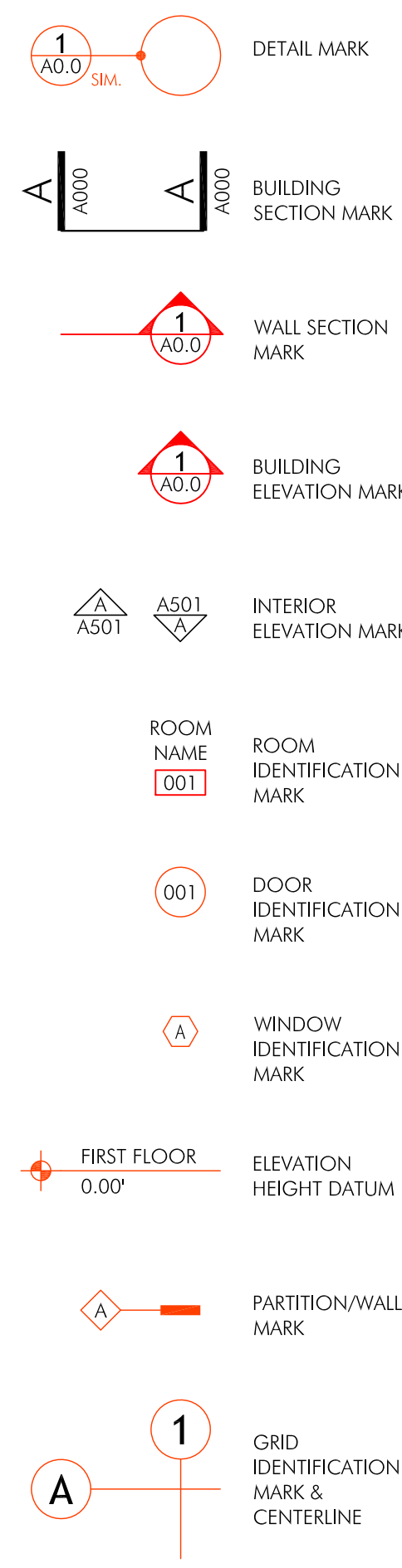


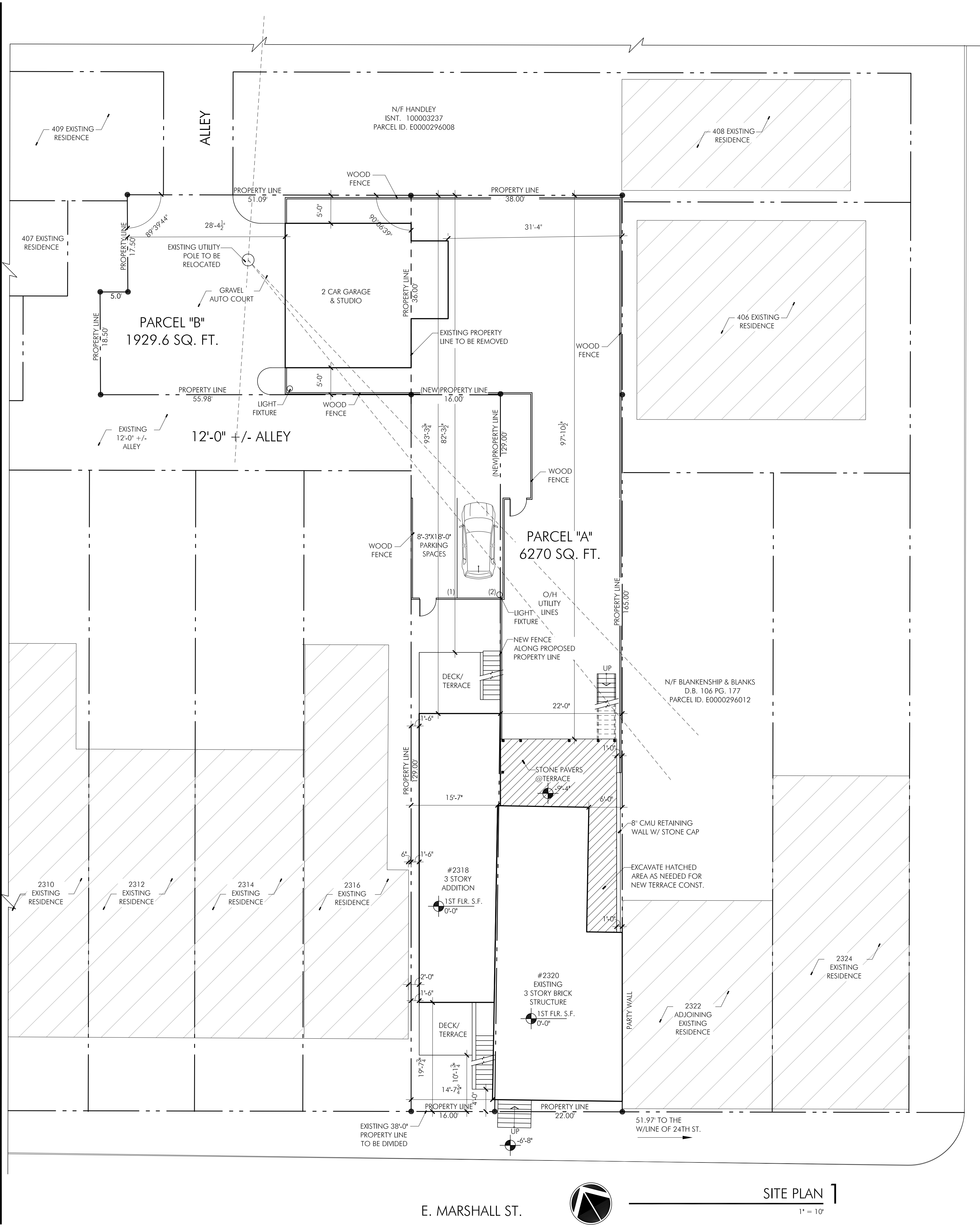
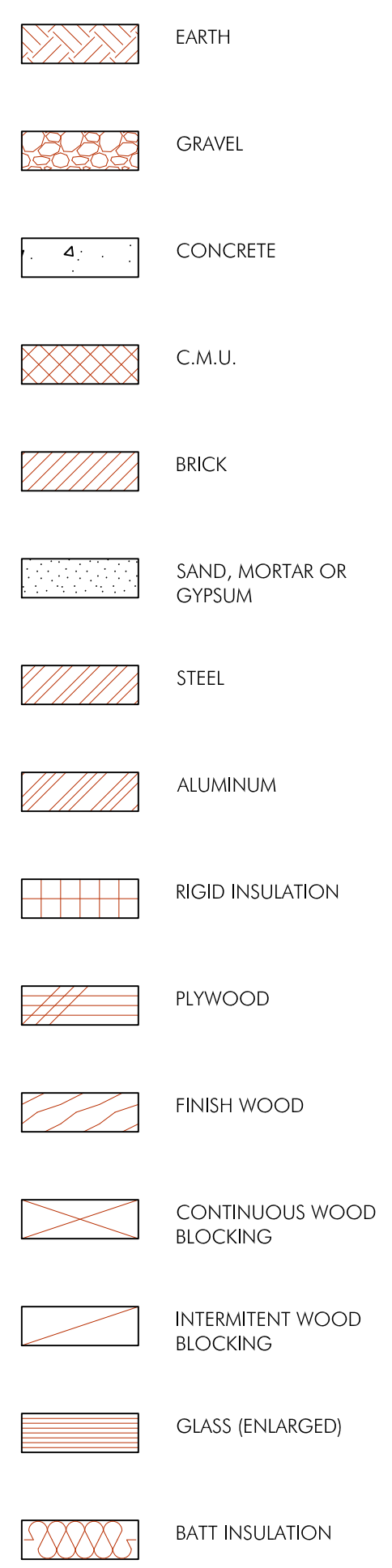
**ABBREVIATIONS**

