



COMMISSION OF ARCHITECTURAL REVIEW

APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

PROPERTY (location of work)

Address 311 & 313 North 33rd St, Richmond VA 23223
Historic district Chimborazo District

Date/time rec'd: _____
Rec'd by: _____
Application #: _____
Hearing date: _____

APPLICANT INFORMATION

Check if Billing Contact

Name Tia Bouman
Company Tryst LLC
Mailing Address 618-B North 25th St
Richmond, VA 23223

Phone (304)992-6039
Email tiabouman@gmail.com
Applicant Type: Owner Agent
 Lessee Architect Contractor
 Other (please specify): _____

OWNER INFORMATION (if different from above)

Check if Billing Contact

Name Same as Above
Mailing Address _____

Company _____
Phone _____
Email _____

PROJECT INFORMATION

Project Type: Alteration Demolition New Construction
(Conceptual Review Required)

Project Description: (attach additional sheets if needed)

Exterior railings throughout said buildings as well as rear porches and stairs are severely structurally compromised (please see attached photos). I am requesting permission to match 2nd Fl front railings to 1st Fl and replace with 'like' materials and paint to match existing. I ask permission to paint door & window trim either white or to match decking on back porches (see photos). The only design change would be to the rear porch railings/balusters and stairs that currently do NOT meet International Building Code. The rear railing/baluster style would be built as drawn (please see stair detail) and the stair layout would be as proposed as they will not fit on the porches once brought up to code.

ACKNOWLEDGEMENT OF RESPONSIBILITY

Compliance: If granted, you agree to comply with all conditions of the certificate of appropriateness (COA). Revisions to approved work require staff review and may require a new application and approval from the Commission of Architectural Review (CAR). Failure to comply with the conditions of the COA may result in project delays or legal action. The COA is valid for one (1) year and may be extended for an additional year, upon written request and payment of associated fee.

Requirements: A complete application includes all applicable information requested on checklists available on the CAR website to provide a complete and accurate description of existing and proposed conditions, as well as payment of the application fee. Applicants proposing major new construction, including additions, should meet with Staff to review the application and requirements prior to submitting an application. Owner contact information and signature is required. Late or incomplete applications will not be considered.

Zoning Requirements: Prior to Commission review, it is the responsibility of the applicant to determine if zoning approval is required and application materials should be prepared in compliance with zoning.

Signature of Owner  Tia Bouman
2021.01.28 23:50:11
-05'00'

Date 1.28.2021



CERTIFICATE OF APPROPRIATENESS APPLICATION INSTRUCTIONS

In advance of the application deadline please contact staff to discuss your project, application requirements, and if necessary, to make an appointment to meet with staff for a project consultation in the office or on-site. The Commission of Architectural Review website has additional project guidance and required checklists:

<http://www.richmondgov.com/CommissionArchitecturalReview/index.aspx>

Staff Contact: 804.646.6335 Carey.Jones@Richmondgov.com

SUBMISSION INSTRUCTIONS

Certain exterior work can be administratively approved by Staff. Please contact staff for a preliminary determination of the level of review required prior to submitting an application.

Submit the following items to the Division of Planning and Preservation, 900 E. Broad Street, Rm. 510:

- One (1) signed and completed application – property owner's signature required
- One (1) copy of supporting documentation, as indicated on appropriate checklist, collated and stapled. All plans and elevations must be printed **11x17** and all text easily legible.
- One digital copy of the application and supporting documentation, submitted via email or OneDrive.
- Application fee, as required, will be invoiced. Payment of the fee must be received before the application will be scheduled. Please see fee schedule brochure available on the CAR website for additional information.
- **Application deadlines are firm.** All materials must be submitted by the deadline to be considered at the following Commission meeting. Designs must be final at the time of application; revisions will not be accepted after the deadline. Incomplete and/or late applications will not be placed on the agenda.
- **A complete application** includes a signed application form, related checklist, legible plans, drawings, elevations, material specifications, and payment of the required fee as described in Sec. 30-930.6(b).
- The Commission will not accept new materials, revisions, or redesigns at the meeting. Deferral until the following month's meeting may be necessary in such cases to allow for adequate review by staff, Commissioners, and public notice if required.

