



COMMISSION OF ARCHITECTURAL REVIEW

APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

PROPERTY (location of work)

Address 2018 E. Broad and 304 N. 21st Streets
Historic district Shockoe Valley Old and Historic District

Date/time rec'd: _____
Rec'd by: _____
Application #: _____
Hearing date: _____

APPLICANT INFORMATION

Check if Billing Contact

Name Zachery R. Frederick
Company Crescent Development
Mailing Address 2601 W. Broad Street, Suite 201 Richmond, VA 23220

Phone 804-519-3425
Email zac@crescent-development.com

Applicant Type: Owner Agent
 Lessee Architect Contractor
 Other (please specify):

OWNER INFORMATION (if different from above)

Check if Billing Contact

Name _____
Mailing Address _____

Company _____
Phone _____
Email _____

PROJECT INFORMATION

Project Type: Alteration Demolition New Construction
(Conceptual Review Required)

Project Description: (attach additional sheets if needed)

This request for a Certificate of Appropriateness addresses the rehabilitation of an existing historic garage and the construction of 8 new town houses on site. The application also includes information regarding demolition previously approved by the Commission in May of 2018. See enclosed narrative, project drawings, and photographs.

ACKNOWLEDGEMENT OF RESPONSIBILITY

Compliance: If granted, you agree to comply with all conditions of the certificate of appropriateness (COA). Revisions to approved work require staff review and may require a new application and approval from the Commission of Architectural Review (CAR). Failure to comply with the conditions of the COA may result in project delays or legal action. The COA is valid for one (1) year and may be extended for an additional year, upon written request and payment of associated fee.

Requirements: A complete application includes all applicable information requested on checklists available on the CAR website to provide a complete and accurate description of existing and proposed conditions, as well as payment of the application fee. Applicants proposing major new construction, including additions, should meet with Staff to review the application and requirements prior to submitting an application. Owner contact information and signature is required. Late or incomplete applications will not be considered.

Zoning Requirements: Prior to Commission review, it is the responsibility of the applicant to determine if zoning approval is required and application materials should be prepared in compliance with zoning.

Signature of Owner Zachery R. Frederick

Date 8/11/2020



CERTIFICATE OF APPROPRIATENESS

ALTERATION AND ADDITION CHECKLIST

Well in advance of the COA application deadline contact staff to discuss your project, and if necessary, to make an appointment to meet with staff for a project consultation.

Complete all applicable sections and submit with the COA application form. Staff can assist you in determining what items are required for your scope of work. An incomplete application may cause delays in processing or may be deferred to the next agenda. Application materials must clearly represent current and proposed conditions. Refer to Standards for Rehabilitation outlined in Section 30.930.7(b) of the City Code, as well as, the *Richmond Old and Historic Districts Handbook and Design Review Guidelines*.

PROPERTY ADDRESS: 2018 East Broad Street

BUILDING TYPE

- single-family residence
- multi-family residence
- commercial building
- mixed use building
- institutional building
- garage
- accessory structure
- other

ALTERATION TYPE

- addition
- foundation
- wall siding or cladding
- windows or doors
- porch or balcony
- roof
- awning or canopy
- commercial sign
- ramp or lift
- other

WRITTEN DESCRIPTION

- property description, current conditions and any prior alterations or additions
- proposed work: plans to change any exterior features, and/or addition description
- current building material conditions and originality of any materials proposed to be repaired or replaced
- proposed new material description: attach specification sheets if necessary

PHOTOGRAPHS place on 8 ½ x 11 page, label photos with description and location (refer to photograph guidelines)

- elevations of all sides
- detail photos of exterior elements subject to proposed work
- historical photos as evidence for restoration work

DRAWINGS (refer to required drawing guidelines)

- current site plan
- proposed site plan
- current floor plans
- proposed floor plans
- legal "plat of survey"
- list of current windows and doors
- list of proposed window and door
- current roof plan
- proposed roof plan
- current elevations (all sides)
- proposed elevations (all sides)
- demolition plan
- perspective and/or line of sight



CERTIFICATE OF APPROPRIATENESS

NEW CONSTRUCTION CHECKLIST

Well in advance of the COA application deadline contact staff to discuss your project, and if necessary, to make an appointment to meet with staff for a project consultation in the office or on site.

Complete all applicable sections and submit with the COA application form. Staff can assist you in determining what items are required for your scope of work. An incomplete application may cause delays in processing or may be deferred to the next agenda. Application materials must clearly represent current and proposed conditions. Refer to Standards for New Construction outlined in Section 30.930.7(c) of the City Code, as well as, the *Richmond Old and Historic Districts Handbook and Design Review Guidelines*.

PROPERTY ADDRESS: 304 N. 21st Street

NEW BUILDING TYPE

- single-family residence
- multi-family residence
- commercial building
- mixed use building
- institutional building
- garage
- accessory structure
- other

DRAWINGS (refer to required drawing guidelines)

- floor plans
- elevations (all sides)
- roof plan
- list of windows and doors, including size, material, design
- context drawing showing adjacent buildings
- perspective
- site plan
- legal plat of survey

WRITTEN DESCRIPTION

- describe new structure including levels, foundation, siding, windows, doors, roof and details
- state how the *Richmond Old and Historic Districts Handbook and Design Review Guidelines* informed the proposed work, site specific pages and sections of the *Guidelines* that apply
- material description; attach specification sheets if necessary

PHOTOGRAPHS place on 8 ½ x 11 page, label photos with description and location (refer to photograph guidelines)

- site as seen from street, from front and corners, include neighboring properties

Application for a Certificate of Appropriateness 2018 East Broad Street and 304 N. 21st Street

The three parcels comprising the property under review are located at the corner of North 21st and East Broad Streets in the Shockoe Valley Old and Historic District. The property includes a historic garage constructed in 1925, paved parking, and an empty lot to the east of the garage. The Commission of Architectural Review provided conceptual review of plans for infill at the property during the October 27, 2020, and December 15, 2020, Commission meetings. City staff provided additional feedback at a meeting in January. The application for a Certificate of Appropriateness responds to Commission and staff comments.

Rehabilitation of Existing Garage

The existing historic garage building operated continuously as a service station until it became vacant in recent years. The building's primary elevation faces Broad Street and is defined by a stepped parapet at the gable end. A non-contributing addition projects from the front of the building. The addition covers an infilled historic opening. The side elevations have steel multilight windows. The west elevation faces an empty lot owned by the adjacent church. The east elevation includes a small, brick boiler room and open shed. The rear elevation faces an alley, and includes a non-historic, roll-up metal door. Historic skylight openings in the gable roof have been infilled.

The historic garage will be rehabilitated for use as condominiums and commercial space.

Proposed work to the building includes:

- Demolition of the non-contributing front addition, side boiler room, and shed. This work was previously approved by the Commission at their May 22, 2018, meeting. The demolition will uncover the front of the historic garage building and allow automobile traffic to exit the site at the alley.
- Replacing the non-historic, roll-up garage door at the façade with a new gridded, aluminum and glass door to fit the existing opening.
- Removing infill from a historic opening at the façade and installing a storefront entry. This entrance will be defined by a simple metal canopy similar to one at the American Tobacco building (see photo reference on sheet S1)
- Changing a door opening to a simple window opening at the front elevation. The door opening was previously obscured by the non-historic addition. This opening does not appear to be original to the historic garage building.
- Preserving and repairing the historic steel windows in kind.
- Installing new, paired doors along the east elevation to provide access to a shared trash and recycling room for the entire complex.
- Installing a new window opening at the rear of the east elevation. The new window will be differentiated from the historic, but remain compatible with the character of the building.
- Replacing the non-historic, roll-up garage door at the alley elevation with new gridded storefront that echoes the pattern of a garage door.

- Removing masonry infill from an earlier opening at the alley elevation and installing storefront and a new egress door. The opening will be raised slightly in order to meet egress requirements.
- Restoring skylights in the four historic openings. Additional new skylights are proposed, and those have been differentiated in size.
- In-kind repairs to historic masonry. Previously painted masonry will be repainted. Unpainted masonry will remain unpainted.
- Replacing roof shingles in kind. Repairing or replacing deteriorated coping in kind.

The proposed adaptive reuse of the building respects the character of the historic garage, focuses on the preservation of character-defining features, restores previously infilled historic openings, and removed non-historic infill. Minor changes to the building are compatible and contemporary.