A.B.	ANCHOR BOLT	MECH.	MECHANICAL
ACCUS.	ACOUSTICAL	MTL.	METAL
ACC.	ACCESSORY	MFR.	MANUFACTURER
A.C.T.	ACOUSTICAL CEILING TILE	MIN.	MINIMUM
A.D.	AREA DRAIN/ACCESS DOOR	MISC.	MISCELLANEOUS
ADJ.	ADJACENT	M.C.	MASONRY OPENING
A.F.F.	ABOVE FINISH FLOOR	M.O.	MODULE, (AR)
AL.	ALUMINUM	MUL.	MULLION
ALT.	ALTERNATE	N.	NORTH
APPROX.	APPROXIMATE	N.I.C.	NOT IN CONTRACT
ARCH.	ARCHITECTURAL	No.	NUMBER
AUTO.	AUTOMATIC/ AUTOMOBILE	N.T.S.	NOT TO SCALE
BD.	BOARD	O.C.	ON CENTER
BLDG.	BUILDING	O.D.	OUTSIDE DIAMETER
BM.	BEAM	OFF.	OFFICE
BOT.	BOTTOM	OH.	OVERHEAD
BRK.	BRICK	OPG.	OPENING
BRDM.	BEDROOM	PERP.	PERPENDICULAR
BKG.	BEARING	PL.	PLATE
BSMT.	BASEMENT	PLAM.	PLASTIC LAMINATE
CAB.	CABINET	PLAS.	PLASTER/PLASTIC
C.C.	CENTER TO CENTER	PLB.	PLUMBING
CLG.	CEILING	PLYWD.	PLYWOOD
CEM.	CEMENT	PNT.	PAINT
CER.	CERAMIC	PTD.	PAINTED
C.F.	CUBIC FEET	PTN.	PARTITION
C.F.M.	CUBIC FEET PER MINUTE	PREFAB.	PREFABRICATED
C.Y.	CUBIC YARD	PROJ.	PROJECT
C.I.	CAST IRON	P.S.F.	POUNDS PER SQUARE FOOT
C.J.	CONTROL JOINT	P.S.I.	POUNDS PER SQUARE INCH
C.L.	CENTER LINE	PT.	POINT
CLR.	CLEAR	P.T.D.	PAPER TOWEL DISPENSER
C.M.U.	CONCRETE MASONRY UNIT	Q.T.	QUARRY TILE
COL.	COLUMN	QTR.	QUARTER
CONC.	CONCRETE	R.	RADIUS/RISER
CONT.	CONTINUOUS	R.D.	ROOF DRAIN
CORR.	CORRIDOR	REF.	REFERENCE
C.T.	CERAMIC TILE	REFR.	REFRIGERATOR
CTR.	CENTER	REINF.	REINFORCE
DBL.	DOUBLE	REQD.	REQUIRED
D.F.	DRINKING FOUNTAIN	RES.	RESILIENT
DIA.	DIAMETER	REV.	REVISED/REVERSE
DIAG.	DIAGONAL	RIM.	ROOM
DIM.	DIMENSION	R.O.	ROUGH OPENING
DN.	DOWN	R.O.W.	RIGHT OF WAY
DR.	DOOR	S.C.	SOLID CORE
DS.	DOWNSPOUT	SCH.	SCHEDULE(D)
DTL.	DETAIL	SEAL.	SEALANT
DWG.	DRAWING	SECT.	SECTION
EA.	EACH	S.A.	SOAP DISPENSER
E.J.	EXPANSION JOINT	S.F.	SQUARE FEET
EL.	ELEVATION	SH.	SHelf
ELEV.	ELEVATOR	SHR.	SHelf & ROD
ELEC.	ELECTRICAL	SHT.	SHEET
ENGR.	ENGINEER	SIM.	SIMILAR
EQ.	EQUAL	S.M.	SHEET METAL
EQUIP.	EQUIPMENT	SPEC.	SPECIFICATION
EXH.	EXHAUST	SQ.	SQUARE
EXIST.	EXISTING	S.S.	STAINLESS STEEL
EXP.	EXPANSION	STD.	STANDARD
EXT.	EXTERIOR	STL.	STEEL
F.B.O.	FINISHED BY OWNER	STO.	STORAGE
F.D.	FLOOR DRAIN	SUP.	SUPPLY
FDN.	FOUNDATION	SUSP.	SUSPENDED
F.A.	FIRE EXTINGUISHER	SW.	SWITCH
F.A.C.	FIRE EXTINGUISHER CABINET	SYM.	SYMMETRICAL
FIN.	FINISH	SYS.	SYSTEM
FKT.	FIXTURE	T.	TREAD
FLR.	FLOOR	T&B	TOP & BOTTOM
FLUOR.	FLUORESCENT	T&G	TONGUE & GROOVE
F.P.M.	FEET PER MINUTE	T.B.	TOWEL BAR
FR.	FRAME	T.C.	TOP OF CURB
FT.	FOOT/FEET	TEL.	TELEPHONE
FTG.	FOOTING	TEMP.	TEMPERED
FUR.	FURRING	THK.	THICKNESS
FURN.	FURNITURE	T.O.B.	TOP OF BLOCK
GA.	GALVE	T.O.F.	TOP OF FOOTING
GAL.	GALLON	T.O.S.	TOP OF SLAB
GALV.	GALVANIZED	T.O.W.	TOP OF WALL
G.A.	GRAB BAR	TYP.	TYPICAL
G.B.	GENERAL CONTRACTOR	U.H.	UNIT HEAT
GEN.	GENERAL	UL.	UNDERWRITERS LABORATORIES
GL.	GLASS	V.	VOLT/MINYL
GR.	GRADE	VAR.	VARNISH/VARIES
GYP.	GYPsum	V.C.T.	VINYL COMPOSITION TILE
H.	HANDICAP	VERT.	VERTICAL
H.B.	HOSE BIB	VEST.	VESTIBULE
HD.BD.	HARD BOARD	V.S.	VENT STACK
HDWR.	HARDWARE	W/	WITH
H.M.	HOLLOW METAL	W/O	WITHOUT
HOR.	HORIZONTAL	W.C.	WOOD
H.P.	HIGH POINT	WD.	WOOD
HT.	HEIGHT	WIDW.	WINDOW
HTR.	HEATER	W.H.	WATER HEATER
H.W.	HOT WATER	W.W.F.	WELDED WIRE FABRIC
I.D.	INSIDE DIAMETER	YD.	YARD
IN.	INCH	@	AT
INC.	INCLUDED, (ING)	#	NUMBER
INST.	INSTALLED	/	PER
INSUL.	INSULATE, (ING), (ION)		
INT.	INTERIOR		
J.C.	JANITOR CLOSET		
JT.	JOINT		
JST.	JOIST		
KIT.	KITCHEN		
LAM.	LAMINATE(D)		
LAV.	LAVATORY		
LB.	POUND		
LOC.	LOCATION		
LT.	LIGHT		
L.W.	LIGHT WEIGHT		
MIR.	MIRROR		
MAS.	MASONRY		
MAT.	MATERIAL		
MAX.	MAXIMUM		