MEETING SCHEDULE AND APPLICATION DUE DATES

- The CAR meets on the fourth Tuesday of each month, except in December when it meets on the third Tuesday.
- The hearing of applications starts at 4:00 PM in the 5th floor conference room of City Hall, 900 E. Broad Street. The owner and/or applicant is *encouraged to attend* the meeting.
- All applications are due at 12 noon the Friday after the monthly CAR meeting, except in December, when applications are due the following Monday. For a list of meeting dates and submission deadline dates for each meeting please visit: <http://www.richmondgov.com/CommissionArchitecturalReview> or contact staff.
- **Exception:** Revisions to applications that have been deferred or conceptually reviewed at a Commission meeting can be submitted nine (9) business days after that meeting in order to be reviewed at the following meeting. Please contact staff to confirm this date.



LOCATION MAP:



SITE LOCATION

Sheet List		
Sheet Number	Sheet Name	Sheet Issue Date
A-0.0	COVERSHEET	1.26.2021
A-3.1	EXISTING EAST & WEST ELEVATIONS	11.18.2020
A-3.2	EXISTING NORTH & SOUTH ELEVATIONS	11.18.2020
A-3.3	EXISTING PERSPECTIVES	11.18.2020
A-3.4	PROPOSED SOUTH & NORTH ELEVATIONS & STAIR DETAIL	1.26.2021
A-3.5	PROPOSED EAST & WEST ELEVATIONS	1.26.2021
A-3.6	PROPOSED PERSPECTIVES	1.26.2021
A-3.7	PROPOSED PERSPECTIVE 2	1.26.2021

GENERAL NOTES:

CONTRACTOR SHALL INSURE THAT ALL WORK COMPLIES WITH ALL CURRENT INTERNATIONAL, STATE AND LOCAL CODE REQUIREMENTS, AND WORK IN CONJUNCTION WITH GOVERNING CODE ENFORCEMENT OFFICIALS.

CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS AND SIMILAR RELEASES AS REQUIRED.

CONTRACTOR SHALL SCHEDULE AND MAINTAIN ALL CODE INSPECTIONS AS REQUIRED AND NOTIFY THE OWNER REGARDING THE STATUS OF SAID INSPECTIONS.

ALL WORK DONE WHICH REQUIRES STATE LICENSING SHALL BE DONE BY QUALIFIED PERSONS WITH A CURRENT LICENSE FOR THE GIVEN TRADE.

Residential Renovations
for
Tryst LLC

311 & 313 N 33rd Street, Richmond VA 23223

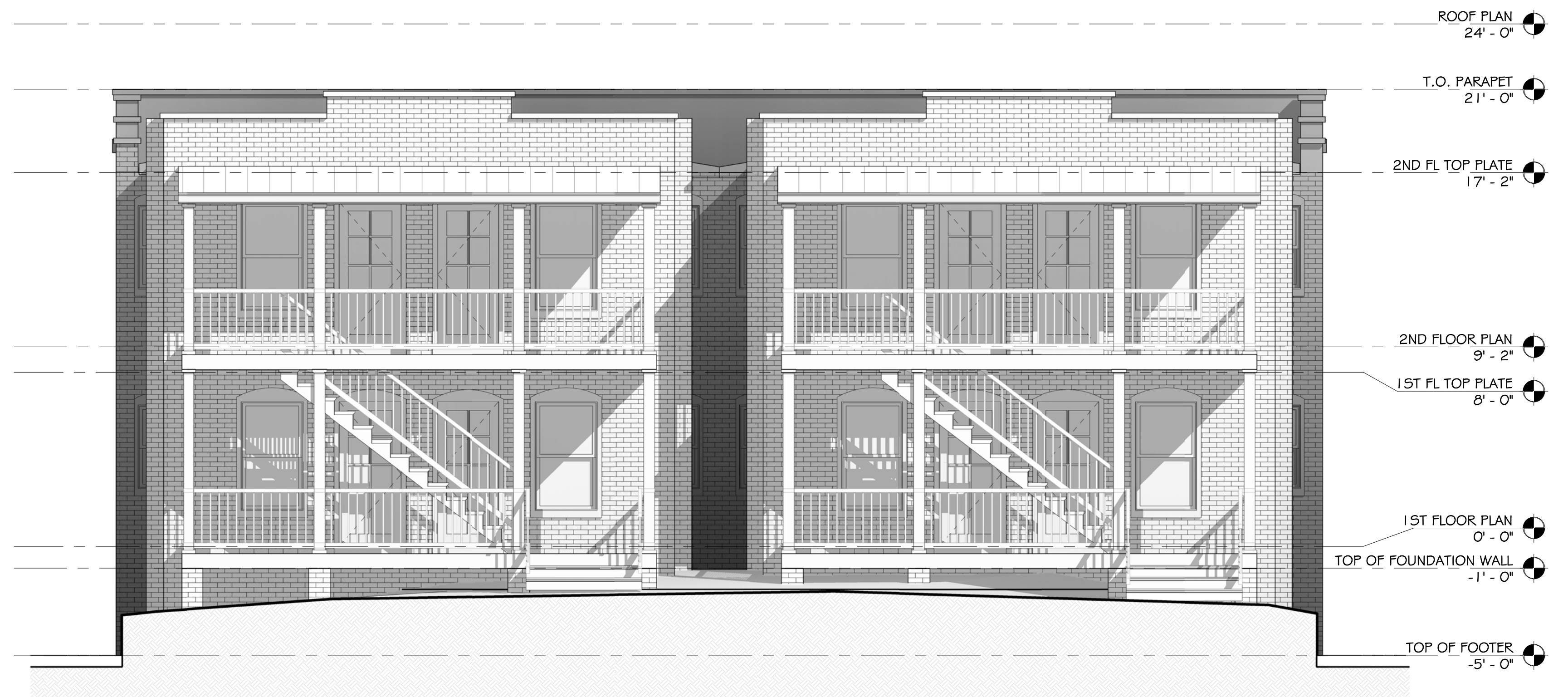
ORIGINAL: 8.27.2020
ISSUE DATE: 1.26.2021

