



COMMISSION OF ARCHITECTURAL REVIEW

APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

PROPERTY (location of work)

Address 307 N. 28th Street

Historic district St. John's Church

Date/time rec'd:	_____
Rec'd by:	_____
Application #:	_____
Hearing date:	_____

APPLICANT INFORMATION

Name Robert Baratta

Phone 804-814-6252

Company 307 N. 28th Street, LLC

Email robert@capresults.net

Mailing Address 2302 E. Grace Street
Richmond, VA 23223

Applicant Type: Owner Agent
 Lessee Architect Contractor
Other (please specify): _____

OWNER INFORMATION (if different from above)

Name _____

Company _____

Mailing Address _____

Phone _____

Email _____

PROJECT INFORMATION

Review Type: Conceptual Review Final Review

Project Type: Alteration Demolition New Construction
(Conceptual Review Required)

Project Description: (attach additional sheets if needed)

Removal of siding, repair front elevation with original wood. Repair where possible or replace three other elevations with wood or cement fiber siding and trim. Roof replaced with standing seam metal roof with lined gutters. Front porch roof is invisible from public right-of-way will be replaced with rubber membrane.

Build new wooded rear porch per attached drawings (modeled on 1809 E. Grace that is of similar age and style photos attached). New rear porch roof to be standing seam metal and hanging half-round gutter.

Repair front porch with in-kind materials. Repair existing wood windows. Rebuild chimneys. Repair failed foundation (per engineering specifications) and reparse exposed brickwork.

ACKNOWLEDGEMENT OF RESPONSIBILITY

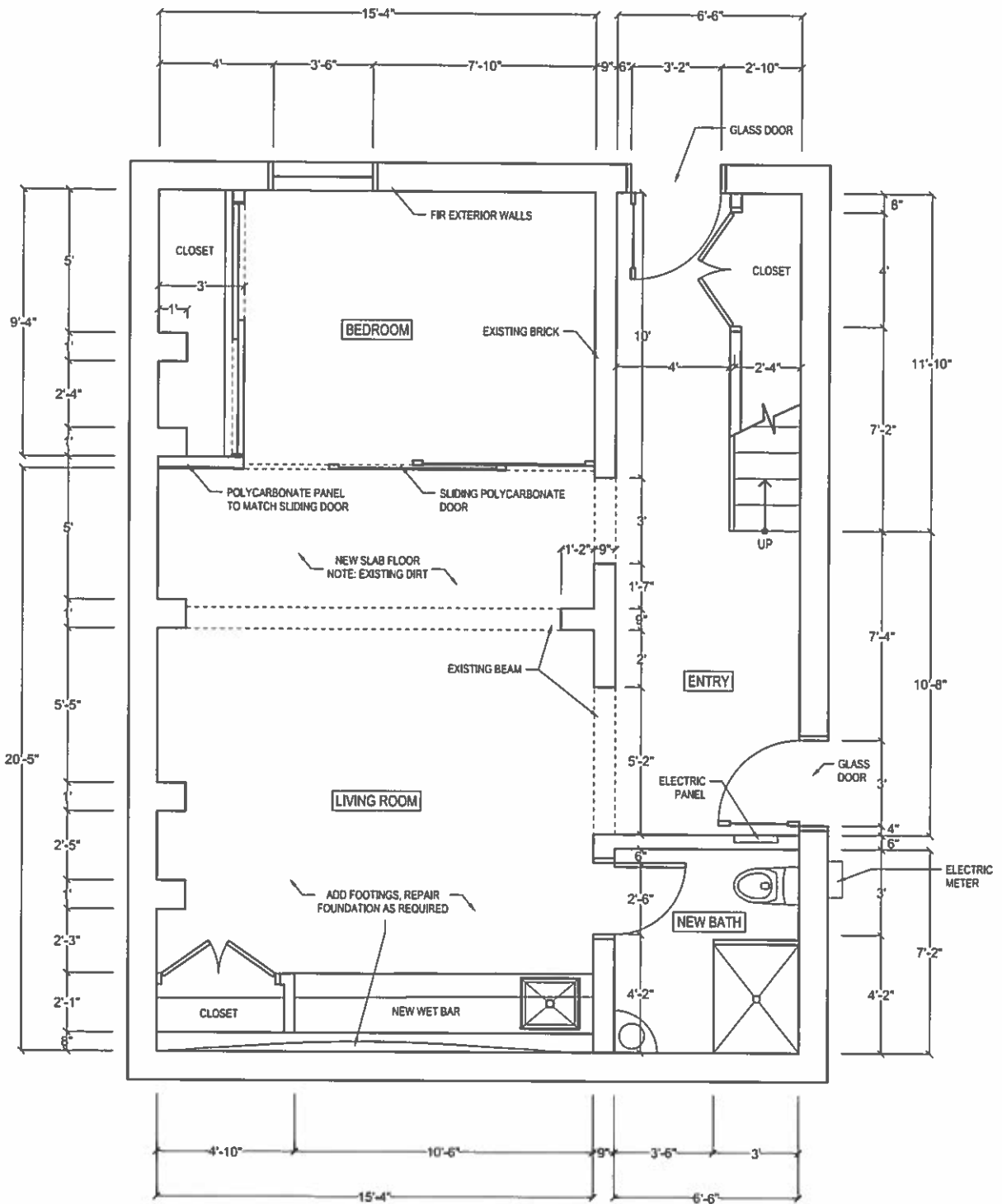
Compliance: If granted, you agree to comply with all conditions of the COA. Revisions to approved work require staff review and may require a new application and CAR approval. Failure to comply with the COA may result in project delays or legal action. The COA is valid for one (1) year and may be extended for an additional year, upon written request.

