



Commission of Architectural Review SUBMISSION APPLICATION

City of Richmond, Room 510 – City Hall
900 East Broad Street, Richmond, Virginia 23219
PHONE: (804) 646-6335 FAX: (804) 646-5789

12 COPIES OF SUPPORTING DOCUMENTATION ARE REQUIRED FOR PROCESSING YOUR SUBMISSION

LOCATION OF WORK: 2112 East Clay Street DATE: 3/25/2016

OWNER'S NAME: Snipes Properties TEL NO.: 804-869-4404

AND ADDRESS: 3412 Cutshaw Avenue, suite 100 EMAIL: carter@snipesproperties.com

CITY, STATE AND ZIP CODE: Richmond, VA 23230

ARCHITECT/CONTRACTOR'S NAME: HimmelHume Architecture TEL. NO.: 804-249-4717

AND ADDRESS: 3800 Stillman Parkway, suite 203 EMAIL: rhimmel@himmelhume.com

CITY, STATE AND ZIP CODE: Henrico, VA 23233

Would you like to receive your staff report via email? Yes No

REQUEST FOR CONCEPTUAL REVIEW

I hereby request Conceptual Review under the provisions of Chapter 114, Article IX, Division 4, Section 114-930.6(d) of the Richmond City Code for the proposal outlined below in accordance with materials accompanying this application. I understand that conceptual review is advisory only.

APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

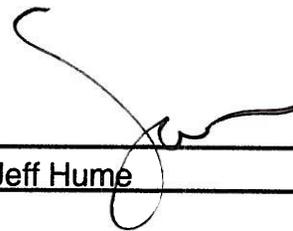
I hereby make application for the issuance of a certificate under the provisions of Chapter 114, Article IX, Division 4 (Old and Historic Districts) of the Richmond City Code for the proposal outlined below in accordance with plans and specifications accompanying this application.

DETAILED DESCRIPTION OF PROPOSED WORK (Required):

STATE HOW THE DESIGN REVIEW GUIDELINES INFORM THE DESIGN OF THE WORK

PROPOSED. (Include additional sheets of description if necessary, and **12 copies** of artwork helpful in describing the project. The 12 copies are not required if the project is being reviewed for an administrative approval. See instruction sheet for requirements.)

See attached "Detailed Description"

Signature of Owner or Authorized Agent: X 

Name of Owner or Authorized Agent (please print legibly): Jeff Hume

(Space below for use only)

RECEIVED

Received by Commission Secretary

DATE

MAR 28 2016

MAR 28 2016

11:05

APPLICATION NO. _____

SCHEDULED FOR _____

Note: CAR reviews all applications on a case-by-case basis.

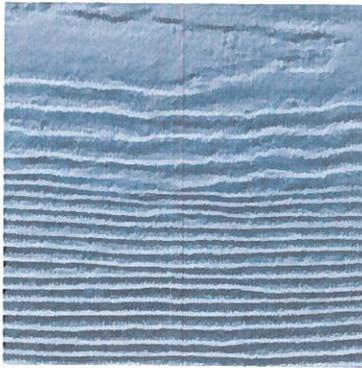
2112 East Clay Street

DETAILED DESCRIPTION OF PROPOSED WORK

The proposed building is placed on this corner lot approximately in line with adjacent residential structures to maintain the street "wall" and towards the corner to provide a strong presence at this intersection. A picket fence defines the edge of the property and surrounding sidewalks. Porches are provided on the front to address the position on the corner, to take advantage of views to the adjacent park and to repeat front porch elements along Clay Street. The porches break up the mass of the building along the street in keeping with the residential scale of this block.

Exterior fenestration and materials were selected to be similar to and compatible with adjacent frame residential structures. Traditional materials and colors have been selected to fit into the neighborhood fabric.

COLORS ATTACHED



BOOTHBAY BLUE

Like sitting at the water's edge just as the sun starts to set, Boothbay Blue has...

[More...](#)



HEATHERED MOSS

Of all the colors on the color wheel, green is most often associated with renewal...

[More...](#)



SANDSTONE BEIGE

Just like that cashmere camel overcoat you look forward to pulling out of your closet...

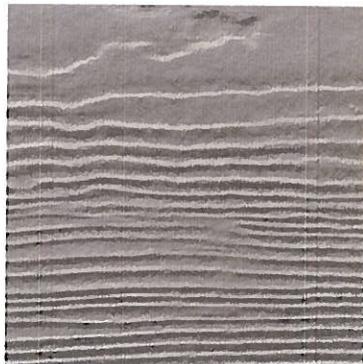
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SAIL CLOTH

Sail Cloth is for those who love the idea of white, but prefer a softer shade. A...

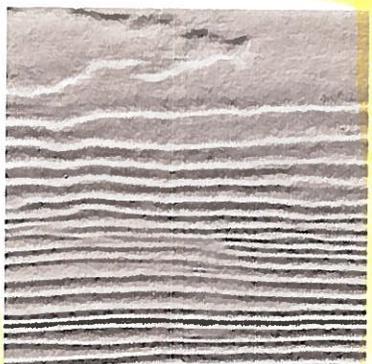
[More...](#)



TIMBER BARK

The deep gray-brown of Timber Bark is pure elegance. Whether you choose it for the...

[More...](#)



MONTEREY TAUPE

A taupe-based color with darker undertones, Monterey Taupe offers a sophisticated...

[More...](#)

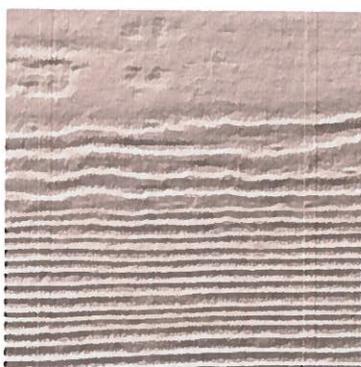
- warm
- cool
- fresh
- light
- dark
- neutral
- all

SIDING



COBBLE STONE

Cobble Stone is a rich neutral that will



KHAKI BROWN

Like your favorite pair of khaki slacks,



AUTUMN TAN

The quintessential neutral, Autumn



NAVAJO BEIGE

Navajo Beige is the kind of color that never goes out of style. A classic neutral,...