Proposed Infill

The applicant proposes to construct eight new three-story town homes on the vacant portion of the site. Previously conceptual review applications established historic precedent for buildings along 21st Street and at the corner of 21st and Broad Streets. The design of the buildings is contemporary, and the massing, materials, height and form of the infill is compatible with existing buildings in the district (*Guidelines* page 47). It respects the transitional nature of the site and unites the residential character of the houses to the east with the industrial, larger-scale nature of the warehouses to the south and west.

The proposed building form and siting was guided by:

- The desire to maintain views of the historic garage building from Broad Street
- The historic precedent for buildings with no setback facing 21st Street
- The significant change in grade between the 21st Street sidewalk and the parcel
- The height and massing of existing dwellings on 21st Street
- A desire to provide parking for each new units and conceal it within the building

The applicant made the following changes to the proposed development in response to Commission and staff comments:

- The total number of new units has been reduced from 10 to 8. This breaks up the massing of the infill, separates the Broad Street-facing units from the 21st Street-facing units, and creates additional green space on site.
- The design has been adjusted to prevent the upper story from reading too top heavy.
- The front balconies have been eliminated and replaced with rear balconies.
- Horizontal windows at the front of each unit have been replaced with simple one-over-one windows more consistent with the fenestration patterns of single family dwellings in the immediate area.
- The front entrances are more defined, and take their cues from historic houses in the area that have recessed entries (see enclosed photos 10-12).

- The design elements of the Broad Street-facing units wrap the sides of the building. Massing and fenestration patterns follow the principals of the primary elevation (*Guidelines* page 48).

The enclosed site plan and elevation drawing shows the relationship of the proposed infill to the existing houses on 21st Street. While the siting is not set back from the sidewalk like the existing single-family houses on 21st Street (*Guidelines* page 46), it is sited appropriately based on historic Sanborn map evidence showing buildings at this location having no setback.

The primary elevations of each unit will be masonry with some fiber cement panels at the projecting bays. The upper story of the side and rear elevation will have smooth, fiber cement lap siding. Balconies will have metal guardrails. Parapets will help screen rooftop mechanical units. Materials and colors are visually compatible with materials used throughout the district (*Guidelines* page 47).

Proposed Site Work

- One of the large curb cuts at Broad Street will be eliminated. The Brick sidewalk will be restored in this location.
- New tree wells will be added to the public sidewalk on Broad Street.
- The existing stamped asphalt that defines one curb cut will be extended slightly.
- Portions of the existing parking lot will be retained for parking. The parking lot will be repaved and striped. A paved drive aisle will be established, allowing cars to exit the site at the alley.
- Curbs will be added to protect and define the green space surrounding the Broad Street units.
- A 30” parking screen will be added along the sidewalk. The fence will have metal panels (see design intent photo on the site plan) that will partially screen parking without creating an impenetrable street wall that blocks views to the historic garage building.
- The billboard will be eliminated from the site.
- The chain-link fence at 21st Street will be removed.

Please note: the applicant is no longer pursuing State tax credits for the rehabilitation of the existing historic garage building.

2018 E. Broad and 304 N. 21st Street
COA application - February 2021
Site and context photographs



1. Historic garage at 21st and Broad



1a. Site context (Google Street View)

2018 E. Broad and 304 N. 21st Street
COA application - February 2021
Site and context photographs



1b. Site context (Google Street View)



2. West side of historic garage

2018 E. Broad and 304 N. 21st Street
COA application - February 2021
Site and context photographs



3. East side of garage facing 21st Street



3a. East Elevation and Alley Elevation

2018 E. Broad and 304 N. 21st Street
COA application - February 2021
Site and context photographs



4. Alley separating garage property and new residential infill at 308 N. 21st



5. View to parcel from front parking lot

2018 E. Broad and 304 N. 21st Street
COA application - February 2021
Site and context photographs



6. Portion of parcel proposed for infill



7. Grade drop between sidewalk and property.

2018 E. Broad and 304 N. 21st Street
COA application - February 2021
Site and context photographs



8. Existing houses on south side of 21st Street



9. Context at 22nd and Broad

2018 E. Broad and 304 N. 21st Street
COA application - February 2021
Site and context photographs



10. Recess entries along the 300 block N 22nd

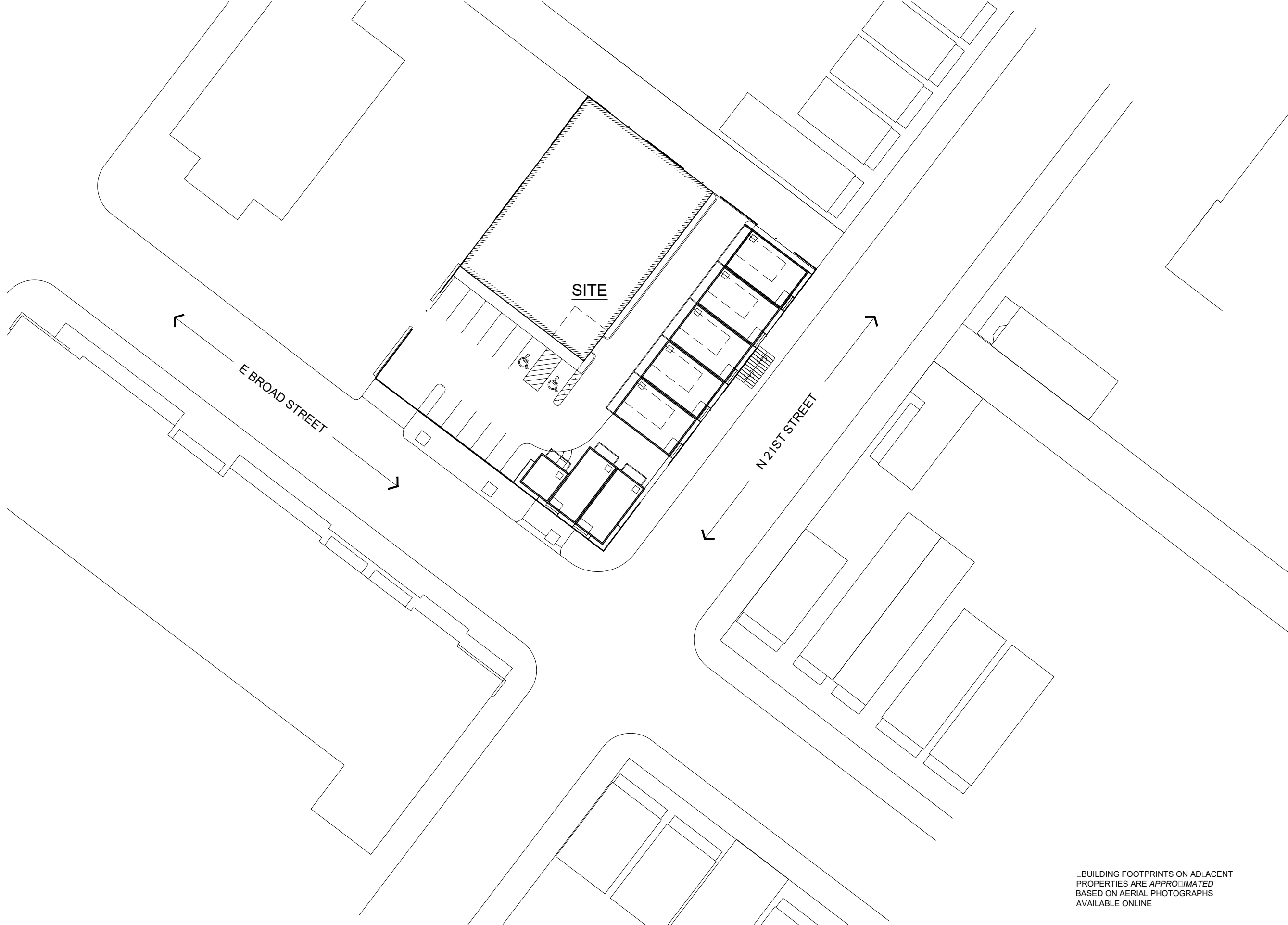


11. Recessed entry, 2100 block E Broad

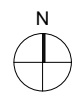
2018 E. Broad and 304 N. 21st Street
COA application - February 2021
Site and context photographs



12. Recessed entry, East Marshall



□ BUILDING FOOTPRINTS ON ADJACENT
 PROPERTIES ARE APPROXIMATED
 BASED ON AERIAL PHOTOGRAPHS
 AVAILABLE ONLINE



CONTEXTUAL SITE PLAN

1" = 40'-0"

