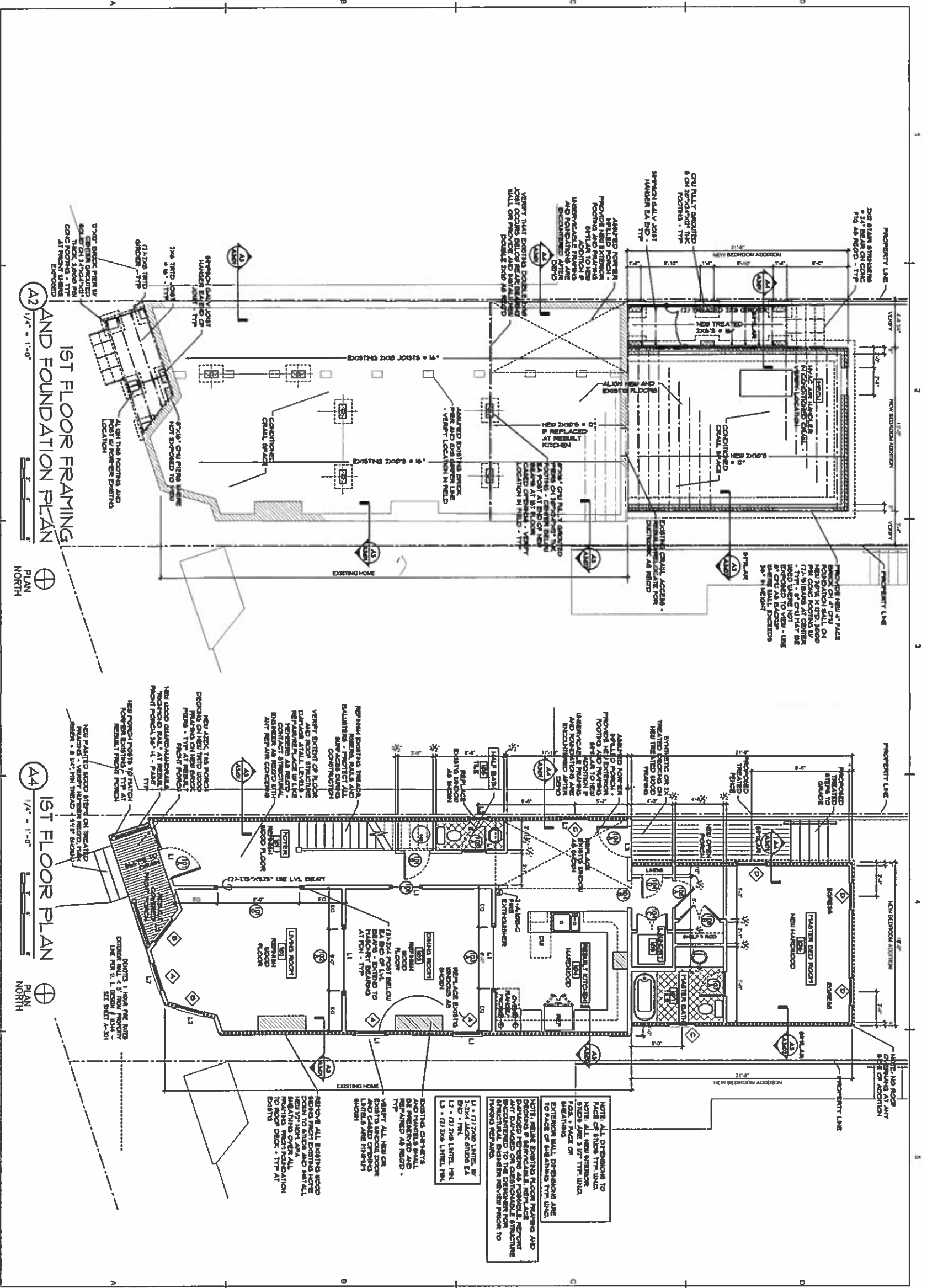
(9)	DOOR NUMBER	(X)	WINDOW TYPE	(Hatched)	LUMBER (IN SECTION)
(Circle with X)	SECTION	(Circle with Hatched)	BATT INSULATION	(Hatched)	NEW WOOD STUD WALL (PLAN)
(Hatched)	BATT INSULATION	(Hatched)	BRICK (IN SECTION)	(Hatched)	EXISTING WOOD STUD WALL (PLAN)
(Hatched)	BRICK (IN SECTION)	(Hatched)	C. M. U. (PLAN/SECTION)	(Hatched)	PLYWOOD
(Hatched)	C. M. U. (PLAN/SECTION)	(Hatched)	U. N. O.	(Hatched)	CONCRETE (IN SECTION)
(Hatched)	U. N. O.	(Hatched)	O/O	(Hatched)	NOT IN CONTRACT
(Hatched)	O/O	(Hatched)		(Hatched)	UNLESS NOTED OTHERWISE
		(Hatched)		(Hatched)	OUT TO OUT