[More...](#)

ARCTIC WHITE

TRIM

Snowcapped mountains and the first flakes of winter: These pure whites are always...

[More...](#)



warm

cool

fresh

light

dark

neutral

all

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James Hardie ColorPlus® Technology combines distinct

While all James Hardie® siding and trim products are available primed and ready for field painting, when you invest in ColorPlus® Technology, you're getting a consistent coat of proprietary

SNIPES PROPERTIES

2112 EAST CLAY STREET

RICHMOND, VA

DATE: 03/25/2016

CHECK SET
NOT FOR CONSTRUCTION

GENERAL NOTES

- THIS PROJECT IS DESIGNED TO THE 2012 VIRGINIA UNIFORM STATEWIDE RESIDENTIAL BUILDING CODE.
- ALL WORK TO BE PERFORMED BY CLASS A LICENSED CONTRACTORS.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE NATIONAL, STATE, AND LOCAL CODES, REGULATIONS, AND FHA/VA MPS. CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT SITE BEFORE BEGINNING CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO HIMMELHUME ARCHITECTURE, LLC. FOR JUSTIFICATION AND/OR CORRECTION BEFORE PROCEEDING WITH WORK.
- CONTRACTORS SHALL ASSUME RESPONSIBILITY FOR ERRORS THAT ARE NOT REPORTED. ALL DIMENSIONS SHOULD BE READ OR CALCULATED AND NEVER SCALED. ALL FOOTINGS TO BE BELOW FROST LINE (SEE LOCAL CODE) AND MUST REST ON UNDISTURBED SOIL CAPABLE OF HANDLING THE BUILDING. CONSULT LOCAL ENGINEER FOR PROPER FOOTING AND REINFORCING SIZES.
- SOIL BEARING CAPACITY—PER SOILS REPORT
- LIVE LOADS, DEAD LOADS, WIND LOADS, SNOW LOADS, LATERAL LOADS, SEISMIC ZONING AND SPECIALTY LOADING CONDITIONS WILL NEED TO BE CONFIRMED BEFORE CONSTRUCTION AND ADJUSTMENTS TO PLANS MADE ACCORDINGLY. SEE YOUR LOCAL BUILDING OFFICIALS FOR VERIFICATION OF YOUR SPECIFIC LOAD DATA, ZONING RESTRICTIONS AND SITE CONDITIONS.
- CONTRACTOR SHALL INSURE COMPATIBILITY OF THE BUILDING WITH ALL SITE REQUIREMENTS.
- IF BACKFILL EXCEEDS 4' AGAINST ANY FOUNDATION WALL, REINFORCE AS PER CODE.
- ALL SLABS ON GRADE SHALL BE 4 INCH 3000 PSI AT ALL INTERIOR SLABS & 3500 PSI (28-DAY COMPRESSIVE STRENGTH) AT EXTERIOR & GARAGE SLABS (UNLESS NOTED OTHERWISE)
- ALL SLABS ON GRADE SHALL BEAR ON FOUR INCH COMPACTED GRANULAR FILL WITH 6 BY 6 10-10 WELDED WIRE MESH.
- INTERIOR SLABS SHALL HAVE 6 MIL. POLYETHYLENE VAPOR BARRIER UNDERNEATH.
- PROVIDE PROPER EXPANSION JOINTS AND CONTROL JOINTS AS PER LOCAL REQUIREMENTS.
- PROVIDE ADDITIONAL BEARING POINTS AS REQUIRED BY FLOOR "1" JOIST MANUFACTURER, AND LOADING TRANSFERS.
- FOUNDATION DETAILS MAY VARY WITH LOCAL CODES AND CONDITIONS, VERIFY WITH CONTRACTOR OR ENGINEER.
- PROVIDE FOUNDATION ACCESS AND VENTS AS REQUIRED BY LOCAL CODES AND CONDITIONS.
- FOUNDATION WALL AND FOOTINGS SIZES REINFORCING MUST CONFORM WITH YOUR LOCAL BUILDING REQUIREMENTS.
- FOUNDATION WALLS ARE NOT TO BE BACKFILLED UNTIL HOUSE IS COMPLETELY FRAMED AND ROOF IS IN PLACE.
- VERIFY DEPTH OF FOOTING WITH YOUR LOCAL CODES.
- PROVIDE TERMITE PROTECTION AS REQUIRED BY HUD MINIMUM PROPERTY STANDARDS.
- ALL FOUNDATION AND STRUCTURAL MEMBERS SHOULD BE VERIFIED AND STAMPED BY AN ENGINEER IN THE STATE WHERE CONSTRUCTION IS OCCURRING DUE TO A WIDE VARIANCE IN LOCAL CODES, SOIL BEARING CONDITIONS, FROST LINE DEPTH, GEOLOGICAL AND WEATHER CONDITIONS, ETC. THE CONTRACTOR IS RESPONSIBLE FOR ADJUSTING AND VERIFYING ALL STRUCTURAL DETAILS AND CONDITIONS TO MEET ALL LOCAL CODES AND TO INSURE A QUALITY AND SAFE STRUCTURE.
- ALL WOOD, CONCRETE, AND STEEL STRUCTURAL MEMBERS SHALL BE OF A GOOD GRADE AND QUALITY AND MEET ALL NATIONAL, STATE, AND LOCAL BUILDING CODES WHERE APPLICABLE.
- ALL COLUMNS OR SOLID FRAMING ARE DESIGNED TO CARRY LOADS AND SHOULD EXTEND DOWN THRU THE LEVELS BELOW AND TERMINATE AT THE BASEMENT FLOOR OR AT OTHER BEARING POINTS DESIGNED TO CARRY THE LOAD.
- SMOKE DETECTORS INSTALLED IN A NEW DWELLING SHALL BE INTERCONNECTED AND SHALL RECEIVE THEIR PRIMARY POWER BY PERMANENT CONNECTION TO THE DWELLING'S ELECTRICAL SYSTEM AND WHEN PRIMARY POWER IS INTERRUPTED, SHALL RECEIVE POWER FROM A BATTERY.
- EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE WINDOW WITH A MINIMUM NET CLEAR OPENING OF 5.7 SQUARE FEET FOR SECOND FLOOR WINDOWS (5.0 SQUARE FEET FOR GRADE FLOOR WINDOWS) WITH A MIN CLEAR WIDTH DIMENSION OF 20 INCHES AND 24 INCHES IN CLEAR HEIGHT.