**SYMBOLS**



**MATERIALS**



**SITE PLAN 1**  
1" = 10'

**DRAWING INDEX**

Sheet Number	Sheet Title
CS	COVER SHEET
A101	PROJECT INFORMATION & SITE PLAN
A102	SCHEDULES & DETAILS
D201	DEMOLITION FLOOR PLANS
D301	DEMOLITION ELEVATIONS
A201	FLOOR PLANS
A301	ELEVATIONS
A401	BUILDING SECTIONS
A402	WALL SECTIONS
A501	INTERIOR ELEVATIONS
A502	INTERIOR ELEVATIONS
A601	DETAILS
A801	STRUCTURAL PLANS
A802	STRUCTURAL NOTES

**LOCATION**

2320 EAST MARSHALL STREET  
RICHMOND, VA 23223  
RICHMOND CITY

**BUILDING DATA**

CODE	VIRGINIA RESIDENTIAL CODE 2015
ZONING	RICHMOND CITY R-63 - RESIDENTIAL (MULTI-FAMILY URBAN)
SETBACKS	
FRONT YARD	REQUIRED 0'-0"
	PROVIDED 0'-0"
SIDE YARD	REQUIRED 0'-0" IF ATTACHED
	PROVIDED 0'-0"
REAR YARD	REQUIRED 5'-0"
	PROVIDED 21'-5"

**BUILDING AREA**

EXISTING:		
LOWER LEVEL AREA-	1,082 SQ. FT.	
1ST FLOOR AREA-	1,043 SQ. FT.	
2ND FLOOR AREA-	1,043 SQ. FT.	
TOTAL-	3,168 SQ. FT.	
ADDITION:		
TOTAL-	2,092 SQ. FT.	

