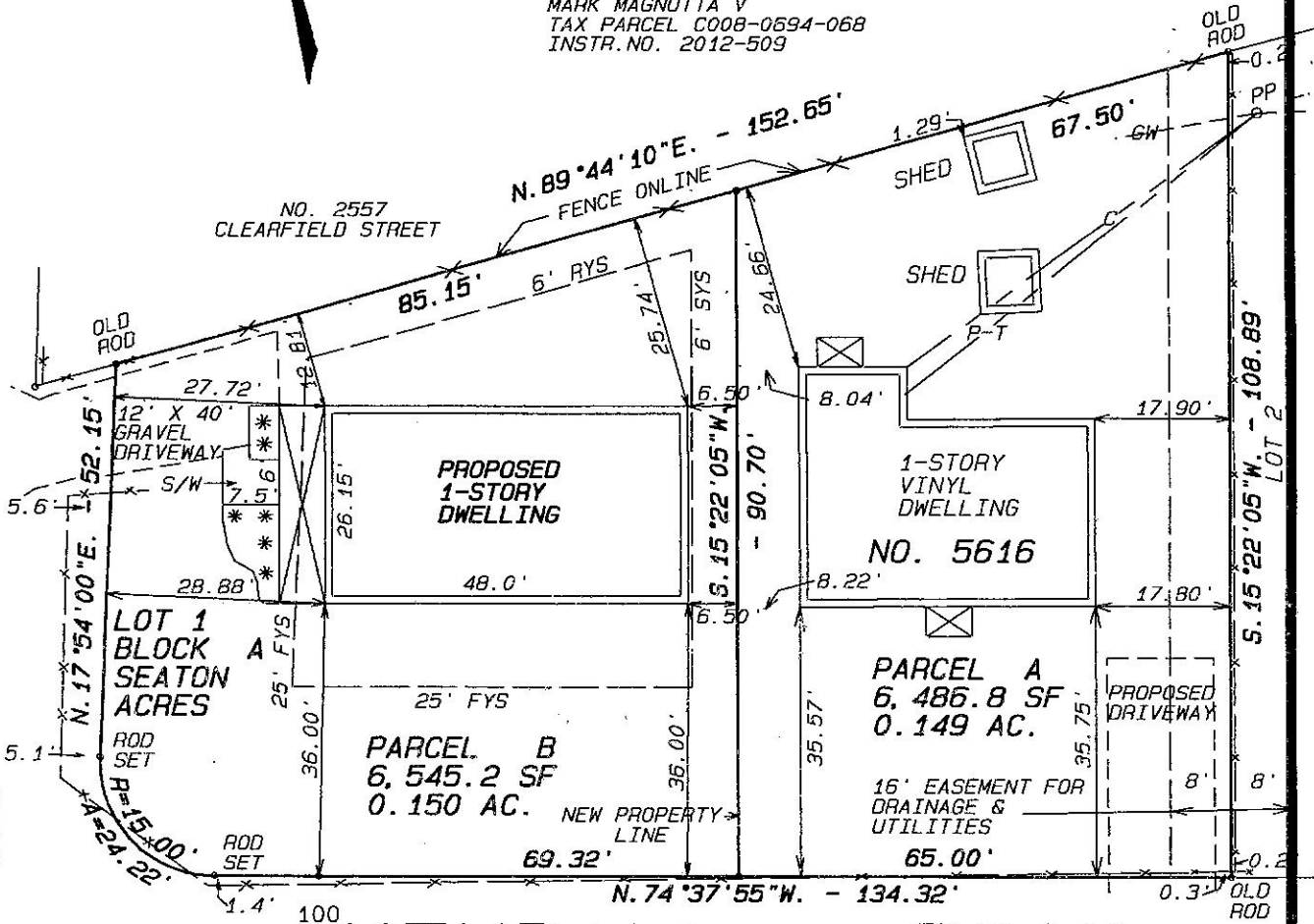


NOTE:  
PLANTINGS IN FRONT OF HOUSE  
TO BE HOSTAS AND LILYS

MARK MAGNOTTA V  
TAX PARCEL C008-0694-068  
INSTR. NO. 2012-509

CLEARFIELD STREET



KENDALL ROAD

LAURIELLE REVOCABLE TRUST  
TAX PARCEL C-008-0694-066  
INSTR. NO. 2017-22754

PP = POWER POLE  
P= OVERHEAD POWER  
T= OVERHEAD TELEPHONE  
C= OVERHEAD CABLEVISION  
GW = GUY WIRE

NOTE:  
THIS SURVEY HAS BEEN  
PREPARED WITHOUT THE  
BENEFIT OF A TITLE REPORT,  
AND DOES NOT, THEREFORE,  
NECESSARILY INDICATE ALL  
ENCUMBRANCES ON  
THE PROPERTY.

LOT SPLIT

PLAT OF PROPERTY SITUATED  
ON THE SOUTHEAST CORNER  
OF KENDALL ROAD AND  
CLEARFIELD STREET  
CITY OF RICHMOND, VIRGINIA  
FEB. 12, 2019 SCALE: 1"=25'  
REVISED MAY 28, 2019



STEVEN B. KENT & ASSOCIATES, P.C.  
LAND SURVEYORS  
1521 Brook Road  
Richmond, VA 23220  
PH. 804-643-6113

CERTIFICATION

THIS IS TO CERTIFY THAT WE MADE AN ACCURATE FIELD  
SURVEY OF THE PREMISES SHOWN HEREON, THAT ALL  
IMPROVEMENTS AND VISIBLE EASEMENTS ARE SHOWN  
HEREON, THAT THERE ARE NO ENCROACHMENTS BY  
IMPROVEMENTS EITHER FROM ADJOINING PREMISES,  
OR FROM SUBJECT PREMISES, OTHER THAN SHOWN  
HEREON.

