

**NOTES:**

THIS SURVEY MEETS THE MINIMUM STATE STANDARDS FOR A "PHYSICAL IMPROVEMENT SURVEY"

ON 10/15/2019, I MADE AN ACCURATE FIELD SURVEY OF THE PREMISES SHOWN HEREON. ALL IMPROVEMENTS KNOWN OR VISIBLE ARE SHOWN HEREON. THERE ARE NO ENCROACHMENTS BY IMPROVEMENTS FROM THE SUBJECT PREMISES OR FROM THE ADJOINING PREMISES OTHER THAN SHOWN HEREON.

THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT. THEREFORE ALL ENCUMBRANCES OR EASEMENTS MAY NOT BE SHOWN HEREON.

THIS PROPERTY IS LOCATED IN "ZONE X" (AREAS DETERMINED TO BE OUTSIDE THE 0.2" ANNUAL CHANCE FLOODPLAIN). FLOOD INSURANCE RATE MAP: 5101290043E; EFFECTIVE DATE: JULY 16, 2014.

( ) DENOTES PROPERTY LINES FROM A PLAT RECORDED IN INSTRUMENT 17-26990.

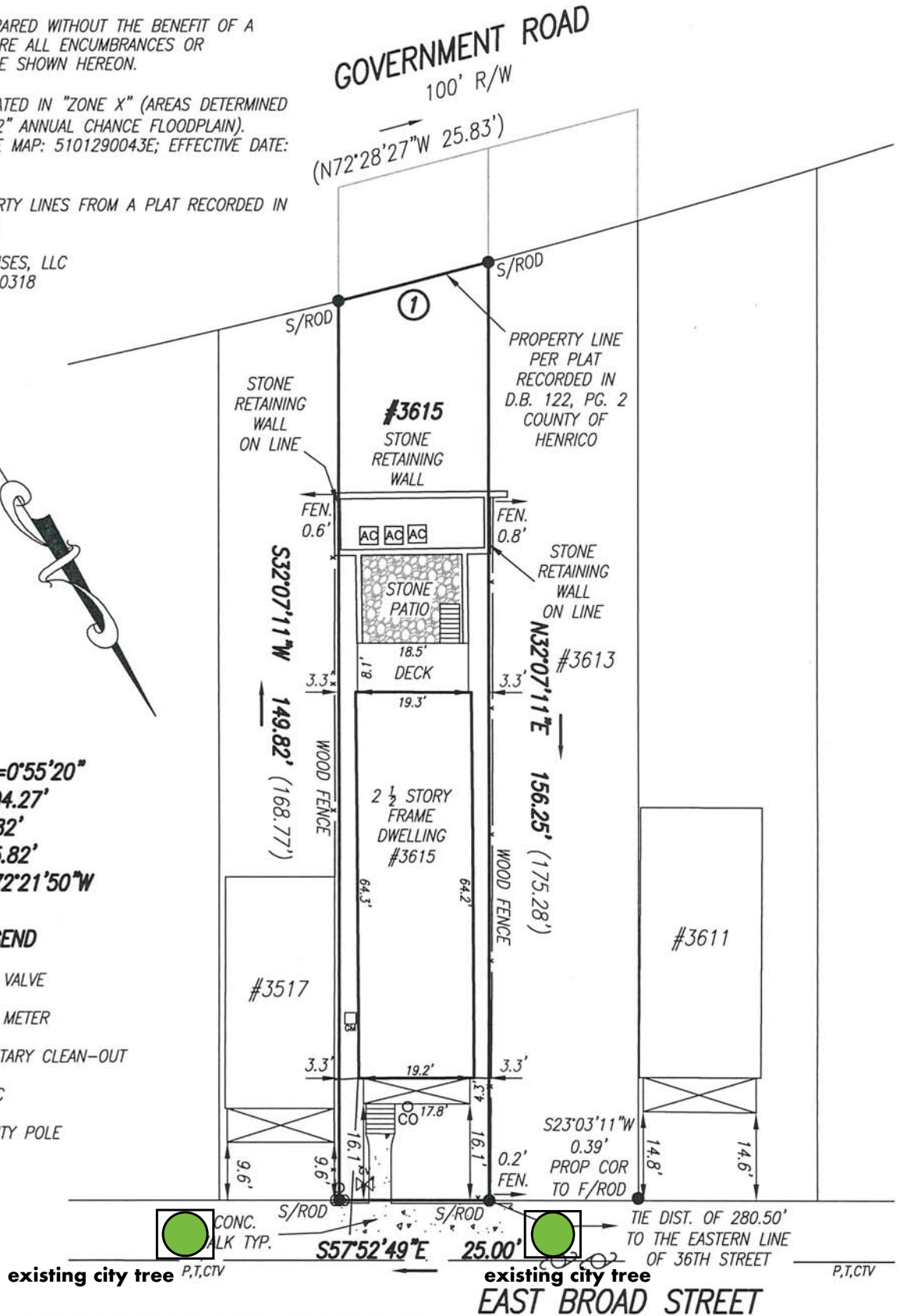
OWNER: SOJO ENTERPRISES, LLC  
INSTRUMENT NO.: 18-00318

PLAT INSTRUMENT: 17-26990

① DELTA=0°55'20"  
R=1604.27'  
L=25.82'  
CH=25.82'  
CB=N72°21'50"W

**LEGEND**

- GV GAS VALVE
- GM GAS METER
- CO SANITARY CLEAN-OUT
- AC HVAC
- UTILITY POLE



**PHYSICAL IMPROVEMENT SURVEY**  
**3615 EAST BROAD STREET,**  
**CITY OF RICHMOND, VIRGINIA**

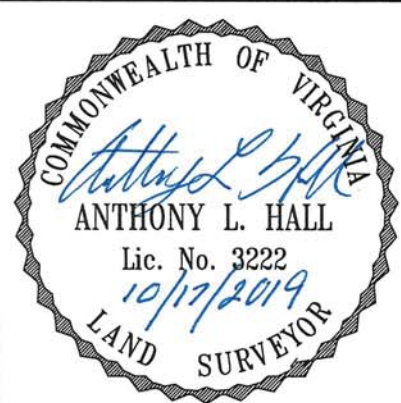
DATE: OCTOBER 16, 2019

SCALE: 1" = 25'



E.D. Consulting Engineers · Land Surveyors & Planners  
**LEWIS & ASSOCIATE S PC**  
2116 Spencer Road · Richmond, VA 23230

15346MS





# 3615 East Broad Street

## Building Permit Plans

### Owner

SOJO Enterprises LLC  
 13000 Densmore Court  
 Henrico, VA 23233

### Engineer

Obsidian, Inc.  
 Charles R. Field, P.E.  
 515 North 22nd Street  
 Richmond, VA 23223  
 804.647.1589  
 obsidianva@gmail.com

### Table of Contents

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### Property Information

Parcel ID E0001290008, E0001290009  
 Zoning R-8  
 Use Residential Single Family  
 Setbacks Front Yard  $\leq$  10 feet  
 Side Yard  $\geq$  3 feet  
 Rear Yard  $\geq$  5 feet  
 Lot Coverage  $\leq$  65%

### Scope of Work

Scope of work will generally consist of the renovation of an existing structure in accordance with these plans and the IRC, 2012.

### General Notes

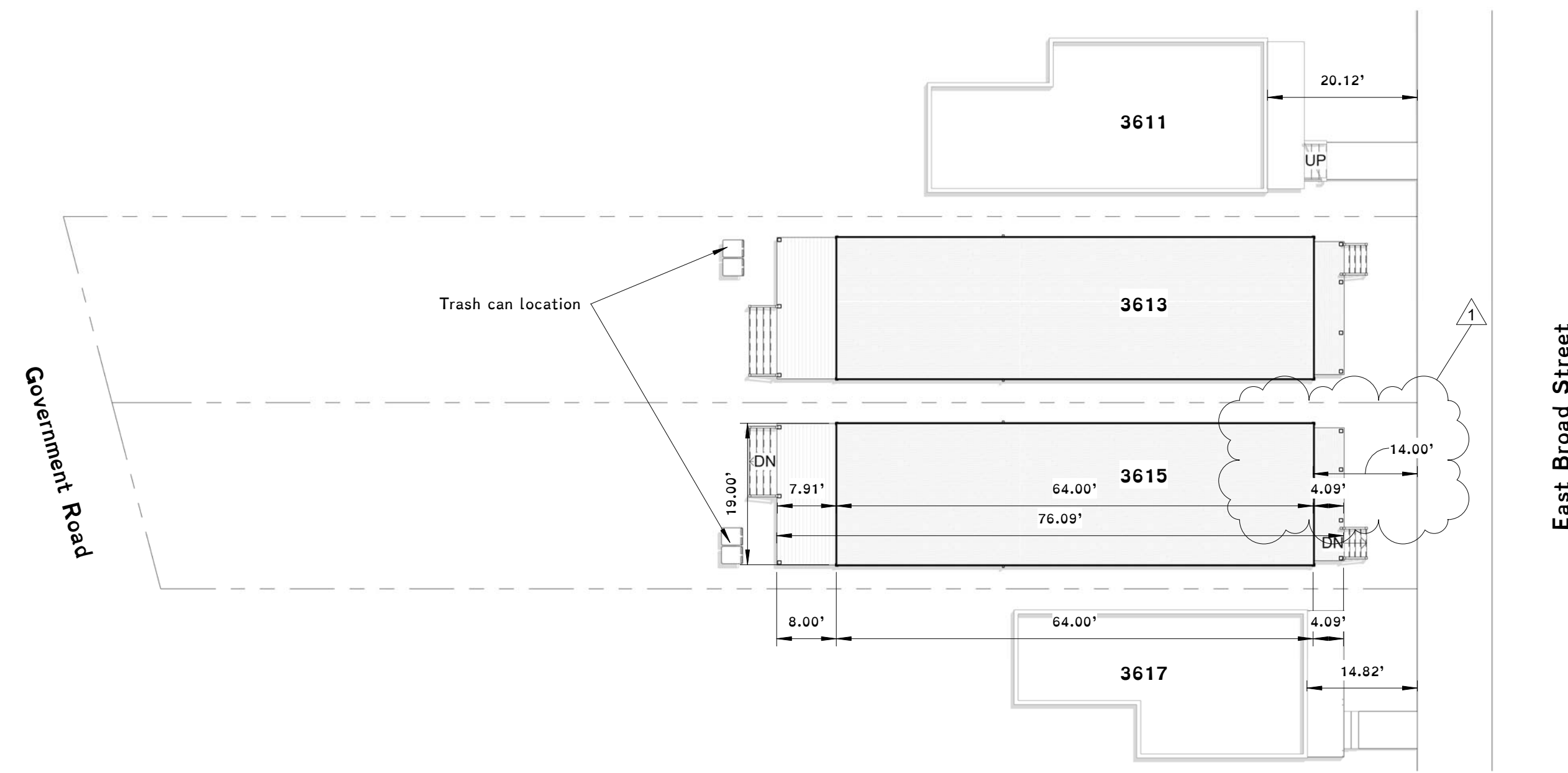
- The structure will be constructed in accordance with the 2012 edition of the "International Residential Code", the Statewide Uniform Building Code and the applicable City of Richmond ordinances.
- The contractor is responsible for compliance with City, State and Federal job site safety requirements.
- The contractor shall verify all dimensions and conditions prior to start of work, and any discrepancies will immediately be brought to the attention of the engineer.
- Glazing in windows shall be tempered if the bottom edge is less than 18" above floor, in walls enclosing bathtub or showers, within 24" of arc of either vertical edge of a door, or less than 36" above the plane of stairways or landings. Glazing in all fixed and operable panels of swinging, sliding and bifold doors shall be tempered.
- All lumber unless otherwise noted is to be Southern Pine No. 2.
- There will not be a fire sprinkler system.
- There is no proposed fire detection system or alarm.
- The construction type is V-B.
- There are X stories.
- The occupancy class is X-#.
- The occupancy is XXX people.
- IRC 2012 minimum insulation and fenestration requirements:
  - Fenestration U-factor : 0.35
  - Ceiling R-value : 38
  - Wood frame wall R-value : 15
  - Mass wall R-value : 8/13
  - Floor R-value : 19
  - Basement wall R-value : 10/13
  - Slab R-value & depth: 10, 2ft
  - Crawl space wall R-value : 10/13
- Load criteria: Bearing soil capacity = 2000 psf
  - Floor live load = 40 psf
  - Floor dead load = 10 psf
  - Roof live load = 20 psf
  - Roof dead load = 10 psf
  - Snow loads = 20 psf
  - Basic Wind speed = 90 mph
  - Seismic Category: B.
  - Exposure: B.