renovation of single family residence 2015 VENABLE STREET

RICHMOND, VIRGINIA
PREPARED FOR PROJECT: HOMES

DAVID R. WINN, LLC
residential design
10132 BERRILLWAY PLACE
GEN. ALEN, VIRGINIA 23060
(804) 252-0848

Sheet	1 of 7
Project	A-001
Revision	01/17
Drawn by	ADJ/DMC
Checked by	ADJ/DMC
Date	2017
Scale	AS SHOWN
Notes	SEE COVER SHEET / CODE DATA / GEN. NOTES



1ST FLOOR FRAMING AND FOUNDATION PLAN
 PLAN NORTH
 1/8" = 1'-0"

1ST FLOOR PLAN
 PLAN NORTH
 1/8" = 1'-0"

FOUNDATION / 1ST FLR AND 1ST FLR FRAMING PLANS

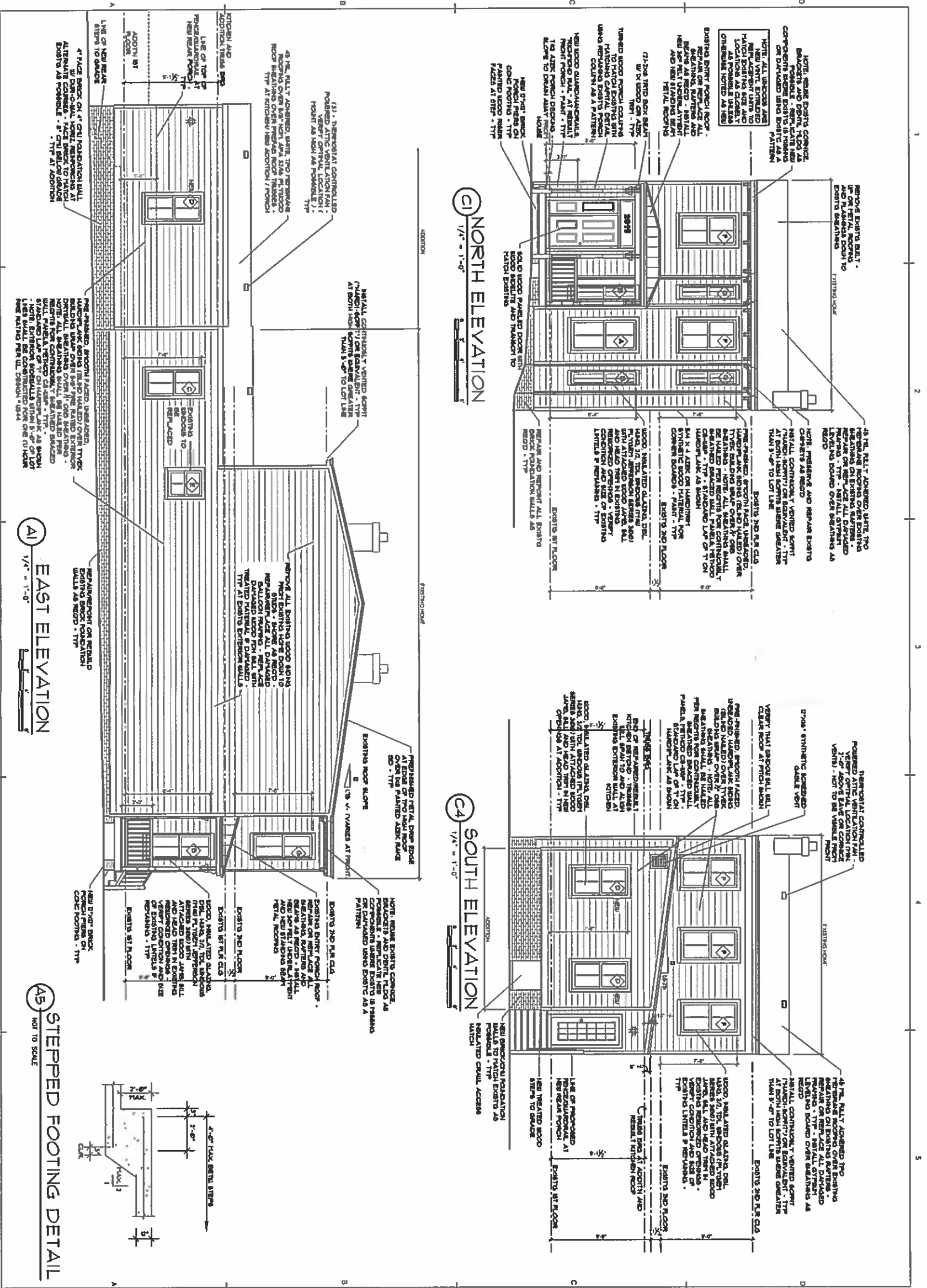
**renovation of single family residence
 2015 VENABLE STREET**