A-0.0

COVERSHEET



1 **EXISTING SOUTH ELEVATION**
Scale: 1/4" = 1'-0"



2 **EXISTING NORTH ELEVATION**
Scale: 1/4" = 1'-0"

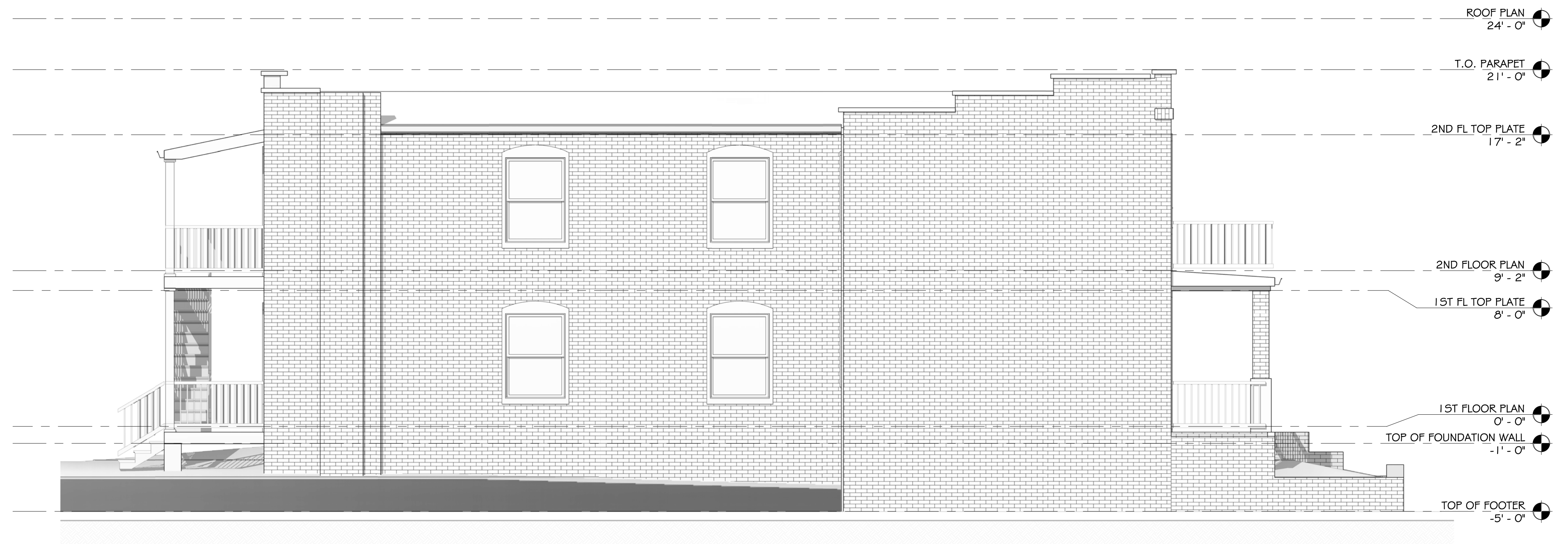
Renovations
 for
 Tia Bouman of Tryst LLC
 311 North 33rd Street, Richmond VA 23223