### Window Schedule

Type Mark	Family	Count	Width	Height	Sill Height	Casing Quantity	Sill Quantity
Grade							
139	Foundation Vent	8			1'-0"	0"	0"
1st Floor							
138	Transom with Trim	2	3'-0"	1'-4"	6'-10 1/4"	11'-4"	7'-4"
140	Double Hung with Trim	2	2'-8"	5'-2"	1'-6"	26'-0"	6'-8"
140	Double Hung with Trim	10	2'-8"	5'-2"	2'-10"	130'-0"	33'-4"
140	Double Hung with Trim	4	2'-8"	5'-2"	3'-0 1/4"	52'-0"	13'-4"
142	Double Hung with Trim	2	2'-8"	4'-6"	3'-6"	23'-4"	6'-8"
2nd Floor							
140	Double Hung with Trim	6	2'-8"	5'-2"	2'-0"	78'-0"	20'-0"
141	Double Hung with Trim	4	2'-4"	3'-6"	3'-6"	37'-4"	12'-0"
142	Double Hung with Trim	4	2'-8"	4'-6"	2'-2"	46'-8"	13'-4"
142	Double Hung with Trim	4	2'-8"	4'-6"	2'-6"	46'-8"	13'-4"
3rd Floor							
142	Double Hung with Trim	4	2'-8"	4'-6"	2'-2"	46'-8"	13'-4"
						498'-0"	139'-4 1/8"

### Door Schedule

Type Mark	Count	Family	Width	Height	Casing Quantity
Grade					
179	2	Crawl Space Door	2'-0"	1'-6"	20'-0"
1st Floor					
133	2	Cased Opening	5'-0"	6'-8"	73'-4"
134	2	Cased Opening	6'-0"	6'-8"	77'-4"
193	2	Single-Panel 6	3'-0"	6'-8"	65'-4"
195	2	Single-Panel 6	1'-6"	6'-8"	59'-4"
196	4	Single-Panel 6	2'-0"	6'-8"	122'-8"
197	4	Single-Panel 6	2'-8"	6'-8"	128'-0"
207	2	Cased Opening	8'-0"	6'-8"	85'-4"
208	2	Single-Panel 6	2'-4"	6'-8"	62'-8"
2nd Floor					
98	2	Double-Panel 2	5'-0"	6'-8"	73'-4"
99	2	Double-Panel 2	4'-0"	6'-8"	69'-4"
130	2	Cased Opening	2'-0"	6'-8"	61'-4"
192	4	Single-Panel 6	2'-6"	6'-8"	126'-8"
193	2	Single-Panel 6	3'-0"	6'-8"	65'-4"
196	4	Single-Panel 6	2'-0"	6'-8"	122'-8"
197	2	Single-Panel 6	2'-8"	6'-8"	64'-0"
208	4	Single-Panel 6	2'-4"	6'-8"	125'-4"
209	2	Double-Glass 1	6'-0"	6'-8"	77'-4"
210	2	Sliding Pocket Door	2'-4"	6'-8"	62'-8"
3rd Floor					
209	4	Double-Glass 1	6'-0"	6'-8"	154'-8"
					1696'-8"

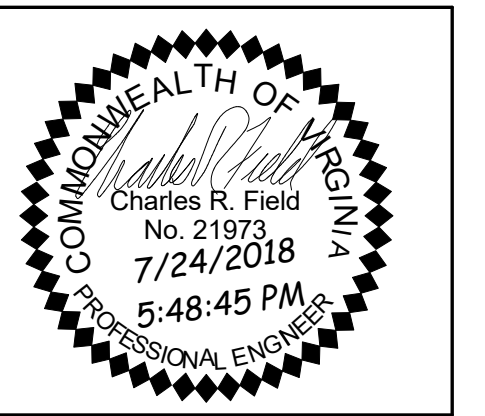


1 Site Plan (survey plat under separate cover)  
 1/16" = 1'-0"

A1

Rev.	Date	Description
1	7/24/18	Changed front yard setback

**Title Sheet**  
**3615 East Broad Street- New House Plans**  
**Sojo Enterprises LLC**  
 City of Richmond, VA  
 rev. 7/24/18  
 July 13, 2018

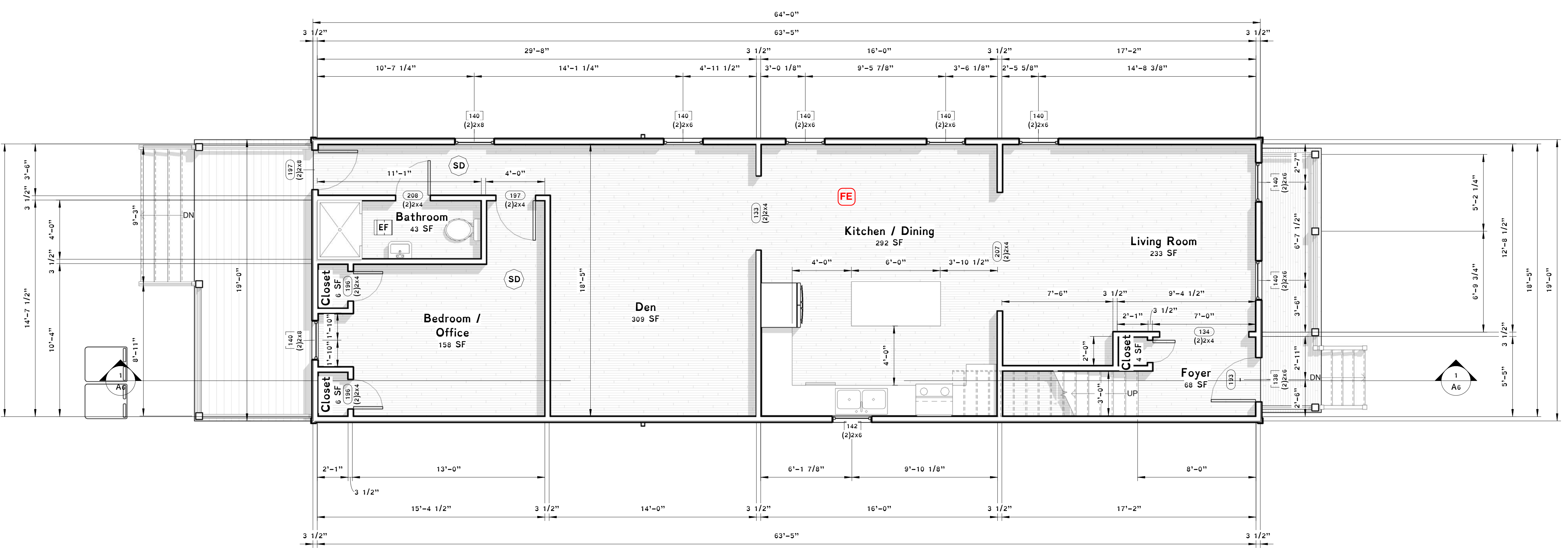


Charles R. Field, P.E.  
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**Obsidian**  
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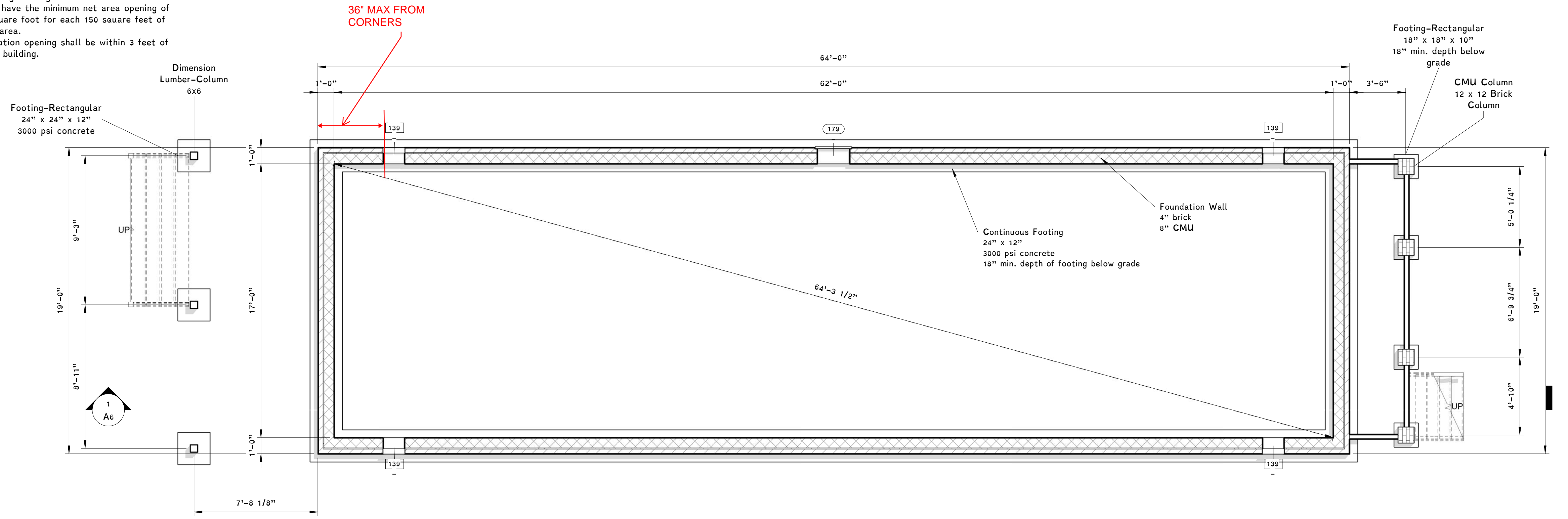


Rev.	Date	Description



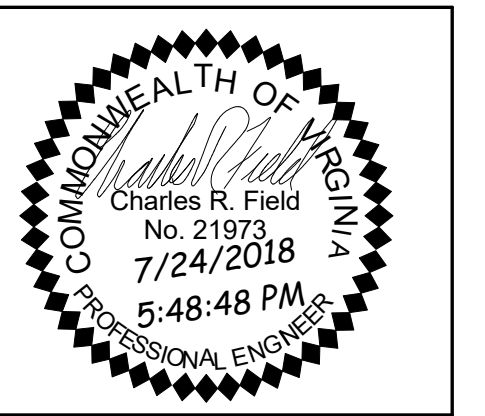
1 First Floor Layout  
 1/4" = 1'-0"

**Ventilation Note:**  
 1. Ventilation openings through foundation walls shall be provided and shall have the minimum net area opening of not less than 1 square foot for each 150 square feet of under-floor space area.  
 2. One such ventilation opening shall be within 3 feet of each corner of the building.