**RICHMOND, VIRGINIA
 PREPARED FOR PROJECT: HOMES**

DAVID R. WINN, LLC
 residential design
 1033 BERRYGARDE PLACE
 ALEXANDRIA, VIRGINIA 22304
 (804) 252-0948

Title Block	
DATE	2017-09-08
SCALE	AS SHOWN
NO.	101
DESCRIPTION	FOUNDATION / 1ST FLR AND 1ST FLR FRAMING PLANS
DATE	2017-09-08
SCALE	AS SHOWN
NO.	101
DESCRIPTION	FOUNDATION / 1ST FLR AND 1ST FLR FRAMING PLANS
DATE	2017-09-08
SCALE	AS SHOWN
NO.	101
DESCRIPTION	FOUNDATION / 1ST FLR AND 1ST FLR FRAMING PLANS

Sheet 2 of 7
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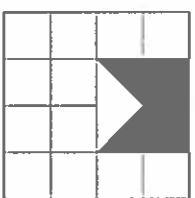
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01/10/17	PROJECT SET
02/10/17	REVISED SET
03/10/17	REVISED SET
04/10/17	REVISED SET
05/10/17	REVISED SET
06/10/17	REVISED SET
07/10/17	REVISED SET
08/10/17	REVISED SET
09/10/17	REVISED SET
10/10/17	REVISED SET
11/10/17	REVISED SET
12/10/17	REVISED SET

renovation of single family residence
2015 VENABLE STREET

RICHMOND, VIRGINIA
PREPARED FOR PROJECT: HOMES

DAVID R. WINN, LLC
residential design
10132 BERRYDALE PLACE
GEN. ALLEN, VIRGINIA 23060
(804) 252-0946

Sheet	4 of 7
Project	A-201
Scale	1/4" = 1'-0"
Author	DAVID R. WINN
Checker	DAVID R. WINN
Printer	DAVID R. WINN
Date	01/10/17
Project	2015 VENABLE STREET
Location	RICHMOND, VIRGINIA
Client	PROJECT: HOMES
Contract	2015 VENABLE STREET
Address	RICHMOND, VIRGINIA
Phone	(804) 252-0946
Fax	(804) 252-0946
Email	DAVID@DRWINN.COM
Website	WWW.DRWINN.COM
Copyright	© 2017 DRWINN.COM



DAVID R. WINN, LLC
 residential design
 10132 BERRYDALE PLACE
 GLEN ALLEN, VIRGINIA 23060
 (804) 252-0948