ORIGINAL: 8.27.2020
ISSUE DATE: 1.18.2020

A-3.1
EXISTING EAST &
WEST ELEVATIONS



1 **EXISTING EAST ELEVATION**
Scale: 1/4" = 1'-0"



2 **EXISTING WEST ELEVATION**
Scale: 1/4" = 1'-0"

Renovations
for
Tia Bouman of Tryst LLC
311 North 33rd Street, Richmond VA 23223

ORIGINAL: 8.27.2020
ISSUE DATE: 1.18.2020

A-3.2
EXISTING NORTH &
SOUTH ELEVATIONS



1 **PROPOSED 33RD ST PERSPECTIVE**
 Scale:

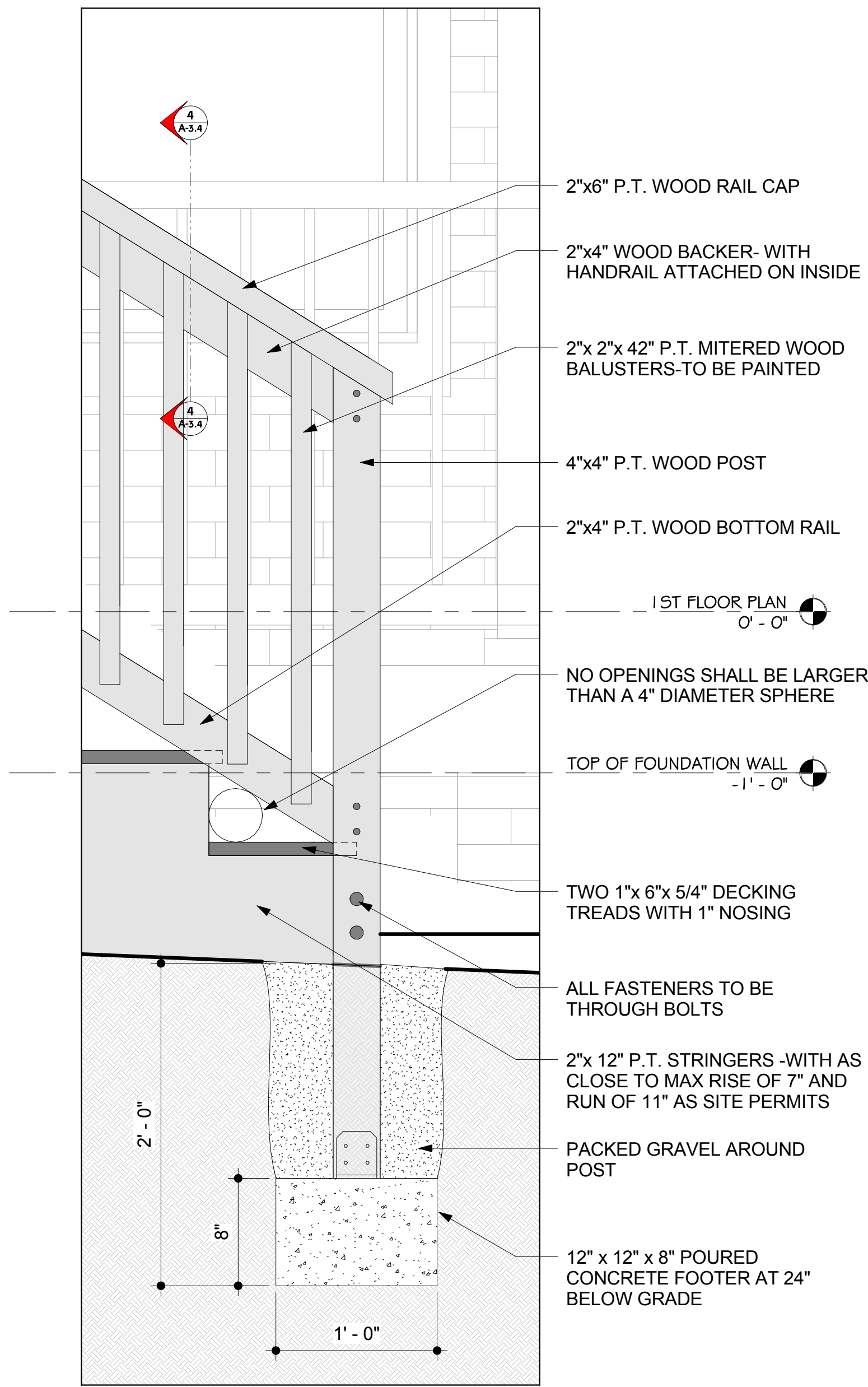


2 **PROPOSED BACK PARKING PERSPECTIVE**
 Scale:

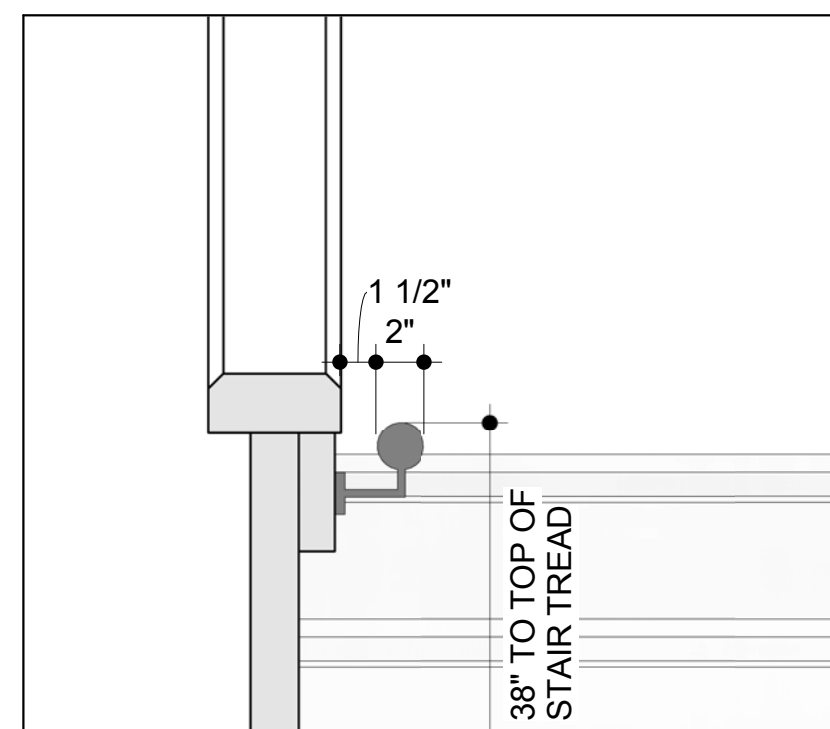
Renovations
 for
 Tia Bouman of Tryst LLC
 311 North 33rd Street, Richmond VA 23223