GENERAL FRAMING NOTES

THE FOLLOWING NOTES ARE SUGGESTED MINIMUM REQUIREMENTS ONLY. DUE TO A VARIANCE OF CODES PER REGION, PLEASE REFER AND COMPLY WITH ALL YOUR LOCAL CODES. CONSULT WITH LOCAL ENGINEERS FOR ALL STRUCTURAL REQUIREMENTS.

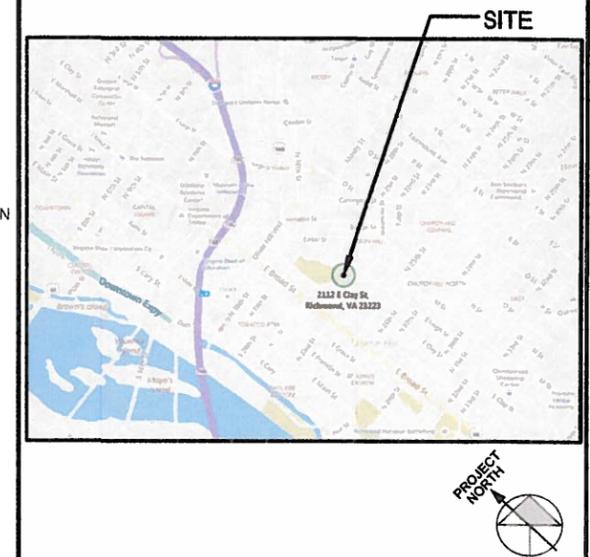
- CONTRACTOR TO CONFIRM THE SIZE, SPACING AND SPECIES OF ALL FRAMING AND STRUCTURAL MEMBERS TO MEET YOUR LOCAL CODE REQUIREMENTS.
- ANY STRUCTURAL OR FRAMING MEMBERS NOT INDICATED ON THE PLAN ARE TO BE SIZED BY THE CONTRACTOR.
- DOUBLE FLOOR JOISTS UNDER ALL PARTITION WALLS, UNLESS NOTED OTHERWISE.
- USE 1/2" CEMENT BOARD AT ALL TILED AREAS, BATHTUBS & SHOWERS AND WHERE OTHERWISE INDICATED.
- ALL JOISTS AND RAFTERS SHALL BE ALIGNED OVER STUDS BELOW.
- PROVIDE PURLINS AT MID HEIGHT OF ALL WALLS.
- ALL HEADERS SHALL BE 2-2x10's WITH 1/2" PLYWOOD FLITCH PLATE UNLESS OTHERWISE NOTED.
- FRAMER TO INSTALL DOUBLE FLOOR JOISTS UNDER PARTITION WALL PARALLEL TO JOIST DIRECTION.
- PROVIDE 1x4 CROSS BRIDGING AT MID POINT OF SPAN OR 8'-0" O.C. MAXIMUM IN ALL FLOORS.
- ALL EXTERIOR CORNERS (INSIDE AND OUTSIDE CORNERS) SHALL BE BRACED WITH 1/2" OSB. NAILING PATTERN AND DIMENSIONS SHALL BE PER VRC R602.10.5.
- ALL COLUMNS OR SOLID FRAMING SHALL EXTEND DOWN THRU ALL LEVELS AND TERMINATE AT THE BASEMENT FLOOR AND BE SUPPORTED BY A THICKENED SLAB, GRADE BEAM, OR FOOTING DESIGNED TO CARRY LOAD.
- ALL EXTERIOR SHEATHING TO BE COVERED WITH TYVEK HOUSEWRAP IN COMPLIANCE WITH ALL LOCAL CODES.
- PROVIDE DOUBLE 2x8 STRONGBACK AT MID SPAN FOR CEILING JOISTS WITH SPAN GREATER THAN 10'-0".
- PROVIDE COLLAR TIES AT UPPER 1/3 OF VERTICAL DISTANCE BETWEEN RIDGE BOARD AND CEILING JOISTS AT 4'-0" O.C. MAXIMUM.
- HIP, VALLEY RAFTERS, AND RIDGE BOARDS SHALL BE ONE "2x" SIZE LARGER THAN RAFTERS UNLESS OTHERWISE NOTED.
- ROOF DECKING SHALL BE 1/2" WEYERHAEUSER EDGE GOLD MINIMUM UNLESS OTHERWISE NOTED.
- WHERE PRE ENGINEERED FLOOR AND ROOF TRUSSES ARE USED, TRUSS MANUFACTURER MUST PROVIDE SHOP DRAWINGS WHICH BEAR SEAL OF REGISTERED ENGINEER IN STATE IN WHICH WORK IS TO BE PERFORMED.
- TRUSS AND FLOOR SYSTEMS TO BE INSTALLED PER MANUFACTURER'S LAYOUTS AND GUIDELINES W/ APPROVED HANGERS U.N.O.
- ALL CEILING JOISTS AND RAFTER BRACING TO BEAR ON LOAD BEARING WALLS DESIGNED TO CARRY LOAD THRU ALL LEVELS AND TERMINATE AT BASEMENT FLOOR AND BE SUPPORTED BY THICKENED SLAB GRADE BEAM OR FOOTING DESIGNED TO CARRY LOAD.
- ALL FRAMED WALL DIMENSIONS ARE BASED ON 2 x 4 STUDS UNLESS OTHERWISE NOTED.
- ALL LUMBER TO BE #2 S.P.F. UNLESS NOTED OTHERWISE.
- ALL LAMINATED STRUCTURAL MEMBERS (LVL'S) TO BE TRUSS JOIST MICROLLAM 1.9E UNLESS NOTED OTHERWISE.
- FLOOR SYSTEMS TO BE TRUSS JOIST TJI 230 SERIES.