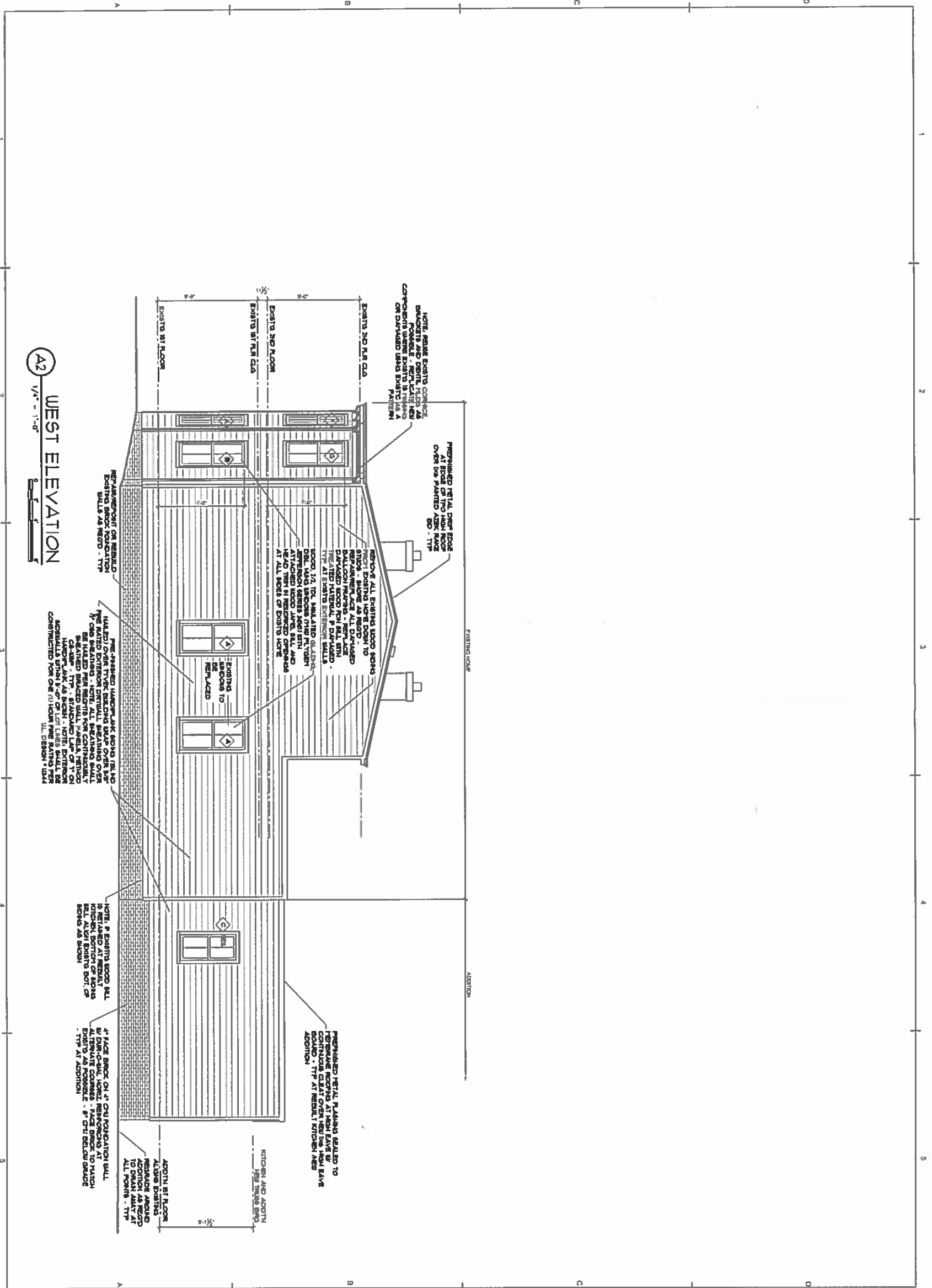
renovation of single family residence
2015 VENABLE STREET