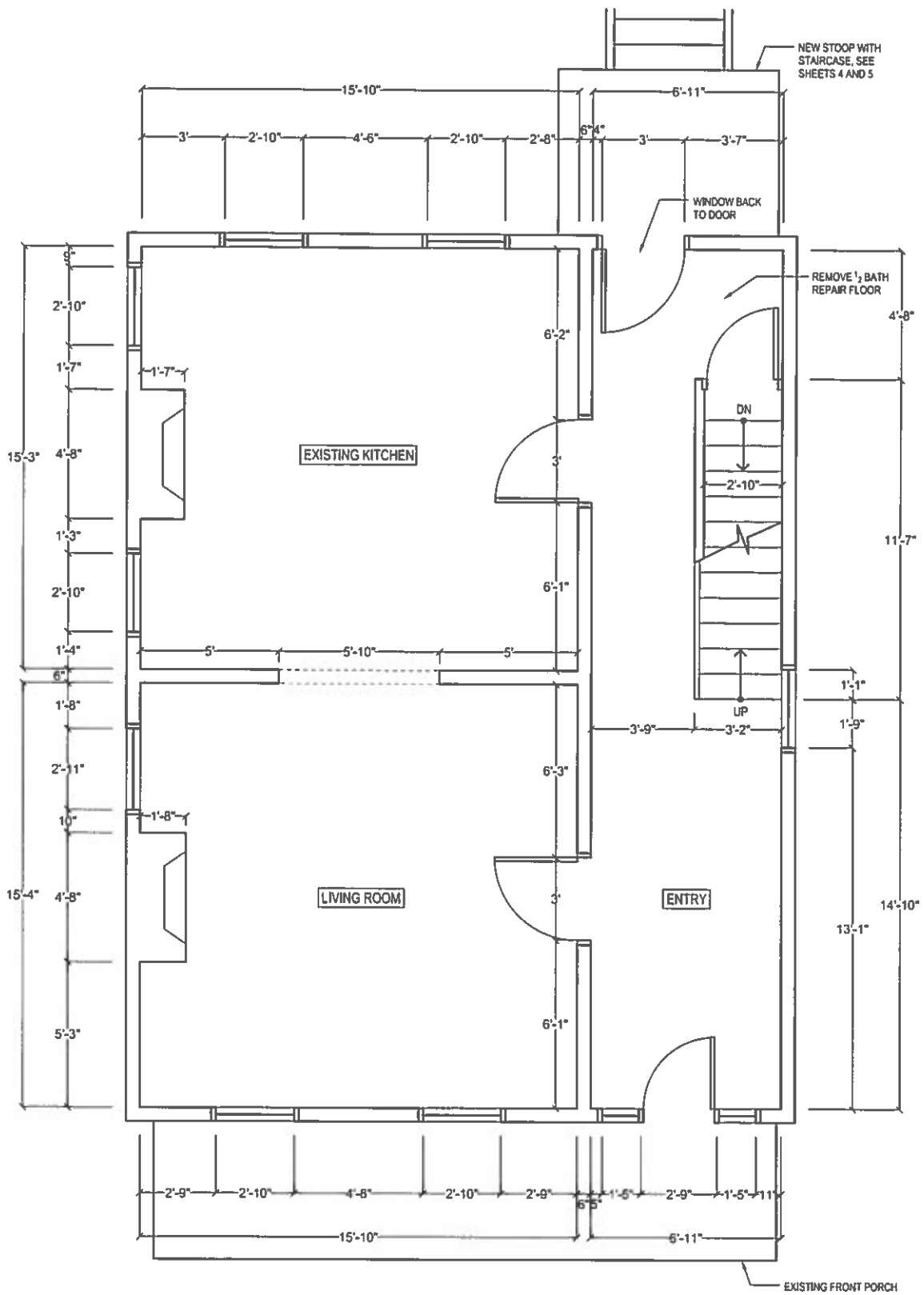
Requirements: A complete application includes all applicable information requested on checklists to provide a complete and accurate description of existing and proposed conditions. Preliminary review meeting or site visit with staff may be necessary to process the application. Owner contact information and signature is required. Late or incomplete applications will not be considered.