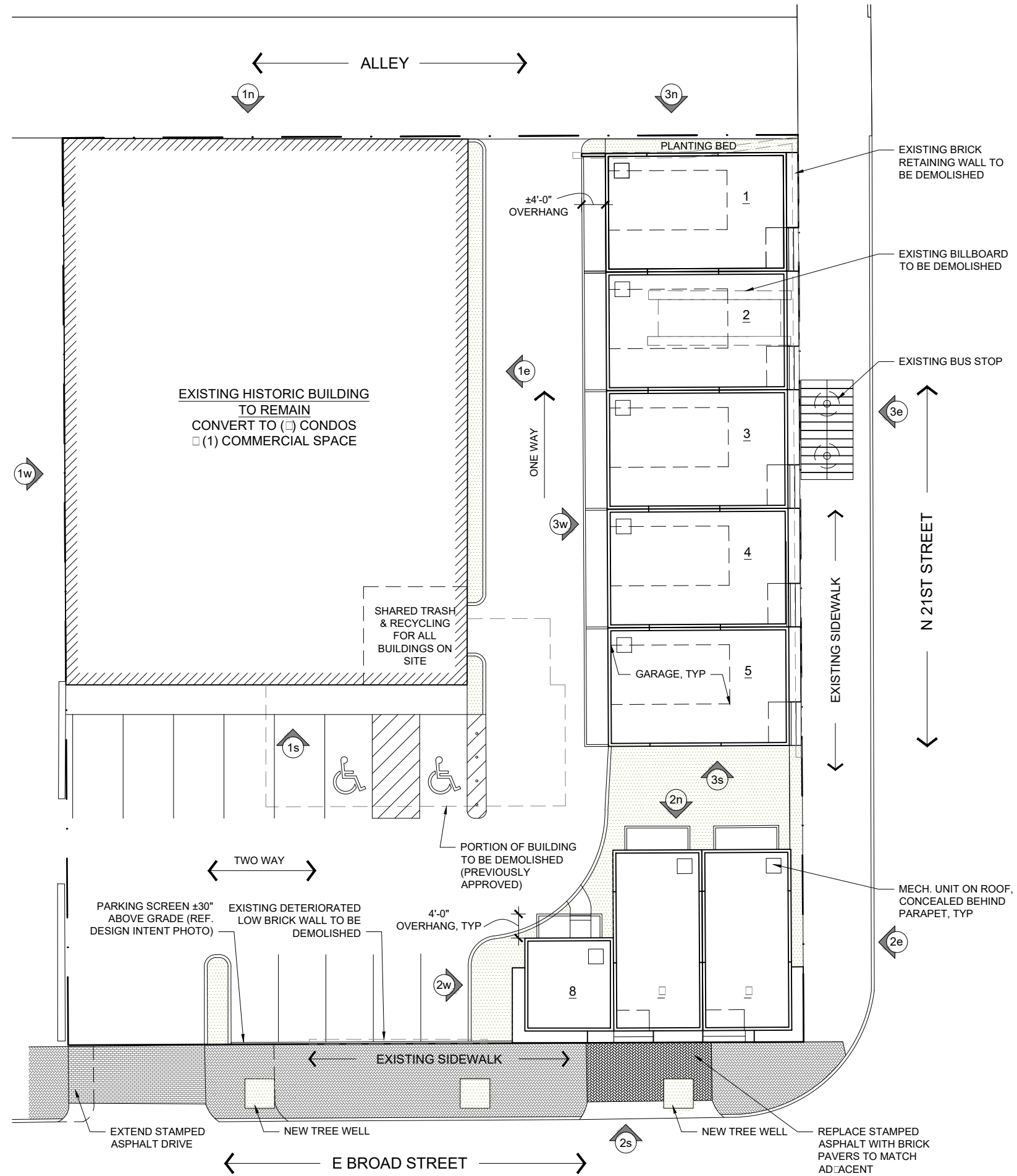
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N 21ST & E BROAD | CRESCENT DEVELOPMENT





