



Commission of Architectural Review SUBMISSION APPLICATION

City of Richmond, Room 510 – City Hall
900 East Broad Street, Richmond, Virginia 23219
PHONE: (804) 646-6335 FAX: (804) 646-5789

12 COPIES OF SUPPORTING DOCUMENTATION ARE REQUIRED FOR PROCESSING YOUR SUBMISSION

LOCATION OF WORK: 13 South 13th Street, Richmond, VA DATE: 4.20.15

OWNER'S NAME: 13 S. 13th Street, LLC TEL NO.: 804-716-7348

AND ADDRESS: 1213-A West Main Street EMAIL: Sheppard@wainutap.com

CITY, STATE AND ZIPCODE: Richmond, VA 23220

ARCHITECT/CONTRACTOR'S NAME: Fultz Architects TEL. NO.: 804-304-3571

AND ADDRESS: 3121 West Marshall Street EMAIL: Chris@fultzarchitects.com

CITY, STATE AND ZIPCODE: Richmond, VA 23230

Would you like to receive your staff report via email? Yes No

REQUEST FOR CONCEPTUAL REVIEW

I hereby request Conceptual Review under the provisions of Chapter 114, Article IX, Division 4, Section 114-930.6(d) of the Richmond City Code for the proposal outlined below in accordance with materials accompanying this application. I understand that conceptual review is advisory only.

APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

I hereby make application for the issuance of a certificate under the provisions of Chapter 114, Article IX, Division 4 (Old and Historic Districts) of the Richmond City Code for the proposal outlined below in accordance with plans and specifications accompanying this application.

DETAILED DESCRIPTION OF PROPOSED WORK (Required):

STATE HOW THE DESIGN REVIEW GUIDELINES INFORM THE DESIGN OF THE WORK

PROPOSED. (Include additional sheets of description if necessary, and 12 copies of artwork helpful in describing the project. The 12 copies are not required if the project is being reviewed for an administrative approval. See instruction sheet for requirements.)

Please see attached sheets.

Signature of Owner or Authorized Agent: X *J. Sheppard Haw III*

Name of Owner or Authorized Agent (please print legibly): J. Sheppard Haw III

(Space below for staff use only)

Received by Commission Secretary

APPLICATION NO. _____

DATE 5/1/15 2:30

SCHEDULED FOR _____

Note: CAR reviews all applications on a case-by-case basis.

Commission of Architectural Review

SUBMISSION APPLICATION

City of Richmond, Room 510 – City Hall
900 East Broad Street, Richmond, Virginia 23219
PHONE: (804) 646-6335 FAX: (804) 646-5789

13 South 13th Street Submission Application

Detailed Description of Proposed Work

Please note: State and Federal Part 2 tax credit applications and Part 2 amendments for this project have been reviewed and conditionally approved by the Department of Historic Resources and the National Park Service.

The Powers-Taylor Building at 13 South 13th Street will be rehabilitated as an office building to serve multiple tenants. The façade and exterior walls will be preserved intact. Several infilled windows will be reopened. The rear exterior fire stair will be removed. Interior stairs will be replaced except for the stairway in the NE corner. The non-historic interior drywall partition and finishes will be removed. The historic structure will continue to be exposed. New partitions will be installed to serve the office tenants. A new fire-rated stair will be added near the center of the back wall of the building, providing a secondary means of egress. The existing elevator equipment penthouse will be expanded to create a small conference room with a small terrace. Design of the proposed penthouse has been reduced in size and moved to the rear of building in respond to the Department of Historic Resource's recommendations.

The rehabilitation will result in preserving the building's historic materials and character. The facade will be preserved with no alteration of the building's historic features. Window, doors and cornices will be repaired in kind. The existing security bars on the cast iron store fronts will be cleaned, straightened, and repainted. Where re-pointing is necessary for bricks, the work will be achieved in accordance with NPS Preservation Brief e. Previously-painted brick will be repainted in historical colors.

The rear elevation will be preserved with no alteration of the building's historic features. Where necessary the brick wall will be re-pointed. The stucco at the NE corner will be repaired and painted. The existing windows will be retained and repaired. Windows that have been infilled will be reopened. Windows that are deteriorating will be replace to match windows of the rear elevation. Non-historic doors that were used for a fire escape will be replaced with windows that are one over one double-hung sash windows.

The side elevations will be preserved with no alteration of the building's historic features. Previously painted brick will be repainted. Existing windows will be retained and repaired. Windows that have been infilled will reopened and re-glazed.

Historic doors on the front of building will be repaired and repainted. The non-historic glass and aluminum doors on the front of the building will be replaced with doors that are more compatible with the building's character. Interior doors will be replaced; they have been determined to be non-historic doors.

The roof configuration will be preserved. The existing roof membrane will be removed and a new roof membrane will be installed. There will be a new fire stair that will provide a second a second means of egress from the roof. The penthouse that is planned will have a small terrace. The penthouse and terrace rail have been mocked up to demonstrate that their visibility and impact will be minimal. (See photos M1-M20).

Existing partitions will be demolished with new partitions constructed to serve office tenants. The existing NE corner stair, the elevator and basement restrooms will be preserved. The basement will be reused as fitness facilities, storage, and a sprinkler and mechanical room. Restrooms on first through fourth floors will be moved to a central location.