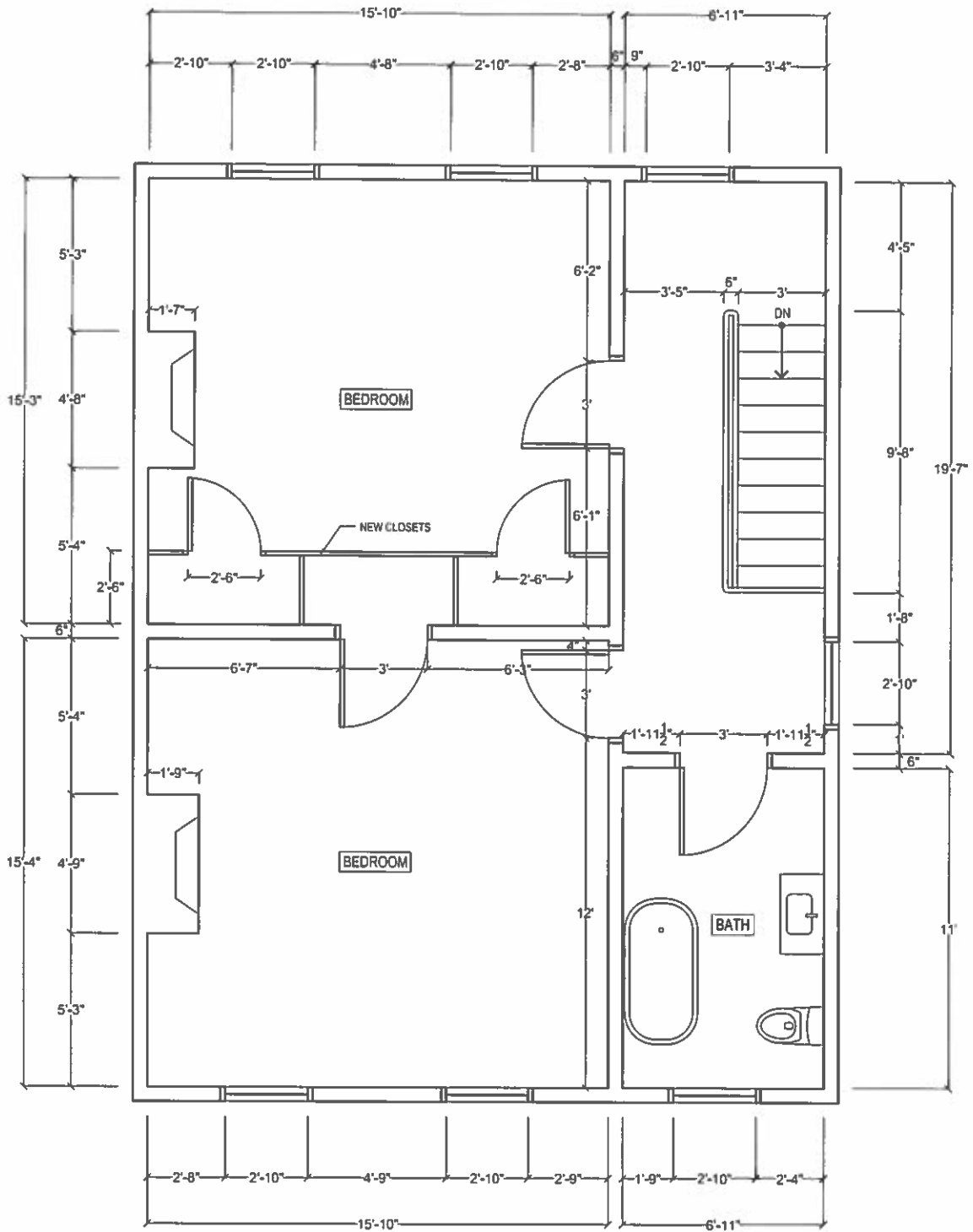
Zoning Requirements: Prior to CAR review, it is the responsibility of the applicant to determine if zoning approval is required and application materials should be prepared in compliance with zoning.

