



DEPARTMENT OF
**PLANNING AND
DEVELOPMENT
REVIEW**

Commission of Architectural Review
Certificate of Appropriateness Application
900 E. Broad Street, Room 510
Richmond, VA 23219
804-646-6569

Property (location of work)
Property Address: 2807 E Clay St, Richmond VA 23223 Current **Zoning**: R-8
Historic District: Church Hill North

Application is submitted for: (check one)

- Alteration**
- Demolition**
- New Construction**

Project Description (attach additional sheets if needed):

Construction of a covered front porch to the existing home to restore historical integrity. Proposed plans and photo of the home in the 1950s showing the original porch, attached below.

Applicant/Contact Person: Matt Jarreau
Company: George RVA - Hometown Realty
Mailing Address: [REDACTED]
City: Richmond State: VA Zip Code: 23223
Telephone: [REDACTED]
Email: [REDACTED]
Billing Contact? Yes Applicant Type (owner, architect, etc.): Owner

Property Owner: 2807 E Clay St LLC
If Business Entity, name and title of authorized signee: Matt Jarreau
Mailing Address: [REDACTED]
City: Richmond State: VA Zip Code: 23223
Telephone: [REDACTED]
Email: [REDACTED]
Billing Contact? Yes

****Owner must sign at the bottom of this page****

Acknowledgement of Responsibility

Compliance: If granted, you agree to comply with all conditions of the certificate of appropriateness (COA). Revisions to approved work require staff review and may require a new application and approval from the Commission of Architectural Review (CAR). Failure to comply with the conditions of the COA may result in project delays or legal action. The COA is valid for one (1) year and may be extended for an additional year, upon written request and payment of associated fee.

Requirements: A complete application includes all applicable information requested on checklists available on the CAR website to provide a complete and accurate description of existing and proposed conditions, as well as payments of the application fee. Applications proposing major new construction, including additions, should meet with staff to review the application and requirements prior to submitting. Owner contact information and signature is required. Late or incomplete applications will not be considered.

Zoning Requirements: Prior to Commission review, it is the responsibility of the applicant to determine if zoning approval is required. Application materials should be prepared in compliance with zoning.

Property Owner Signature:  Date: Jan. 29, 2026

Certificate of Appropriateness Application Instructions

Staff Contact: (804)-646-6569 | alex.dandridge@rva.gov

Before You Submit

In advance of the application deadline, please contact staff to discuss your project, application requirements, and if necessary, to make an appointment to meet with staff for a project consultation. The CAR website has additional project guidance and required checklists: www.rva.gov/planning-development-review/commission-architectural-review.

Application deadlines are firm. All materials must be submitted by the deadline to be considered at the following Commission meeting. Designs must be final at the time of application; revisions will not be accepted after the deadline. Incomplete and/or late applications will not be placed on that month's agenda.

Submission Requirements

Please submit applications to staff via email with the project address in the subject line. Submit the following items via email to staff:

- One (1) signed and completed application (PDF) – property owner signature required.
- Supporting documentation, as indicated on the [checklist](#), which can be found under the 'Application Information' tab on the website.
- Payment of application fee, if required. Payment of the fee must be received before the application will be scheduled. An invoice will be sent via the City's Online Permit Portal. Please see [fee schedule](#) available on the CAR website for additional information.

A complete application includes a signed application form, legible plans, drawings, elevations, material specifications, and payment of the required fee as described in the City Code of Ordinances Sec. 30-930.6(b). The Commission will not accept new materials, revisions, or redesigns at the meeting. Deferral until the following month's meeting may be necessary in such cases to allow for adequate review by staff, Commissioners, and public notice, if required.

Meeting Information and Application Due Dates

- The Commission meets on the fourth Tuesday of each month, except for December when it meets on the third Tuesday.
- Application hearings start at 4:00pm. Meetings are held in person at City Hall in the 5th floor conference room. Participation via Microsoft Teams is available. It is strongly recommended that at least one person, either the owner or applicant, attend the meeting in person.
- All applications are due at 12 noon the Friday after the monthly CAR meeting, except in December, when applications are due the following Monday. For a list of meeting dates and submission deadline dates for each meeting please visit www.rva.gov/planning-development-review/commission-architectural-review or contact staff.
- Revisions to applications that have been deferred or conceptually reviewed at a CAR meeting can be submitted nine (9) business days after that meeting in order to be reviewed at the following meeting. Please contact staff to confirm this date.
- New construction will be required to go through a conceptual review. The conceptual review is non-binding.
- Applicants are encouraged to reach out to any relevant civic associations and immediate neighbors for new construction or large-scale projects prior to submitting to the Commission of Architectural Review.



CERTIFICATE OF APPROPRIATENESS

ALTERATION AND ADDITION CHECKLIST

Well in advance of the COA application deadline contact staff to discuss your project, and if necessary, to make an appointment to meet with staff for a project consultation.

Complete all applicable sections and submit with the COA application form. Staff can assist you in determining what items are required for your scope of work. An incomplete application may cause delays in processing or may be deferred to the next agenda. Application materials must clearly represent current and proposed conditions. Refer to Standards for Rehabilitation outlined in Section 30.930.7(b) of the City Code, as well as, the *Richmond Old and Historic Districts Handbook and Design Review Guidelines*.

PROPERTY ADDRESS: 2807 E Clay St, Richmond VA 23223

BUILDING TYPE

- | | |
|---|--|
| <input checked="" type="checkbox"/> single-family residence | <input type="checkbox"/> garage |
| <input type="checkbox"/> multi-family residence | <input type="checkbox"/> accessory structure |
| <input type="checkbox"/> commercial building | <input type="checkbox"/> other |
| <input type="checkbox"/> mixed use building | |
| <input type="checkbox"/> institutional building | |

ALTERATION TYPE

- | | |
|--|---|
| <input type="checkbox"/> addition | <input type="checkbox"/> roof |
| <input type="checkbox"/> foundation | <input type="checkbox"/> awning or canopy |
| <input type="checkbox"/> wall siding or cladding | <input type="checkbox"/> commercial sign |
| <input type="checkbox"/> windows or doors | <input type="checkbox"/> ramp or lift |
| <input checked="" type="checkbox"/> porch or balcony | <input type="checkbox"/> other |

WRITTEN DESCRIPTION

- property description, current conditions and any prior alterations or additions
- proposed work: plans to change any exterior features, and/or addition description
- current building material conditions and originality of any materials proposed to be repaired or replaced
- proposed new material description: attach specification sheets if necessary

PHOTOGRAPHS place on 8 ½ x 11 page, label photos with description and location (refer to photograph guidelines)