ORIGINAL: 8.27.2020
 ISSUE DATE: 1.18.2020

A-3.3
 EXISTING
 PERSPECTIVES



3 STAIR DETAIL
Scale: 1 1/2" = 1'-0"

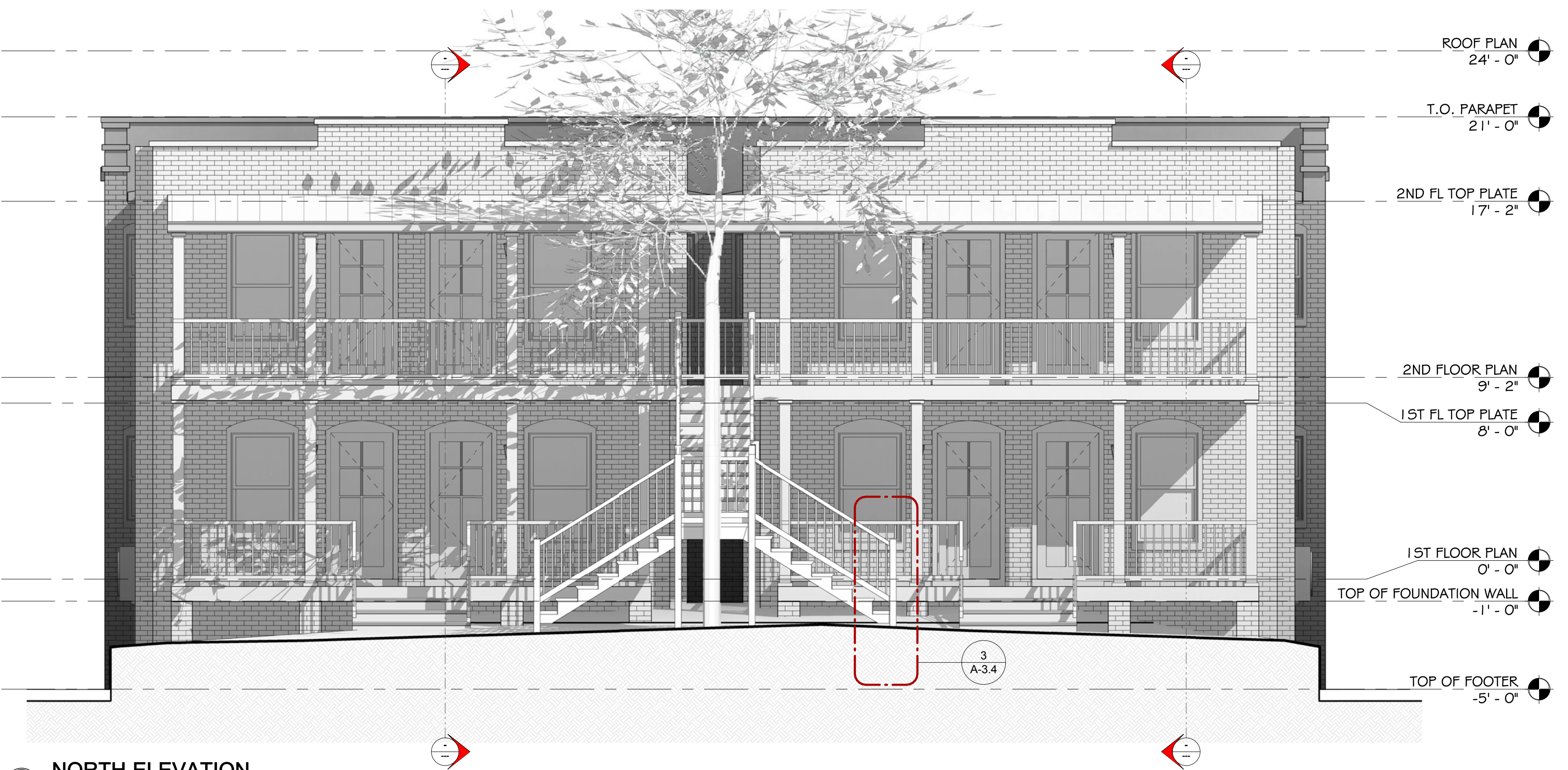


4 STAIR DETAIL SECTION
Scale: 1 1/2" = 1'-0"

- 2"x6" P.T. WOOD RAIL CAP
- 2"x4" WOOD BACKER- WITH HANDRAIL ATTACHED ON INSIDE
- 2"x 2"x 42" P.T. MITERED WOOD BALUSTERS-TO BE PAINTED
- 4"x4" P.T. WOOD POST
- 2"x4" P.T. WOOD BOTTOM RAIL
- 1ST FLOOR PLAN 0'-0"
- NO OPENINGS SHALL BE LARGER THAN A 4" DIAMETER SPHERE
- TOP OF FOUNDATION WALL -1'-0"
- TWO 1"x 6"x 5/4" DECKING TREADS WITH 1" NOSING
- ALL FASTENERS TO BE THROUGH BOLTS
- 2"x 12" P.T. STRINGERS -WITH AS CLOSE TO MAX RISE OF 7" AND RUN OF 11" AS SITE PERMITS
- PACKED GRAVEL AROUND POST
- 12" x 12" x 8" POURED CONCRETE FOOTER AT 24" BELOW GRADE