**GENERAL NOTES**

- ALL DIMENSIONS ARE TO FACE OF STUD UNLESS OTHERWISE NOTED. ELEVATIONS ARE TO SUB FLR AND TOP OF FRAMING UNLESS OTHERWISE NOTED. CEILING HEIGHT DIMENSIONS ARE TO FINISH SURFACES UNLESS NOTED OTHERWISE.
- IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO CHECK WITH THE ARCHITECTURAL DRAWINGS BEFORE PROCEEDING WITH THE INSTALLATION OF ANY MECHANICAL, PLUMBING AND ELECTRICAL WORK. ANY DISCREPANCY BETWEEN THE ARCHITECTS AND CONSULTING ENGINEERS DRAWINGS AND SPECIFICATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT FOR CLARIFICATION PRIOR TO INSTALLATION OF SAID WORK. ANY WORK INSTALLED IN CONFLICT WITH THE ARCHITECTURAL DRAWINGS SHALL BE CORRECTED BY THE CONTRACTOR AT HIS EXPENSE AND AT NO ADDITIONAL EXPENSE TO THE OWNER OR ARCHITECT.
- DETAILS MARKED "TYPICAL" SHALL APPLY IN ALL CASES UNLESS SPECIFICALLY INDICATED OTHERWISE.
- ALL FRAMING MEMBERS SHALL BE SO ARRANGED AND SPACED AS TO PERMIT INSTALLATION OF PIPE, CONDUITS AND DUCTWORK WITH A MINIMUM OF CUTTING. CONTRACTOR SHALL PROVIDE AND INSTALL ALL STIFFENERS, BRACES, BACK-UP PLATES AND SUPPORTING BRACKETS AS REQUIRED FOR THE INSTALLATION OF ALL WALL MOUNTED OR SUSPENDED MECHANICAL, ELECTRICAL AND MISCELLANEOUS EQUIPMENT. ELECTRICAL CONTRACTOR TO VERIFY EXISTING ELECTRICAL CAPACITY PRIOR TO SUBMITTING BID, AND TO FURNISH NECESSARY DRAWINGS TO BUILDING DEPARTMENT AND PAY FOR ALL NECESSARY INCOMING SERVICE AND PAY FOR ANY RELATED FEES NECESSARY FOR HOOK-UP. ALL ELECTRICAL WORK IS TO CONFORM WITH FIRE UNDERWRITERS CODES AND ALL LOCAL CODES IN JURISDICTION.