- elevations of all sides
- detail photos of exterior elements subject to proposed work
- historical photos as evidence for restoration work

DRAWINGS (refer to required drawing guidelines)

- | | | |
|--|--|---|
| <input type="checkbox"/> current site plan | <input type="checkbox"/> list of current windows and doors | <input type="checkbox"/> current elevations (all sides) |
| <input checked="" type="checkbox"/> proposed site plan | <input type="checkbox"/> list of proposed window and door | <input checked="" type="checkbox"/> proposed elevations (all sides) |
| <input type="checkbox"/> current floor plans | <input type="checkbox"/> current roof plan | <input type="checkbox"/> demolition plan |
| <input type="checkbox"/> proposed floor plans | <input checked="" type="checkbox"/> proposed roof plan | <input type="checkbox"/> perspective and/or line of sight |
| <input type="checkbox"/> legal "plat of survey" | | |

2807 E Clay St

Front Porch Plans

Owner

2807 E Clay St LLC
611 N 26th st
Richmond, VA 23223

Engineer

Obsidian, Inc.
Charles R. Field, P.E.
417 North 22nd Street
Richmond, VA 23223
804.647.1589
obsidianrva@gmail.com

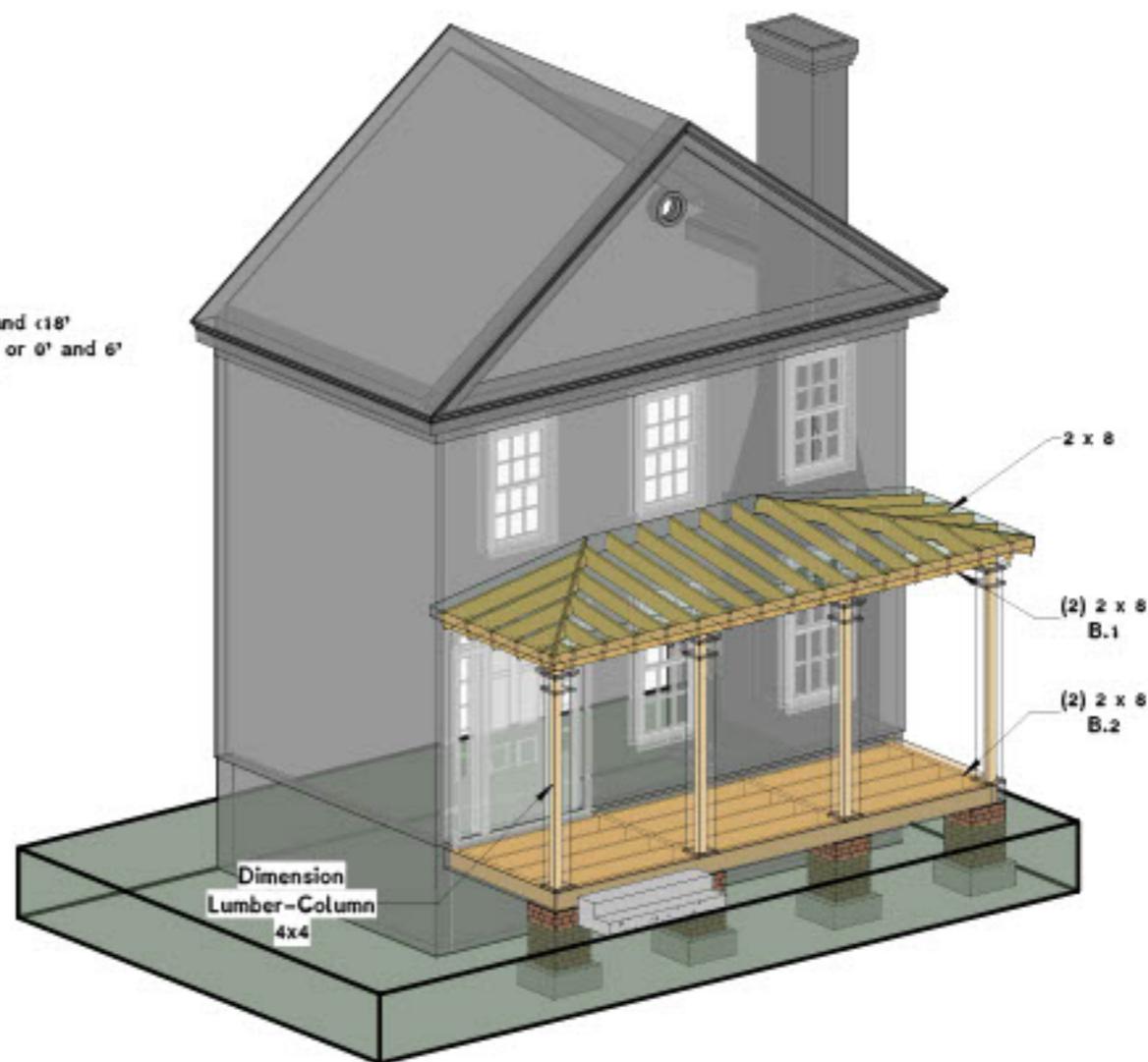
Property Information

Parcel ID E0000529005
Zoning R-8
Use Residential
Setbacks Front Yard = >10' and <18'
Side Yard = 3 feet or 0' and 6'
Rear Yard = 5 feet
Lot Coverage 60%

Scope of Work

Scope of work will generally consist of the construction of a front porch to restore historical integrity to an existing structure in accordance with these plans, CAR administration, and the Virginia Residential Code, 2021

G0.1t	Cover Sheet
A1.1	Floor Plan
A2.1	Elevations
A3.1	Sections
A9.1	Exterior Perspective Renderings
S1.1	Structure



1 Structural View

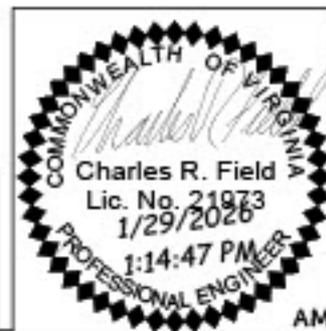
Print plans at 11" x 17", Tabloid

Obsidian, Inc.
417 North 22nd Street
Richmond, VA 23223
804.647.1589
obsidianrva@gmail.com