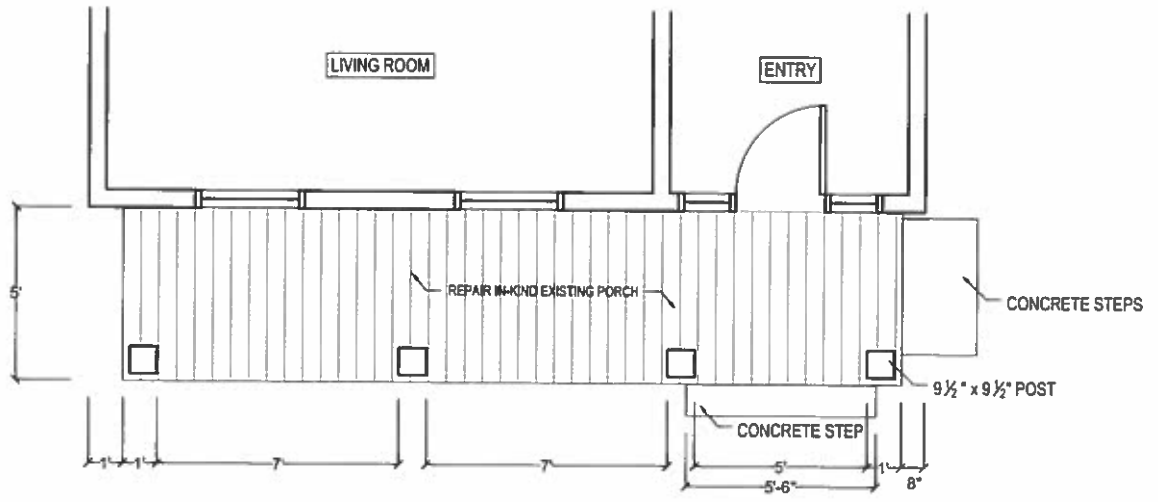
Signature of Owner Robert Baratta

Date 4/13/2018

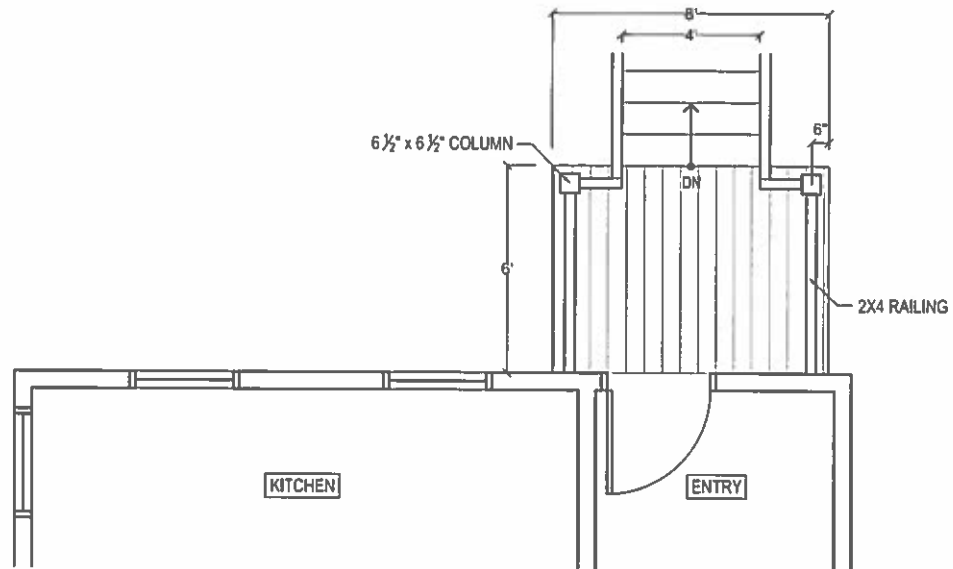