*[Handwritten signature]*

FILE C8-094

# DESIGN INFORMATION

USE GROUP	R-5
CONSTRUCTION	TYPE V-B
FLOOR LOAD(S)	40/10
ROOF LOAD	30/10
SNOW LOAD	30
WIND LOAD (FOR UNIT DESIGN)	90 MPH (3-SEC. GUST)
EXPOSURE	C
SEISMIC DESIGN	C



# TYPICAL FOUNDATION NOTES

## FOOTING NOTES:

- FOOTING DESIGN BASED ON AN ALLOWABLE SOIL BEARING VALUE OF 2000 PSI & MUST BE REVISED IF SITE CONDITIONS INDICATE A LOWER VALUE.
- BOTTOM OF ALL FOOTINGS TO BE BELOW FROST LINE AS DETERMINED BY LOCAL BUILDING CODES
- CONCRETE TO DEVELOP A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 2500 PSI

## TYPICAL TERRACE NOTES:

- EXTERIOR CONCRETE TO BE AIR ENTRAINED WITH A MIN. 28 DAY COMPRESSIVE STRENGTH OF 3000 PSI (OR LOCAL REQUIREMENT)
- 4" CONC. OVER 6"x6" #8 WIRE MESH.
- OFFSET CAP TO CARRY SLAB.
- INSTALL METAL FLASHING BETWEEN CONC. & WOOD MEMBERS.
- TERRACES TO BE CONSTRUCTED AFTER HOUSE IS SET ON FOUNDATION.
- PURCHASER RESPONSIBLE FOR ACCESSIBILITY INTO LIVING UNIT PER STATE & LOCAL CODE.

## OPTIONAL BASEMENT NOTES:

- ALL BASEMENT DOORS & WINDOWS ARE SUPPLIED & INSTALLED BY PURCHASER.
- DOOR & WINDOW SIZE & LOCATION SUBJECT TO CHANGE ACCORDING TO SITE CONDITIONS.
- BACKFILL TO BE IN & TAMPED PRIOR TO ARRIVAL OF HOUSE.
- FOUNDATION DRAINAGE & DAMPROOFING TO CONFORM TO CURRENT BUILDING CODE.
- ALL ELECTRICAL, PLUMBING & MECHANICAL INSTALLATION WITHIN THE BASEMENT ARE THE RESPONSIBILITY OF THE PURCHASER & SUBJECT TO APPROVAL & INSPECTION BY THE LOCAL JURISDICTION.

## UNIT FASTENING REQUIREMENTS:

### 90 MPH (3-SEC. GUST) AREAS & LESS:

- PURCHASER TO TOENAIL PERIMETER OF FLOOR RIM TO SILL PLATE W/ 16D NAILS (NON-CORROSIVE TYPE) @ 16" O.C. FOR THE ENTIRE PERIMETER OF HOUSE.
- NATIONWIDE SET CREW TO BOLT MATING WALL GIRDER TOGETHER W/ 1/2" DIA. BOLTS @ 4'-0" +- SPACING. WHEN CONDITIONS DO NOT PERMIT SET CREW TO INSTALL BOLTS DUE TO HEIGHT OR CRAWLSPACE CLEARANCE, PURCHASER IS RESPONSIBLE FOR INSTALLATION OF BOLTS.
- SECOND LEVEL OF 2 STORY MODELS TO BE TOENAILED TO THE FIRST LEVEL CEILING PREMIER PLATE W/ 16D NAILS @ 16" O.C. FOR THE ENTIRE PERIMETER OF HOUSE.
- PURCHASER TO REFER TO THE "BUILDER RESPONSIBILITY BULLETIN" FOR INSTRUCTION ON JOG SITE PREPARATION & EQUIPMENT NEEDS FOR UNIT SETTING.

### AREAS W/ WIND ZONE GREATER THAN 90 MPH (3-SEC. GUST):

- PURCHASER RESPONSIBLE TO SUPPLY & INSTALL ALL FOUNDATION TO UNIT, PILING TO UNIT & UNIT TO UNIT WITH TIE DOWN STRAPS.
- COMPLETION OF ROOF COMPONENT TIE DOWN PER "HIGH WIND CONST." DETAILS IS THE RESPONSIBILITY OF THE PURCHASER.
- PURCHASER RESPONSIBLE FOR ALL PILING TYPE FOUNDATION CONST. DESIGN & ENGINEERING & SUBJECT TO APPROVAL & INSPECTION BY LOCAL JURISDICTION.

## GENERAL FOUNDATION NOTES:

- PURCHASER TO USE MORTAR TYPE "S" OR "M" FOR FOUNDATION CONSTRUCTION AS REQUIRED BY STATE & LOCAL CODES.
- GROUND SURFACE WITHIN CRAWLSPACE AREAS TO BE COVERED WITH APPROVED VAPOR BARRIER TO ALLOW 1/1500 VENT REDUCTION AS CALCULATED. VENTS MUST BE LOCATED WITHIN 3'-0" OF EACH CORNER.
- ALL FOUNDATION PLANS ARE SUGGESTIVE ONLY & MUST BE CONST. IN ACCORDANCE WITH STATE & LOCAL CODE REQUIREMENTS.

## BRICK CASED DIMENSION NOTES: (IMPORTANT)

- AN ALLOWANCE OF 5" MUST BE INCORPORATED TO EACH SIDE OF THE FOUNDATION DIMENSIONS IF BRICK CASED EXTERIOR IS SELECTED. NOTE THAT LIVING UNIT SIZES ARE NOT ADJUSTED. VERIFY DIMENSIONS W/ NATIONWIDE ENGINEERING DEPARTMENT OF CLARIFICATION OF DIMENSIONS ARE NEEDED PRIOR TO CONSTRUCTION.

# CODE CONFORMANCE

## VIRGINIA

- 2012 INTERNATIONAL RESIDENTIAL CODE (IRC)
- 2012 INTERNATIONAL ENERGY CONSERVATION CODE (IECC)
- 2011 NATIONAL ELECTRIC CODE (NEC)
- 2012 VIRGINIA UNIFORM STATEWIDE BUILDING CODE



Approval of this document does not authorize or approve any deviation or deviations from the requirements of applicable State Laws.

- PLANS MAY BE REVERSED
- PLANS MAY BE MASTERED

REQUIREMENT FOR INTERIOR FINISHES	
FLAME SPREAD	
- MAXIMUM FLAME SPREAD RATING FOR WALL AND CEILING FINISHES SHALL NOT EXCEED 200	
- MAXIMUM FLAME SPREAD RATING FOR INSULATION SHALL NOT EXCEED 25	
SMOKE DEVELOPMENT	
- MAXIMUM SMOKE DEVELOPED INDEX FOR WALL AND CEILING FINISHES SHALL NOT EXCEED 450	
- MAXIMUM SMOKE DEVELOPED RATING FOR INSULATION SHALL NOT EXCEED 250 PER ASTM E 84 OR UL 723	

FLOOR, WALL, & ROOF SHEATHING		
LOCATION	TYPE	SPAN RATING
FLOOR	- 19/32" T&G OSB	40/20
	- 23/32" T&G OSB	48/24
WALL	- 7/16" SE OSB	24/16
	- 19/32" SE OSB	40/20
	- 7/16" ZIP PANEL	24/16
ROOF	- 7/16" SE OSB	24/16
	- 7/16" SE OSB (TECH SHEED RADIANT BARRIER)	24/16