DESIGN INTENT - PARKING SCREEN

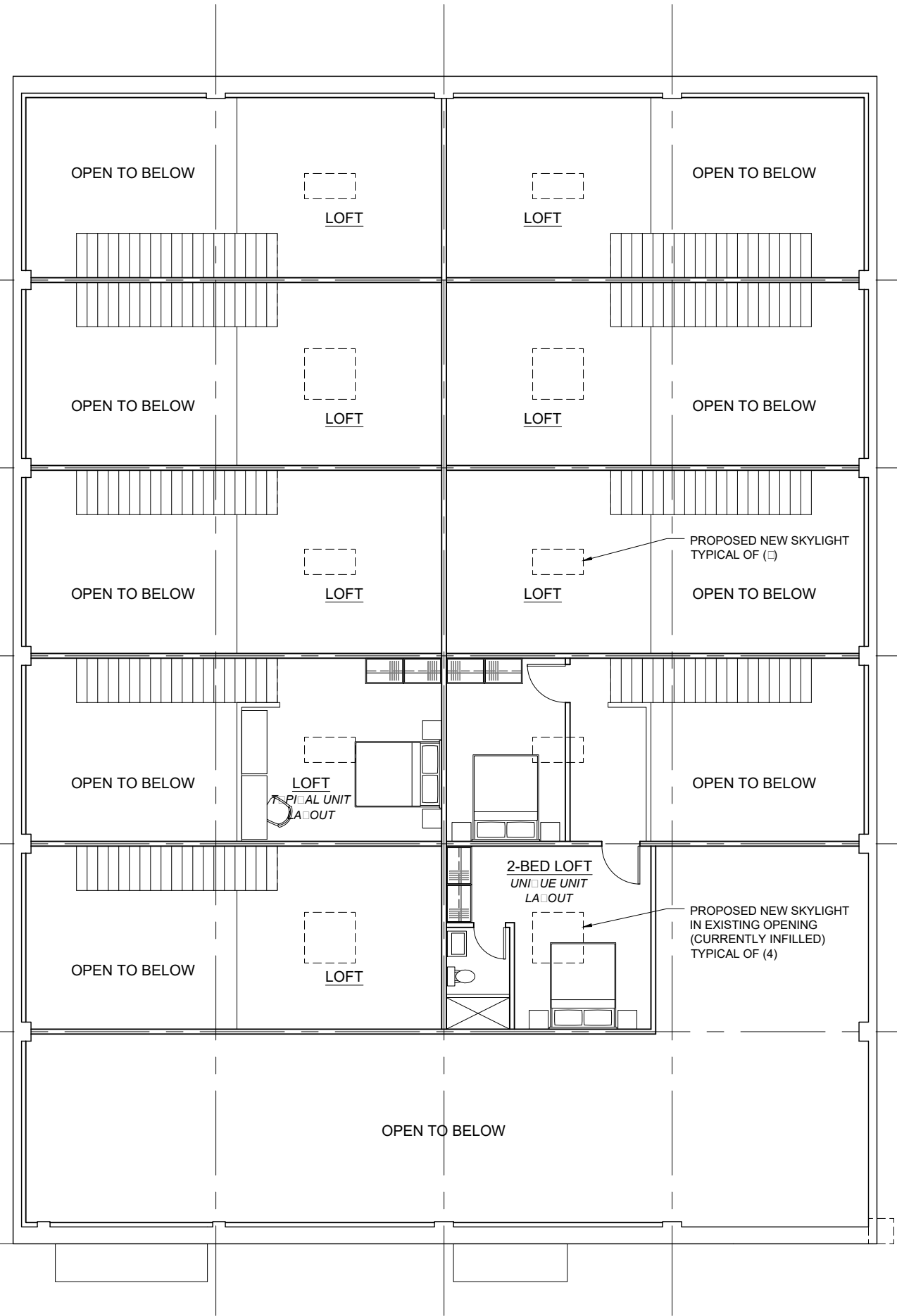


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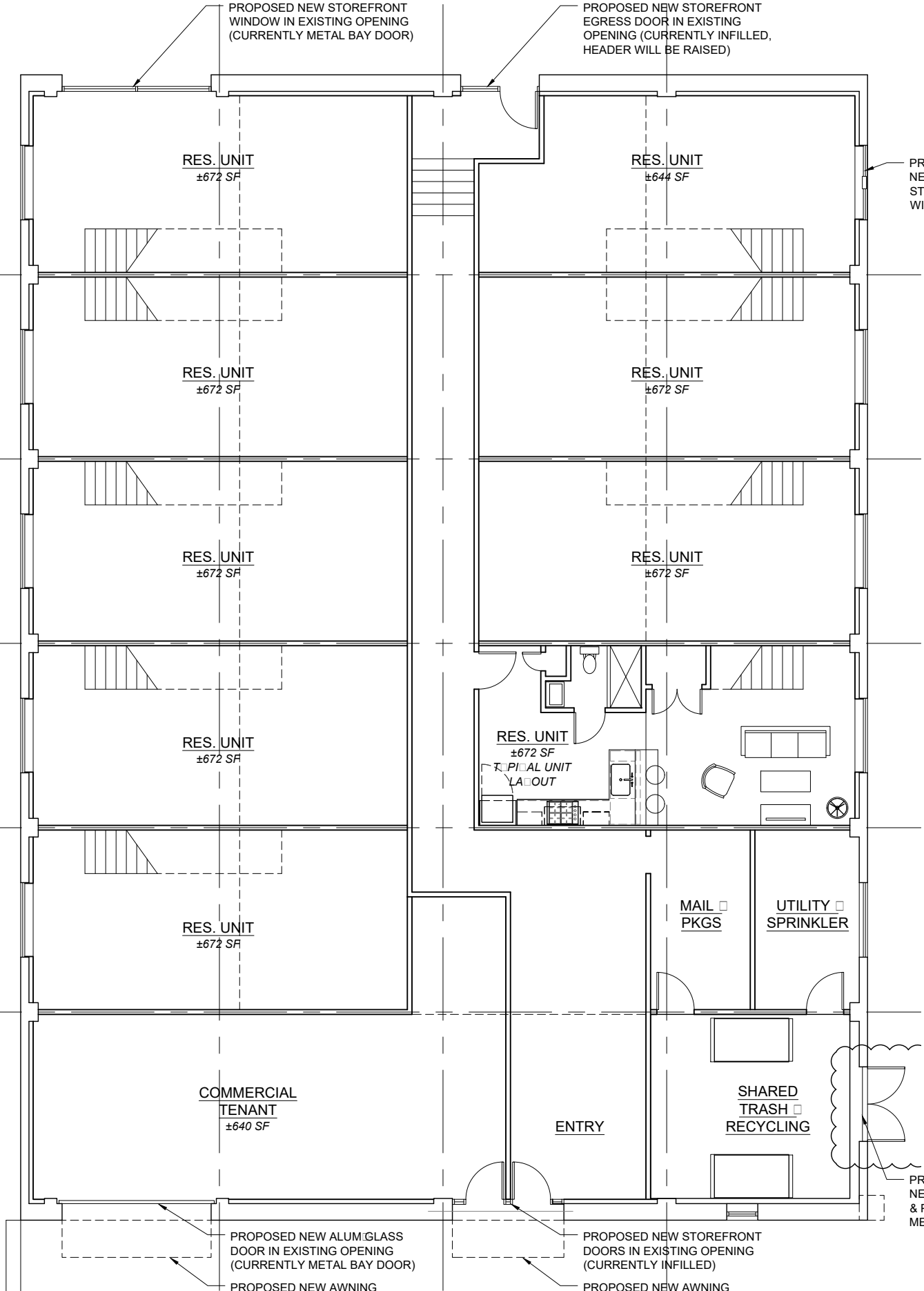


3/32" = 1'-0"

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LEVEL 2



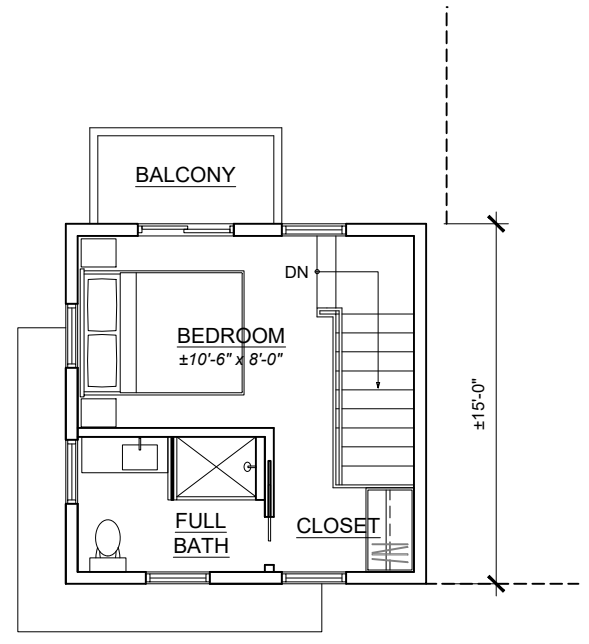
LEVEL 1

PROPOSED NEW STOREFRONT WINDOWS

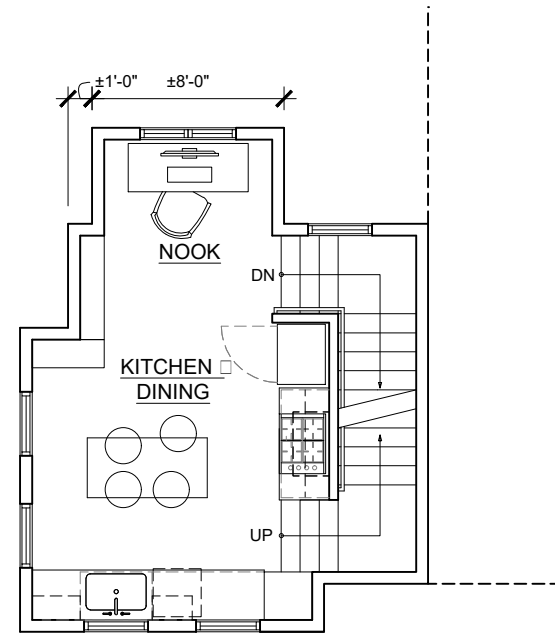
PROPOSED NEW OPENING & PAINTED METAL DOORS

PROPOSED NEW ALUM. GLASS DOOR IN EXISTING OPENING (CURRENTLY METAL BAY DOOR)
PROPOSED NEW AWNING

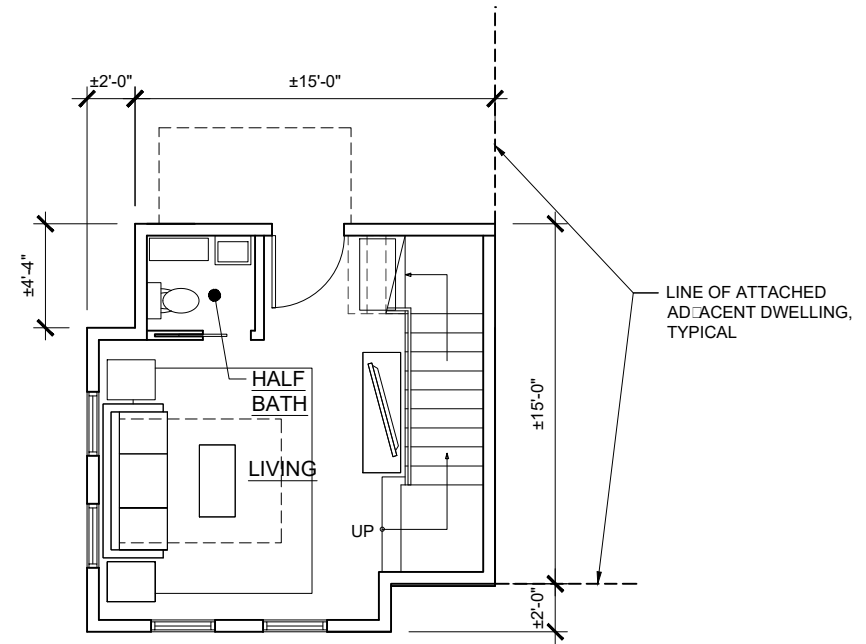
PROPOSED NEW STOREFRONT DOORS IN EXISTING OPENING (CURRENTLY INFILLED)
PROPOSED NEW AWNING