SHEET INDEX

- T1.0 TITLE SHEET
- A1.0 SITE PLAN
- A1.1 FIRST & SECOND FLOOR PLAN
- A1.2 THIRD AND ROOF PLAN
- A2.0 FRONT & REAR ELEVATIONS
- A2.1 SIDE ELEVATION & SECTION

TOTAL 6 SHEETS

LOCATION MAP



DESIGN LOAD CRITERIA

TRUSS LOADS	P.S.F	FLOOR LOADS	P.S.F
LIVE LOAD	20	LIVE LOAD (LIVING)	40
DEAD LOAD	20	(SLEEPING)	30
LIVE LOAD DEFLECTION	L/240	DEAD LOAD	10
		LIVE LOAD DEFLECTION	L/360
RAFTER LOADS	P.S.F	NOTE:	
LIVE LOAD	20	1. TRUSS & FLOOR SYSTEMS TO BE INSTALLED PER MANUFACTURER'S LAYOUTS AND GUIDELINES W/APPROVED HANGERS U.N.O.	
DEAD LOAD	20	2. TRUSS & FLOOR SYSTEMS ENGINEERED PER LOCAL CODES U.N.O.	
LIVE LOAD DEFLECTION	L/240		

SYMBOL LEGEND

	- COLUMN TAG		DETAIL LETTER
	- BEAM TAG		POINT OF VIEW
	- FOOTING TAG		SHEET NUMBER
	DN/UP #R		DETAIL TAG
	POINT LOAD		SECTION CUT PLANE
			SECTION NUMBER
			POINT OF VIEW
			SHEET NUMBER
			SECTION TAG

CONTACT INFORMATION

OWNER:
SNIPES PROPERTIES
CARTER SNIPES
3412 CUTSHAW AVE.
SUITE 100
RICHMOND, VA 23230

ARCHITECT:
ROBERT HIMMEL, AIA
HIMMELHUME ARCHITECTURE, LLC,
3800 STILLMAN PARKWAY
SUITE 203
HENRICO, VA 23233
(804) 874-0924

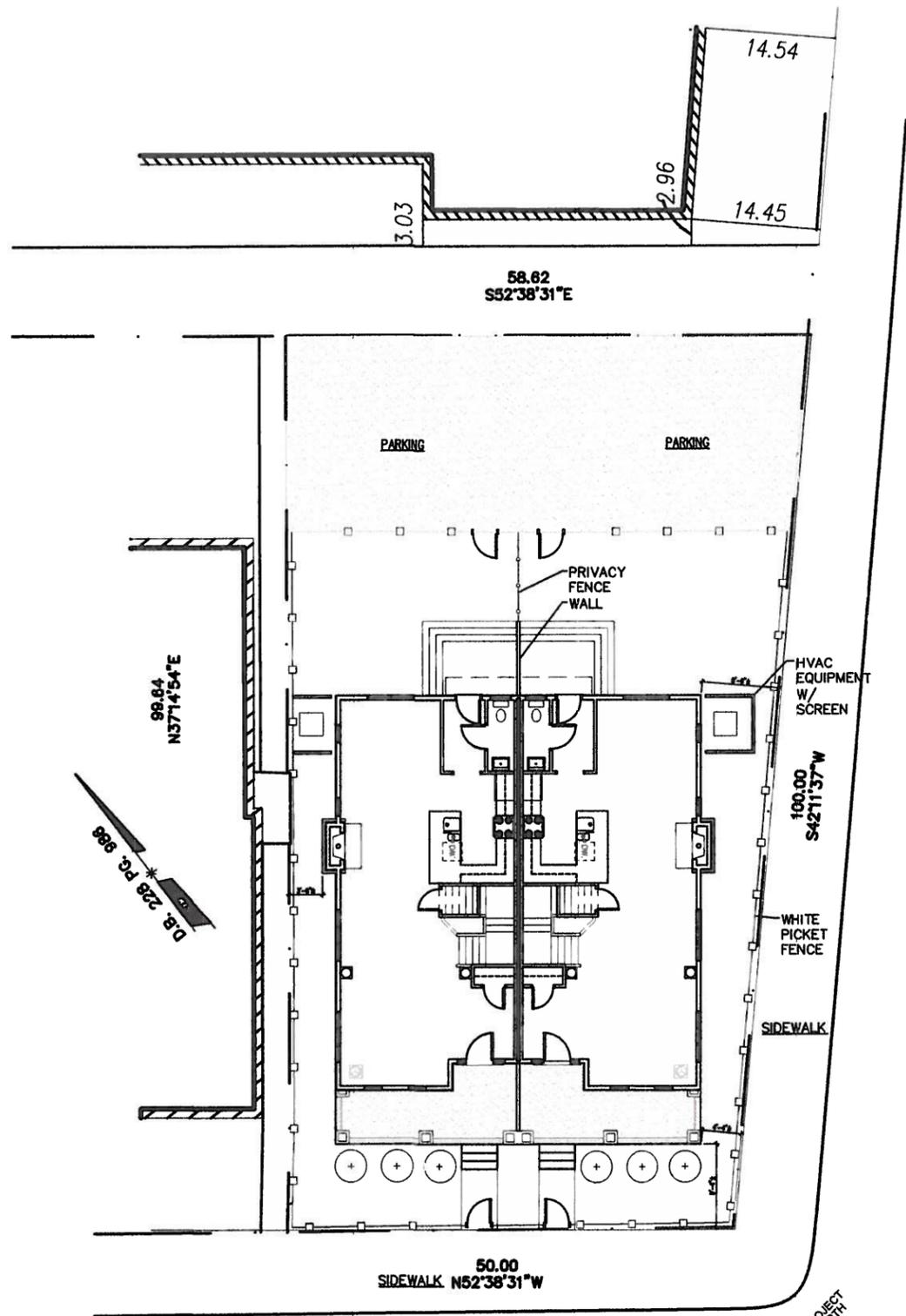
CONTRACTOR:



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ARCH PLAN



1 SITE PLAN
1/8" = 1'-0"

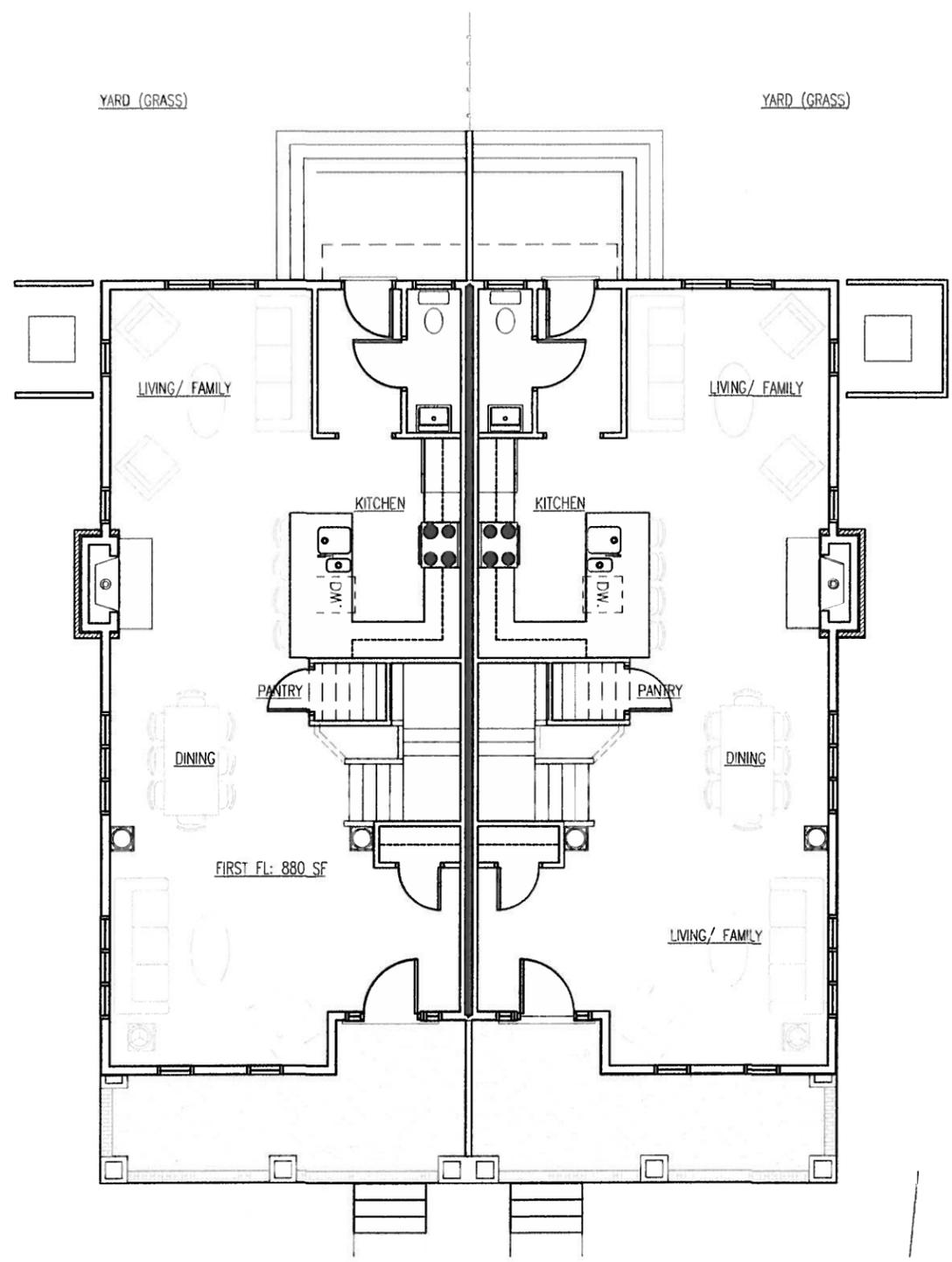
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DESCRIPTION	
DATE	