VAPOR BARRIER		
LOCATION	R-VALUE	PAPER
FLOOR	R-19	DRYFT-FACED
	R-30	DRYFT-FACED
WALL	R-13	DRYFT-FACED
	R-15	DRYFT-FACED
	R-19	DRYFT-FACED
	R-21	DRYFT-FACED
ROOF	R-30	DRYFT-FACED
	R-38	DRYFT-FACED

# TYPICAL PLAN AND GENERAL NOTES

- PLANS ARE EXTRACTED FROM APPROVED SYSTEM DOCUMENTATION AND CAN NOT BE MODIFIED OUTSIDE THE PARAMETERS SET FORTH. ANY CHANGES TO PLANS MUST BE APPROVED BY NATIONWIDE CUSTOM HOMES ENGINEERING DEPARTMENT. MINOR CHANGES OR MODIFICATIONS SUBJECT TO THIRD PARTY INSPECTION. PLANS MAY BE REVERSED.
- IT IS THE PURCHASERS RESPONSIBILITY TO INSURE THE ATTACHED PLANS CONFORM TO LOCAL ORDINANCES IN RESPECT TO BUILDING SIZE, HEIGHT, SETBACK, OR AESTHETICS WHICH IS ENFORCED BY LOCAL JURISDICTIONS.
- HOUSE MUST BE CONNECTED TO A PUBLIC WATER SUPPLY AND SEWER SYSTEM IF THESE SYSTEMS ARE AVAILABLE.
- IT SHALL BE THE RESPONSIBILITY OF THE PURCHASER TO ENSURE ANY SITE COMPLETION OF AN UNFINISHED AREA MEET LIGHT/VENTILATION, EGRESS, PLUMBING & ELECTRICAL REQUIREMENTS WHICH ARE SUBJECT TO INSPECTION BY LOCAL & OR STATE JURISDICTION.
- HVAC SYSTEM WILL BE DESIGNED & INSTALLED ON SITE BY OTHERS PER STATE & LOCAL CODES & ENERGY CODES. SUBJECT TO INSPECTION BY LOCAL JURISDICTION.
- IT SHALL BE THE RESPONSIBILITY OF THE PURCHASER TO INSTALL INSECT SCREENS. (EVERY DOOR, WINDOW AND OTHER OUTSIDE OPENING REQUIRED FOR VENTILATION PURPOSES SHALL BE SUPPLIED WITH APPROVED TIGHTLY FITTED SCREENS OF NOT LESS THAN 16 MESH PER INCH (16 MESH PER 25 MM) AND EVERY SCREEN DOOR USED FOR INSECT CONTROL SHALL HAVE A SELF-CLOSING DEVICE.)

IF HVAC SYSTEM INSTALLED IN ATTIC AREA THE BUILDER IS RESPONSIBLE FOR INSTALLING UNIT TO COINCIDE WITH WEIGHT LIMITATIONS IMPOSED BY FACTORY INSTALLED RAFTERS.  
BUILDER RESPONSIBLE FOR ENGINEERING RAFTER SYSTEM FOR ANY ADDITIONAL LOADS AND IF NEEDED BRACING RAFTERS TO ALLOW FOR ADDITIONAL LOADS IMPOSED BY MECHANICAL EQUIPMENT.

ATTIC LIVE LOAD: 20 LBS.

# TYPICAL ELECTRICAL NOTES

- ALL BRANCH CIRCUITS SUPPLYING 15 & 20 AMPERE OUTLETS IN BEDROOMS ARE PROTECTED BY AN ARC-FAULT CIRCUIT INTERRUPTER.
- BASEMENT PLANS: SMOKE DETECTOR WIRE COILED UNDER FLOOR FOR SITE INSTALLATION OF SMOKE DETECTOR BY PURCHASER IN THE BASEMETN AREA. SMOKE DETECTORS WIRED FOR SIMULTANEOUS OPERATION.
- GROUNDING ELCTRODE SYSTEM SITE INSTALLED BY PURCHASER PER STATE & LOCAL CODES SUBJECT TO INSPECTION BY THE LOCAL JURISDICTION.

# TYPICAL PLUMBING NOTES

- ALL SUPPLY, DRAIN, WASTE & VENT LINES TO BE SUPPORTED AT 4'-0" O.C.
- PURCHASER TO SUPPLY & INSTALL ALL DWV & SUPPLY LINE MATERIALS FOR SITE COMPLETION OF PLUMBING CONNECTIONS UNDER FLOOR & BETWEEN 2 STORY STACK-ON SECTIONS. CONNECTIONS TO BE MADE AT WALL ACCESS ON 2 STORIES AS NOTED ON THE FLOOR PLAN. ALL CONNECTIONS SUBJECT TO INSPECTION BY LOCAL JURISDICTION.
- ALL VENTS SHALL TERMINATE MINIMUM 12" ABOVE THE ROOF.
- ALL FITTINGS, DRAIN WASTE & VENT PIPES SHALL BE PVC/DWV PIPE w/ SOLVENT WELDED JOINTS PER MANUFACTURER'S INSTALLATION INSTRUCTIONS.
- ALL PLUMBING (ON 1st LEVEL) WILL BE FACTORY INSTALLED TO BOTTOM OF FLOOR JOISTS. PURCHASER RESPONSIBLE FOR PLUMBING COMPLETION TO CONFORM TO CURRENT PLUMBING CODE.
- ALL CLEAN OUTS BY PURCHASER PER CURRENT PLUMBING CODE.
- ALL PVC/DWV TO CONFORM TO CURRENT PLUMBING CODE.
- ANTI-SCALD FAUCETS INSTALLED ON ALL SHOWER FAUCETS.
- PURCHASER RESPONSIBLE FOR FIRESTOPPING ALL FLOOR CUTOUTS AT TUB TRAPS.
- HEATED WATER TO BATHTUBS/WHIRLPOOL TUBS LIMITED TO 120 DEGREES F. BY WATER TEMPERATURE LIMITING DEVICE CONFORMING TO CURRENT BLDG. CODE.