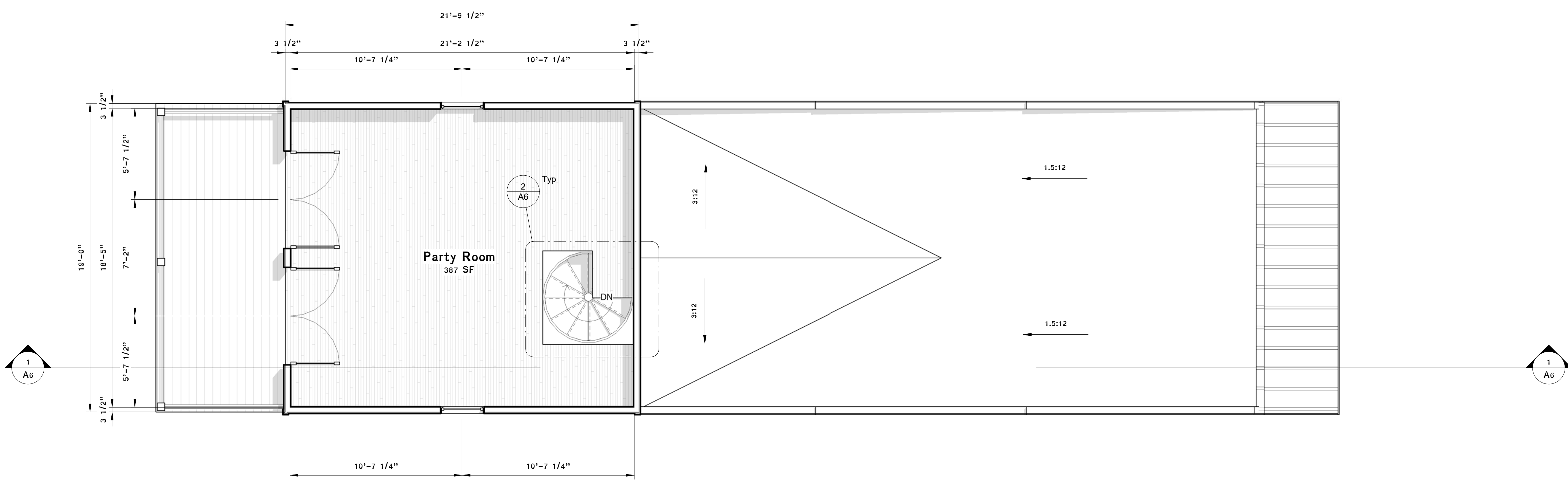


2 Foundation Plan  
 1/4" = 1'-0"

**Foundation & First Floor Plan**  
 3615 East Broad Street- New House Plans  
 Sojo Enterprises LLC  
 City of Richmond, VA  
 rev. 7/24/18  
 July 13, 2018



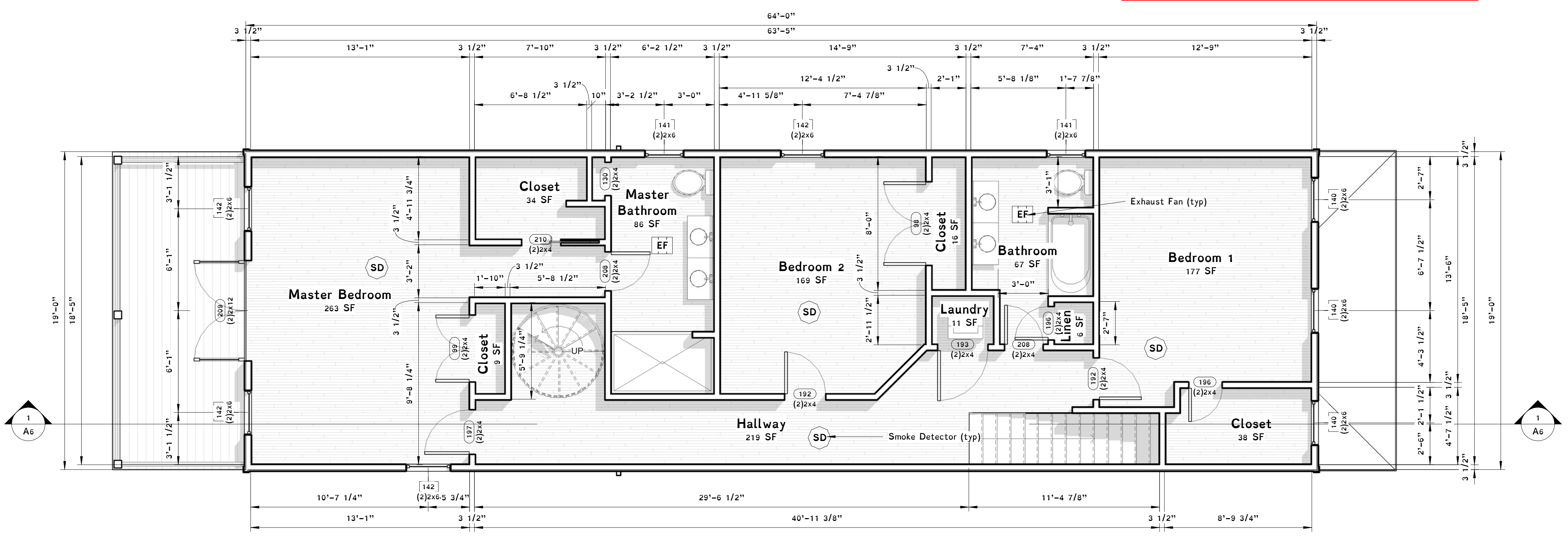
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**Legend**  
 SD - Smoke Alarm  
 CO - Carbon Monoxide Alarm  
 FE - Fire Extinguisher  
 EF - Exhaust Fan

2 Third Floor Layout  
 1/4" = 1'-0"

BEDROOMS AND SLEEPING ROOMS SHALL HAVE AT LEAST ONE OPERABLE EMERGENCY ESCAPE AND RESCUE OPENING PER SECTION R310 OF THE VA RESIDENTIAL CODE 2012

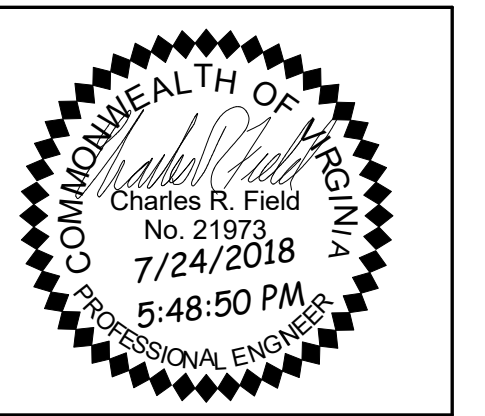


1 Second Floor Layout  
 1/4" = 1'-0"

A3

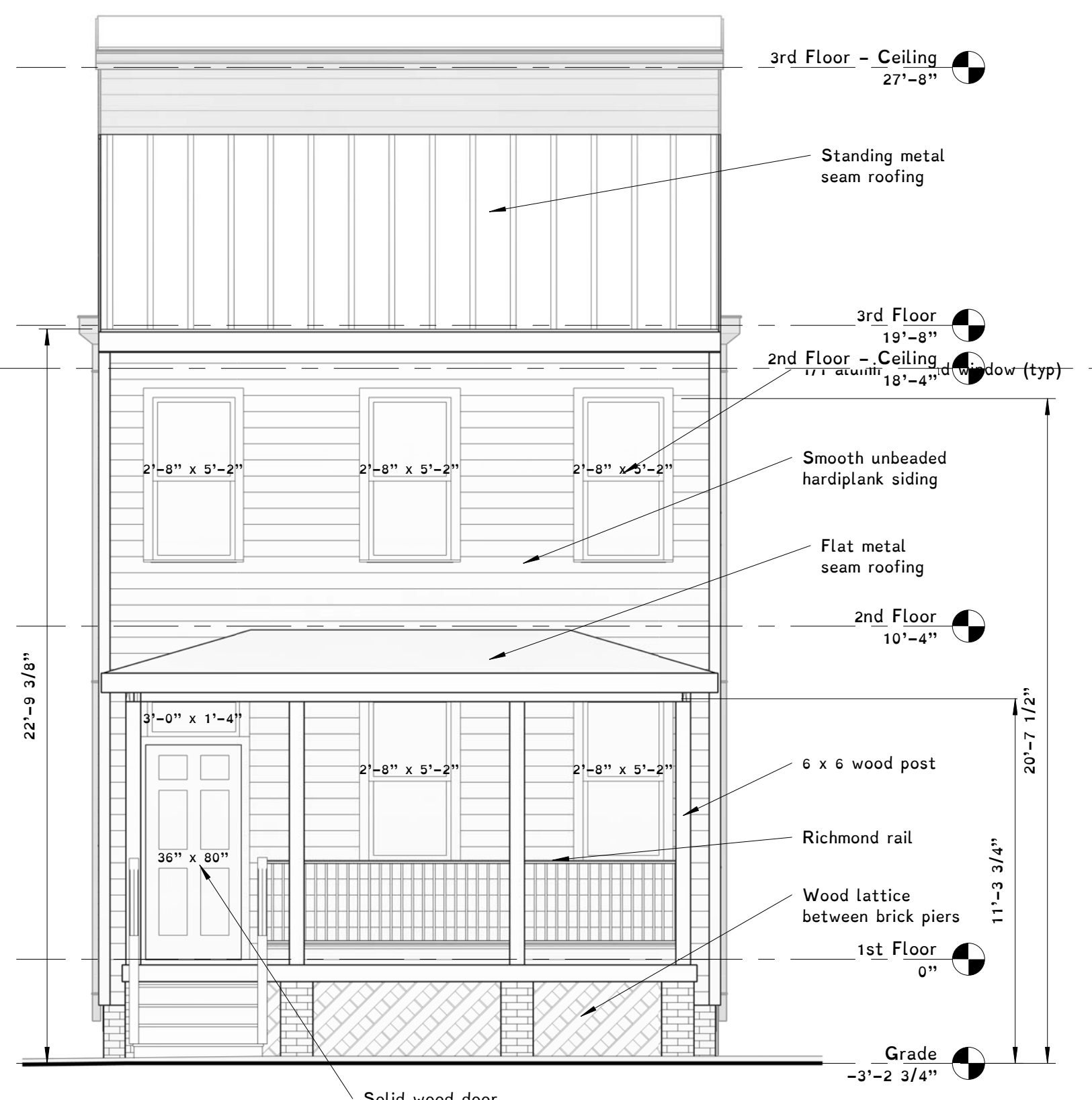
Rev.	Date	Description

**Second & Third Floor**  
 3615 East Broad Street- New House Plans  
 Sojo Enterprises LLC  
 City of Richmond, VA  
 rev. 7/24/18  
 July 13, 2018