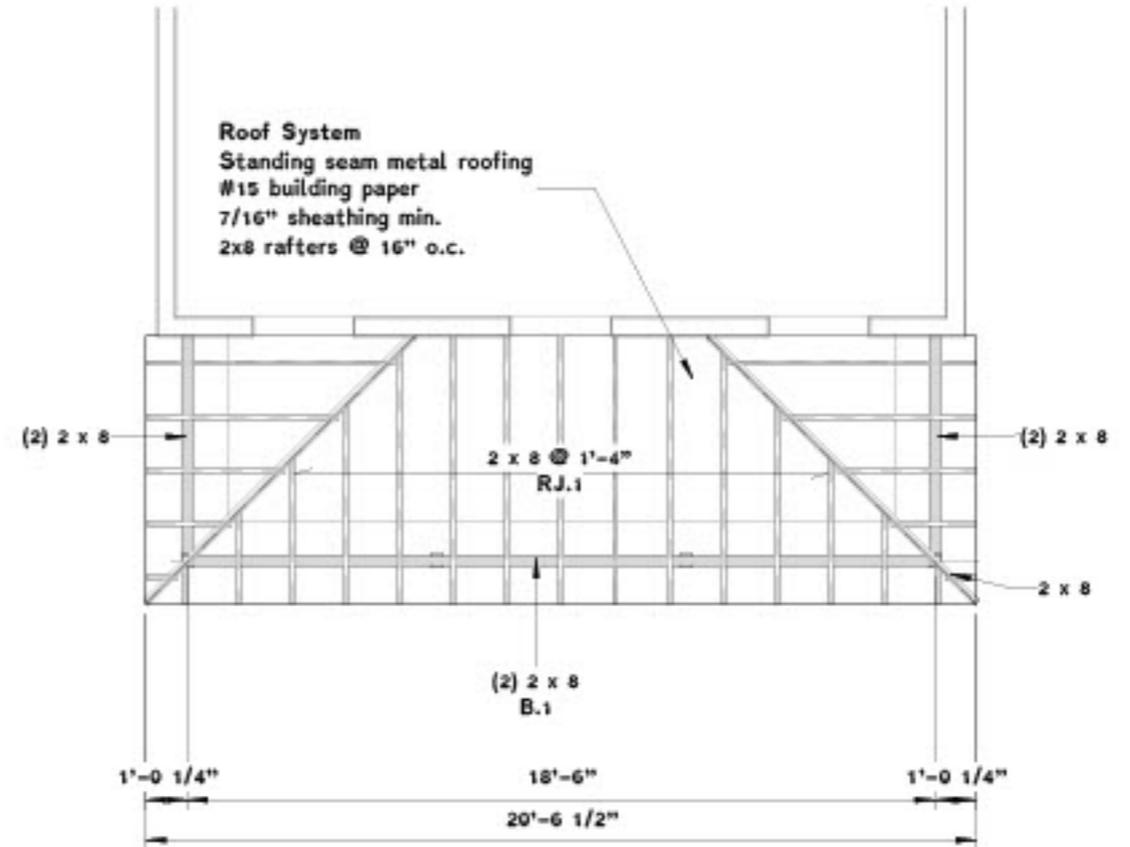
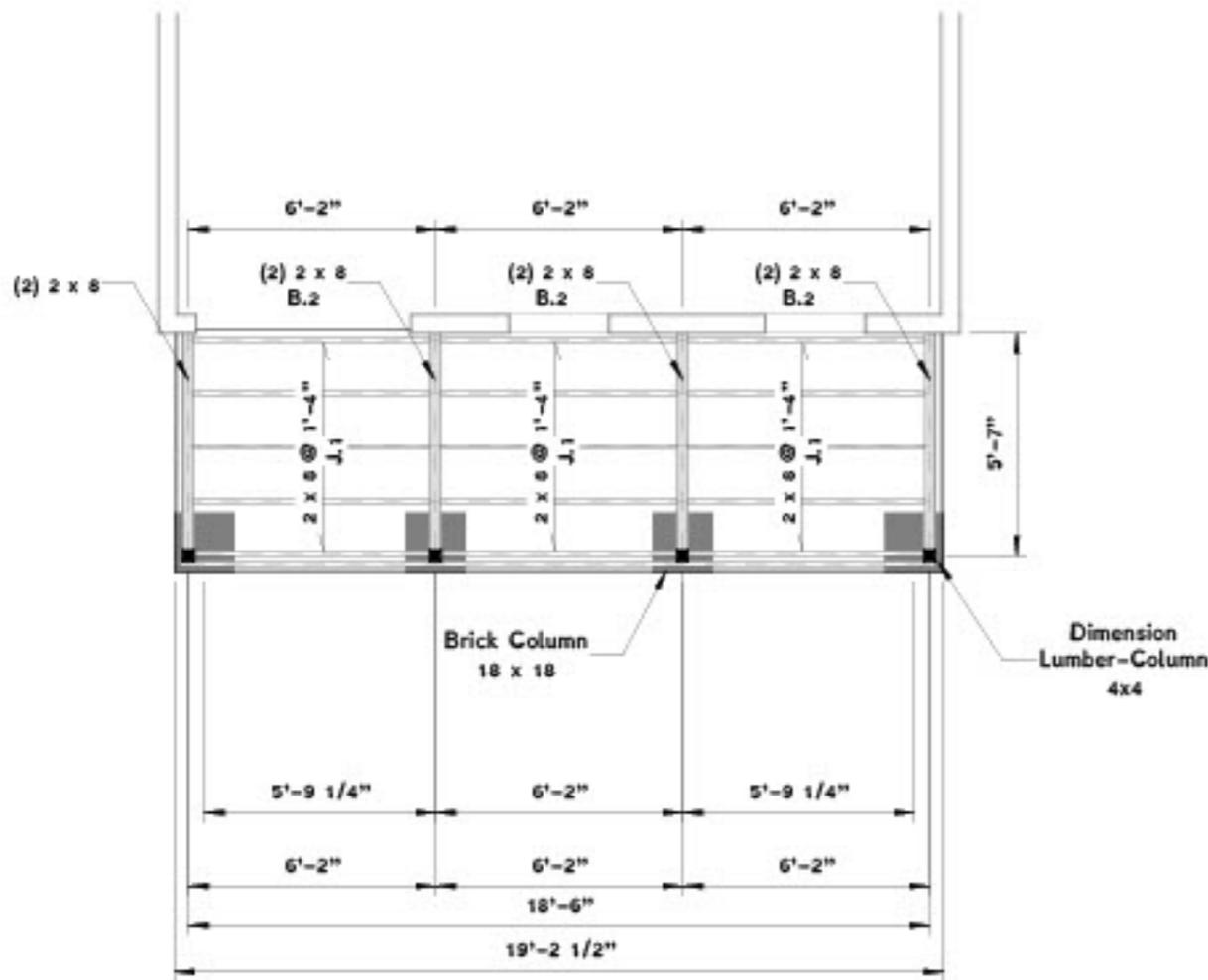
Cover Sheet
2807 E Clay St
Matt Jarreau