FIRST FLOOR FRONT PORCH
3/16" SCALE



ROOF PEAK
+32'-6"

FIRST FLOOR
+16'-10"

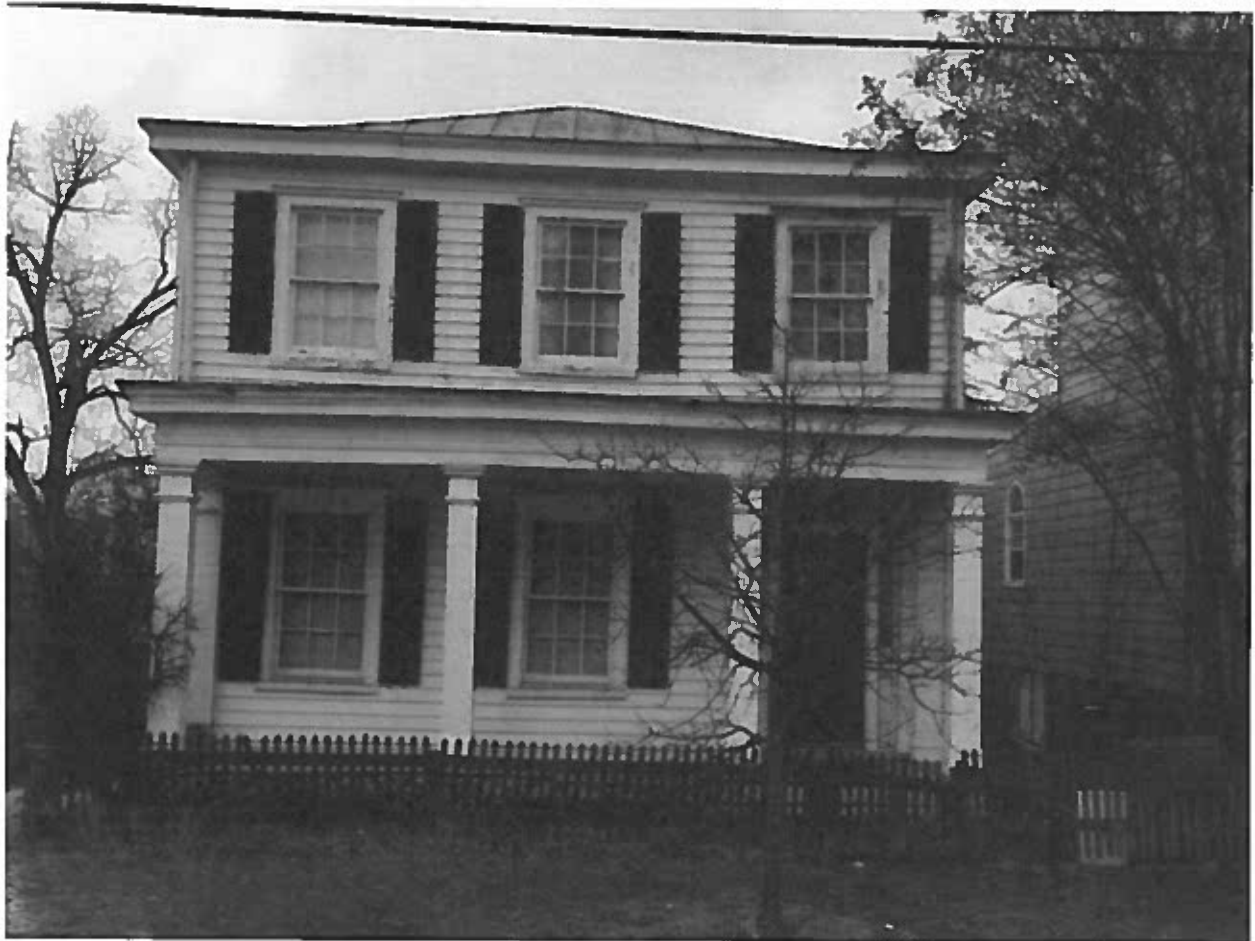
FIRST FLOOR
+6'-8"