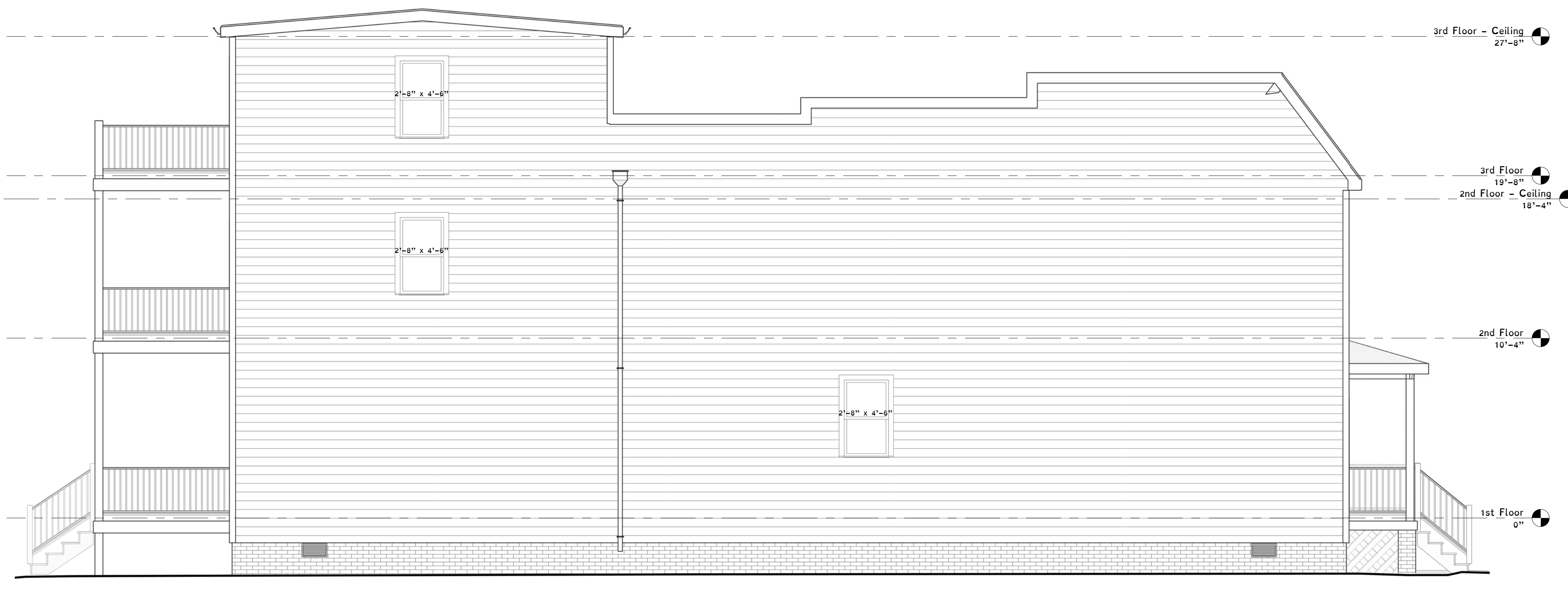


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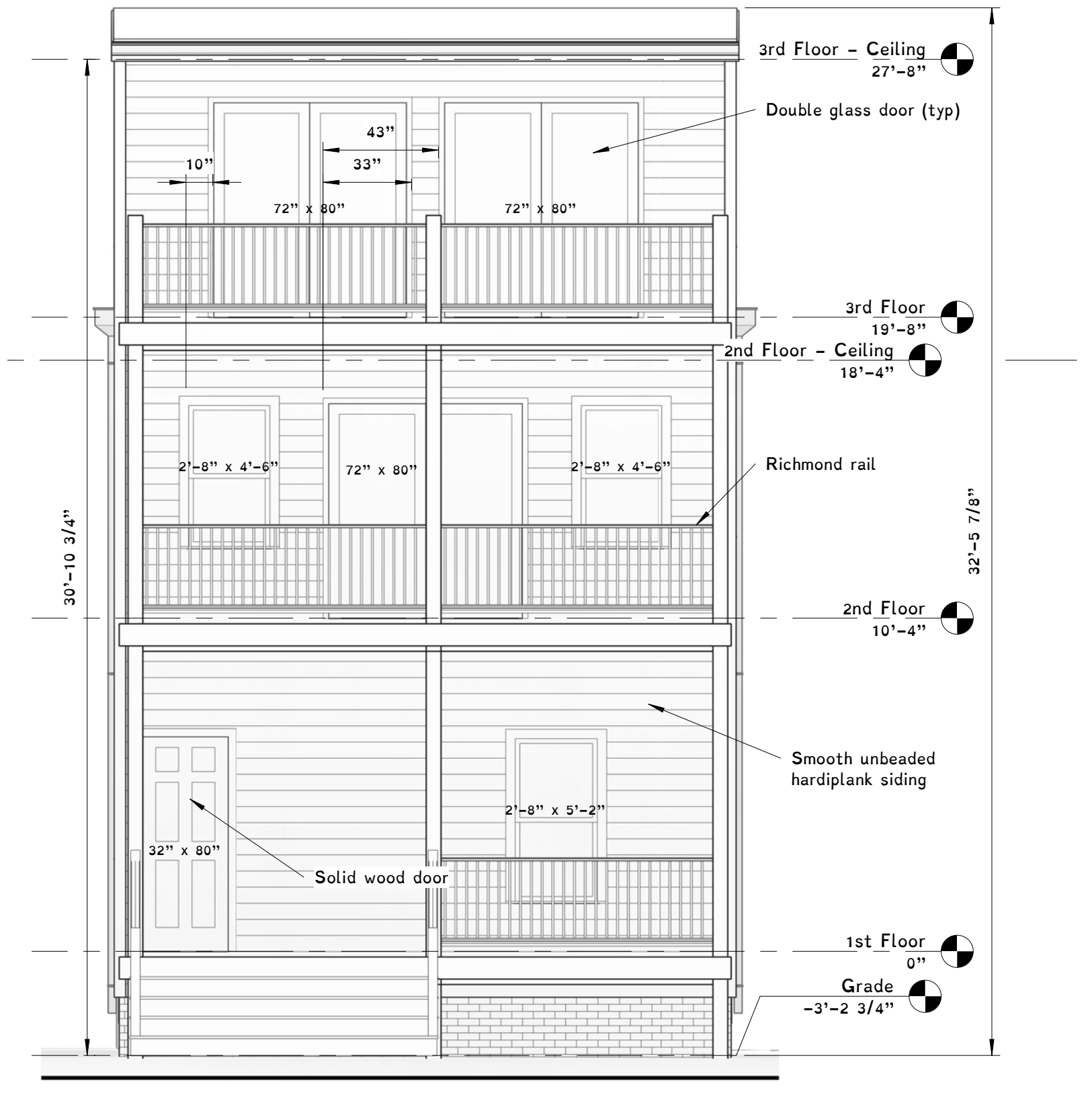




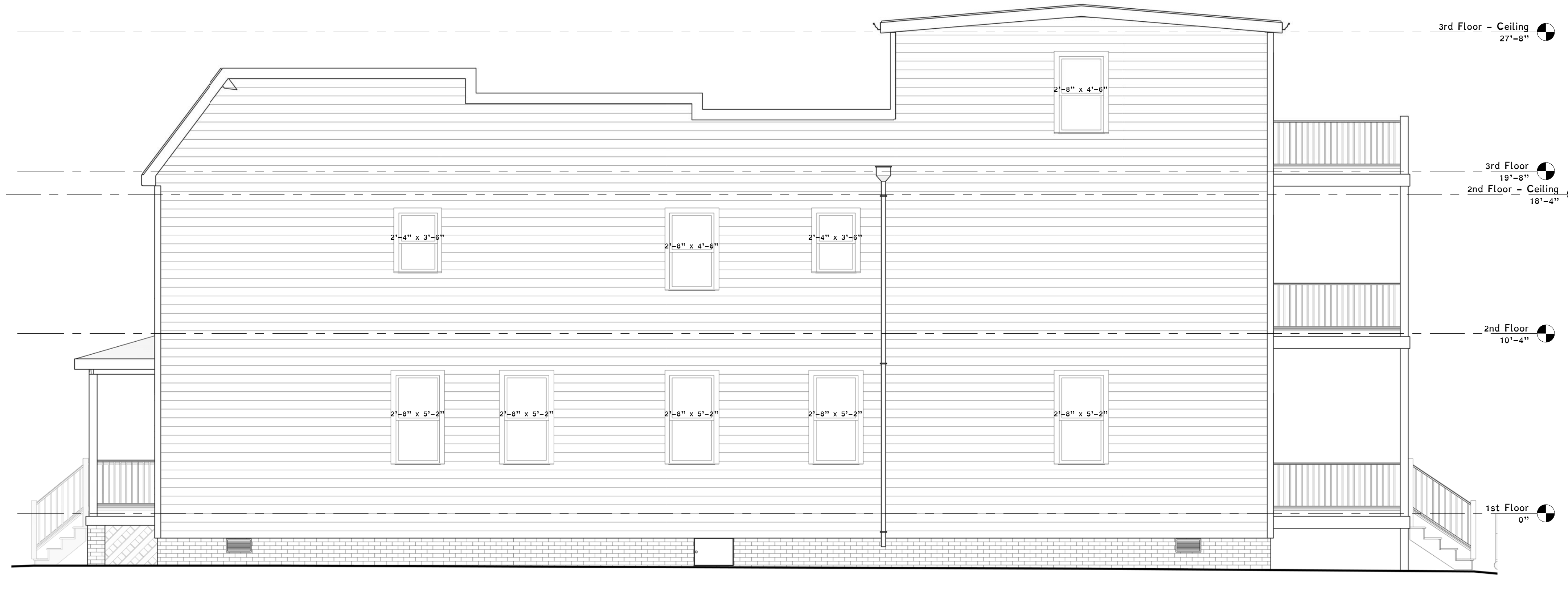
2 Proposed North  
 1/4" = 1'-0"



3 Proposed East  
 1/4" = 1'-0"



1 Proposed South  
 1/4" = 1'-0"



4 Proposed West  
 1/4" = 1'-0"

A4

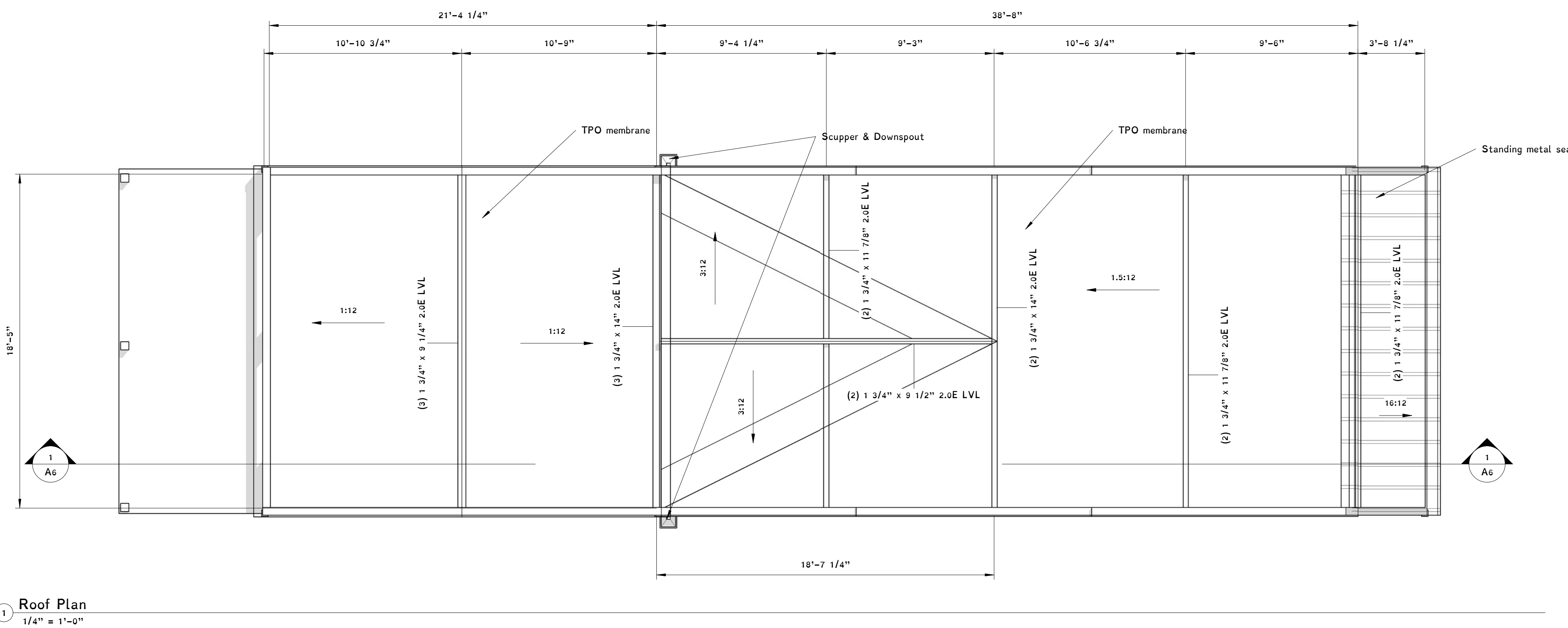
Rev.	Date	Description

**Elevations**  
 3615 East Broad Street - New House Plans  
 Sojo Enterprises LLC  
 City of Richmond, VA  
 rev. 7/24/18  
 July 13, 2018



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Design Results	Actual @ Location	Allowed	Result	Pass Rate	Load/Combination (Pattern)
Member Reaction (Rn)	4922 @ 2"	4449 (2.25")	Passed (43%)	--	1.0 D + 1.0 Lr (All Spans)
Shear (Ft)	1629 @ 1' 1"	7897	Passed (21%)	1.25	1.0 D + 1.0 Lr (All Spans)
Moment (Ft-lbs)	6922 @ 9' 2' 7/8"	14719	Passed (37%)	1.25	1.0 D + 1.0 Lr (All Spans)
Live Load Defl. (In)	0.556 @ 9' 2' 7/8"	0.628	Passed (L/407)	--	1.0 D + 1.0 Lr (All Spans)
Total Load Defl. (In)	0.899 @ 9' 3' 1/8"	0.943	Passed (L/252)	--	1.0 D + 1.0 Lr (All Spans)

**FORTE** MEMBER REPORT **Roof, Cripple Roof Ridge** **3 piece(s) 1 3/4" x 9 1/2" 2.0E Microllam® LVL** **PASSED**

Overall Length: 19' 2 1/4"

All locations are measured from the outside face of left support (or left cantilever end). All dimensions are horizontal. Drawing is Conceptual.

Design Results	Actual @ Location	Allowed	Result	Pass Rate	Load/Combination (Pattern)
Member Reaction (Rn)	1912 @ 2"	4449 (2.25")	Passed (43%)	--	1.0 D + 1.0 Lr (All Spans)
Shear (Ft)	1629 @ 1' 1"	7897	Passed (21%)	1.25	1.0 D + 1.0 Lr (All Spans)
Moment (Ft-lbs)	6922 @ 9' 2' 7/8"	14719	Passed (37%)	1.25	1.0 D + 1.0 Lr (All Spans)
Live Load Defl. (In)	0.556 @ 9' 2' 7/8"	0.628	Passed (L/407)	--	1.0 D + 1.0 Lr (All Spans)
Total Load Defl. (In)	0.899 @ 9' 3' 1/8"	0.943	Passed (L/252)	--	1.0 D + 1.0 Lr (All Spans)

**A5**

Description	Date	Rev.