2320 E. MARSHALL ST.  
RENOVATION  
RICHMOND, VIRGINIA

108 NORTH FIRST STREET  
RICHMOND, VIRGINIA 23219

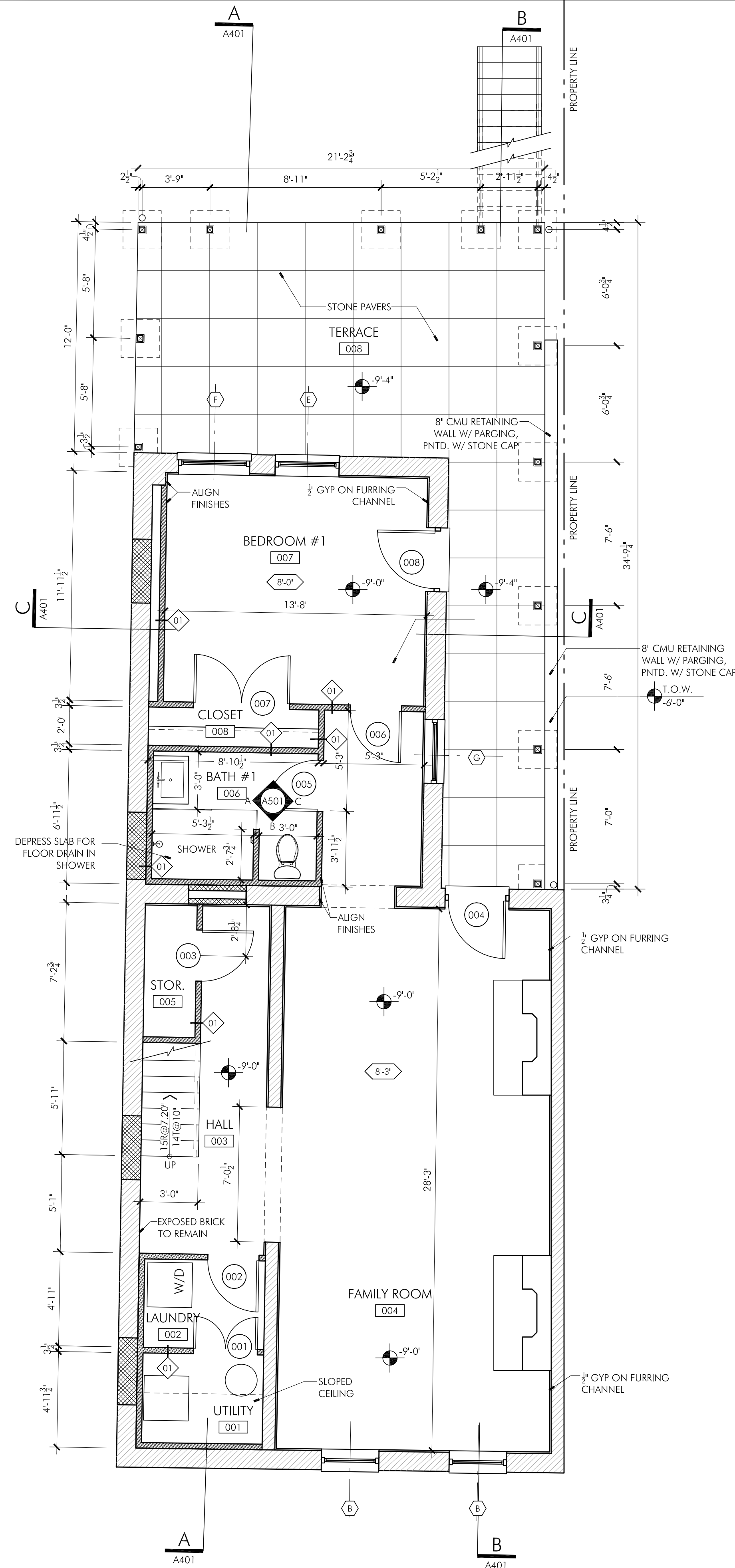
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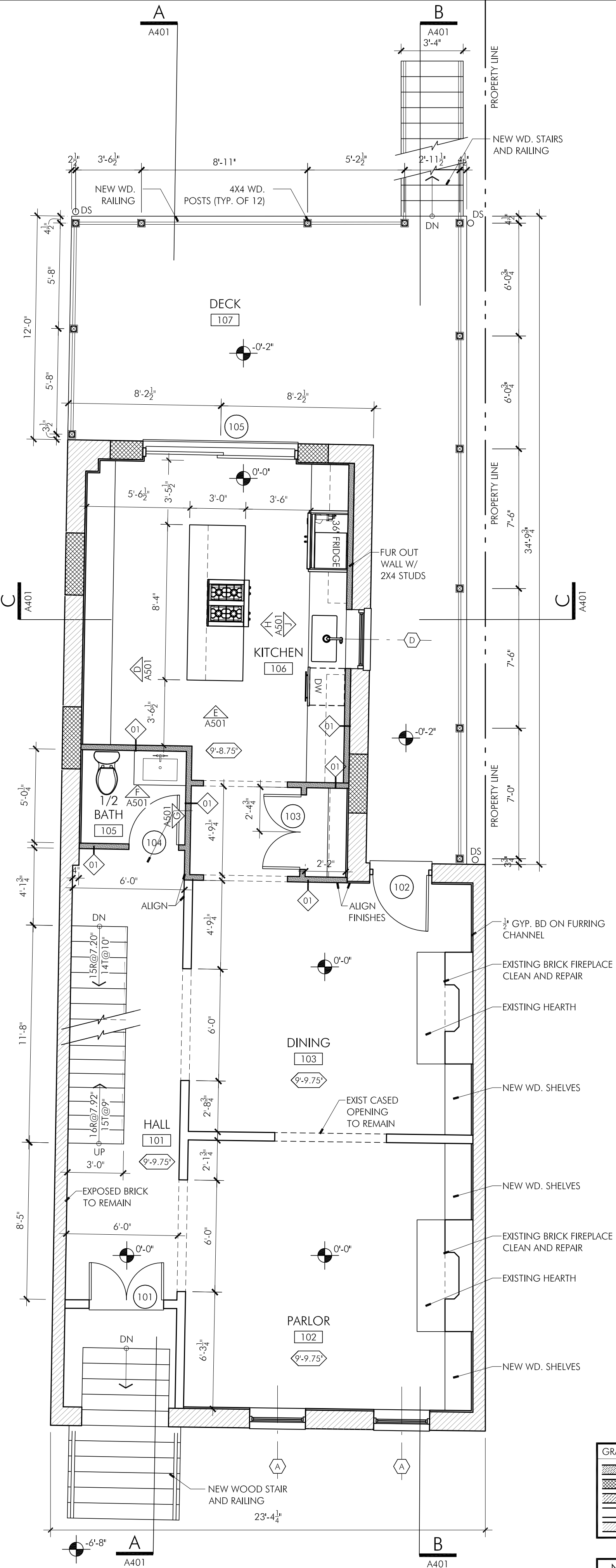
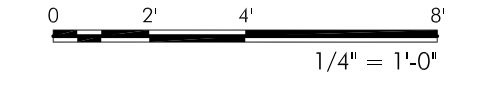
**SITE PLAN**