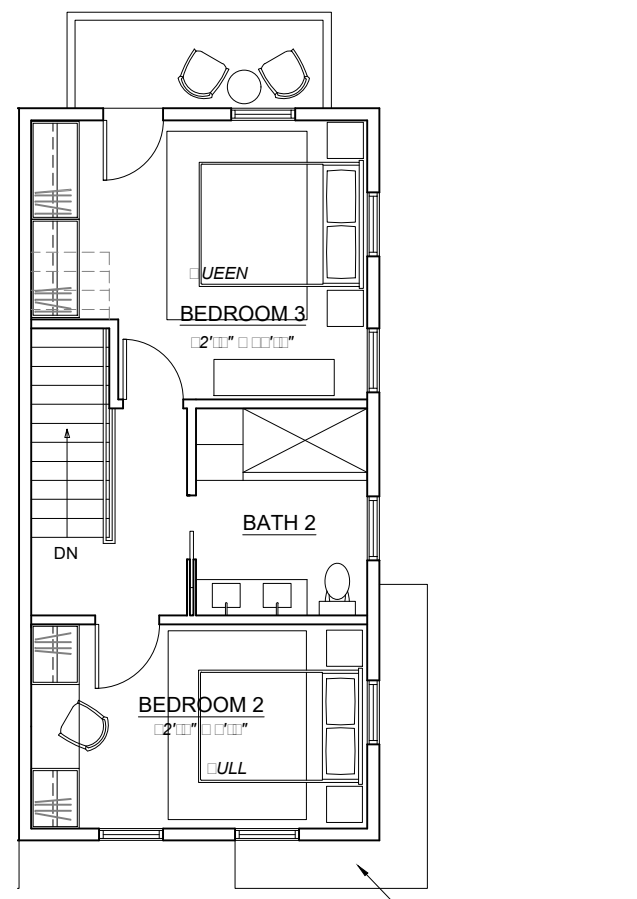
LEVEL 3
UNIT □
±225 sf + balcony



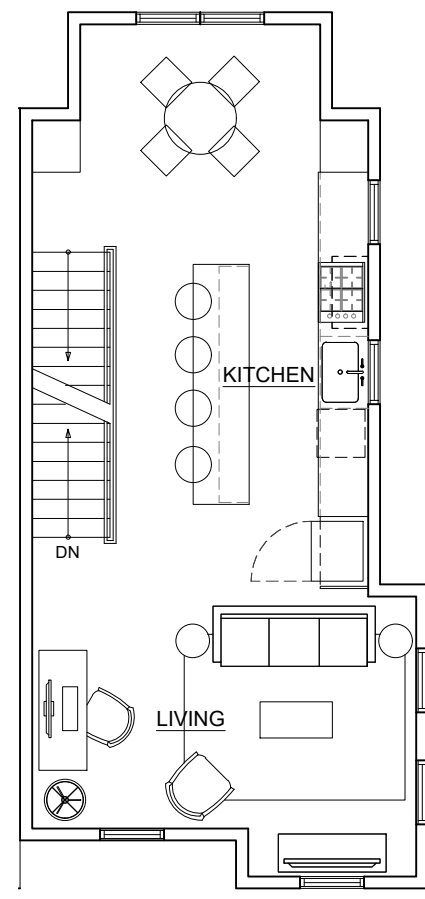
LEVEL 2
UNIT □
±304 sf



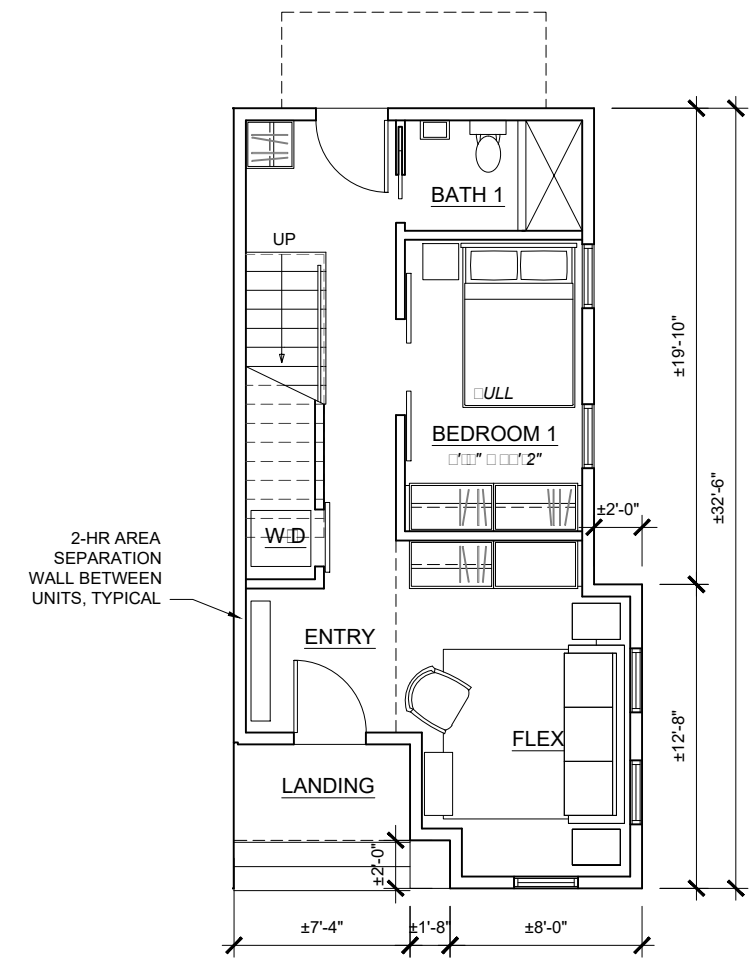
LEVEL 1
UNIT □
±272 sf



LEVEL 3
UNIT □ □ SIMILAR □
±458 sf

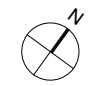