Roof Beam Below 3rd Floor North Wall

Roof Ridge End & Roof Support

Roof, Roof Drop Beam

Third Floor Roof/Ceiling, Ceiling Beam

**FORTE** MEMBER REPORT **Roof, Beam Below 3rd Floor North Wall** **3 piece(s) 1 3/4" x 14" 2.0E Microllam® LVL** **PASSED**

Overall Length: 19'

All locations are measured from the outside face of left support (or left cantilever end). All dimensions are horizontal. Drawing is Conceptual.

Design Results	Actual @ Location	Allowed	Result	Pass Rate	Load/Combination (Pattern)
Member Reaction (Rn)	6424 @ 2"	10382 (1.50")	Passed (38%)	--	1.0 D + 1.0 Lr (All Spans)
Shear (Ft)	5248 @ 1' 5 1/2"	17456	Passed (30%)	1.25	1.0 D + 1.0 Lr (All Spans)
Moment (Ft-lbs)	32228 @ 9' 6"	45484	Passed (71%)	1.25	1.0 D + 1.0 Lr (All Spans)
Live Load Defl. (In)	0.495 @ 9' 6"	0.622	Passed (L/492)	--	1.0 D + 1.0 Lr (All Spans)
Total Load Defl. (In)	0.845 @ 9' 6"	0.933	Passed (L/265)	--	1.0 D + 1.0 Lr (All Spans)

**FORTE** MEMBER REPORT **Roof, Roof End & Roof Support** **2 piece(s) 1 3/4" x 17/8" 2.0E Microllam® LVL** **PASSED**

Overall Length: 19'

All locations are measured from the outside face of left support (or left cantilever end). All dimensions are horizontal. Drawing is Conceptual.

Design Results	Actual @ Location	Allowed	Result	Pass Rate	Load/Combination (Pattern)
Member Reaction (Rn)	3492 @ 2"	6921 (3.50")	Passed (50%)	--	1.0 D + 1.0 Lr (All Spans)
Shear (Ft)	3033 @ 1' 5 1/2"	11638	Passed (26%)	1.25	1.0 D + 1.0 Lr (All Spans)
Moment (Ft-lbs)	18394 @ 9' 6"	30323	Passed (61%)	1.25	1.0 D + 1.0 Lr (All Spans)
Live Load Defl. (In)	0.456 @ 9' 6"	0.622	Passed (L/491)	--	1.0 D + 1.0 Lr (All Spans)
Total Load Defl. (In)	0.722 @ 9' 6"	0.933	Passed (L/306)	--	1.0 D + 1.0 Lr (All Spans)

**FORTE** MEMBER REPORT **Roof, Roof Drop Beam** **2 piece(s) 1 3/4" x 11 7/8" 2.0E Microllam® LVL** **PASSED**

Overall Length: 19'

All locations are measured from the outside face of left support (or left cantilever end). All dimensions are horizontal. Drawing is Conceptual.

Design Results	Actual @ Location	Allowed	Result	Pass Rate	Load/Combination (Pattern)
Member Reaction (Rn)	2978 @ 2"	6921 (3.50")	Passed (43%)	--	1.0 D + 1.0 Lr (All Spans)
Shear (Ft)	2577 @ 1' 3 3/8"	3871	Passed (66%)	1.25	1.0 D + 1.0 Lr (All Spans)
Moment (Ft-lbs)	13655 @ 9' 6"	22310	Passed (61%)	1.25	1.0 D + 1.0 Lr (All Spans)
Live Load Defl. (In)	0.583 @ 9' 6"	0.622	Passed (L/384)	--	1.0 D + 1.0 Lr (All Spans)
Total Load Defl. (In)	0.915 @ 9' 6"	0.933	Passed (L/245)	--	1.0 D + 1.0 Lr (All Spans)

**FORTE** MEMBER REPORT **Third Floor Roof/Ceiling, Ceiling Beam** **3 piece(s) 1 3/4" x 9 1/4" 2.0E Microllam® LVL** **PASSED**

Overall Length: 19'

All locations are measured from the outside face of left support (or left cantilever end). All dimensions are horizontal. Drawing is Conceptual.

Design Results	Actual @ Location	Allowed	Result	Pass Rate	Load/Combination (Pattern)
Member Reaction (Rn)	1629 @ 2"	6674 (2.25")	Passed (24%)	--	1.0 D + 1.0 Lr (All Spans)
Shear (Ft)	1462 @ 1' 3/4"	9227	Passed (16%)	1.00	1.0 D + 1.0 Lr (All Spans)
Moment (Ft-lbs)	7545 @ 9' 6"	16806	Passed (45%)	1.00	1.0 D + 1.0 Lr (All Spans)
Live Load Defl. (In)	0.429 @ 9' 6"	0.467	Passed (L/527)	--	1.0 D + 1.0 Lr (All Spans)
Total Load Defl. (In)	0.703 @ 9' 6"	0.933	Passed (L/319)	--	1.0 D + 1.0 Lr (All Spans)

Bearing						Leads to Supports (lbs)					
	Total	Available	Required	Dead	Floor Live	Roof Live	Total		Dead	Floor Live	Total
1 - Stud wall - SIP	3.50"	3.50"	2.67"	2520	1907	7031	1007				
2 - Stud wall - SIP	3.50"	3.50"	2.67"	2520	1907	7031	1007				

Bearing						Leads to Supports (lbs)					
	Total	Available	Required	Dead	Floor Live	Roof Live	Total		Dead	Floor Live	Total
1 - Stud wall - SIP	3.50"	3.50"	1.77"	1291	2201	3492	1007				
2 - Stud wall - SIP	3.50"	3.50"	1.77"	1291	2201	3492	1007				

Bearing						Leads to Supports (lbs)					
	Total	Available	Required	Dead	Floor Live	Roof Live	Total		Dead	Floor Live	Total
1 - Stud wall - SIP	3.50"	3.50"	1.51"	1078	1900	2978	1007				
2 - Stud wall - SIP	3.50"	3.50"	1.51"	1078	1900	2978	1007				

Bearing						Leads to Supports (lbs)					
	Total	Available	Required	Dead	Floor Live	Roof Live	Total		Dead	Floor Live	Total
1 - Stud wall - SIP	3.50"	3.50"	2.25"	1.50"	697	1007	1644				
2 - Stud wall - SIP	3.50"	3.50"	2.25"	1.50"	697	1007	1644				

Bearing						Leads to Supports (lbs)					
	Total	Available	Required	Dead	Floor Live	Roof Live	Total		Dead	Floor Live	Total
1 - Stud wall - SIP	3.50"	3.50"	2.25"	1.50"	697	1007	1644				
2 - Stud wall - SIP	3.50"	3.50"	2.25"	1.50"	697	1007	1644				

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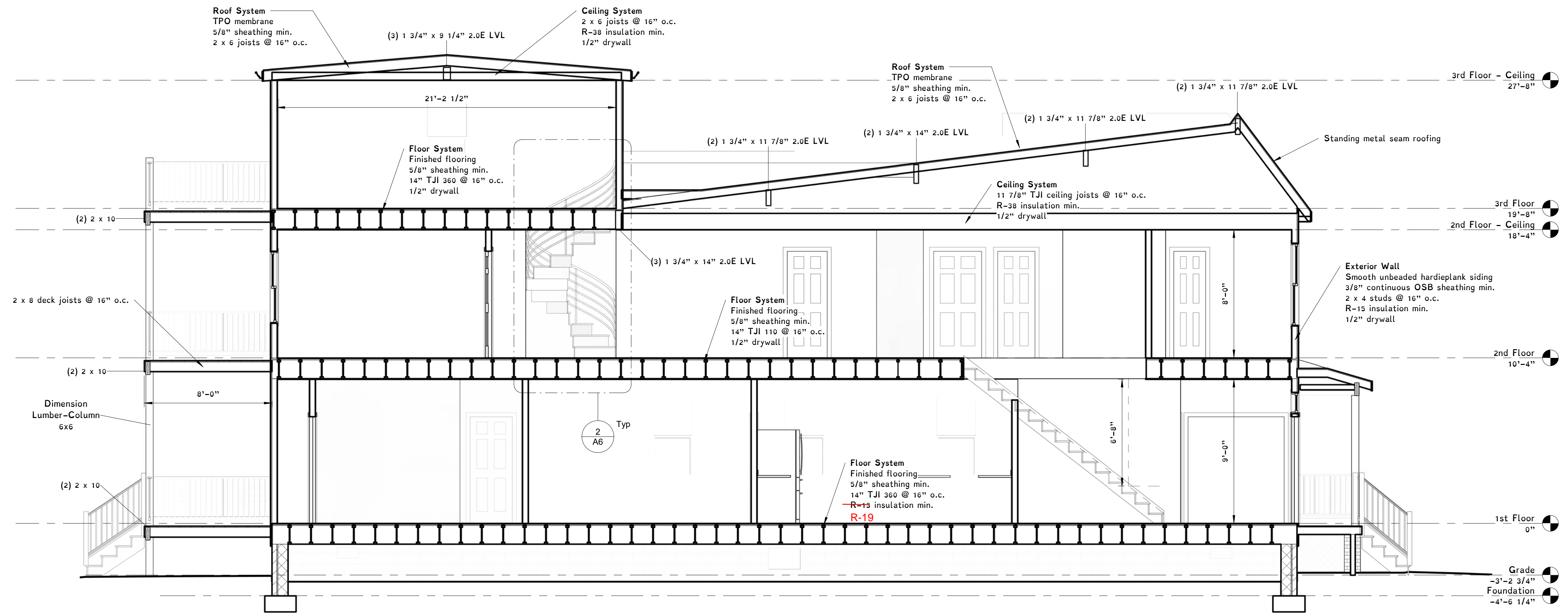
Roof Plan & Calculations  
3615 East Broad Street- New House Plans  
Sojo Enterprises LLC  
City of Richmond, VA

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7/24/2018  
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Professional Engineer  
Charles R. Field  
No. 21973  
7/24/2018

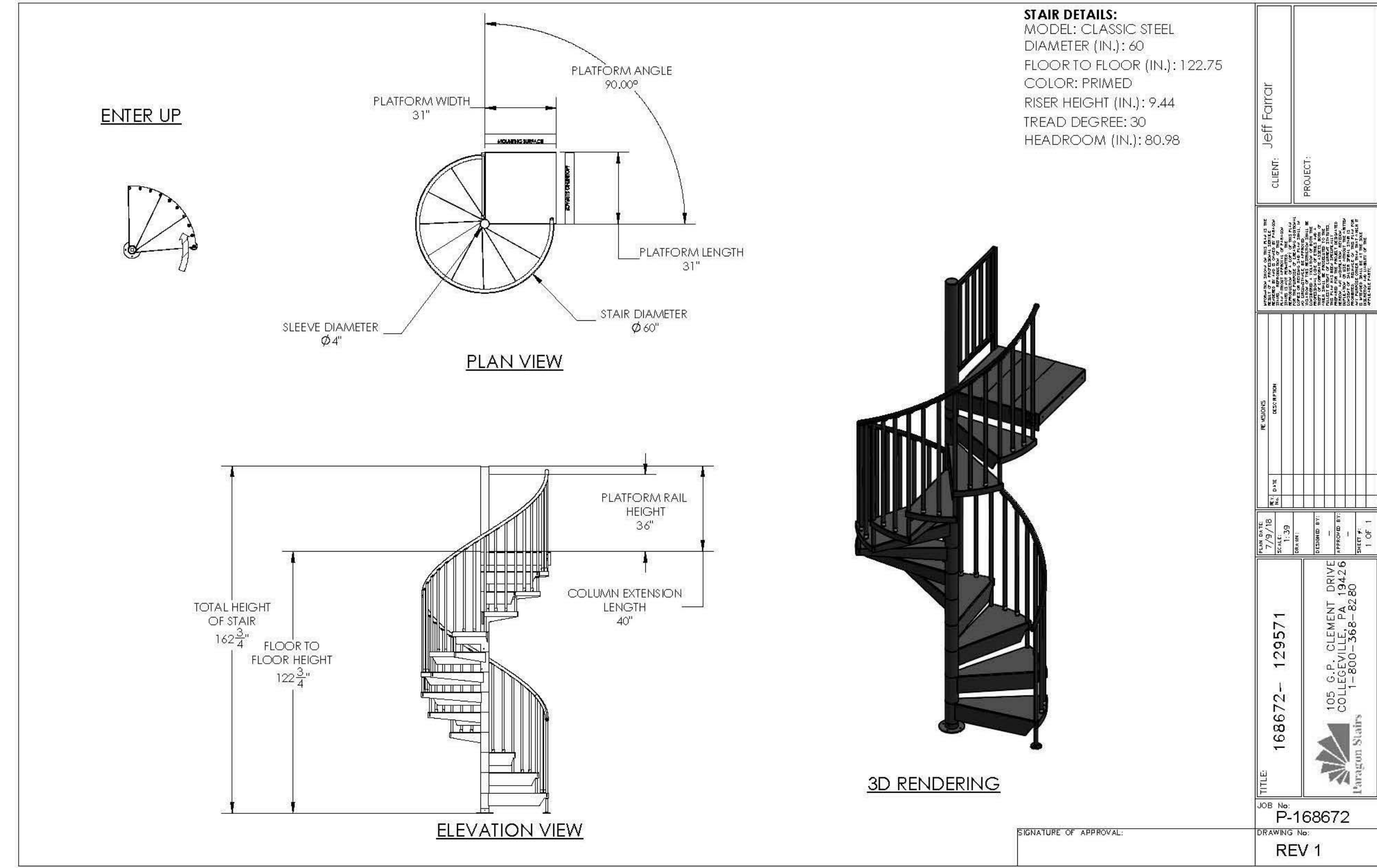


Reviewed per VA Residential Code 2012  
 Insulation and Fenestration values:  
 Walls R-15  
 Crawl R-19  
 Attic R-38  
 UMAX = 0.35