# CERTIFICATION INFORMATION

REFER TO "NOTE-1" ON FLOOR PLAN	REFER TO "NOTE-2" ON FLOOR PLAN:
CERTIFICATION INFORMATION LOCATED UNDER THE KITCHEN SINK:	CERTIFICATION INFORMATION LOCATED IN ADJACENT SECTIONS ON CLOSET WALL:
A) DATA PLATE	A) 3rd PARTY INSPECTION LABEL
B) 3rd PARTY INSPECTION LABEL	
C) STATE LABELS (ALL MODULES)	

PURCHASER: HORIZON LAND & HOME  
 JOB NO.: NS1-16  
 CONTRACT NO.: 194115  
 DESIGN DATE: \_\_\_\_\_  
 DWG. BY: \_\_\_\_\_  
 CHK. BY: \_\_\_\_\_  
 PLAN REVISION DATE: 6.13.2016BKW01  
 PLOTTED: 6/13/2016 1:41 PM  
 PRODUCTION DATE: \_\_\_\_\_  
 DWG. BY: \_\_\_\_\_

PLAN NAME: \_\_\_\_\_  
 COLLECTION/SERIES: \_\_\_\_\_  
 DESIGN DATE: \_\_\_\_\_  
 DWG. BY: \_\_\_\_\_  
 CHK. BY: \_\_\_\_\_  
 REV. DATE: \_\_\_\_\_  
 REV. BY: \_\_\_\_\_  
 REV. DATE: \_\_\_\_\_

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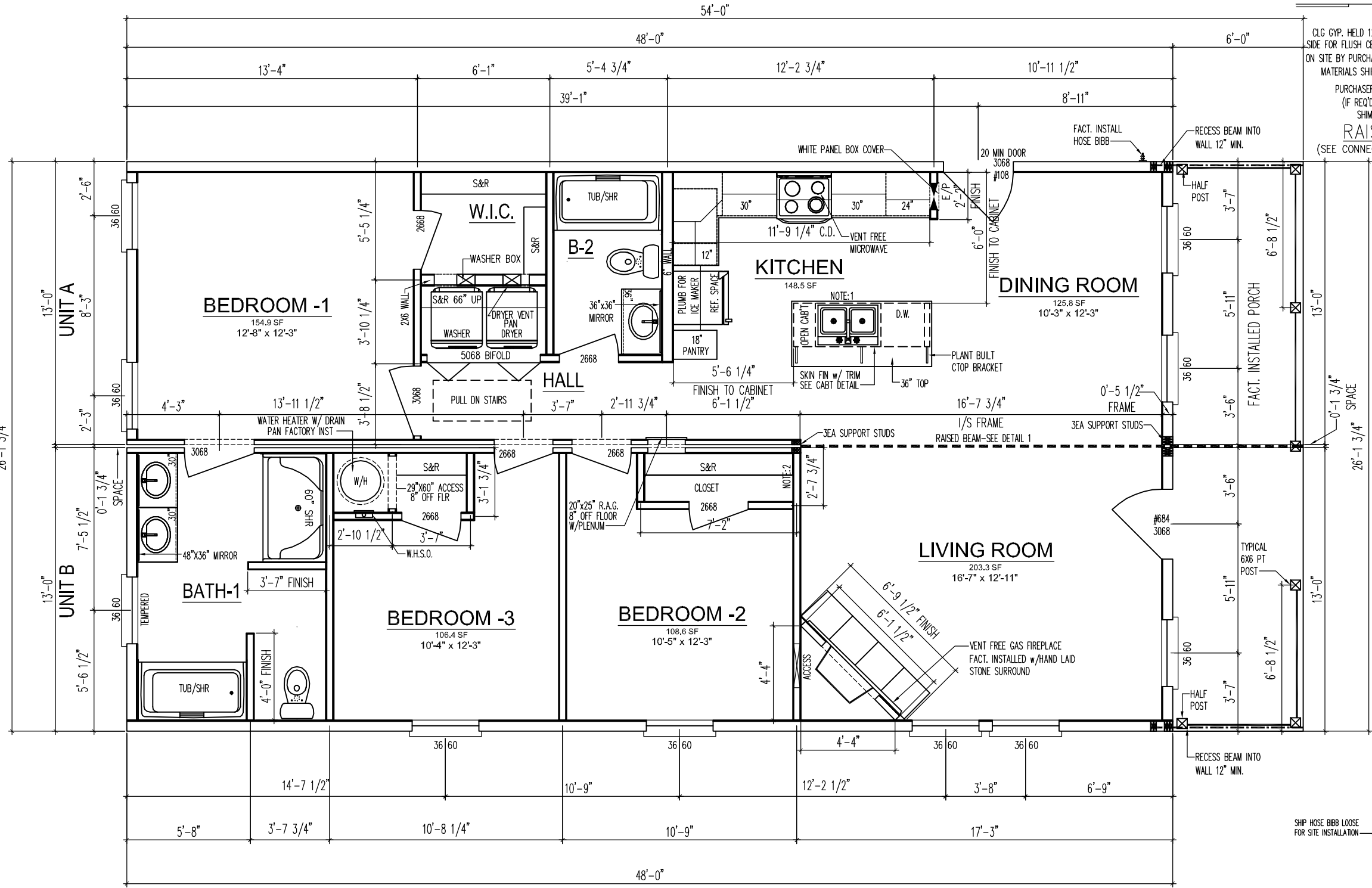
NOTE: ONLY ONE HOUSE  
 MAY BE BUILT UTILIZING  
 THE PLANS THAT ARE  
 DESIGNATED FOR THIS  
 CONTRACT JOB

PAGE NO. **1**

MATING WALL OPENING HEADER CHART:		
CONDITION	HEADER SIZE	SPAN
1 STORY	(1) 2x10 #2 SYP	10'-3"
1 STORY	(2) 2x10 #2 SYP	14'-6"
1 STORY	(2) 2x12 #2 SYP	16'-0"
2 STORY	(1) 2x10 #2 SYP	4'-11"
2 STORY	(2) 2x10 #2 SYP	6'-11"
2 STORY	(2) 2x12 #2 SYP	8'-0"
2.1/2 or 3 STORY	(2) 2x10 #2 SYP	6'-1"
2.1/2 or 3 STORY	(2) 2x12 #2 SYP	7'-0"

SEE SECTION-36 OF THE CALCULATIONS MANUAL FOR BACKUP

PULL END  
26'-1 3/4"