LEVEL 2
UNIT □ □ SIMILAR □
±495 sf

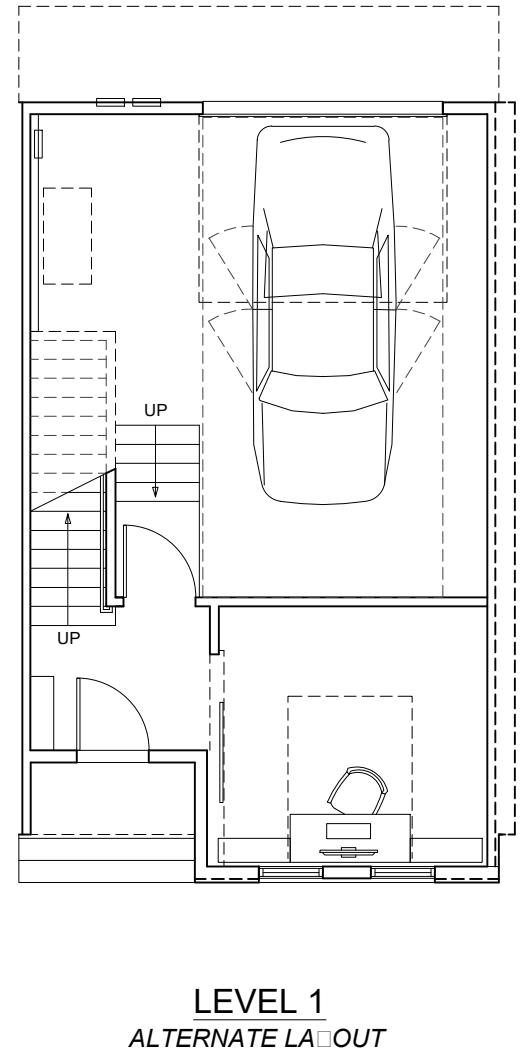
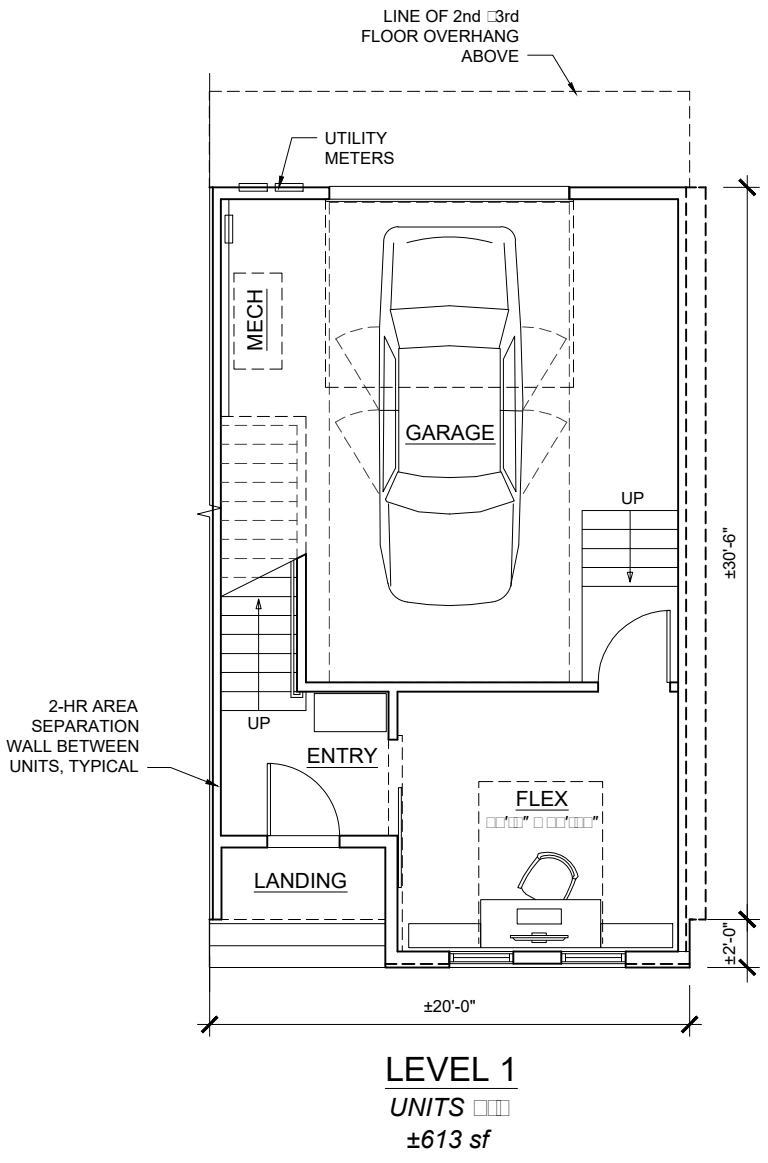
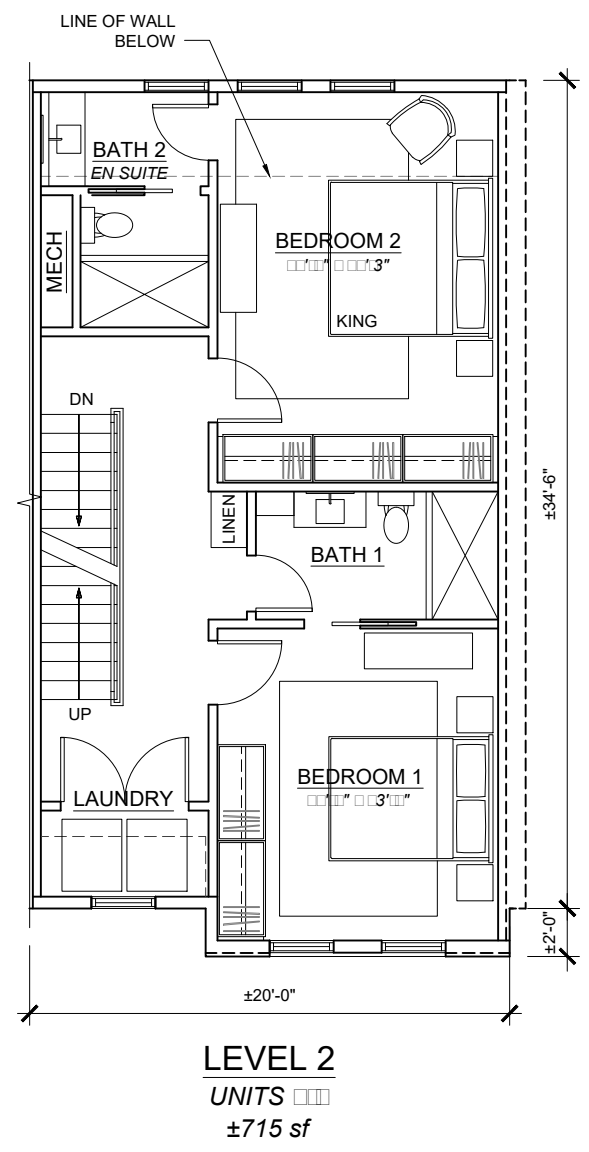
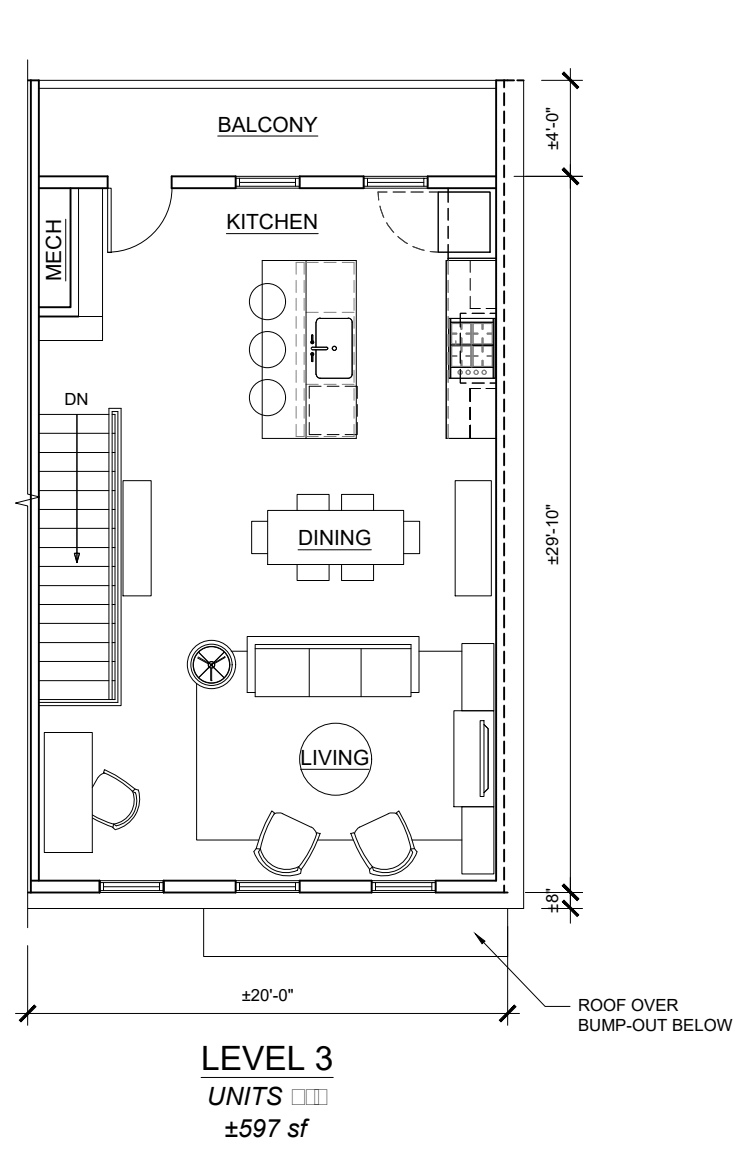


LEVEL 1
UNIT □ □ SIMILAR □
±466 sf

← E BROAD STREET →



1/8" = 1'-0"