1 Cross Section  
 1/4" = 1'-0"

2 Spiral Stair Plans  
 1/2" = 1'-0"



STAIR DETAILS:  
 MODEL: CLASSIC STEEL  
 DIAMETER (IN.): 60  
 FLOOR TO FLOOR (IN.): 122.75  
 COLOR: PRIMED  
 RISER HEIGHT (IN.): 9.44  
 TREAD DEGREE: 30  
 HEADROOM (IN.): 80.98

CLIENT: Jeff Fottor	PROJECT:
<small>                 I, the undersigned, being a duly Licensed Professional Engineer in the State of Virginia, do hereby certify that I am the author of the foregoing drawings and specifications and that I am a duly Licensed Professional Engineer in the State of Virginia, No. 21973, dated 7/24/2018.             </small>	
DATE: 7/24/2018	SCALE: 1/2" = 1'-0"
TITLE: 168672- 129571	JOS. G. CLEMENT DRIVE COLLETTA-568-8280 Managion Stairs
JOB No: P-168672	SIGNATURE OF APPROVAL:
REV 1	

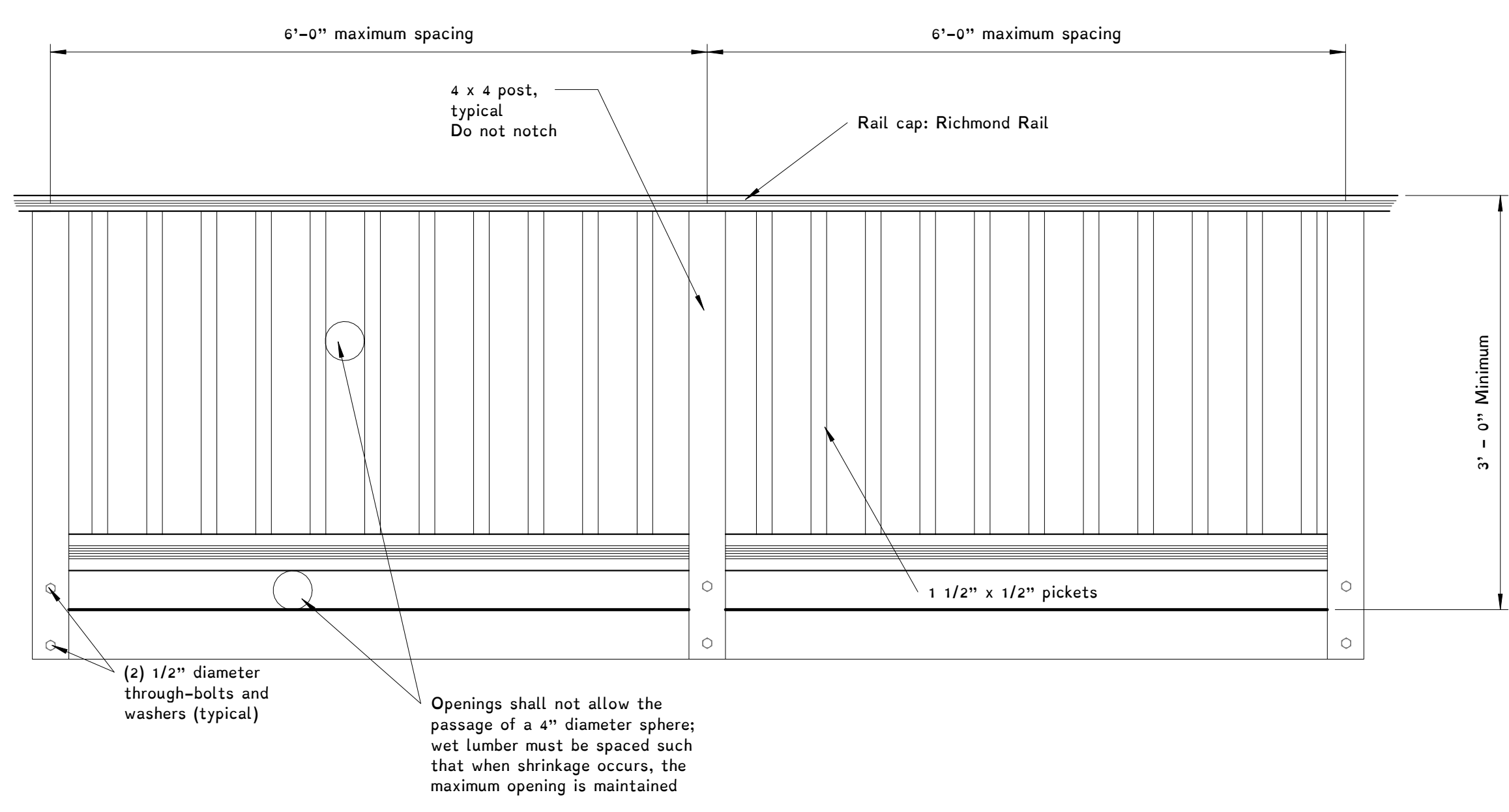
**Cross Section & Stair Plan**  
 3615 East Broad Street- New House Plans  
 Sojo Enterprises LLC  
 City of Richmond, VA



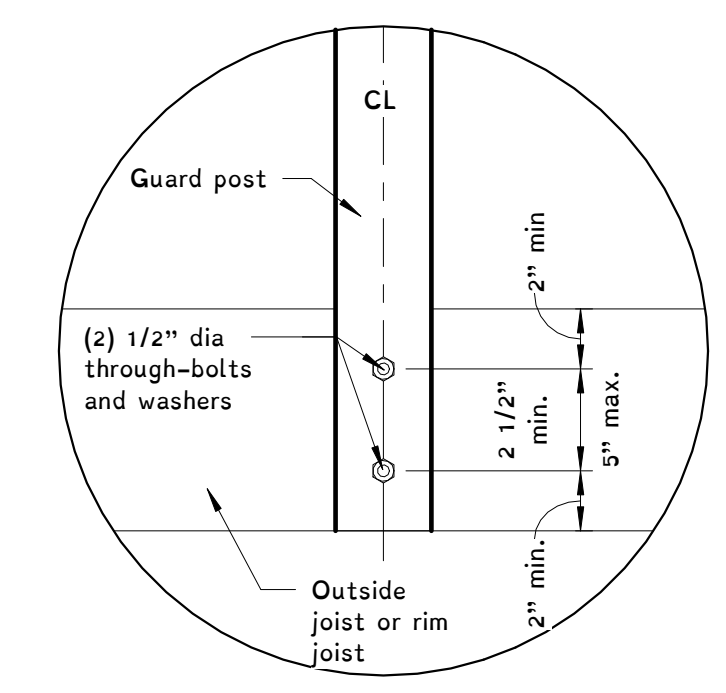
**Obsidian**  
 A Professional Engineering Practice  
 515 North 22nd Street  
 Richmond, VA 23223  
 804.647.1589

Rev.	Date	Description

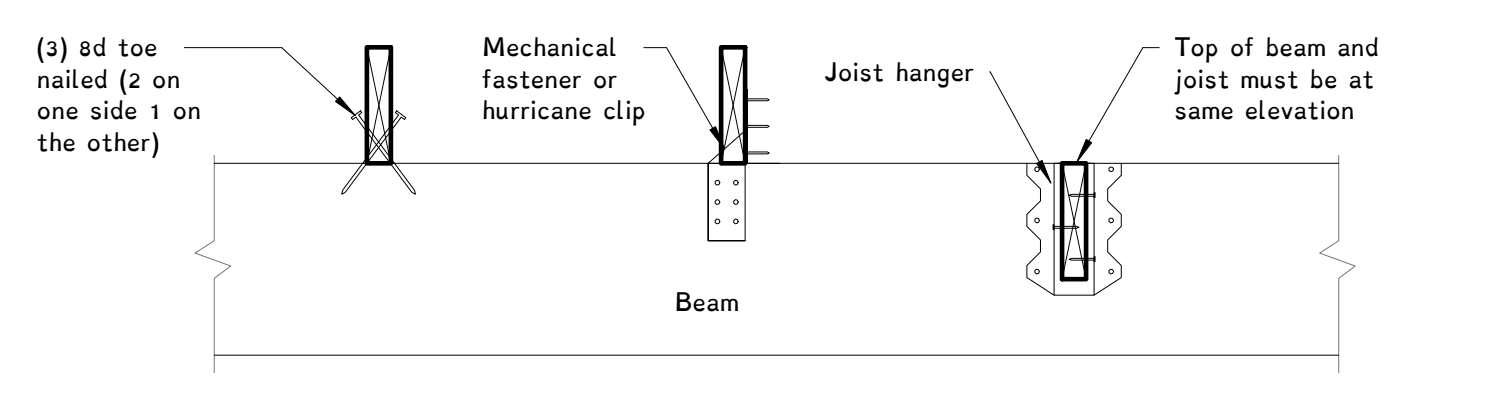




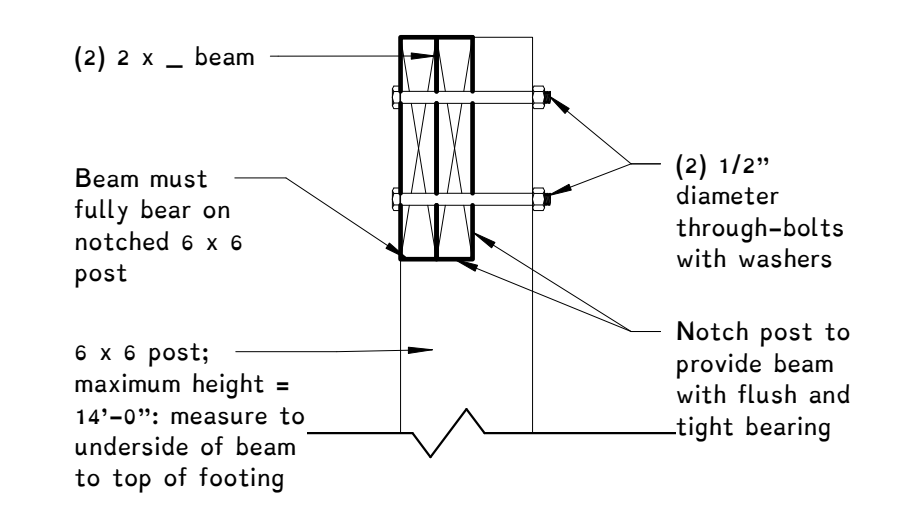
1 Richmond Rail Detail  
 1" = 1'-0"