**FIRST LEVEL FLOOR PLAN**  
SCALE: 3/16" = 1'-0"

- PLAN NOTES:**
- 8'-0.1/2" CEILINGS
  - 2X6 EXTERIOR WALLS @ 16" O.C. W/R-19 INSULATION
  - 2X10 FLOOR JOISTS @ 16" O.C. W/R-30 INSULATION
  - R-38 ATTIC INSULATION
  - INTERIOR WALLS @ 24" OC
  - 2X3 MATING WALLS @ 16" O.C.
  - KINRO DP 50 WINDOWS
  - 2" MINI BLINDS FACTORY INSTALLED
  - THIS HOUSE DESIGNED FOR 90 MPH (3-SEC GUST) HIGH WIND ZONE CONSTRUCTION AS DETAILED IN THE BUILDING SECTION

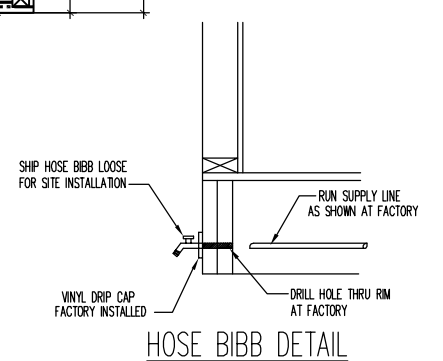
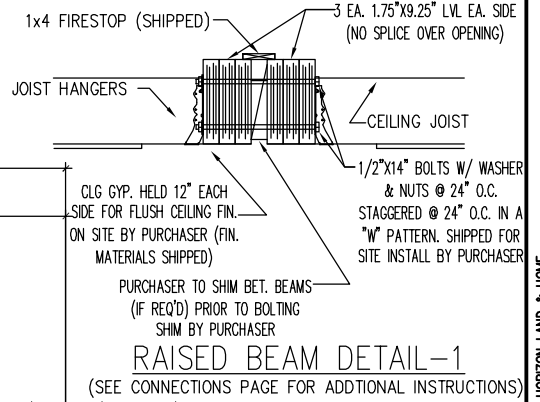


**NOTE:**  
KITCHEN AREA TO HAVE A FIRE EXTINGUISHER, HAVING A RATING OF 2-A:10-B:C OR BY AN APPROVED EQUIVALENT TYPE, AND SHALL BE SUPPLIED AND SITE INSTALLED BY PURCHASER AS REQUIRED PER 2012 VUSBC SECTION R328.1. COMPLIANCE IS SUBJECT TO INSPECTION AND APPROVAL BY THE LOCAL JURISDICTION.

**NOTE TO BUILDER/PURCHASER:**  
CHILD SAFETY LOCKS WILL BE FACTORY INSTALLED AT ALL FLOORS ABOVE THE FIRST FLOOR. WHEN SITE CONDITIONS RESULT IN MORE THAN 6 FT. FROM GRADE TO THE BOTTOM OF ANY FIRST FLOOR WINDOW AND THE SILL IS LESS THAN 18" ABOVE THE FINISH FLOOR, BUILDER MUST ORDER FROM NATIONWIDE HOMES, THE CHILD SAFETY LOCKS FOR THESE WINDOWS. SINCE NATIONWIDE HOMES IS UNAWARE OF ANY SITE CONDITIONS, IT IS THE SOLE RESPONSIBILITY OF THE PURCHASER TO ENSURE THIS REQUIREMENT IS MET.

SQUARE FOOTAGE	
TOTAL AVAILABLE SQ. FT.	= 1,255

CERTIFICATION INFORMATION	
REFER TO "NOTE-1" ON FLOOR PLAN	REFER TO "NOTE-2" ON FLOOR PLAN:
CERTIFICATION INFORMATION LOCATED UNDER THE KITCHEN SINK: A) DATA PLATE B) 3rd PARTY INSPECTION LABEL C) STATE LABELS (ALL MODULES)	CERTIFICATION INFORMATION LOCATED IN ADJACENT SECTIONS ON CLOSET WALL: A) 3rd PARTY INSPECTION LABEL



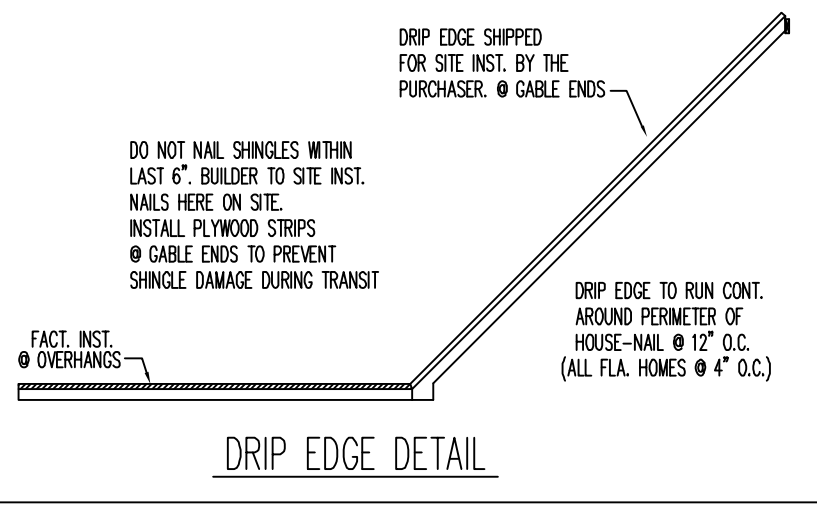
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**PLAN NAME:** \_\_\_\_\_  
**COLLECTION/SERIES:** \_\_\_\_\_  
**DESIGN DATE:** \_\_\_\_\_  
**REV. DATE:** \_\_\_\_\_

**PURCHASER:** HORIZON LAND & HOME  
**JOB NO.:** NS1-16  
**PROCESS DATE:** \_\_\_\_\_  
**CONTRACT NO.:** 194115  
**DWG. BY:** \_\_\_\_\_  
**CHK. BY:** \_\_\_\_\_  
**PLANNING DATE:** 6.13.2016  
**REV. BY:** \_\_\_\_\_  
**PRODUCTION DATE:** \_\_\_\_\_