← N 21st STREET →





EXAMPLE STOREFRONT DOOR



PRECEDENT - METAL AWNING AMERICAN TOBACCO BUILDING

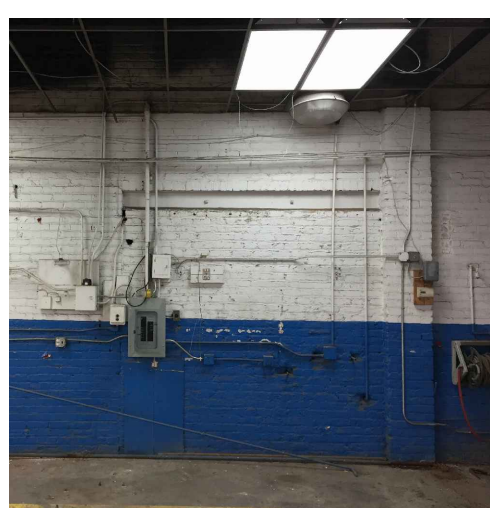


PHOTO S2

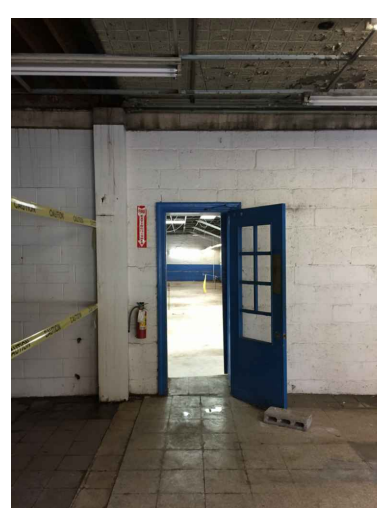
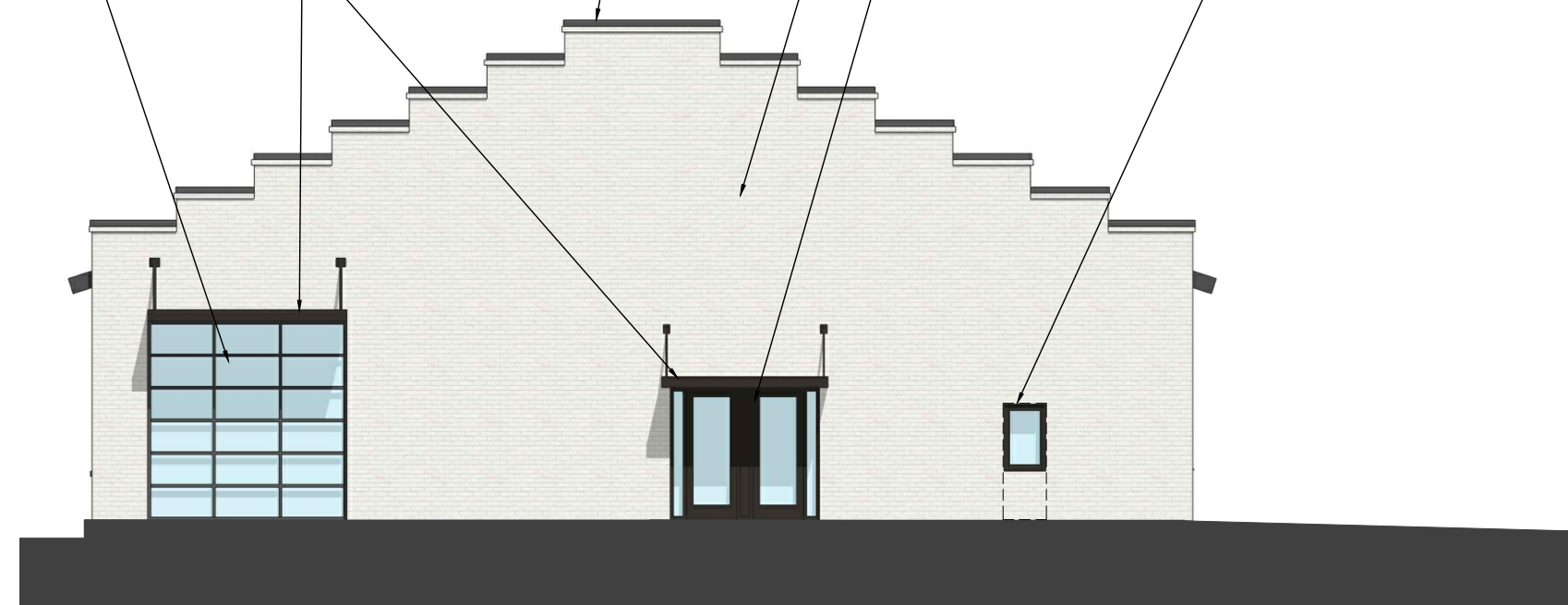


PHOTO S1



EXISTING SOUTH ELEVATION (FACING E BROAD ST)

- NEW ALUM:GLASS BAY DOOR AT EXISTING BAY DOOR OPENING
- METAL AWNING (REF. PRECEDENT PHOTO)
- REPAIR OR REPLACE METAL COPING (ADD AS REQUIRED TO MAINTAIN BRICK PARAPET, TYP)
- REPAINT WHITE BRICK
- EXISTING INFILLED OPENING (REF. PHOTO S2) INFILL WITH STOREFRONT (REF. EXAMPLE STOREFRONT PHOTO)
- EXISTING DOOR OPENING (REF. PHOTO S1) INFILL WITH WINDOW AND MATCHING BRICK BELOW



PROPOSED SOUTH ELEVATION (FACING E BROAD ST) 1s



EXISTING EAST ELEVATION



EXAMPLE METAL DOOR TO BE PAINTED TRICORN BLACK

- PROPOSED NEW OPENING WITH METAL DOORS, PAINTED (REF. EXAMPLE METAL DOOR PHOTO)
- EXISTING INFILLED SKYLIGHT (REF. PHOTO E1) INFILL WITH NEW SKYLIGHT, TYP OF (2) THIS ELEVATION
- PROPOSED NEW SKYLIGHT, TYP OF (3) THIS ELEVATION
- EXISTING WINDOWS TO BE REPAIRED AND REPAINTED, GLAZING REPLACED AS REQUIRED, TYP
- REPLACE DARK ASPHALT SHINGLE ROOF WITH SIMILAR, REPLACE GUTTER WITH SIMILAR PROFILE
- NEW STOREFRONT WINDOWS WITH METAL DIVIDER IN NEW OPENING



PROPOSED EAST ELEVATION 1e

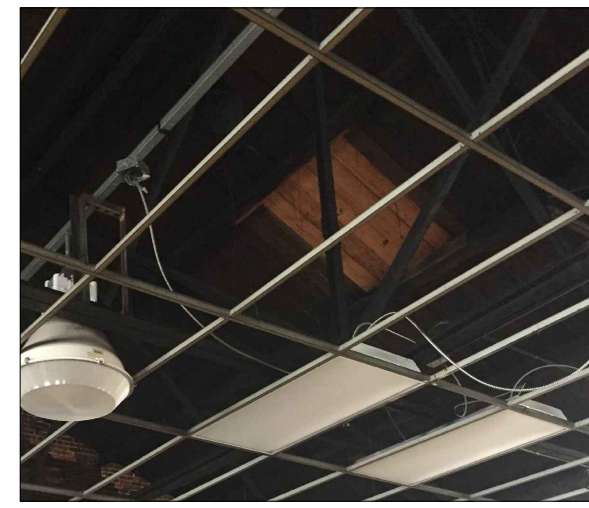
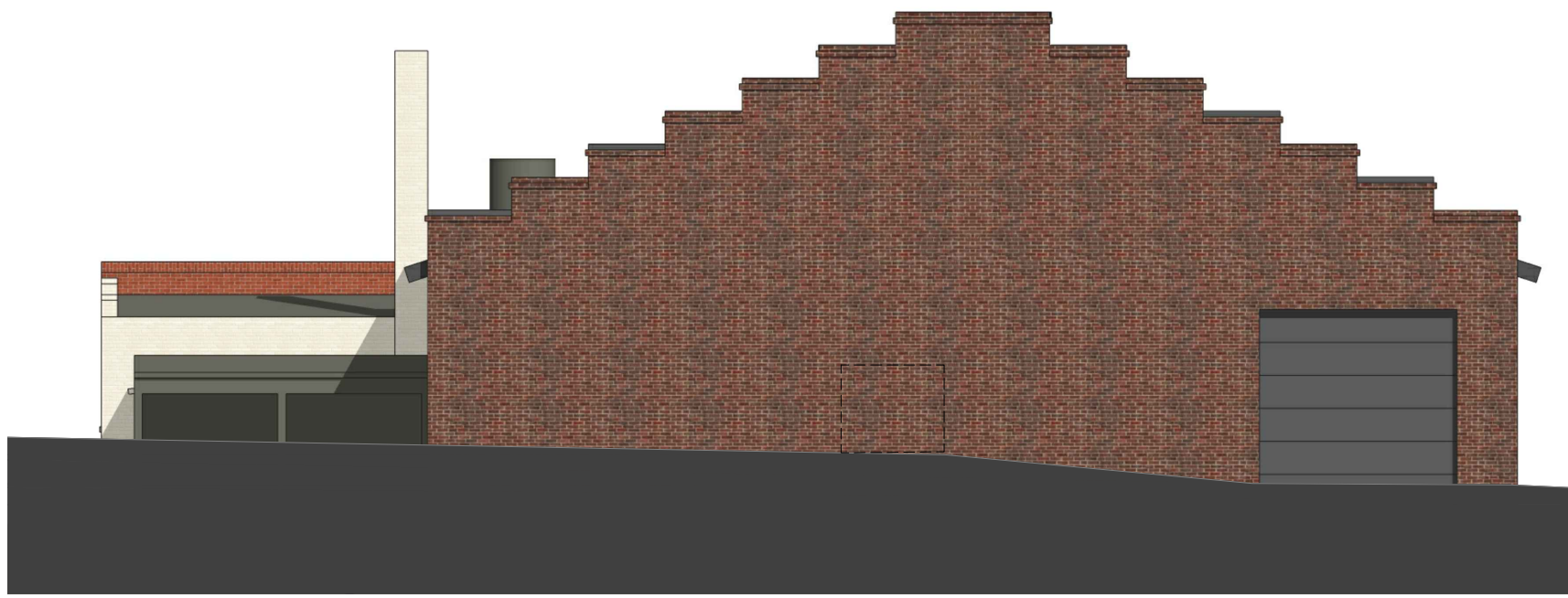