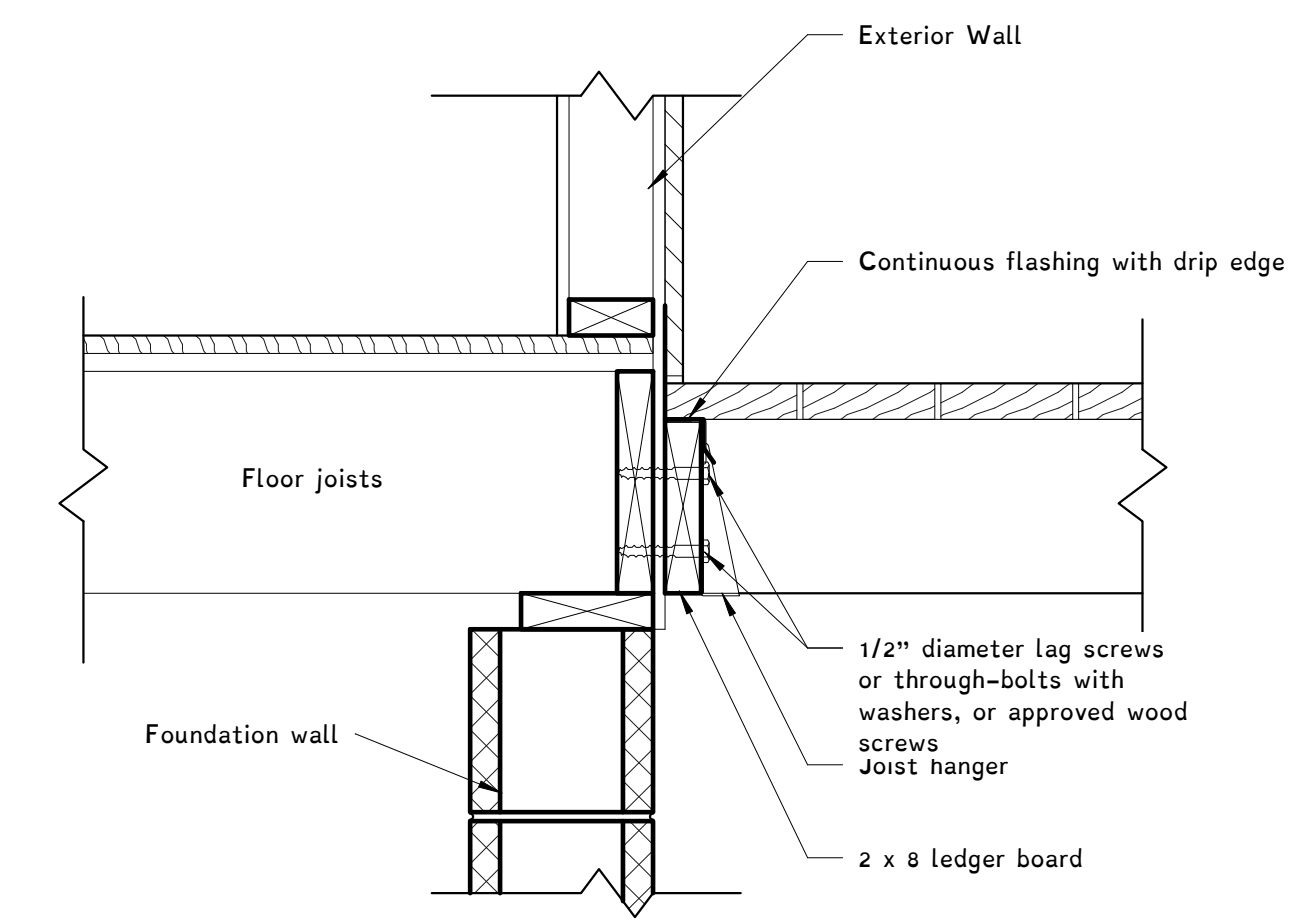
2 Guard Post Attachment  
 1 1/2" = 1'-0"



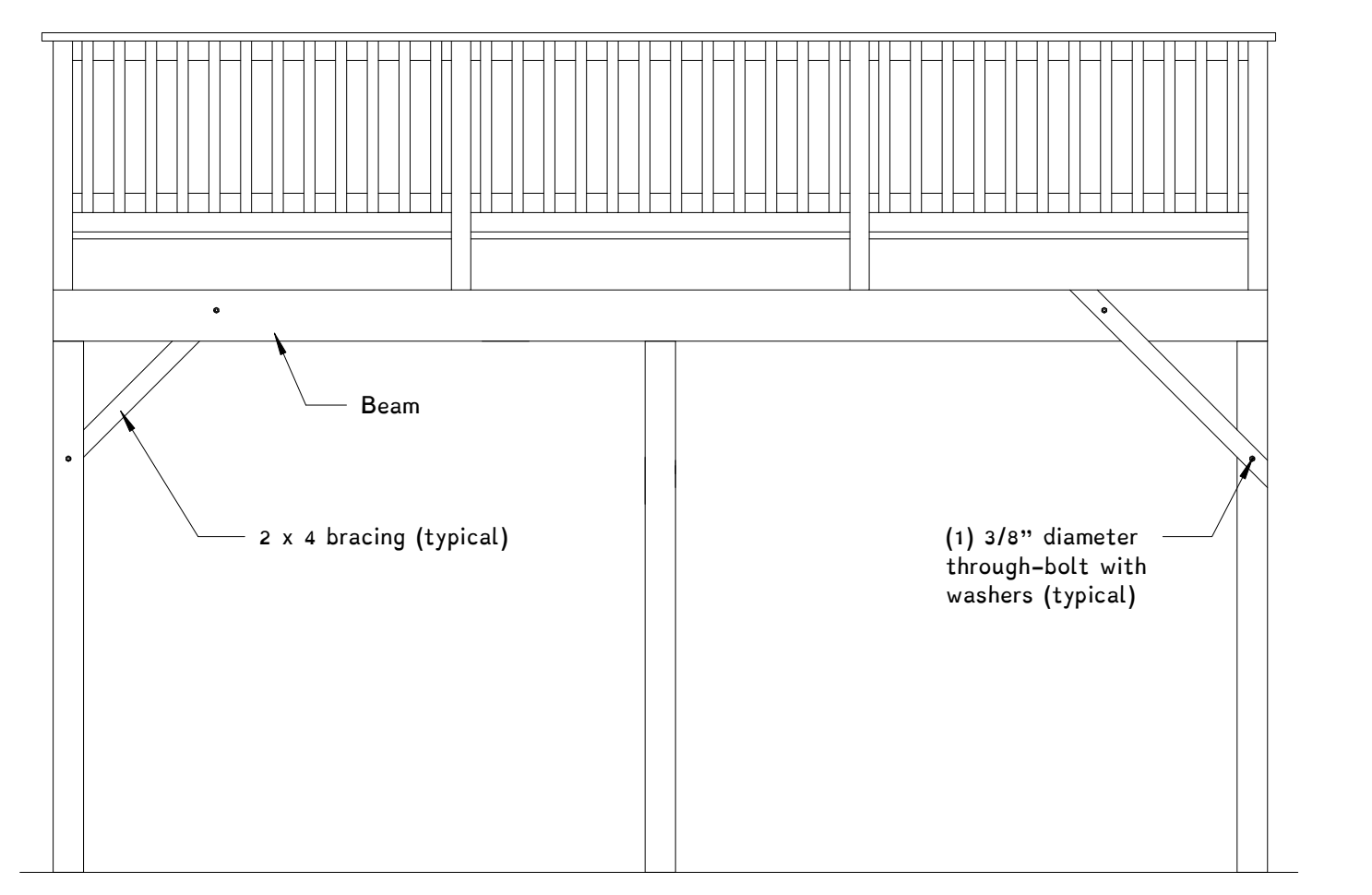
3 Joist to Beam Connection  
 1" = 1'-0"



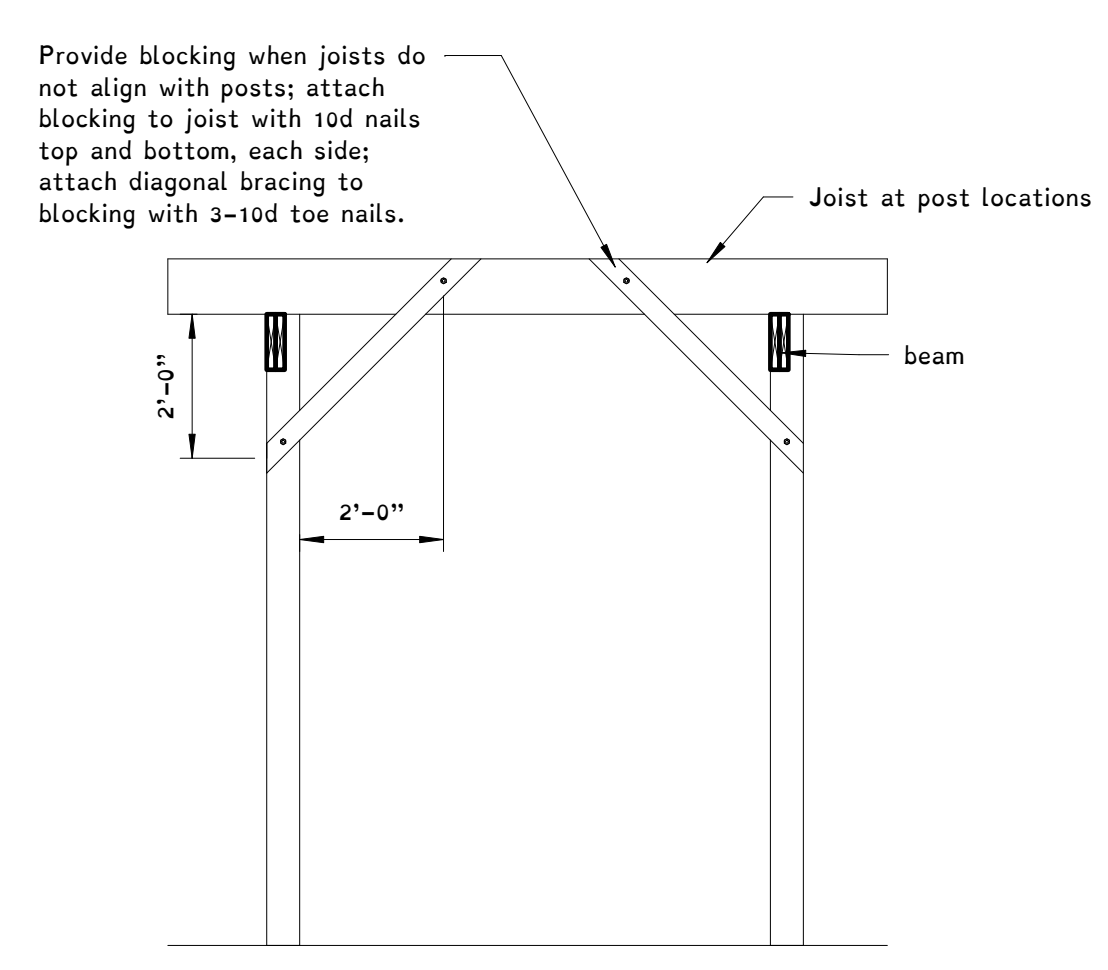
4 Post to Beam Connection Detail  
 1 1/2" = 1'-0"