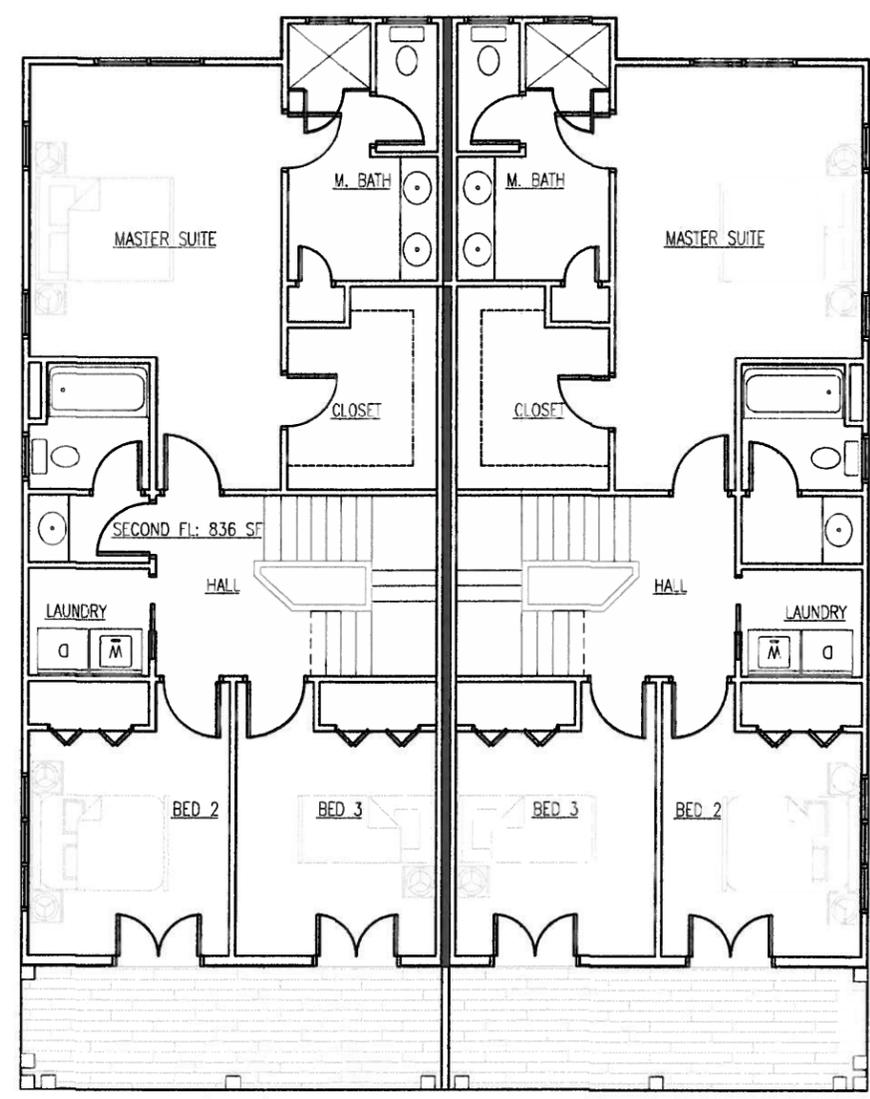
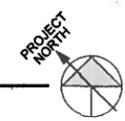
HIMMELHUME ARCHITECTURE
 HIMMELHUME ARCHITECTURE
 3000 STELLMANN WAY, SUITE 200
 FARMINGTON, CT 06031
 (860) 874-0264

2112 EAST CLAY STREET	DRAWN BY:	CHECKED BY:
	RJ HIMMEL	RJ HIMMEL
DWG. TITLE	SITE PLAN	
FILE NAME:		
DATE:	3/25/2016	

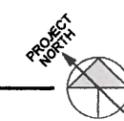
SHEET No.
A1.0



1 FIRST FLOOR PLAN
1/4" = 1'-0"



2 SECOND FLOOR PLAN
1/4" = 1'-0"



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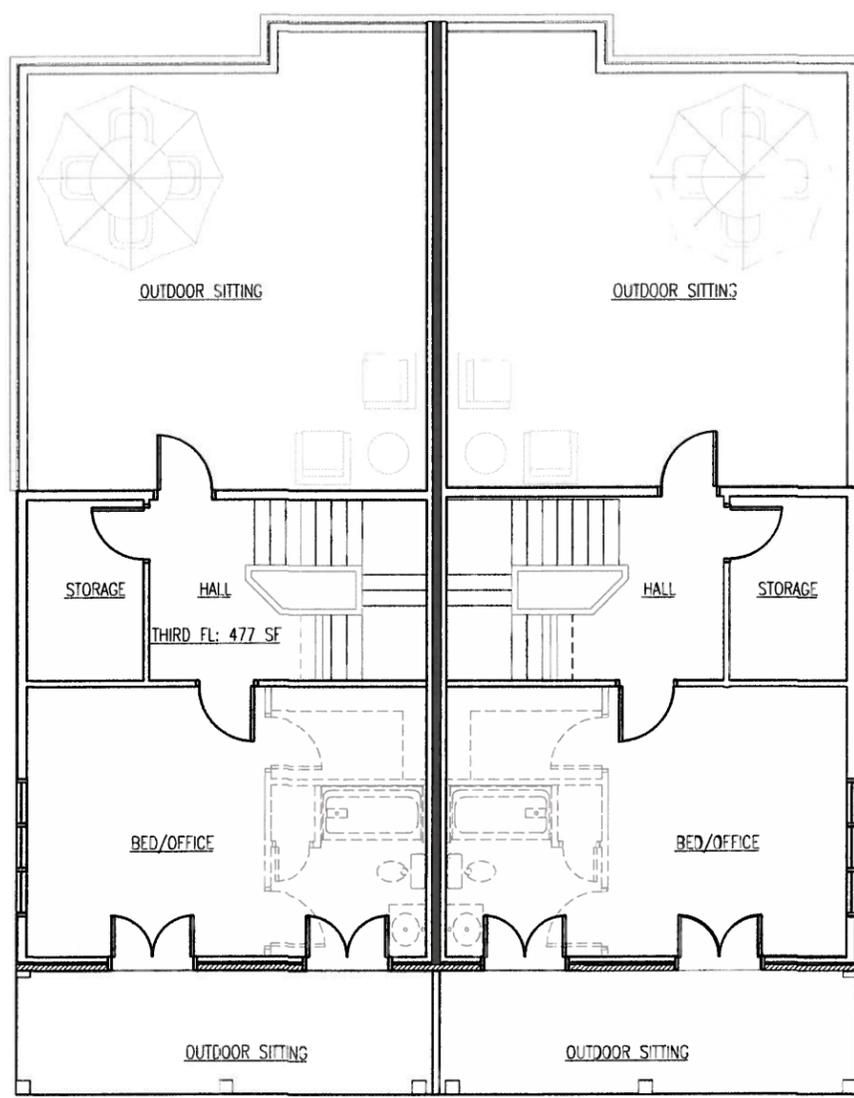
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 (804) 674-0224