PHOTO E1



EXISTING NORTH ELEVATION (FACING PUBLIC ALLEY)



PHOTO N1



PROPOSED NORTH ELEVATION (FACING PUBLIC ALLEY) 1n



EXISTING WEST ELEVATION



PROPOSED WEST ELEVATION **1w**

EXISTING GARAGE BUILDING # | WEST ELEVATIONS

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3/32" = 1'-0"

N 21ST & E BROAD | CRESCENT DEVELOPMENT



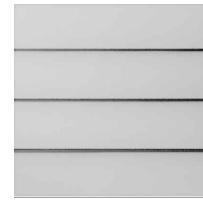
EXTERIOR FINISH LEGEND



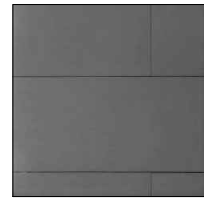
BRICK-1
RED BRICK
SIMILAR TO EXISTING BUILDING
TO REMAIN ON PROPERTY,
SIDE & REAR FACADES



BRICK-2
PAINTED BRICK (WHITE)
MATCH EXISTING BUILDING
TO REMAIN ON PROPERTY,
FRONT FACADE



FIBER-CEMENT LAP SIDING
±4" EXPOSURE, SMOOTH
FINISH IN LIGHT, NEUTRAL
COLOR - SELECTION TBD
HARDIE PLANK OR SIMILAR



FIBER-CEMENT PANEL
SMOOTH FINISH IN MEDIUM,
NEUTRAL COLOR -
SELECTION TBD
HARDIE PANEL OR SIMILAR



METAL GUARD
HORIZONTAL INFILL, DARK
BRONZE OR BLACK FINISH

GENERAL NOTE: HEIGHT VARIES WITH
SIDEWALK. HEIGHTS PROVIDED ARE
RELATIVE HEIGHT OF FIRST FLOOR LEVEL
TO TOP OF PARAPET. PROPOSED FIRST
FLOOR LEVEL IS PROPOSED TO BE
APPROXIMATELY 4" ABOVE SIDEWALK,
MAXIMUM, AT LOCATION OF ENTRY DOOR



GROUPING #2 | SOUTH ELEVATION (FACING E BROAD ST) **2s**



GROUPING #2 | WEST ELEVATION **2w**



GROUPING #2 | NORTH ELEVATION **2n**

GROUPING #2 | EAST ELEVATION (FACING N 21ST ST) **2e**



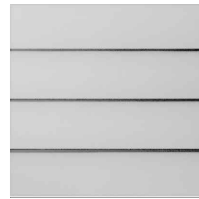
EXTERIOR FINISH LEGEND



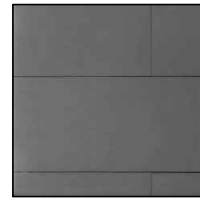
BRICK-1
RED BRICK
SIMILAR TO EXISTING BUILDING
TO REMAIN ON PROPERTY,
SIDE & REAR FACADES



BRICK-2
PAINTED BRICK (WHITE)
MATCH EXISTING BUILDING
TO REMAIN ON PROPERTY,
FRONT FACADE



FIBER-CEMENT LAP SIDING
±8" EXPOSURE, SMOOTH
FINISH IN LIGHT, NEUTRAL
COLOR - SELECTION TBD
HARDIE PLANK OR SIMILAR



FIBER-CEMENT PANEL
SMOOTH FINISH IN DARK,
NEUTRAL COLOR -
SELECTION TBD
HARDIE PANEL OR SIMILAR



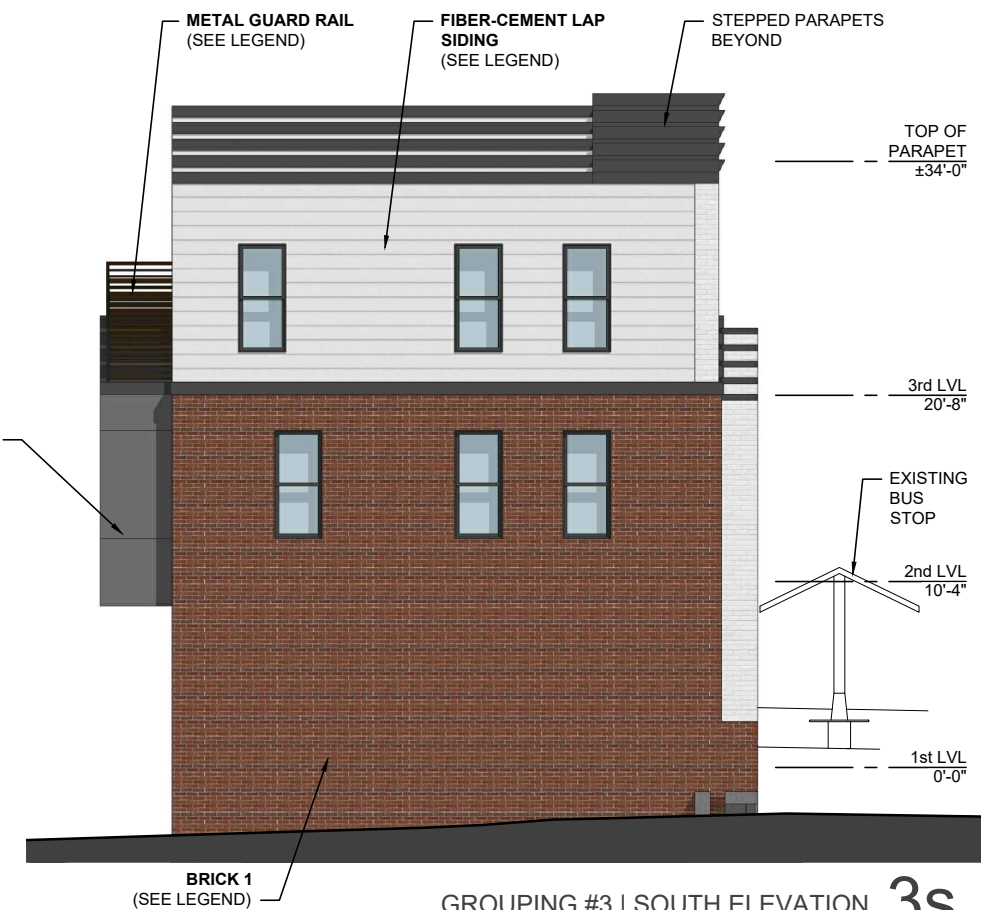
METAL GUARD
HORIZONTAL INFILL, DARK
BRONZE OR BLACK FINISH

GENERAL NOTE: HEIGHT VARIES WITH
SIDEWALK. HEIGHTS PROVIDED ARE
RELATIVE HEIGHT OF FIRST FLOOR LEVEL
TO TOP OF PARAPET. PROPOSED FIRST
FLOOR LEVEL IS PROPOSED TO BE
APPROXIMATELY 4" ABOVE SIDEWALK,
MAXIMUM, AT LOCATION OF ENTRY DOOR



SEE GROUPING #2 ELEVATIONS

GROUPING #3 | EAST ELEVATION (FACING N 21ST ST) **3e**



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N 21ST ST GROUPING #3 | EAST & SOUTH ELEVATIONS

N 21ST & E BROAD | CRESCENT DEVELOPMENT

3/32" = 1'-0"



AERIAL VIEW

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N 21ST & E BROAD | CRESCENT DEVELOPMENT





CORNER VIEW
FROM THE E BROAD ST & N 21st STREET INTERSECTION

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N 21ST & E BROAD | CRESCENT DEVELOPMENT





NORTH VIEW BETWEEN PROPOSED
& EXISTING BUILDINGS FROM ALLEY OFF N 21st STREET

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N 21ST & E BROAD | CRESCENT DEVELOPMENT





SOUTHEAST VIEW FROM N 21st STREET

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N 21ST & E BROAD | CRESCENT DEVELOPMENT





SOUTHWEST OVERALL VIEW FROM E BROAD STREET

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N 21ST & E BROAD | CRESCENT DEVELOPMENT





SOUTHEAST PERSPECTIVE VIEW FROM N 21st STREET

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N 21ST & E BROAD | CRESCENT DEVELOPMENT





CONTEXTUAL PERSPECTIVE VIEWS

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N 21ST & E BROAD | CRESCENT DEVELOPMENT