RICHMOND, VIRGINIA
 PREPARED FOR PROJECT: HOMES

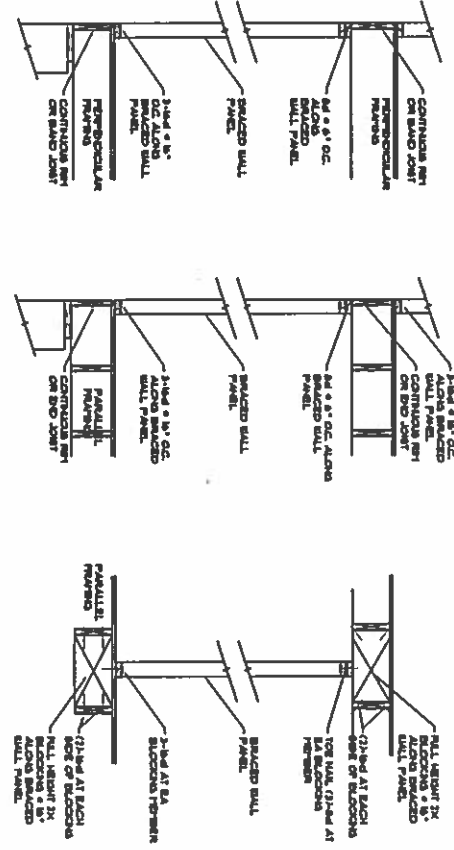
no.	date	description
01.01.17		PERMIT SET
01.01.17		PERMIT SET

sheet title
BUILDING
ELEVATION /
FENCING DETAILS

A-202
 sheet 5 of 7
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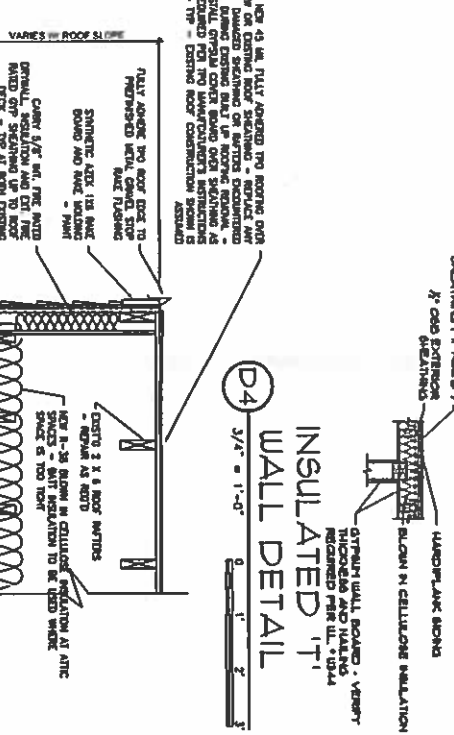
A2
 1/4" = 1'-0"
WEST ELEVATION



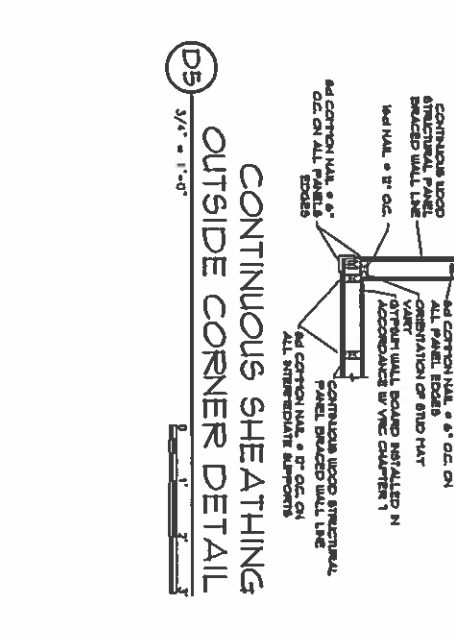
BRACED WALL PANEL CONNECTIONS
NO SCALE

DESIGN # U344

Design No. U344
Date: 10/10/12
Scale: 3/4" = 1'-0"



D4 INSULATED WALL DETAIL
3/4" = 1'-0"