1 SOUTH ELEVATION
Scale: 1/4" = 1'-0"



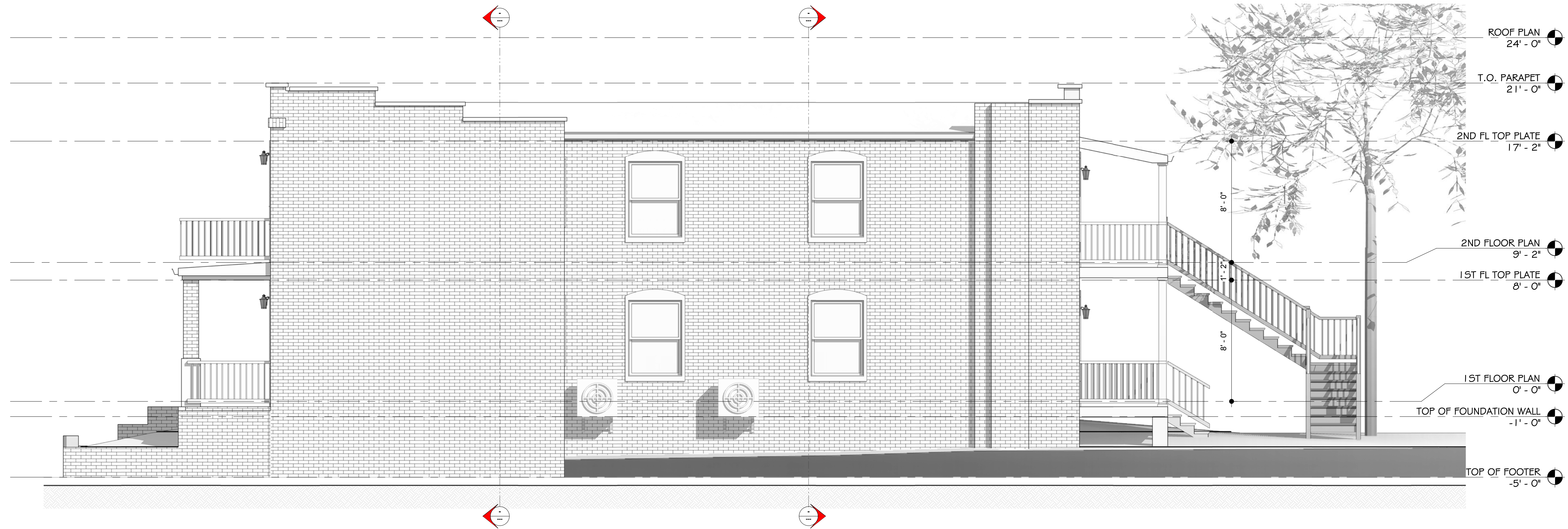
2 NORTH ELEVATION
Scale: 1/4" = 1'-0"

Residential Renovations
for
Tryst LLC

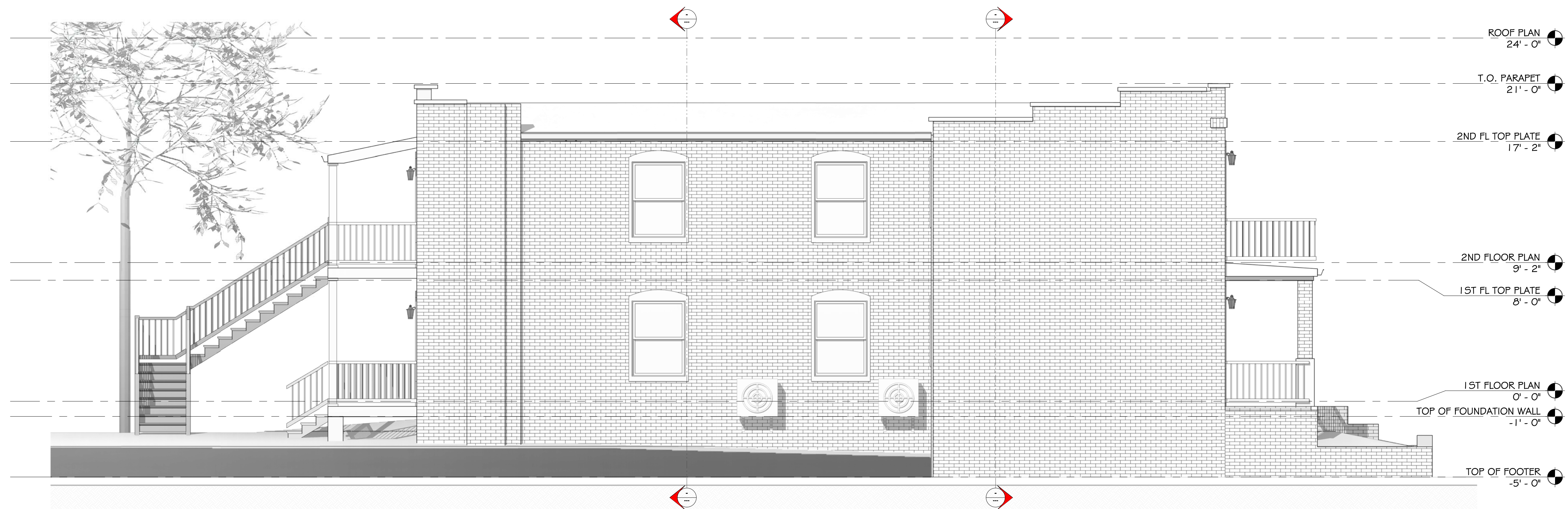
311 & 313 N 33rd Street, Richmond VA 23223