January 29, 2026

G0.1t



Rev.	Date	Description



Print plans at 11" x 17", Tabloid

Rev.	Date	Description

Obsidian, Inc.
417 North 22nd Street
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January 29, 2026

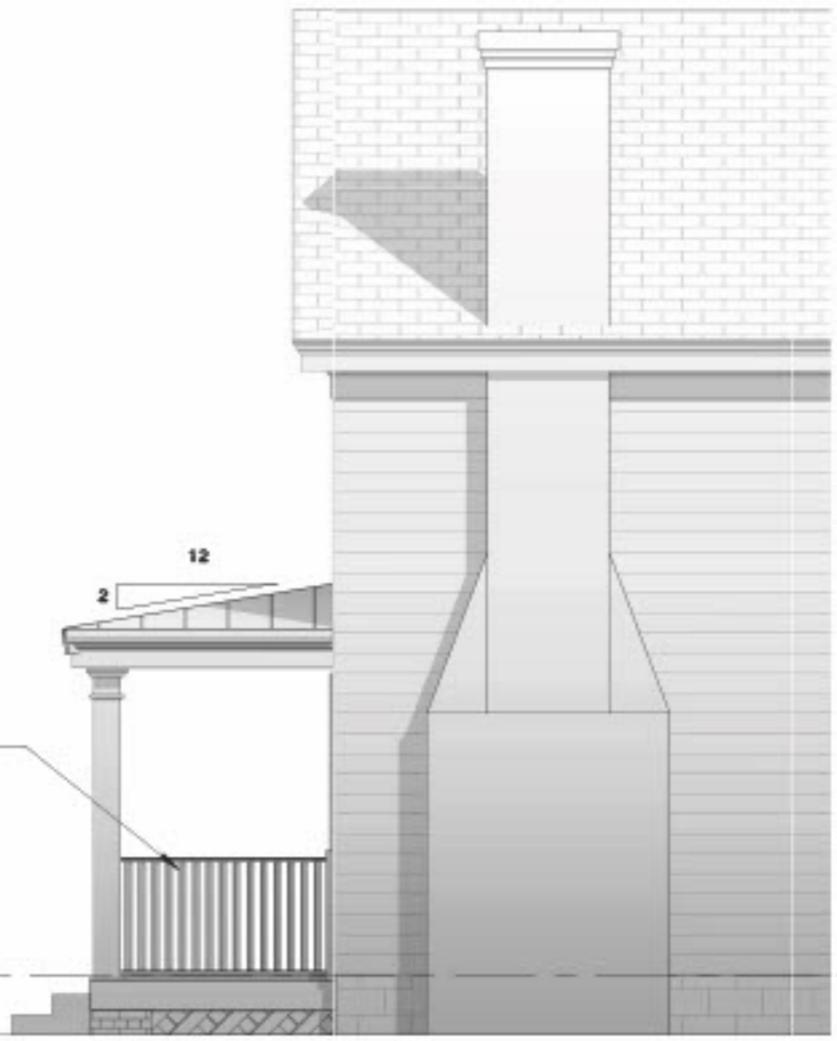
Floor Plan
2807 E Clay St
Matt Jarreau

A1.1





CAR approved Richmond Rail



First Floor 0''

2 Proposed South
1/4" = 1'-0"

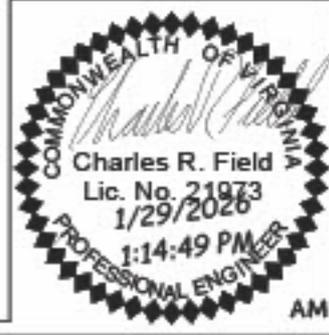
1 Proposed East
1/4" = 1'-0"

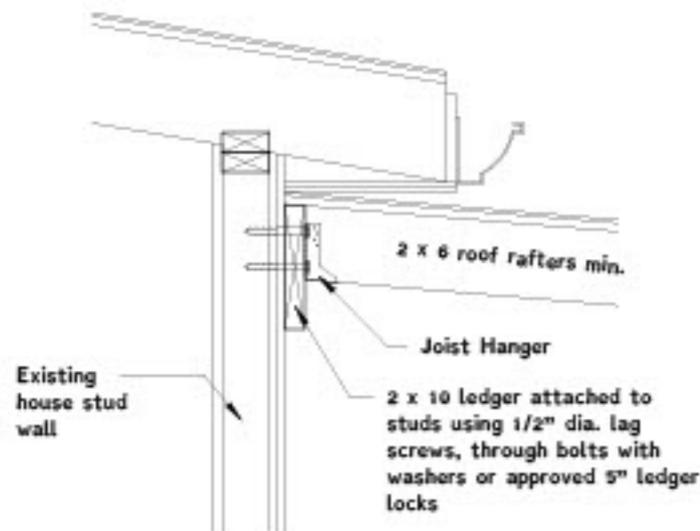
Print plans at 11" x 17", Tabloid

Rev.	Date	Description

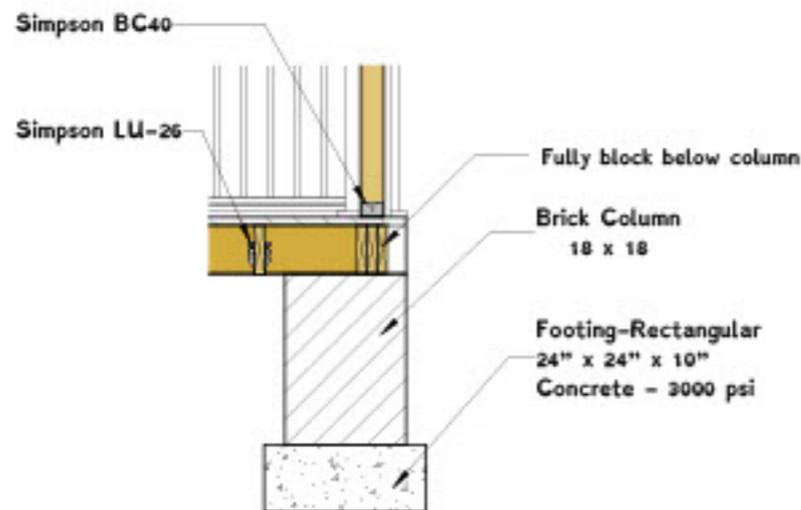
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Elevations
 2807 E Clay St
 Matt Jarreau
 January 29, 2026
 A2.1