BASEMENT
+0'-0"



307 N. 28th Street Street, Richmond, VA

FRONT VIEW



307 N. 28TH STREET

NORTH FACING

(MISSING CHIMNEYS TO BE REPLACED)



307 N. 28th Street Street, Richmond, VA

REAR VIEW (PROPOSED PORCH AT LOWER LEFT)

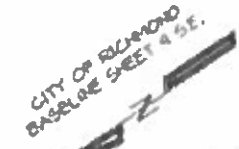


1809 E. Grace example porch



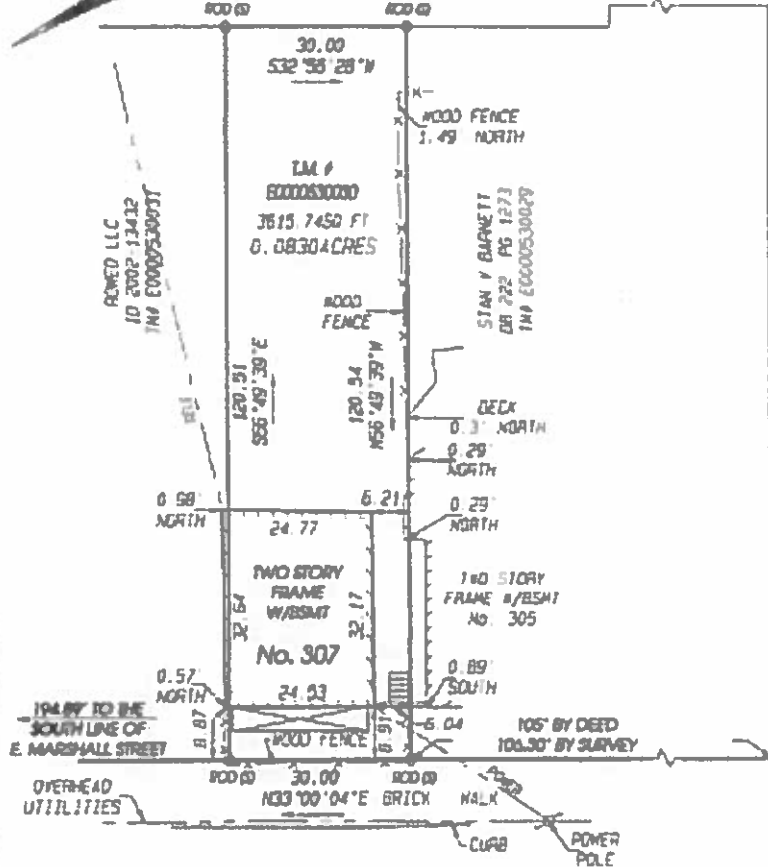
NOTED: THIS PROPERTY IS LOCATED IN F.E.M.A. FLOOD ZONE "X".
LETTIA & JONNIQUE BROWN ID 2012-18272