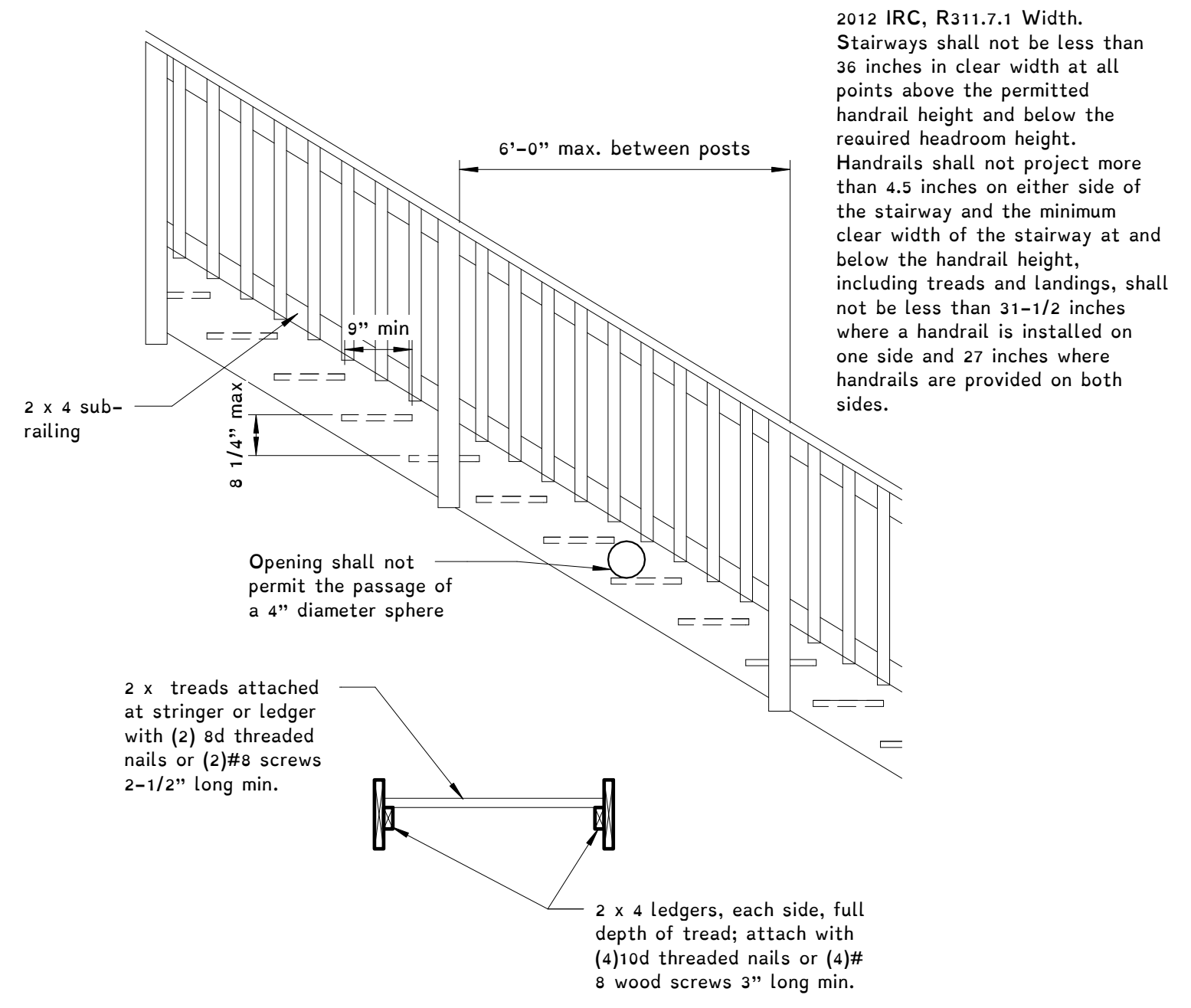
6 Ledger Attachment - deck to rim board  
 1 1/2" = 1'-0"



5 Diagonal Bracing Requirements  
 3/8" = 1'-0"



Bracing Perpendicular to



7 Stair Detail  
 1/2" = 1'-0"

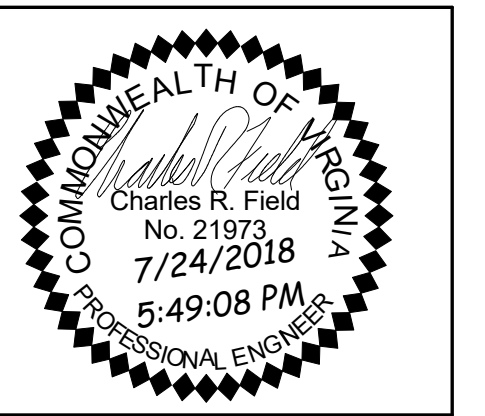
Rev.	Date	Description

**Deck Details**

**3615 East Broad Street - New House Plans**  
**Sojo Enterprises LLC**

rev. 7/24/18  
 July 13, 2018

City of Richmond, VA



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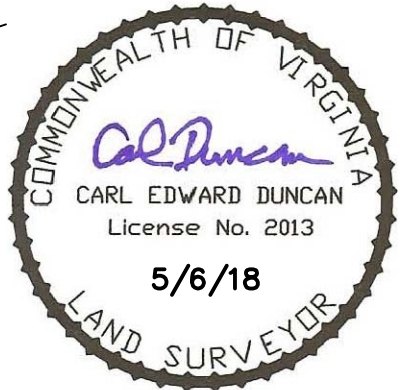
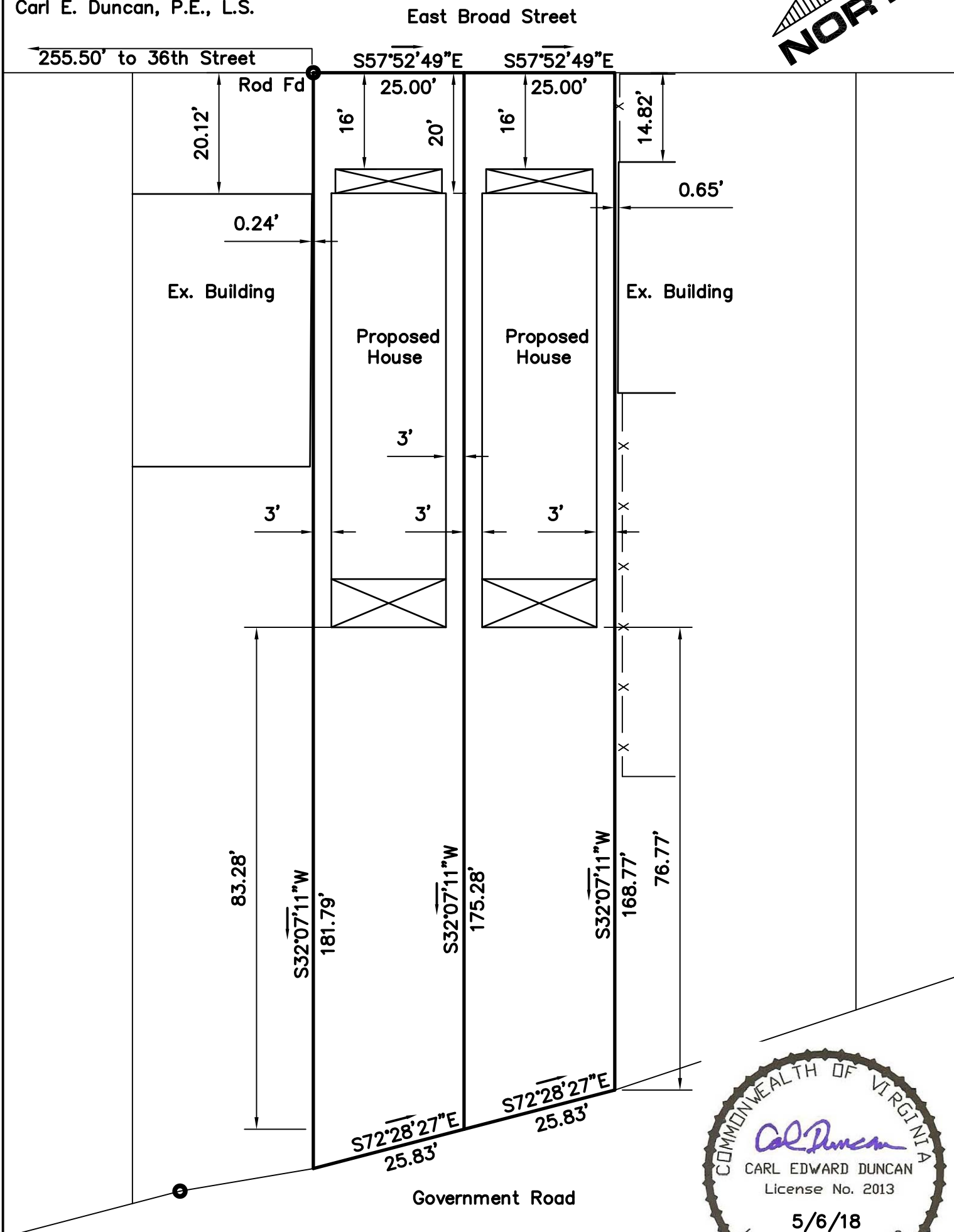
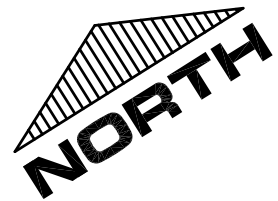


**Building Permit - Approved Construction Documents Revised**  
 Under general authority of the Building Code, this approved set of construction documents shall be kept on the job site at all times and shall not be altered without approval from the Building Official. This permit does not approve any Electrical, Mechanical or Plumbing work. This approval does not relieve the builder from complying with manufacturer instructions, Virginia Uniform Statewide Building Code and City of Richmond regulations whether noted, implied or omitted.

I hereby certify that an accurate survey of the property was made on November 15, 2017 and that any encroachments are noted hereon. This survey was made without benefit of a title report and there may be encumbrances present that are not shown.

*Carl Duncan*

Carl E. Duncan, P.E., L.S.



Plat Showing the proposed improvements to  
 E000129008 / E000129009  
 3613 & 3615 East Broad Street  
 SOJO Enterprises  
 7th District  
 City of Richmond

C. E. Duncan & Associates, Inc.  
 2609 Rocky Oak Road  
 POWHATAN, VIRGINIA 23139  
 (804) 598-8240 Fax (804) 598-9240  
 DATE: 5/6/18 SCALE: 1"=20'  
 DRAWN BY: CED JOB NO.: 17-2010





**City of Richmond**  
 Department of Planning  
 & Development Review  
 Bureau Of Permits  
 & Inspections

# BUILDING (R) PERMIT

[PDRPermitsAndInspections@Richmondgov.com](mailto:PDRPermitsAndInspections@Richmondgov.com)  
 To Request an inspection, call (804) 646-0770

**ISSUE DATE: 10/4/2018**

## BLDR-042355-2018

**SITE ADDRESS:** 3615 E Broad St  
 Richmond, VA 23223

**PARCEL NUMBER:** E0001290009

**PERMIT DESCRIPTION:** Construct new single family detached dwelling.

OCCUPANCY LOAD/FLOOR:

TYPE OF IMPROVEMENT: New

USE GROUP:

INSPECTOR NAME: David Alley

INSPECTOR EMAIL ADDRESS: David.Alley@richmondgov.com

COST OF WORK: \$195,000.00

CONSTRUCTION TYPE:

INSPECTOR PHONE: 804-513-6939

**PERMIT CONTACT INFORMATION**

OWNER NAME: Sojo Enterprises Llc

OWNER PHONE: 8043045520

CONTRACTOR NAME: Jeff Farrar

CONTRACTOR PHONE: 8043045520

CONTRACTOR LICENSE NUMBER: 2705140219

**FEE INFORMATION**

Permit Fee	\$1,049.32	Plan Review	\$123.46
Administrative Handling	\$61.73	State Levy	\$24.90

**TOTAL FEES** \$1,259.41

**SPECIAL TERMS AND CONDITIONS**



BUILDING: NEW DETACHED SFD HOME

BUILDING: NEW DETACHED SFD HOME PER ATTACHED PLANS.\*\*\* PROVIDE MANUFACTURER LOAD SPECS OR ENGINEER SEALED DESIGNS FOR ENGINEERED STRUCTURAL MEMBERS AND ENGINEER SEALED TRUSS DRAWINGS FOR ALL TRUSSES TO INSPECTOR IN FIELD. ALSO PROVIDE SEALED SOIL REPORT TO INSPECTOR

Plans are in substantial compliance with 5/22/2018 CAR approval. The fiber cement siding must be smooth and unbeaded; paint colors be submitted to staff for administrative approval; the windows be aluminum clad wood; and the roofline be raised to create a space above the second story façade windows that is proportionately similar to adjacent structures, the design to be administratively approved. Rear railings will not be visible from the public right of way.

ZONING: Single family dwelling – Construct new single-family detached (2,600 SF) dwelling as per submitted plans. Side yard 3' required; 3' proposed. Front yard 14' required; 14' proposed. No off-street parking required (Sec. 30-710.2:2). As-built survey required for zoning final inspection prior to final C.O. issuance.

DPW/RW:

On-Street parking; No driveway permit required.

WISP may be required where sewer connection is in public right-of-way or easement.


WATER RESOURCES: Land disturbing may not exceed 2,500 square feet in ChesBay RMA. Land disturbance outside the limits as shown on the plan will result in a stop work order. Maintain adequate E&S measures during construction.

**MECHANICS LIEN AGENT INFORMATION**

NAME: None Designated

ADDRESS: Per §108.5 - 2015 VA Construction Code

PHONE:



**A. R. Abbasi**  
**Commissioner of Buildings**  
**Approved By:**