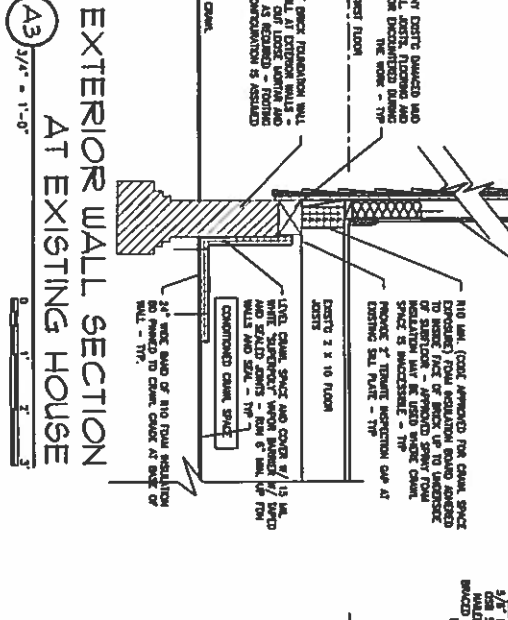


D5 CONTINUOUS SHEATHING OUTSIDE CORNER DETAIL
3/4" = 1'-0"

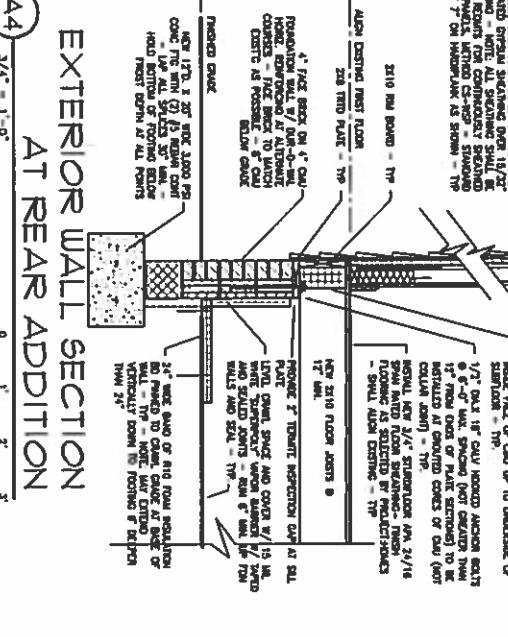
ALL DESIGNS HAVE BEEN COPIED FROM THE ONLINE CERTIFICATIONS DIRECTORY WITH PERMISSION FROM UL. THEIR ENTIRETY TO PROJECTIONS EVALUATION AND CONSTRUCTION.

1. Detail shall be as shown, but shall be subject to the discretion of the Engineer.
2. Detail shall be subject to the discretion of the Engineer.
3. Detail shall be subject to the discretion of the Engineer.
4. Detail shall be subject to the discretion of the Engineer.
5. Detail shall be subject to the discretion of the Engineer.
6. Detail shall be subject to the discretion of the Engineer.
7. Detail shall be subject to the discretion of the Engineer.
8. Detail shall be subject to the discretion of the Engineer.
9. Detail shall be subject to the discretion of the Engineer.
10. Detail shall be subject to the discretion of the Engineer.

TYPICAL EXTERIOR WALL WITHIN 5'-0" OF ANY LOT LINE



A3 EXTERIOR WALL SECTION AT EXISTING HOUSE
3/4" = 1'-0"



A4 EXTERIOR WALL SECTION AT REAR ADDITION
3/4" = 1'-0"

DAVID R. WINN, LLC residential design 10132 BERRYVADE PLACE GLENN ALLEN, VIRGINIA 23060 (804) 252-0948
--

**renovation of single family residence
2015 VENABLE STREET**

**RICHMOND, VIRGINIA
PREPARED FOR PROJECT: HOMES**

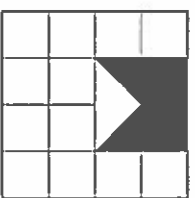
DATE	DESCRIPTION
05/10/17	PERMIT SET
DATE	DESCRIPTION
05/10/17	PERMIT SET

NO. P
DATE
DATE
DATE

NO. P DATE DATE DATE	DESCRIPTION

WALL SECTIONS / FENCING

A-301
Sheet 6 of 7
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DAVID R. MINN, LLC
 residential design
 10132 BERRYHURST PLACE
 CLEV. ALLEN, VIRGINIA, 23060
 (804) 232-0948