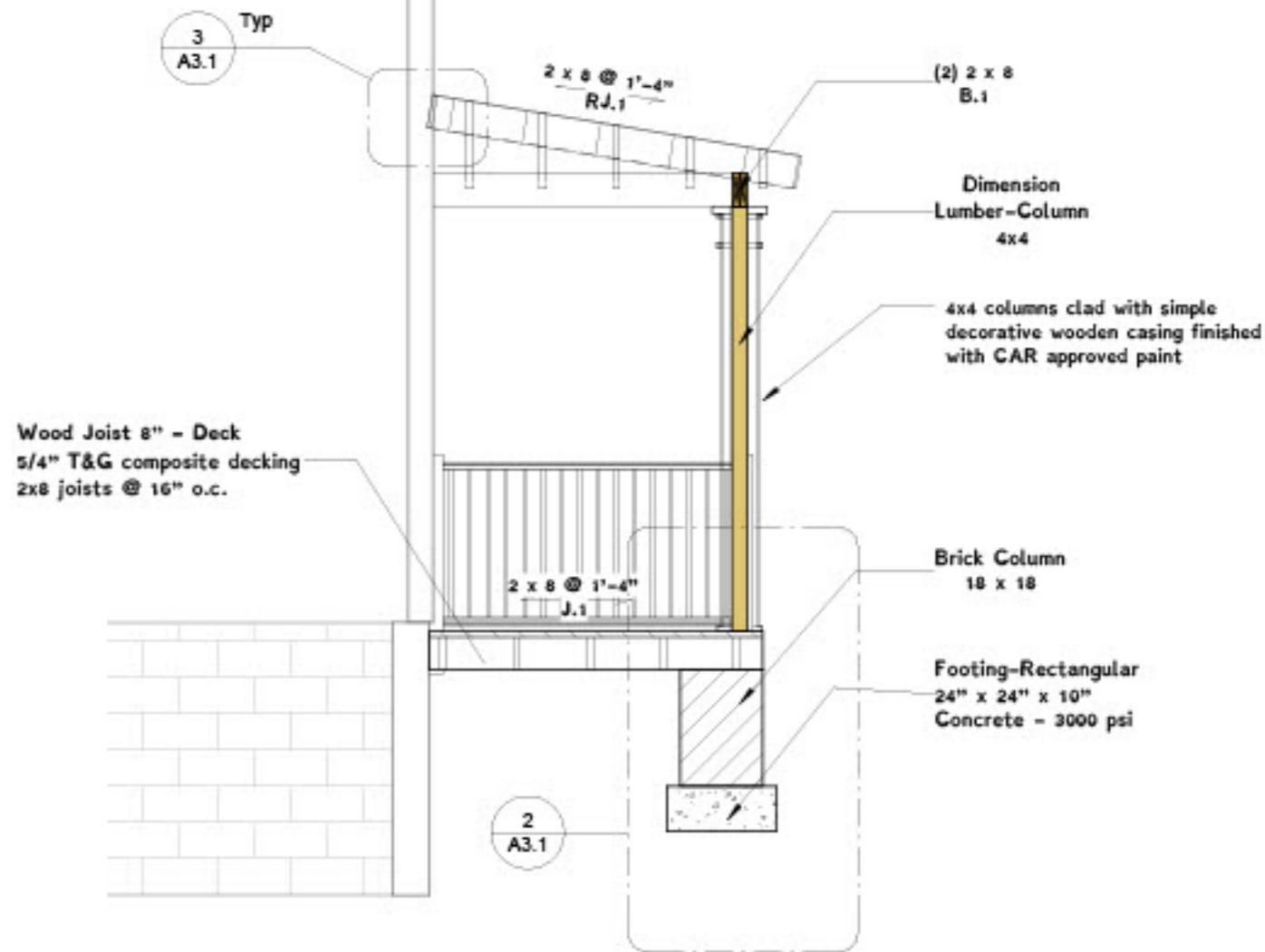


3 Ledger Attachment - roof to studs
1" = 1'-0"



2 Detail
1/2" = 1'-0"

Rev.	Date	Description



1 Porch Section
3/8" = 1'-0"

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January 29, 2026

Sections
2807 E Clay St
Matt Jarreau

A3.1

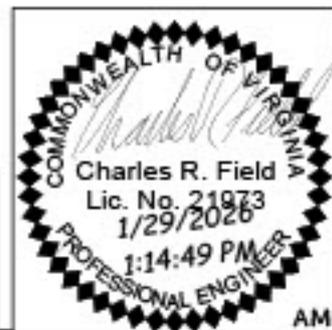




Photo of original structure in the 1950's obtained through the Department of Planning and Development Review



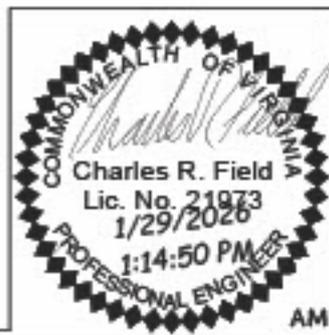
1 Proposed Isometric Rendering

Print plans at 11" x 17", Tabloid

Rev.	Date	Description

Obsidian, Inc.
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 obsidianrva@gmail.com

Exterior Perspective Renderings
 2807 E Clay St
 Matt Jarreau
 January 29, 2026
 A9.1



AM

Porch			
Member Name	Results (Max UTIL %)	Current Solution	Comments
RJ.1 - Roof Joists	Passed (12% M)	1 piece(s) 2 x 8 SP No.2 @ 16" OC	
B.1- Porch Roof Beam	Passed (27% M)	2 piece(s) 2 x 8 SP No.2	
B.2- Porch Floor Beams	Passed (20% M)	2 piece(s) 2 x 8 SP No.2	
J.1 - Porch Joists	Passed (24% M)	1 piece(s) 2 x 8 SP No.2 @ 16" OC	

FortewEB Software Operator	Job Notes
Angie Martinez Obsidian Inc. (410) 303-9645 angie.obsidian@gmail.com	