ORIGINAL: 8.27.2020
ISSUE DATE: 1.26.2021

A-3.4
PROPOSED SOUTH &
NORTH ELEVATIONS &
STAIR DETAIL



1 EAST ELEVATION
Scale: 1/4" = 1'-0"



2 WEST ELEVATION
Scale: 1/4" = 1'-0"

Residential Renovations

for
Tryst LLC

311 & 313 N 33rd Street, Richmond VA 23223

ORIGINAL: 8.27.2020
ISSUE DATE: 1.26.2021

A-3.5

PROPOSED EAST &
WEST ELEVATIONS



1 **33RD ST PERSPECTIVE**
Scale:



2 **BACK PARKING PERSPECTIVE**
Scale:

Residential Renovations
for
Tryst LLC

311 & 313 N 33rd Street, Richmond VA 23223

ORIGINAL: 8.27.2020
ISSUE DATE: 1.26.2021

A-3.6

PROPOSED
PERSPECTIVES



① **BACK PARKING PERSPECTIVE 2**
Scale:

Residential Renovations
for

Tryst LLC

311 & 313 N 33rd Street, Richmond VA 23223

ORIGINAL: 8.27.2020
ISSUE DATE: 1.26.2021

A-3.7

PROPOSED
PERSPECTIVE 2

311 & 313 N. 33RD STREET - CAR SUBMITTAL



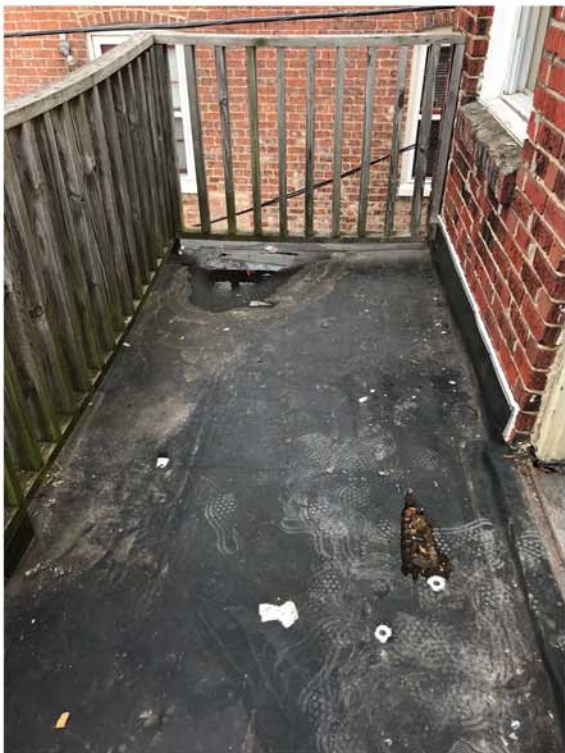
PHOTO FROM CITY HISTORICAL RECORDS - 2014



CURRENT PHOTO OF BUILDING - 2020 - FRONT RAILING & DOORS



CURRENT PHOTO OF FRONT 1ST FLOOR RAILING



CURRENT PHOTO OF FRONT 2ND FLOOR RAILING & PORCH



CURRENT PHOTO OF FRONT 1ST FLOOR CEILING FRAMING



CURRENT PHOTO OF BACK PORCHES



CURRENT PHOTOS OF BACK PORCH FAILING POSTS



CURRENT PHOTOS OF BACK PORCH TREADS, COLOR, & RAILINGS



PROPOSED PHOTO OF FRONT RAILING PAINTED TO MATCH EXISTING



PROPOSED PHOTO OF FRONT RAILINGS PAINTED TO MATCH EXISTING & WOOD TRIM TO MATCH REAR DECKING