**A101**

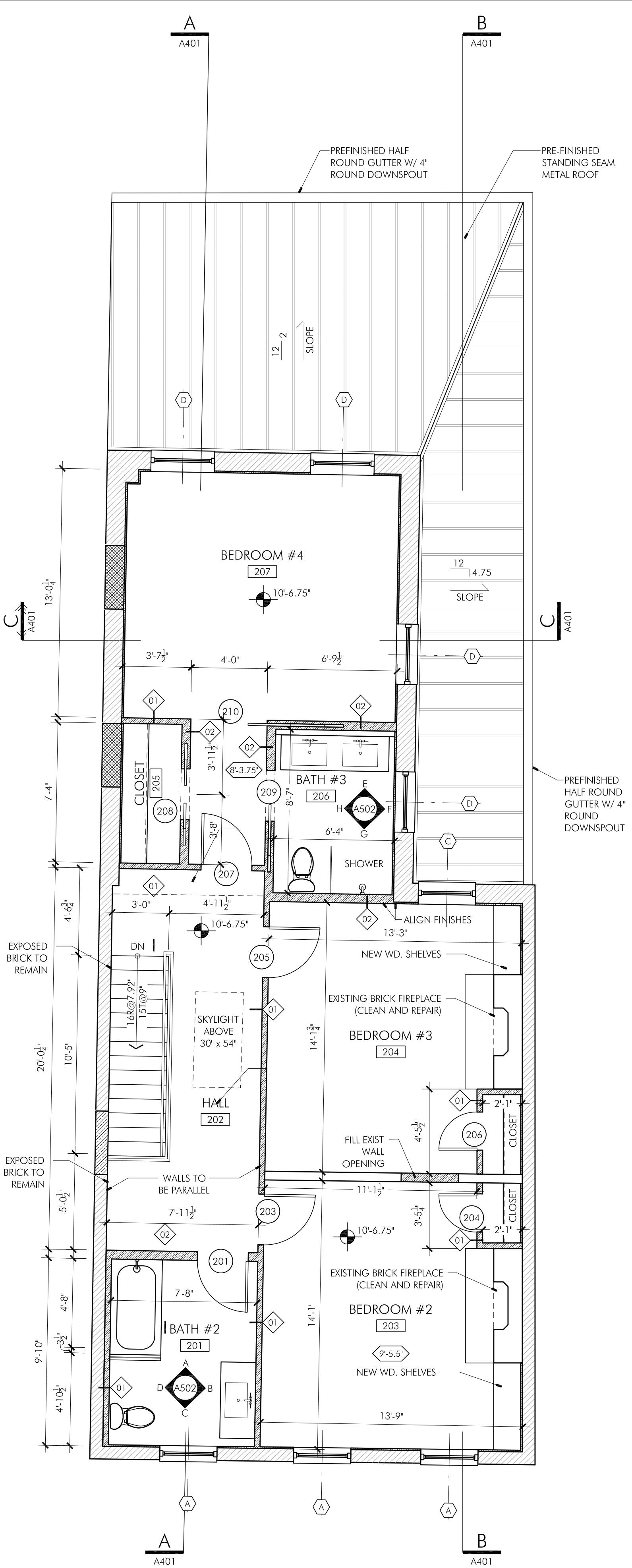
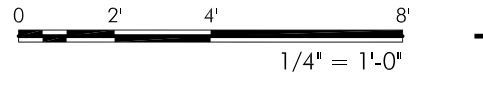