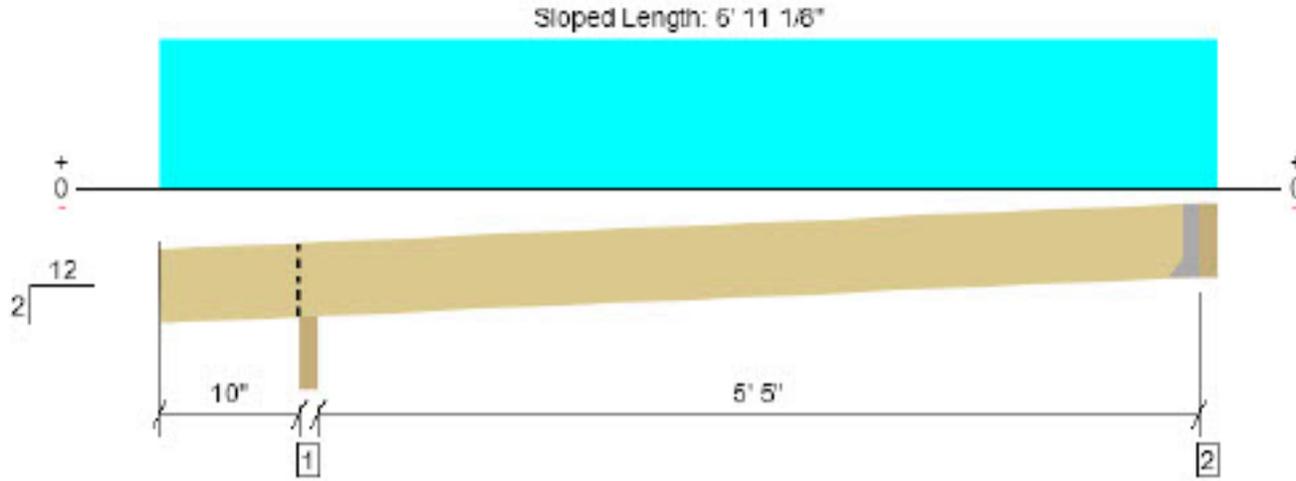


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FortewEB v4.0

File Name: E Clay St, 2807 - Front Porch Plans

Porch, RJ.1 - Roof Joists
 1 piece(s) 2 x 8 SP No.2 @ 16" OC



Drawing is Conceptual. All locations are measured from the outside face of left support (or left cantilever end). All dimensions are horizontal (typ.).

Design Results	Actual @ Location	Allowed	Result	LDF	Load: Combination (Pattern)
Member Reaction (lbs)	128 @ 6' 6 1/2"	1271 (1.50")	Passed (10%)	--	1.0 D + 1.0 Lr (Alt Spans)
Shear (lbs)	100 @ 1' 8 5/8"	1586	Passed (6%)	1.25	1.0 D + 1.0 Lr (All Spans)
Moment (Ft-lbs)	174 @ 3' 9 7/8"	1456	Passed (12%)	1.25	1.0 D + 1.0 Lr (Alt Spans)
Live Load Defl. (in)	0.009 @ 3' 9 5/16"	0.282	Passed (L/999+)	--	1.0 D + 1.0 Lr (Alt Spans)
Total Load Defl. (in)	0.015 @ 3' 9 3/8"	0.376	Passed (L/999+)	--	1.0 D + 1.0 Lr (Alt Spans)

Member Length : 6' 8 13/16"
 System : Roof
 Member Type : Joist
 Building Use : Residential
 Building Code : IBC 2021
 Design Methodology : ASD
 Member Pitch : 2/12

- Deflection criteria: LL (L/240) and TL (L/180).
- Overhang deflection criteria: LL (2L/240) and TL (2L/180).
- Allowed moment does not reflect the adjustment for the beam stability factor.
- A 15% increase in the moment capacity has been added to account for repetitive member usage.
- Applicable calculations are based on NDS.

Supports	Bearing Length			Loads to Supports (lbs)			Accessories
	Total	Available	Required	Dead	Roof Live	Factored	
1 - Beveled Plate - SYP	3.50"	3.50"	1.50"	78	103	181	Blocking
2 - Hanger on 7 1/4" SYP Ledger	3.50"	Hanger ¹	1.50"	60	81	141	See note ¹

- Blocking Panels are assumed to carry no loads applied directly above them and the full load is applied to the member being designed.
- At hanger supports, the Total Bearing dimension is equal to the width of the material that is supporting the hanger
- ¹ See Connector grid below for additional information and/or requirements.

Lateral Bracing	Bracing Intervals	Comments
Top Edge (Lu)	6' 8" o/c	
Bottom Edge (Lu)	6' 8" o/c	

- Maximum allowable bracing intervals based on applied load.
- Dimensions for lateral bracing intervals are measured along the length of the member for sloped conditions.

Connector: Simpson Strong-Tie

Support	Model	Seat Length	Top Fasteners	Face Fasteners	Member Fasteners	Accessories
2 - Face Mount Hanger	LRU26Z	1.94"	N/A	4-10dx1.5	5-10d	

- Refer to manufacturer notes and instructions for proper installation and use of all connectors.

Vertical Load	Location (Side)	Spacing	Dead (0.90)	Roof Live (1.25)	Comments
1 - Uniform (PSF)	0 to 6' 10"	16"	15.0	20.0	Roof Load

Weyerhaeuser Notes

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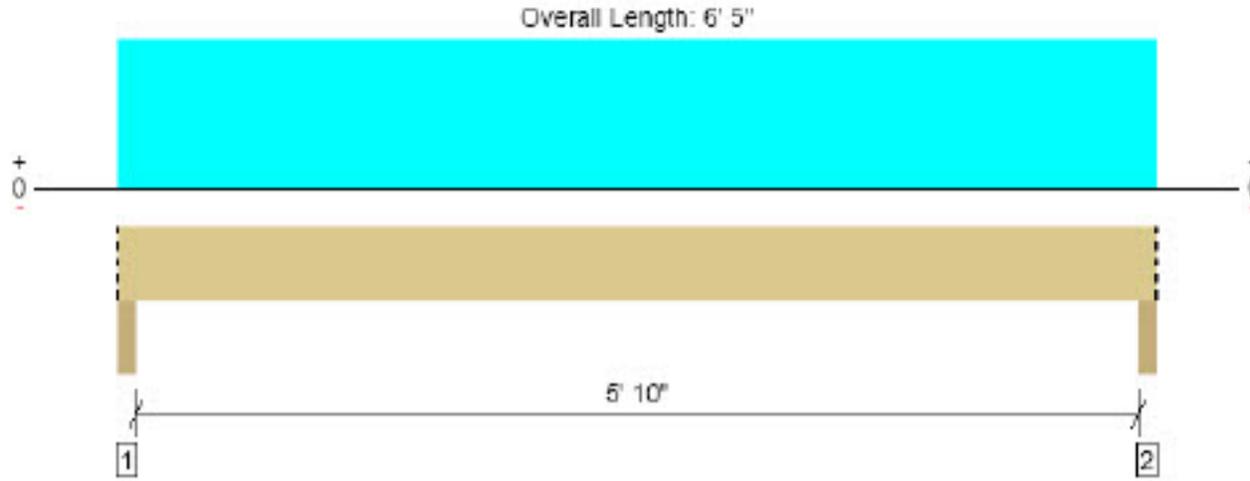
The product application, input design loads, dimensions and support information have been provided by ForteWEB Software Operator

ForteWEB Software Operator	Job Notes
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 File Name: E Clay St, 2807 - Front Porch Plans

Porch, B.1- Porch Roof Beam
2 piece(s) 2 x 8 SP No.2



Drawing is Conceptual. All locations are measured from the outside face of left support (or left cantilever end). All dimensions are horizontal (typ.).