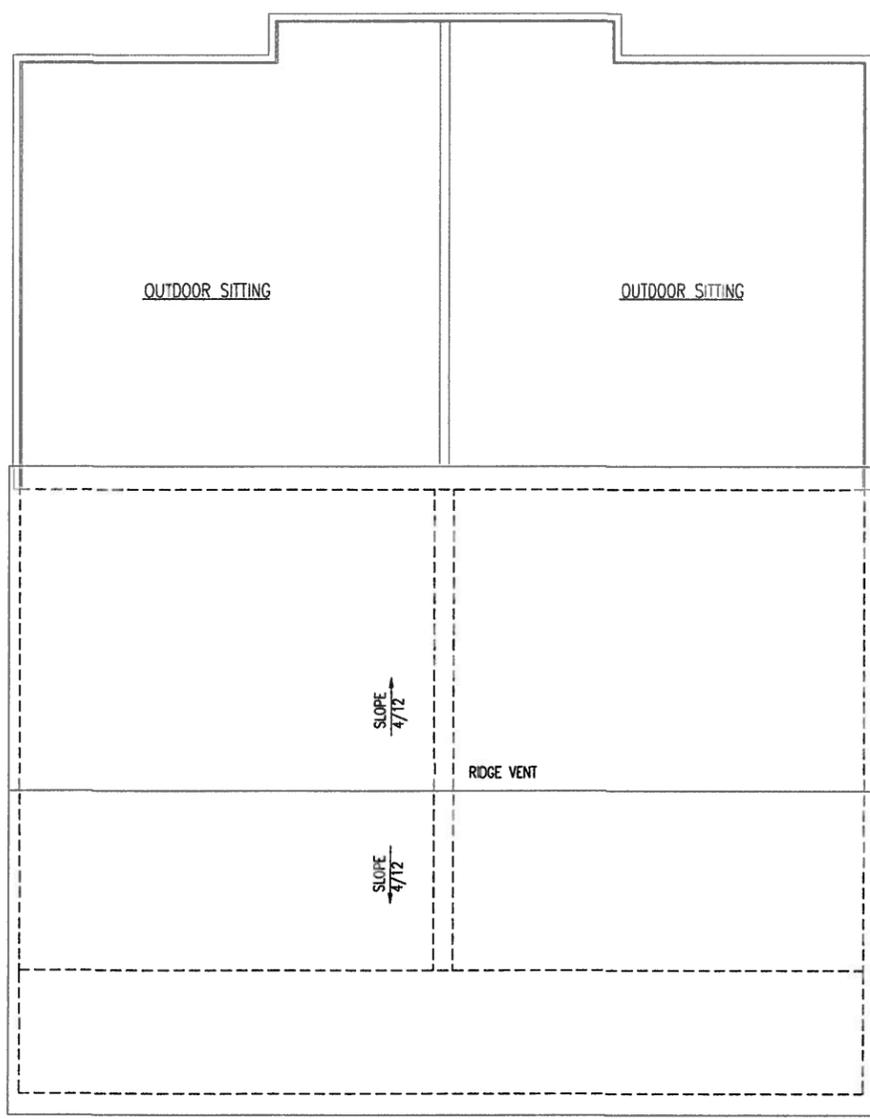
2112 EAST CLAY STREET
 DWG. TITLE
FIRST AND SECOND FLOOR PLAN
 DRAWN BY:
 CHECKED BY:
 FILE NAME:
 DATE: 3/25/2016
 RJ HIMMEL

SHEET No.
A1.1

ARCH PLAN



1 THIRD FLOOR PLAN
1/4" = 1'-0"



2 ROOF PLAN
1/4" = 1'-0"

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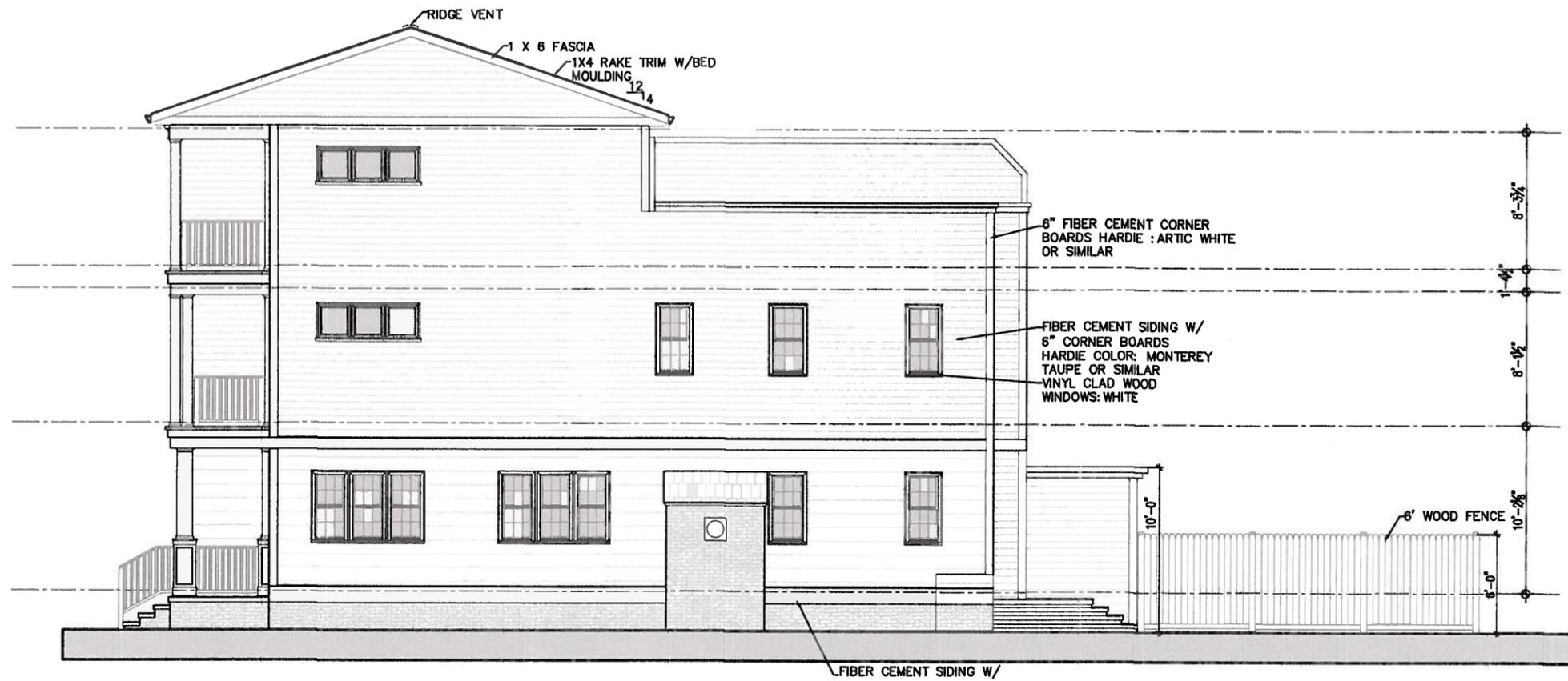
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 HIMMELHUME ARCHITECTURE
 3800 STRATFORD AVENUE SUITE 203
 PLYMOUTH, IN 46353
 (800) 574-0824