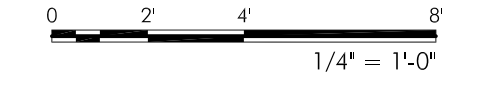
**BASEMENT FLOOR PLAN 3**



**FIRST FLOOR PLAN 2**



**SECOND FLOOR PLAN 1**



**GRAPHIC KEY:**

- NEW STUD WALL
- NEW CMU WALL
- NEW BRICK WALL
- EXIST. STUD WALL
- EXIST. BRICK WALL

**NOTES**

- ALL INTERIOR BRICK WALLS, UNLESS OTHERWISE NOTED, ARE TO HAVE 1/2\"/>

2320 E. MARSHALL ST.  
 RENOVATION  
 RICHMOND, VIRGINIA



Fon 804.344.0060  
 email: bobstudio@bobarchitecture.net



108 NORTH FIRST STREET  
 RICHMOND, VIRGINIA 23219

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 DATE: 03.10.2021

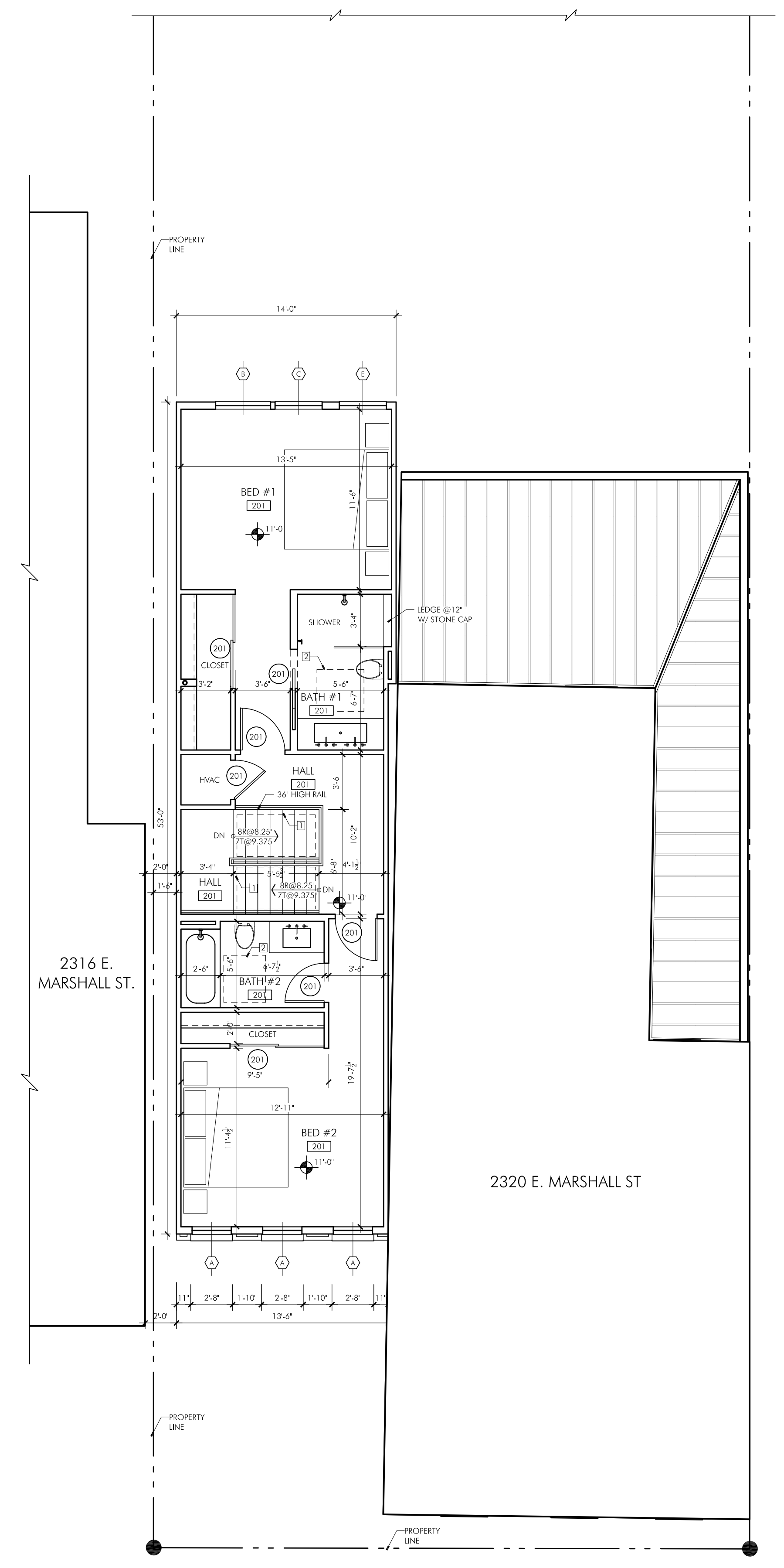
FLOOR PLANS

**A201**

1 | 2 | 3 | 4 | 5 | 6 | 7 | 8 | 9 | 10 | 11 | 12 | 13 | 14 | 15 | 16 | 17 | 18 | 19 | 20 | 21 | 22