Design Results	Actual @ Location	Allowed	Result	LDF	Load: Combination (Pattern)
Member Reaction (lbs)	469 @ 2"	5933 (3.50")	Passed (8%)	--	1.0 D + 0.75 L + 0.75 Lr (All Spans)
Shear (lbs)	338 @ 10 3/4"	3172	Passed (11%)	1.25	1.0 D + 0.75 L + 0.75 Lr (All Spans)
Moment (Ft-lbs)	676 @ 3' 2 1/2"	2532	Passed (27%)	1.25	1.0 D + 0.75 L + 0.75 Lr (All Spans)
Live Load Defl. (in)	0.017 @ 3' 2 1/2"	0.304	Passed (L/999+)	--	1.0 D + 0.75 L + 0.75 Lr (All Spans)
Total Load Defl. (in)	0.034 @ 3' 2 1/2"	0.406	Passed (L/999+)	--	1.0 D + 0.75 L + 0.75 Lr (All Spans)

Member Length : 6' 5"
System : Roof
Member Type : Drop Beam
Building Use : Residential
Building Code : IBC 2021
Design Methodology : ASD
Member Pitch : 0/12

- Deflection criteria: LL (L/240) and TL (L/180).
- Allowed moment does not reflect the adjustment for the beam stability factor.
- Applicable calculations are based on NDS.

Supports	Bearing Length			Loads to Supports (lbs)				Accessories
	Total	Available	Required	Dead	Floor Live	Roof Live	Factored	
1 - Column - SYP	3.50"	3.50"	1.50"	232	96	219	469	Blocking
2 - Column - SYP	3.50"	3.50"	1.50"	232	96	219	469	Blocking

• Blocking Panels are assumed to carry no loads applied directly above them and the full load is applied to the member being designed.

Lateral Bracing	Bracing Intervals	Comments
Top Edge (Lu)	6' 5" o/c	
Bottom Edge (Lu)	6' 5" o/c	

•Maximum allowable bracing intervals based on applied load.

Vertical Loads	Location (Side)	Tributary Width	Dead (0.90)	Floor Live (1.00)	Roof Live (1.25)	Comments
0 - Self Weight (PLF)	0 to 6' 5"	N/A	5.5	--	--	
1 - Uniform (PSF)	0 to 6' 5" (Top)	3'	5.0	10.0	--	Ceiling Load
2 - Uniform (PSF)	0 to 6' 5" (Top)	3' 5"	15.2	--	20.0	Roof Load

• Side loads are assumed to not induce cross-grain tension.

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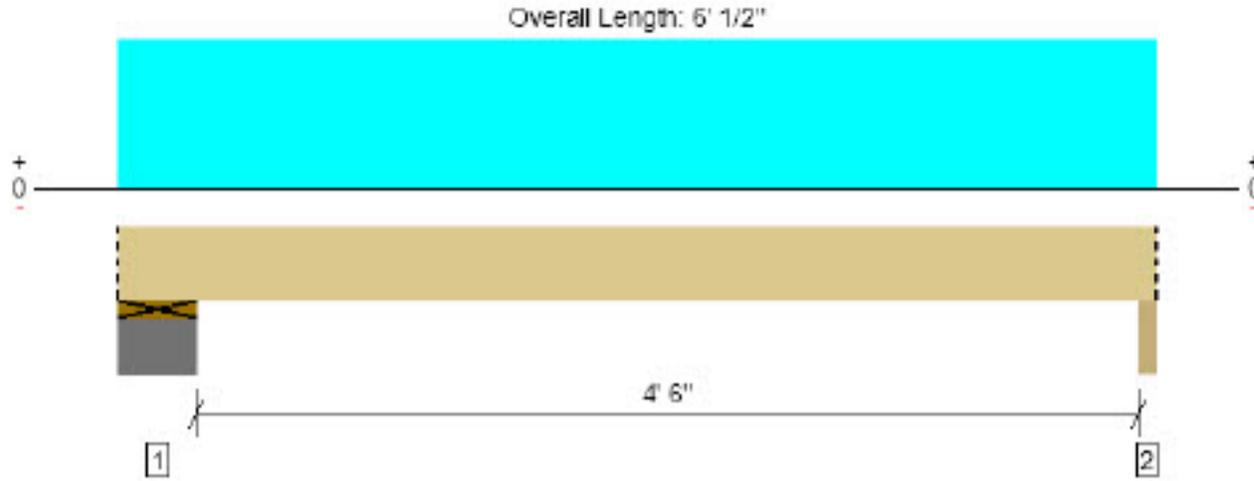
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File Name: E Clay St, 2807 - Front Porch Plans

Porch, B.2- Porch Floor Beams
2 piece(s) 2 x 8 SP No.2



Drawing is Conceptual. All locations are measured from the outside face of left support (or left cantilever end). All dimensions are horizontal (typ.).

Design Results	Actual @ Location	Allowed	Result	LDF	Load: Combination (Pattern)
Member Reaction (lbs)	966 @ 1' 1 1/2"	14831 (8.75")	Passed (7%)	--	1.0 D + 1.0 L (All Spans)
Shear (lbs)	376 @ 1' 10 1/4"	2538	Passed (15%)	1.00	1.0 D + 1.0 L (All Spans)
Moment (Ft-lbs)	-407 @ 1' 1 1/2"	2025	Passed (20%)	1.00	1.0 D + 1.0 L (All Spans)
Live Load Defl. (in)	0.006 @ 3' 8 5/16"	0.158	Passed (L/999+)	--	1.0 D + 1.0 L (Alt Spans)
Total Load Defl. (in)	0.008 @ 3' 8 5/16"	0.237	Passed (L/999+)	--	1.0 D + 1.0 L (Alt Spans)

Member Length : 6' 1/2"
System : Floor
Member Type : Flush Beam
Building Use : Residential
Building Code : IBC 2021
Design Methodology : ASD

- Deflection criteria: LL (L/360) and TL (L/240).
- Allowed moment does not reflect the adjustment for the beam stability factor.
- -336 lbs uplift at support located at 0". Strapping or other restraint may be required.
- Applicable calculations are based on NDS.