980548 MAR-20



ALLEY
(COBBLE STONE)

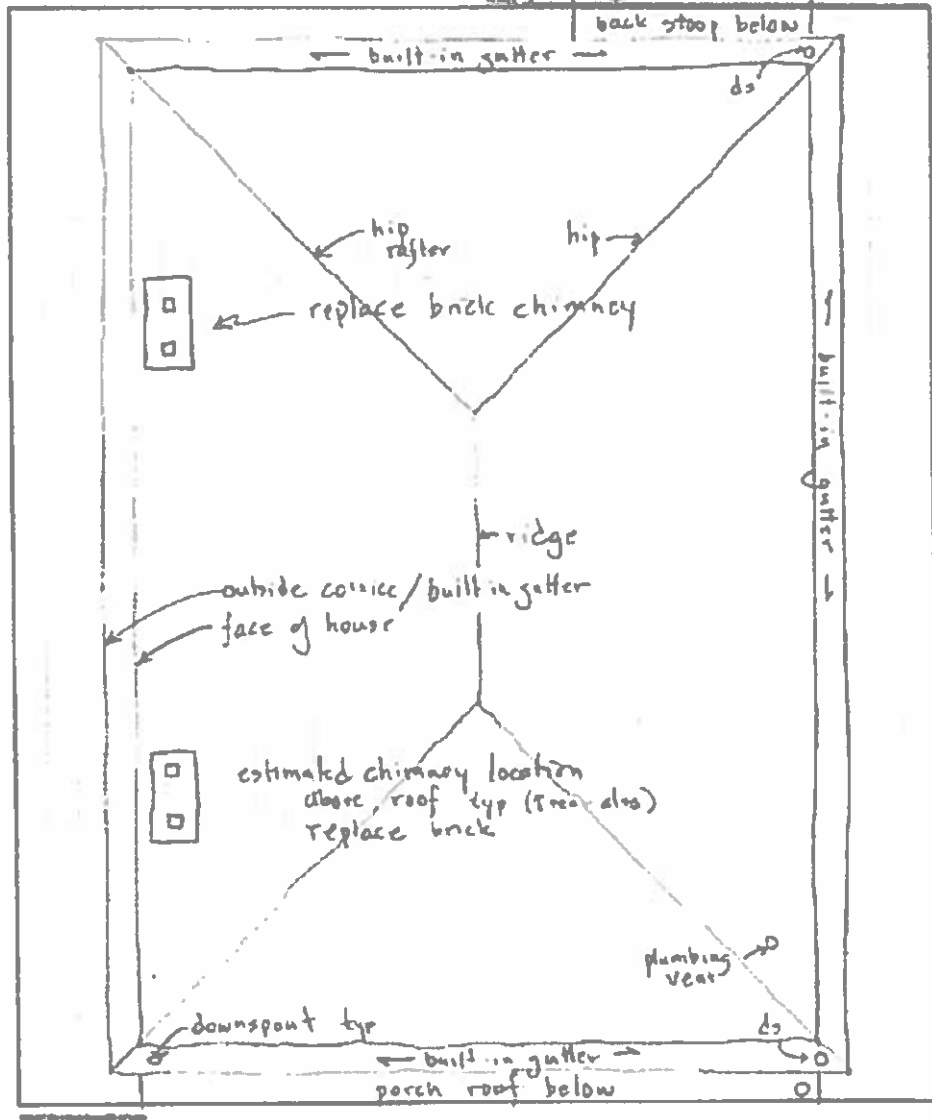
EAST BROAD STREET



NORTH 28TH STREET
M + NW

**FLAT SHOWING IMPROVEMENTS
ON No. 307 NORTH 28TH STREET,
IN THE CITY OF RICHMOND, VIRGINIA.**

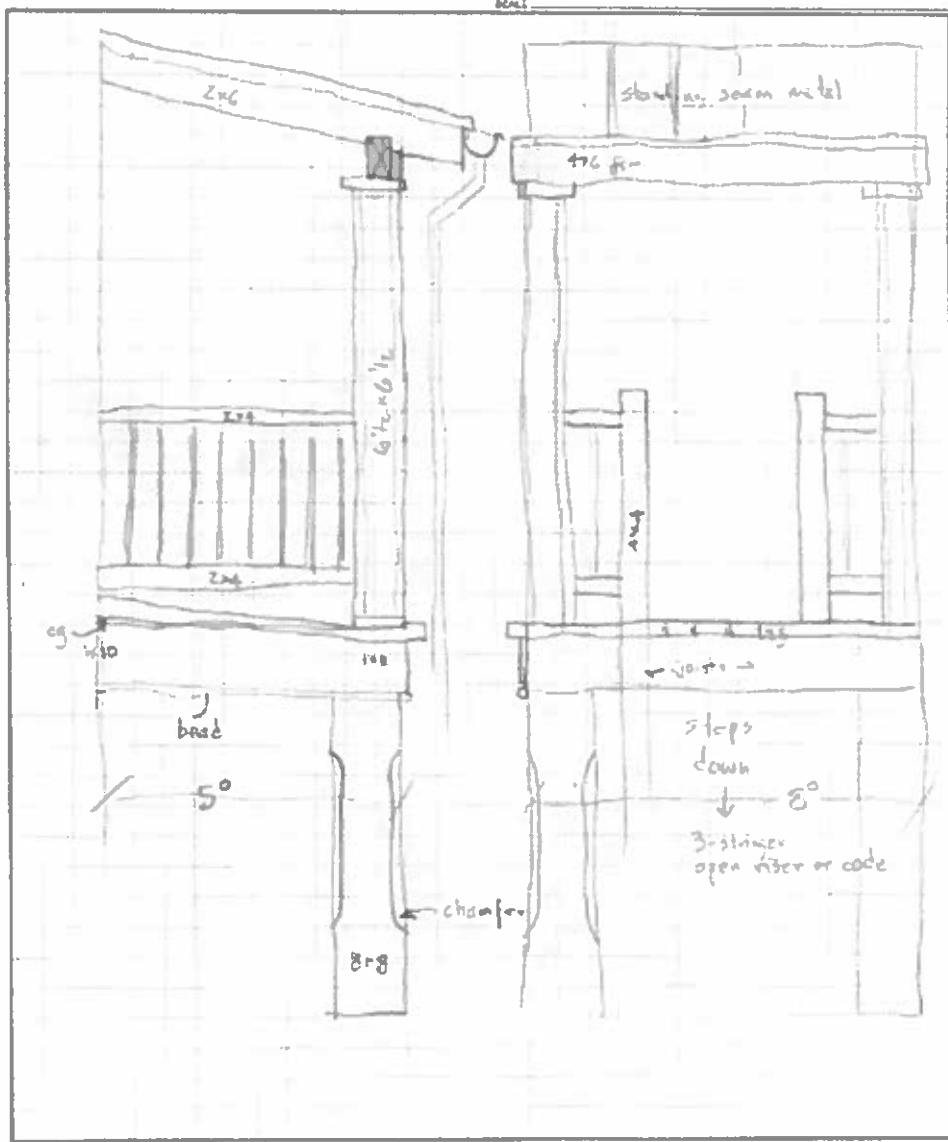
307 N 28th Hoop
 SHEET NO. 5 of 6
 CALCULATED BY _____ DATE _____
 CHECKED BY _____ DATE _____
 SCALE 1/4" = 1'



309 N 23rd LLC
 2910 Libby Terrace
 Richmond, VA 23223
 T (804) 649-2162
 www.rbvainc.com

at 4-Built Park @ 1909 E. Green
 DECK NO. "Lakewood" or _____
 CALCULATED BY _____ DATE _____
 CHECKED BY _____ DATE _____

DECK



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