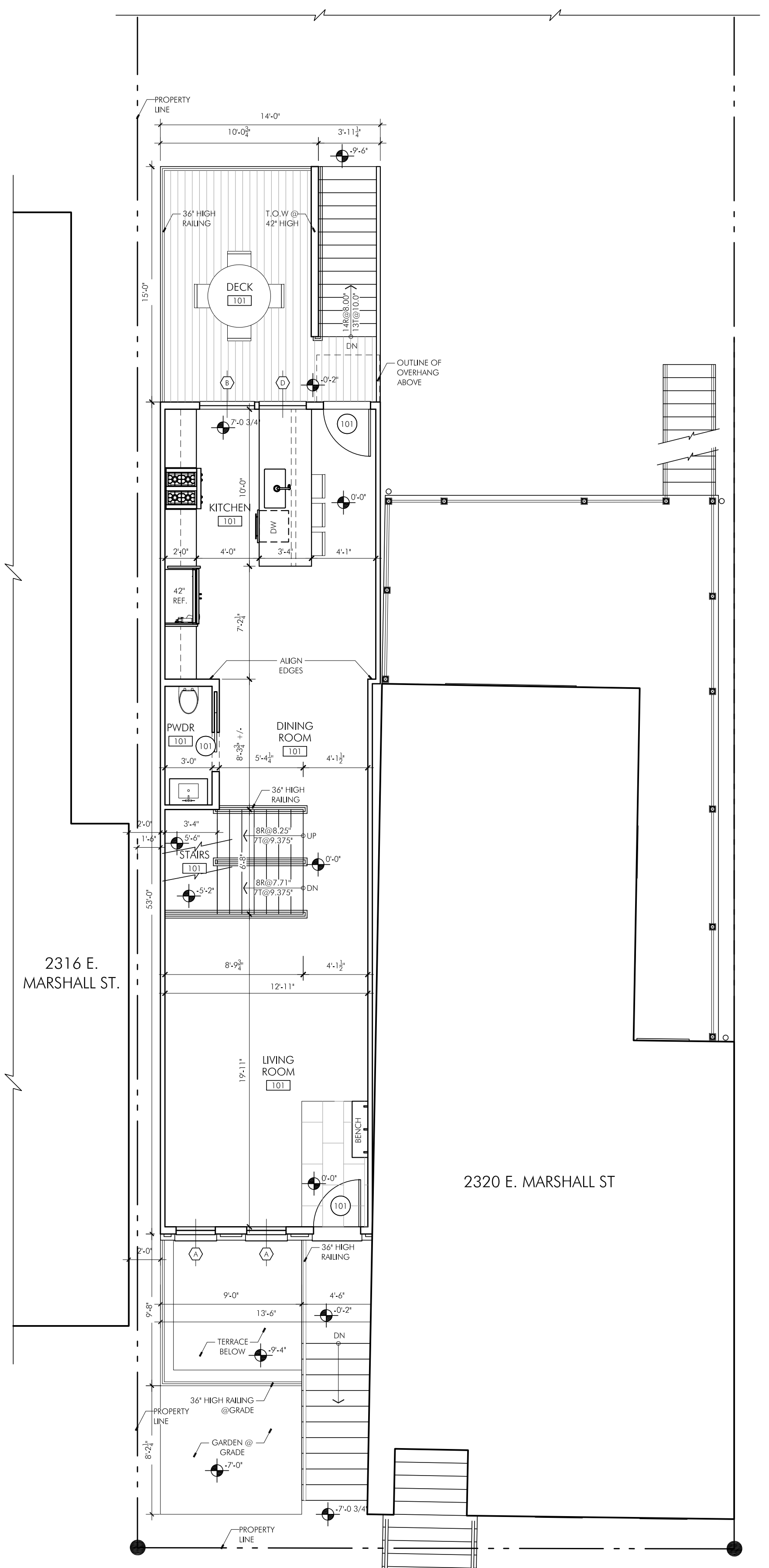
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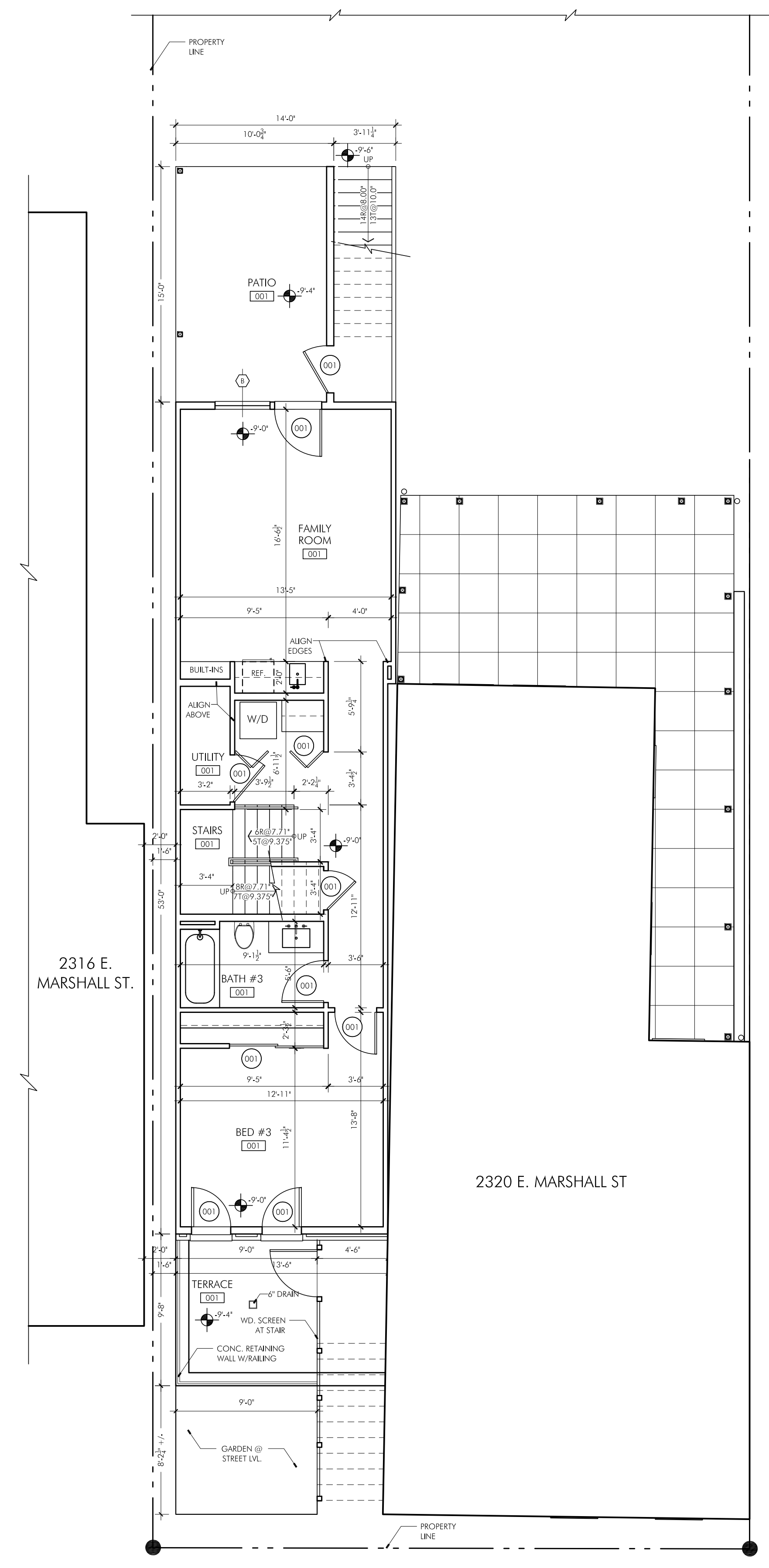


**PLAN NOTES**  
 1 2'-8 1/2" SKYLIGHT ABOVE, CENTERED ON STAR STRINGER  
 2 2'-8 1/2" SKYLIGHT ABOVE

**SECOND FLOOR PLAN 3**  
 3/16" = 1'-0"



**FIRST FLOOR PLAN 2**  
 3/16" = 1'-0"



**GROUND FLOOR PLAN 1**  
 3/16" = 1'-0"

2318 E. MARSHALL ST.

RICHMOND, VA 23223



108 NORTH FIRST STREET  
 RICHMOND, VIRGINIA 23219  
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 email: bobstudio@bobarchitecture.net  
**BOB**  
 ARCHITECTURE  
 BEYOND ORDINARY

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 DATE: 03.10.2021

FLOOR PLANS

**A201**

1 | 2 | 3 | 4 | 5 | 6 | 7 | 8 | 9 | 10 | 11 | 12 | 13 | 14 | 15 | 16 | 17 | 18 | 19 | 20 | 21 | 22



NORTH ELEVATION 2  
1/4" = 1'-0"

SOUTH ELEVATION 1  
1/4" = 1'-0"

2320 E. MARSHALL ST.  
RENOVATION  
RICHMOND, VIRGINIA



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108 NORTH FIRST STREET  
RICHMOND, VIRGINIA 23219

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ELEVATIONS

A301