Supports	Bearing Length			Loads to Supports (lbs)			Accessories
	Total	Available	Required	Dead	Floor Live	Factored	
1 - Plate on concrete - SYP	15.00"	15.00"	15.00"	217/-59	822/-277	966	Blocking
2 - Ledger - SYP	3.50"	3.50"	1.50"	82	282/-1	363	Blocking

• Blocking Panels are assumed to carry no loads applied directly above them and the full load is applied to the member being designed.

Lateral Bracing	Bracing Intervals	Comments
Top Edge (Lu)	6' 1" o/c	
Bottom Edge (Lu)	6' 1" o/c	

•Maximum allowable bracing intervals based on applied load.

Vertical Loads	Location (Side)	Tributary Width	Dead (0.90)	Floor Live (1.00)	Comments
0 - Self Weight (PLF)	0 to 6' 1/2"	N/A	5.5	--	
1 - Uniform (PSF)	0 to 6' 1/2" (Top)	3' 5"	10.0	40.0	Floor Load

• Side loads are assumed to not induce cross-grain tension.

Member Notes
(converted from: Roof Drop Beam)

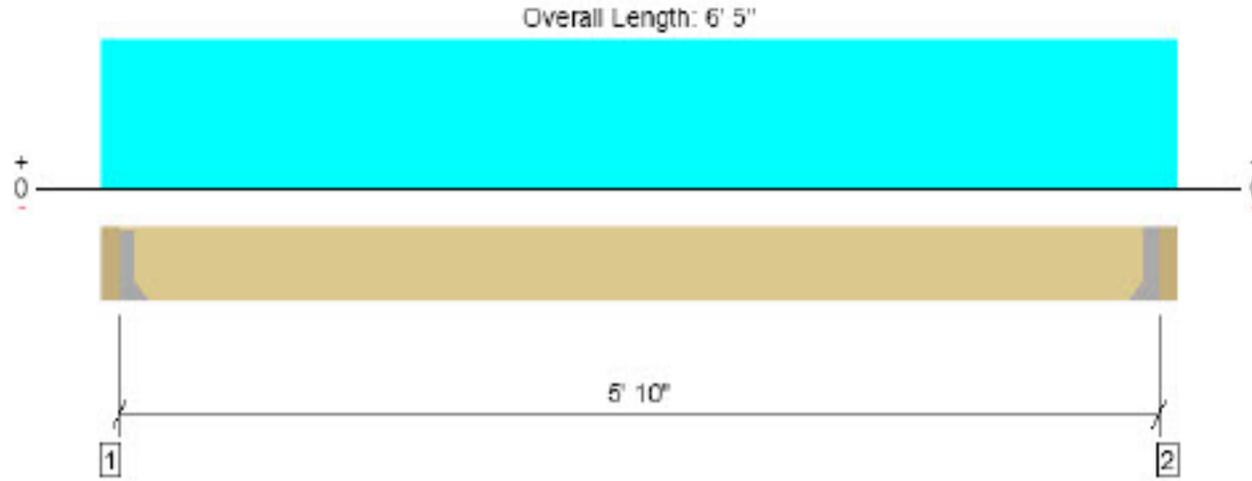
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Drawing is Conceptual. All locations are measured from the outside face of left support (or left cantilever end). All dimensions are horizontal (typ.).

Design Results	Actual @ Location	Allowed	Result	LDF	Load: Combination (Pattern)
Member Reaction (lbs)	194 @ 3' 1/2"	1271 (1.50")	Passed (15%)	--	1.0 D + 1.0 L (All Spans)
Shear (lbs)	154 @ 10' 3/4"	1269	Passed (12%)	1.00	1.0 D + 1.0 L (All Spans)
Moment (Ft-lbs)	284 @ 3' 2 1/2"	1165	Passed (24%)	1.00	1.0 D + 1.0 L (All Spans)
Live Load Defl. (in)	0.021 @ 3' 2 1/2"	0.146	Passed (L/999+)	--	1.0 D + 1.0 L (All Spans)
Total Load Defl. (in)	0.026 @ 3' 2 1/2"	0.292	Passed (L/999+)	--	1.0 D + 1.0 L (All Spans)
TJ-Pro™ Rating	N/A	N/A	N/A	--	N/A

Member Length : 5' 10"
 System : Floor
 Member Type : Joist
 Building Use : Residential
 Building Code : IBC 2021
 Design Methodology : ASD

- Deflection criteria: LL (L/480) and TL (L/240).
- Allowed moment does not reflect the adjustment for the beam stability factor.
- A 15% increase in the moment capacity has been added to account for repetitive member usage.
- Applicable calculations are based on NDS.
- No composite action between deck and joist was considered in analysis.

Supports	Bearing Length			Loads to Supports (lbs)			Accessories
	Total	Available	Required	Dead	Floor Live	Factored	
1 - Hanger on 7 1/4" SYP beam	3.50"	Hanger ¹	1.50"	43	171	214	See note ¹
2 - Hanger on 7 1/4" SYP beam	3.50"	Hanger ¹	1.50"	43	171	214	See note ¹

- At hanger supports, the Total Bearing dimension is equal to the width of the material that is supporting the hanger
- ¹ See Connector grid below for additional information and/or requirements.

Lateral Bracing	Bracing Intervals	Comments
Top Edge (Lu)	5' 10" o/c	
Bottom Edge (Lu)	5' 10" o/c	

• Maximum allowable bracing intervals based on applied load.

Connector: Simpson Strong-Tie							
Support	Model	Seat Length	Top Fasteners	Face Fasteners	Member Fasteners	Accessories	
1 - Face Mount Hanger	LU26	1.50"	N/A	6-10dx1.5	4-10dx1.5		
2 - Face Mount Hanger	LU26	1.50"	N/A	6-10dx1.5	4-10dx1.5		

• Refer to manufacturer notes and instructions for proper installation and use of all connectors.

Vertical Load	Location (Side)	Spacing	Dead (0.90)	Floor Live (1.00)	Comments
1 - Uniform (PSF)	0 to 6' 5"	16"	10.0	40.0	Floor Load

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 The product application, input design loads, dimensions and support information have been provided by ForteWEB Software Operator

ForteWEB Software Operator	Job Notes
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