2112 EAST CLAY STREET
 THIRD FLOOR AND ROOF PLAN

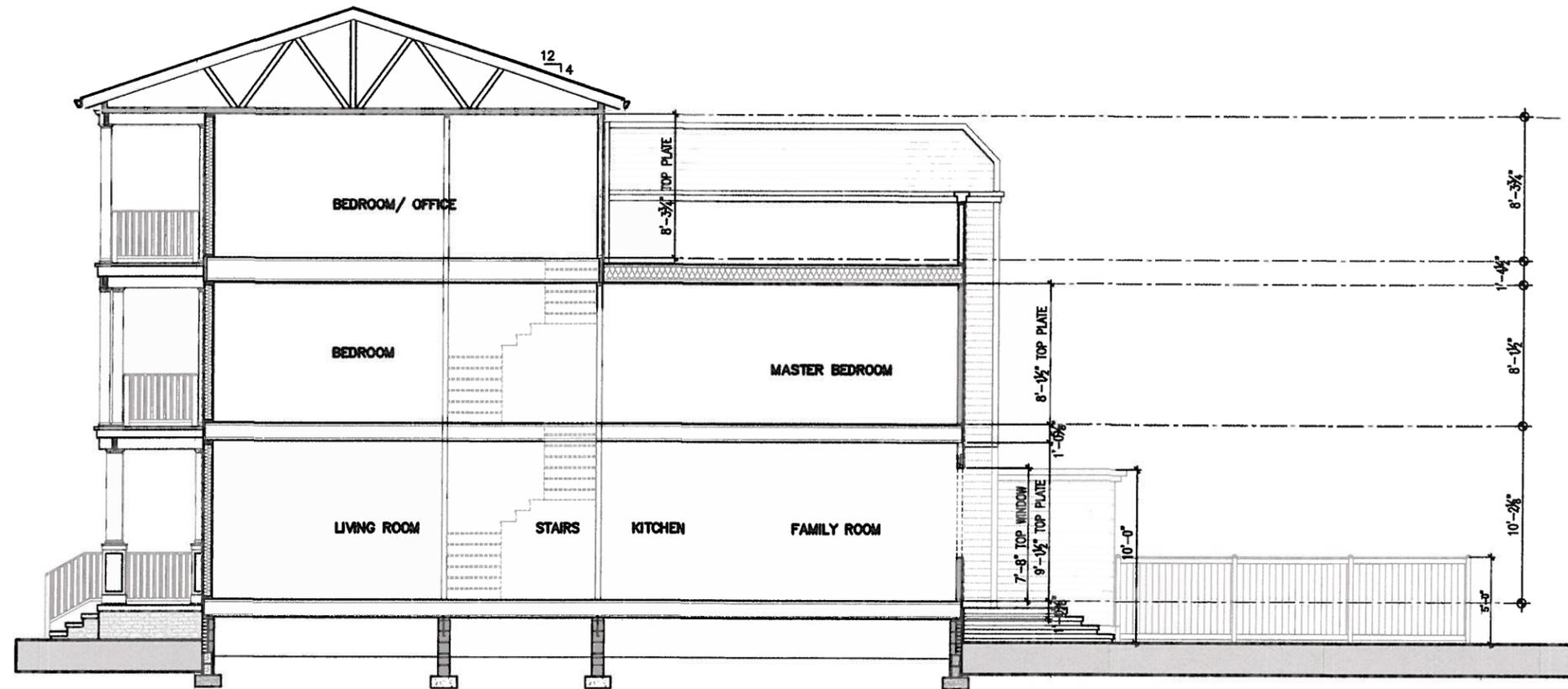
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 CHECKED BY: RJ HIMMEL

SHEET No.
A1.2

ARCH PLAN



1 SIDE ELEVATION (OPPOSITE SIDE SIMILAR)
1/4" = 1'-0"



2 SECTION
1/4" = 1'-0"

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REVISIONS

DATE	DESCRIPTION

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3800 STELLMAN AVENUE SUITE 203
RICHMOND, VA 23237
(804) 874-8824

2112 EAST CLAY STREET

FILE NAME:	DWG. TITLE
DATE:	3/25/2016
DRAWN BY:	RJ HIMMEL
CHECKED BY:	RJ HIMMEL

SIDE ELEVATION & SECTION

SHEET No.
A2.1