**NOTE: ONLY ONE HOUSE MAY BE BUILT UTILIZING THE PLANS THAT ARE DESIGNATED FOR THIS CONTRACT JOB**

**PAGE NO. 3**

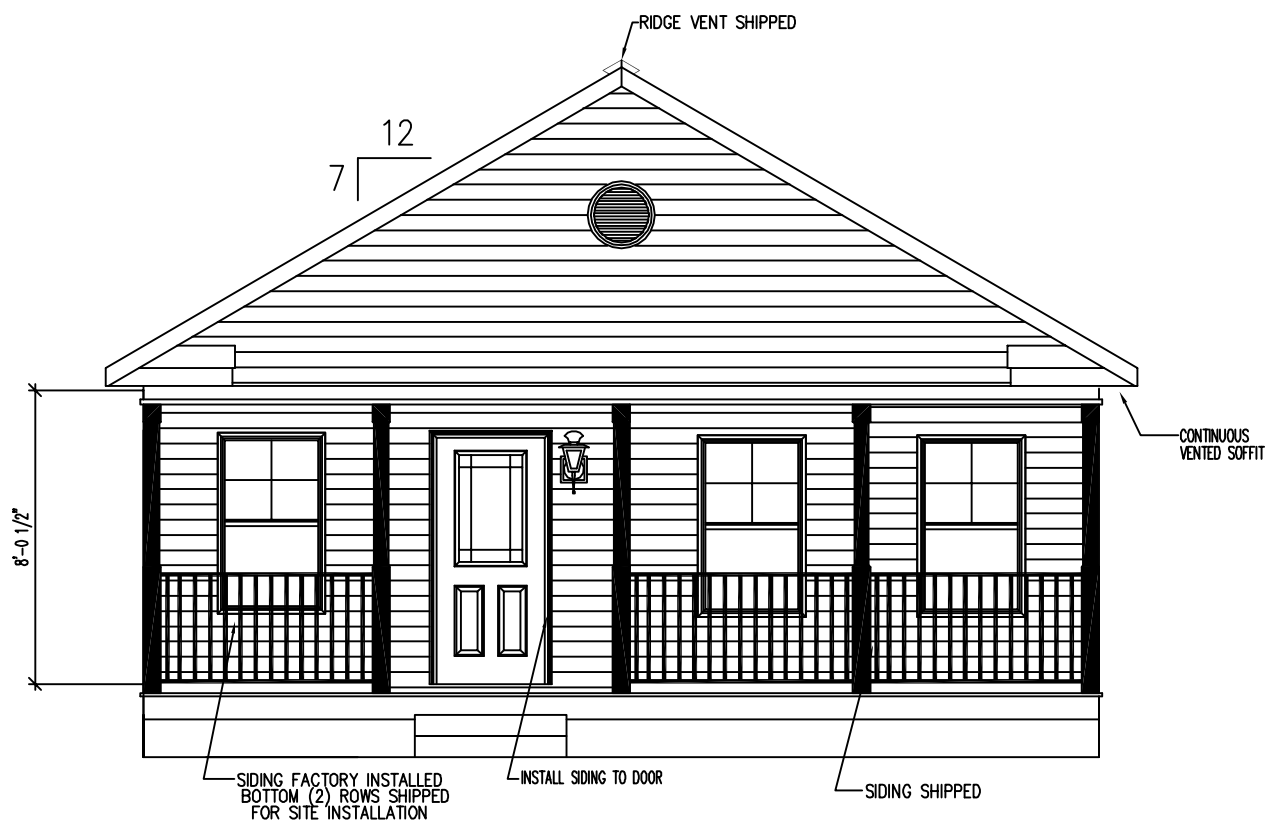


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**NIA** INC. 6/15/2016  
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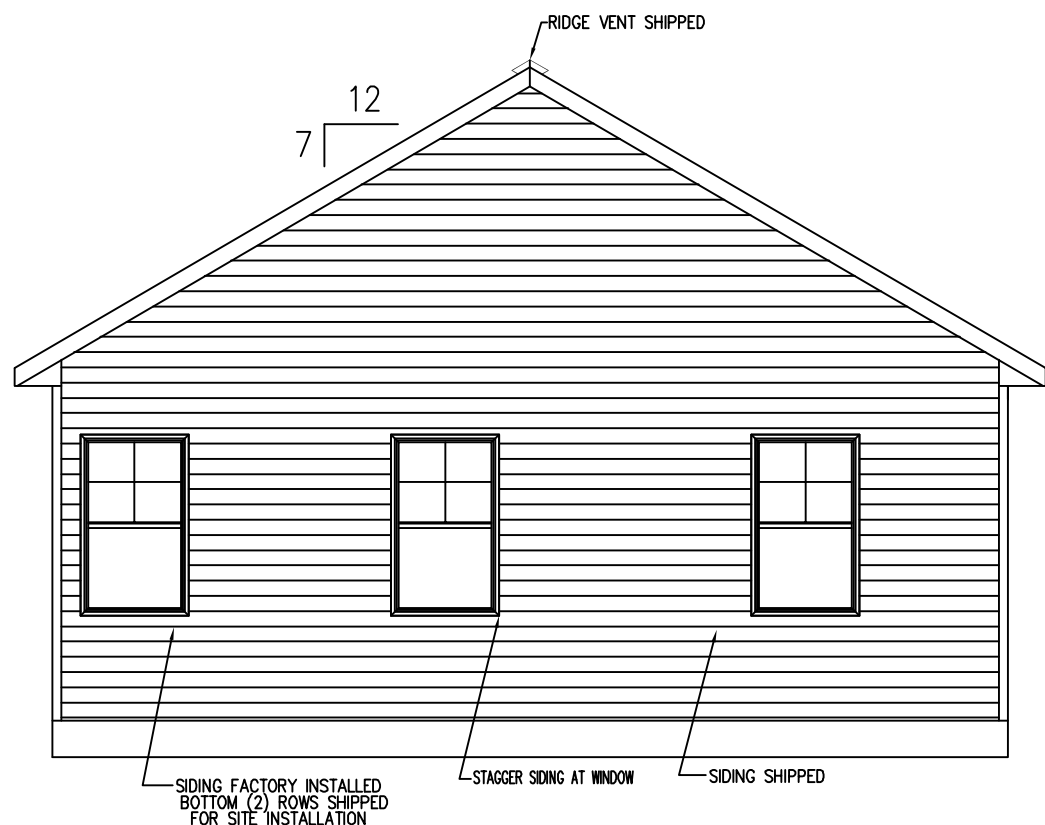
**VENTILATION CALCULATIONS**

RIDGE VENT:	0.139 NET FREE AIR PER SQ.FT.
52 LF =	7.23 SQFT. NET FREE AIR
VENTILATED SOFFIT:	0.041 NET FREE AIR PER SQ.FT.
104 LF =	4.26 SQFT. NET FREE AIR

PURCHASER:	JOB NO.:	CONTRACT NO.:	CHK. BY:
PLAN NAME:	DESIGN DATE:	DWG. BY:	DWG. BY:
COLLECTION/SERIES:	REV. DATE:	REV. BY:	REV. BY:
DESIGN DATE:	REV. DATE:	REV. BY:	REV. BY:
PLAN REVISION DATE: 6.13.2016 8:40 PM	PRODUCTION DATE:		DWG. BY:



**FRONT ELEVATION**  
 SCALE : 3/16" = 1'-0"



**REAR ELEVATION**  
 SCALE : 3/16" = 1'-0"

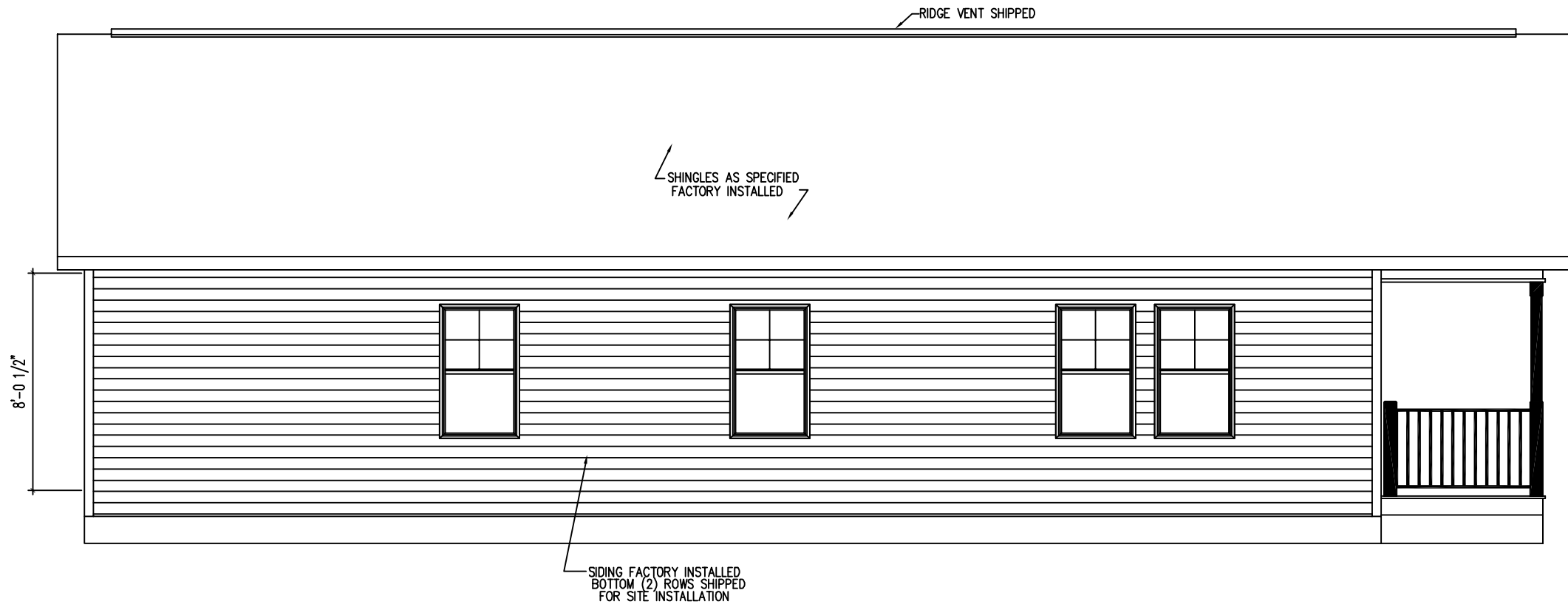
PLAN NAME:	DESIGN DATE:	REV. DATE:	REV. DATE:
COLLECTION/SERIES:	REV. DATE:	REV. BY:	REV. BY:
DESIGN DATE:	REV. DATE:	REV. BY:	REV. BY:

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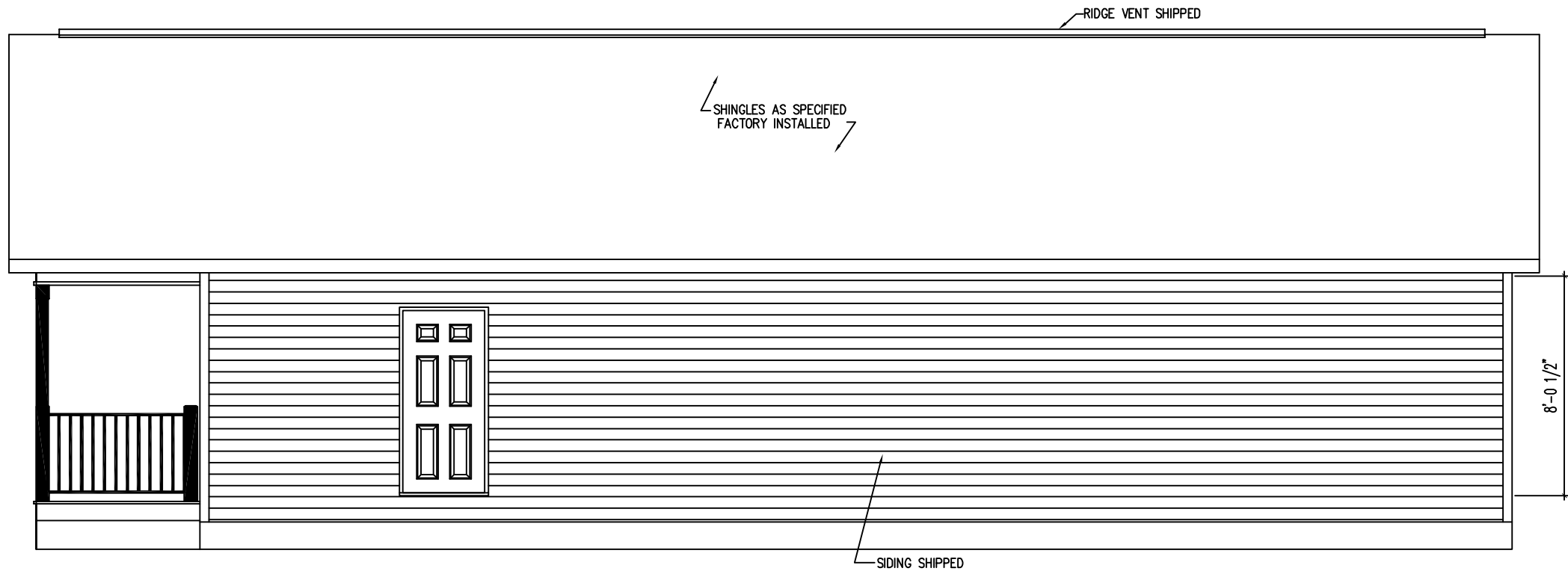
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**NIA INC.** 6/15/2016  
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LEFT ELEVATION  
 SCALE : 3/16" = 1'-0"