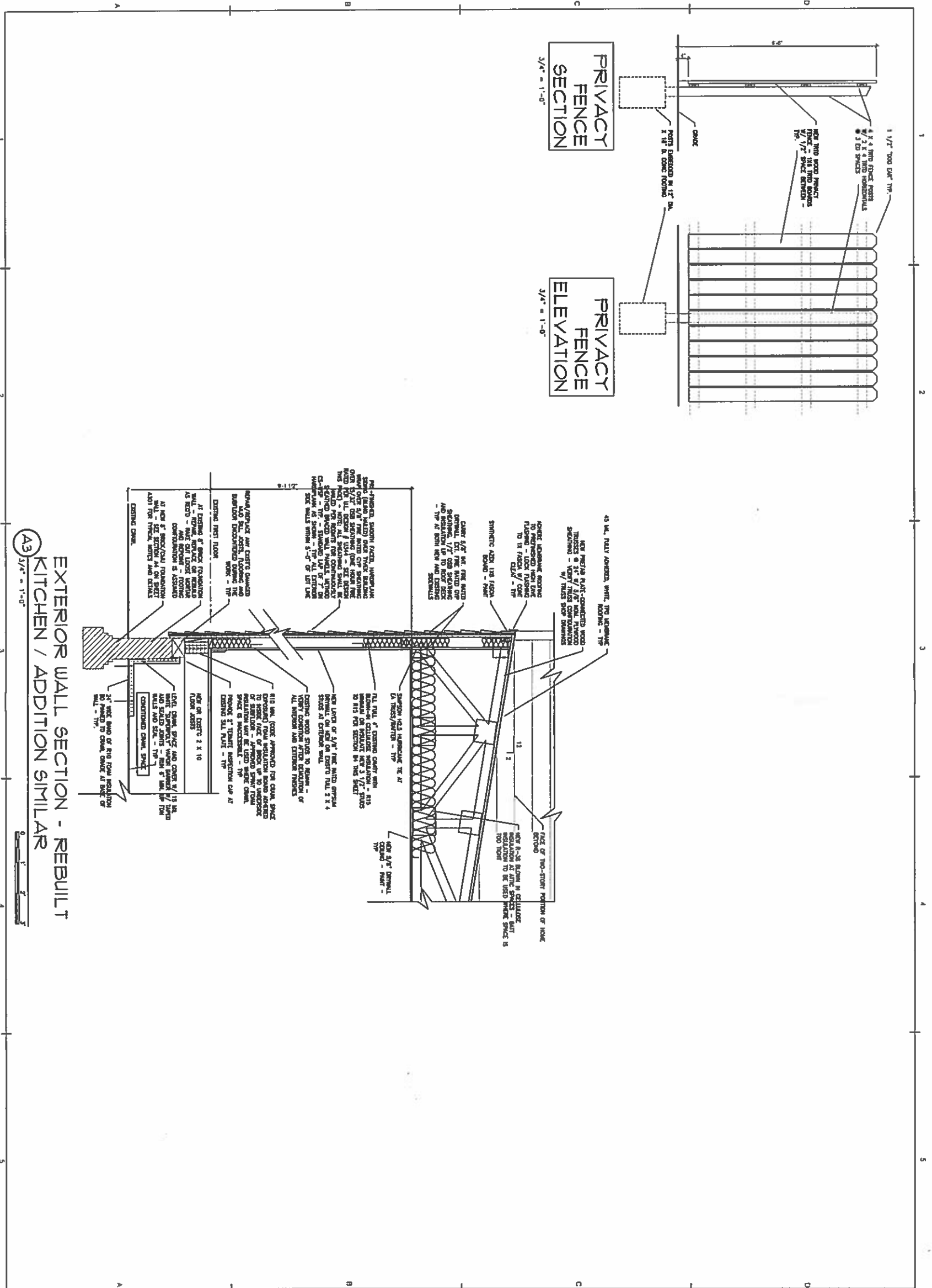
renovation of single family residence
2015 VENABLE STREET

RICHMOND, VIRGINIA
 PREPARED FOR PROJECT: HOMES

date	description
02.10.17	PRELIM SET

sheet title:
 WALL SECTIONS /
 FENCING

A-302
sheet 7 of 7
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EXTERIOR WALL SECTION - REBUILT
 KITCHEN / ADDITION SIMILAR
 A3 3/4\"/>