PAGE NO. <b>6</b>	NOTE: ONLY ONE HOUSE MAY BE BUILT UTILIZING THE PLANS THAT ARE DESIGNATED FOR THIS CONTRACT JOB		<b>Palm Harbor Homes</b> 1100 RIVES ROAD, MARTINSVILLE, VA. 24112 (756) 632-7100 FAX (756) 632-1181 WWW.PALMHARBOR.COM © COPYRIGHT 2016 PAM PALM HARBOUR HOMES ALL RIGHTS RESERVED	PURCHASER: HORIZON LAND & HOME JOB NO.: MSI-16 CONTRACT NO.: 194115
	PLAN NAME: COLLECTION/SERIES: DESIGN DATE: REV. DATE:	DWG. BY: REV. BY:		CHK. BY: REV. BY:

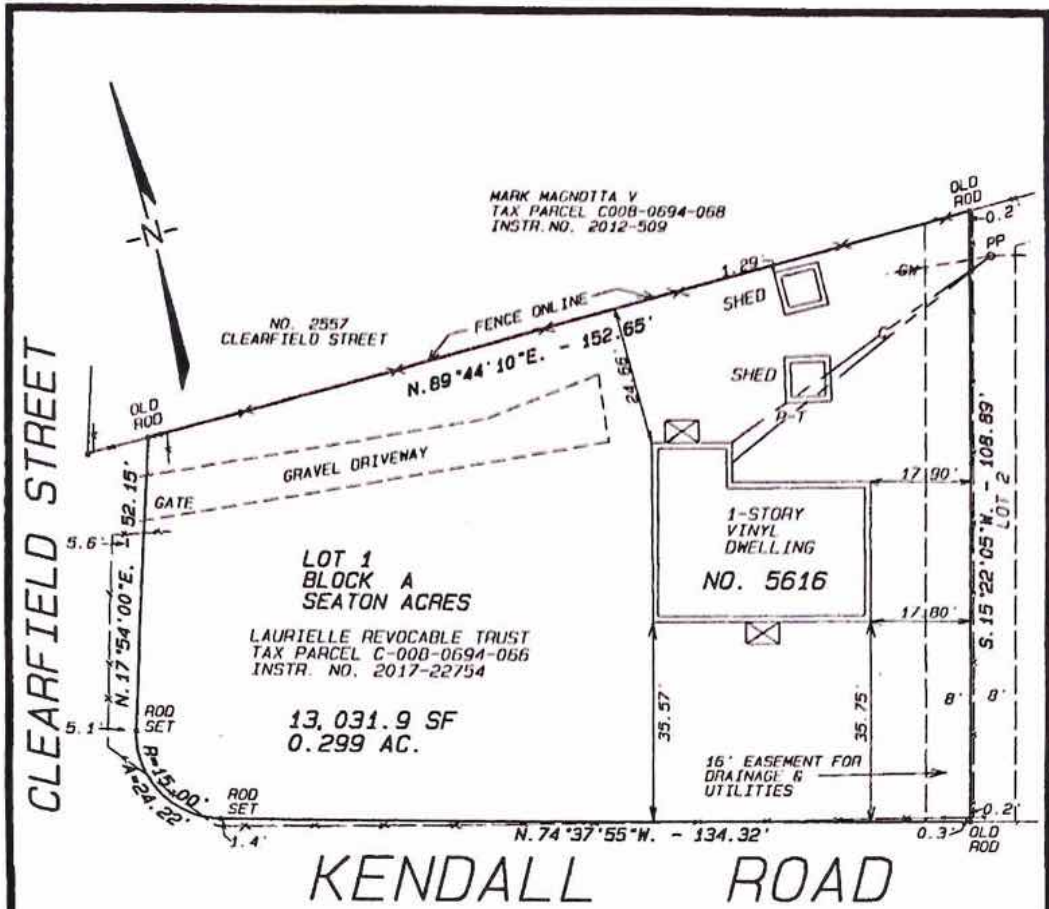
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RIGHT ELEVATION  
 SCALE : 3/16" = 1'-0"

PAGE NO. <b>7</b>	NOTE: ONLY ONE HOUSE MAY BE BUILT UTILIZING THE PLANS THAT ARE DESIGNATED FOR THIS CONTRACT JOB		<b>Palm Harbor Homes</b> 1100 RIVES ROAD, MARTINSVILLE, VA. 24112 (776) 632-7100 FAX (776) 632-1181 WWW.PALMHARBOR.COM © COPYRIGHT 2016 PAM PALM HARBOR HOMES ALL RIGHTS RESERVED	PURCHASER: HORIZON LAND & HOME JOB NO.: MSI-16 CONTRACT NO.: 194115
	PLAN NAME: COLLECTION/SERIES: DESIGN DATE: REV. DATE:	DWG. BY: REV. BY:		CHK. BY: REV. BY: DWG. BY: REV. BY: PLAN REVISION DATE: 6.14.2016B3K01 PLOTTED: 6/14/2016 5:28 PM DWG. BY: REV. BY:

Current



CLEARFIELD STREET

KENDALL ROAD

PP = POWER POLE  
 P= OVERHEAD POWER  
 T= OVERHEAD TELEPHONE  
 C= OVERHEAD CABLEVISION  
 GW = GUY WIRE

NOTE:  
 THIS SURVEY HAS BEEN PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT, AND DOES NOT, THEREFORE, NECESSARILY INDICATE ALL ENCUMBRANCES ON THE PROPERTY.

PLAT OF PROPERTY SITUATED ON THE SOUTHEAST CORNER OF KENDALL ROAD AND CLEARFIELD STREET CITY OF RICHMOND, VIRGINIA JAN. 18, 2019 SCALE: 1"=25'



STEVEN B. KENT & ASSOCIATES, P.C.  
 LAND SURVEYORS  
 1521 Brook Road  
 Richmond, VA 23220  
 PH. 804-643-6113

CERTIFICATION  
 THIS IS TO CERTIFY THAT WE MADE AN ACCURATE FIELD SURVEY OF THE PREMISES SHOWN HEREON THAT ALL IMPROVEMENTS AND VISIBLE EASEMENTS ARE SHOWN HEREON THAT THERE ARE NO ENCROACHMENTS BY IMPROVEMENTS EITHER FROM ADJACENT PREMISES OR FROM SUBJECT PREMISES, OTHER THAN SHOWN HEREON.

*SK*

FILE CB-694