The existing egress stair at the northeast corner of the building will be retained. All other stairways will be demolished. A new egress stair required to code will be located at the center of the rear of the building and will link all floors to the roof. A new decorative stairway will link the first floor and the mezzanine.

A proposed penthouse is to be constructed tangential to the elevator room. A covered egress path will link the penthouse to the egress stairway. The penthouse is designed to be very simple – a one-story addition with a flat roof and very simple details. The ceiling height on the penthouse will be 8' to minimize visibility. A mock-up of the penthouse, egress stairs, and guard rails demonstrates that the proposed roof top addition will have only minimum visibility. The penthouse is not visible from 13th Street, Cary Street, Shockoe Slip or Main Street, and will only have slight visibility from Exchange Alley which terminates at 13th Street. A small portion of the egress stair will be visible from the rear of the building, when viewing from a small area along Main Street. The proposed penthouse and egress stair are subordinate to the main building and do not detract from the historic character of the building. (See Mock-up photos M1-M20).

Supporting materials that are included:

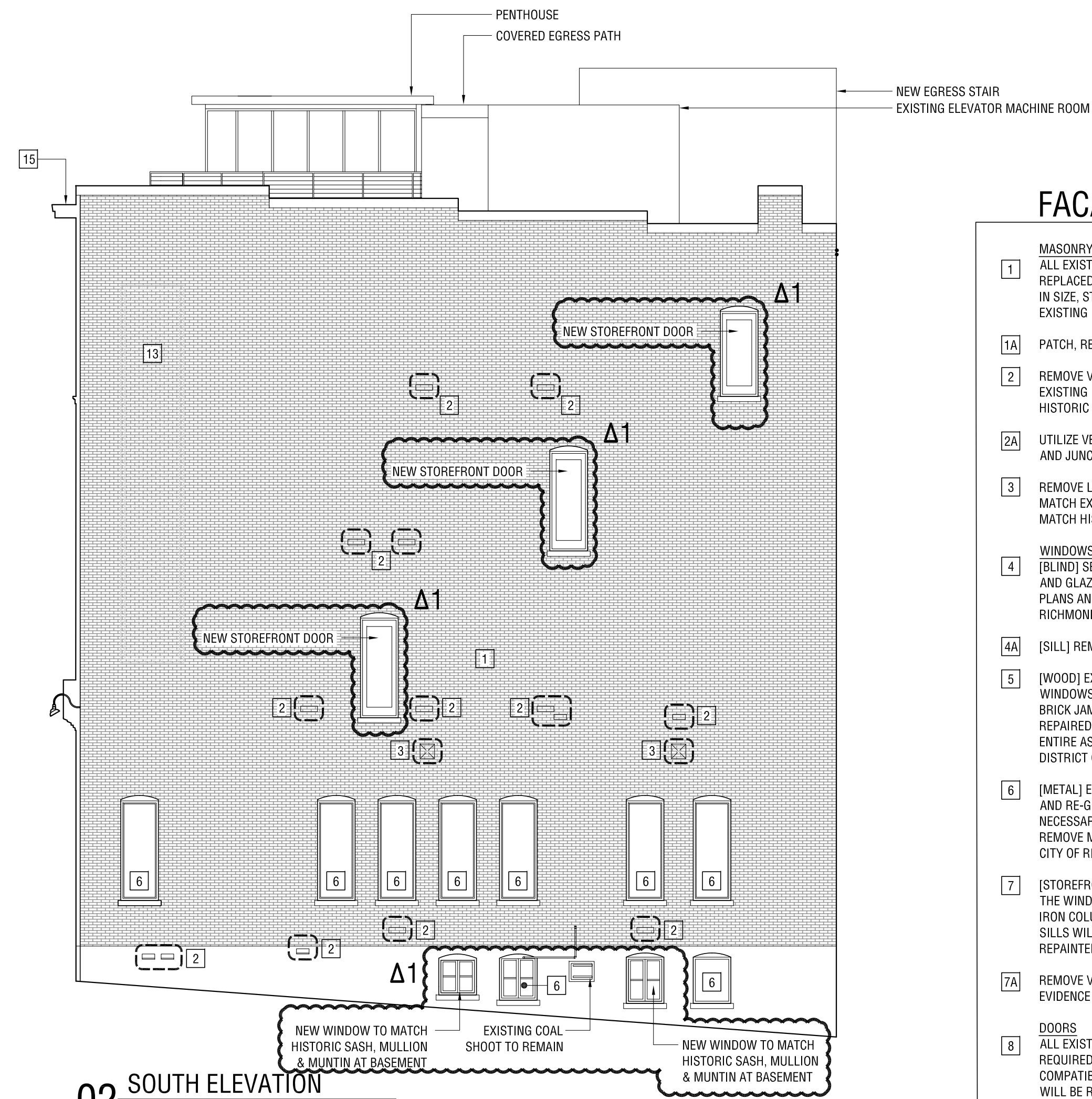
Department of Historic Resources conditional approval letter.

Elevation drawings of Penthouse with listing of materials used and colors.

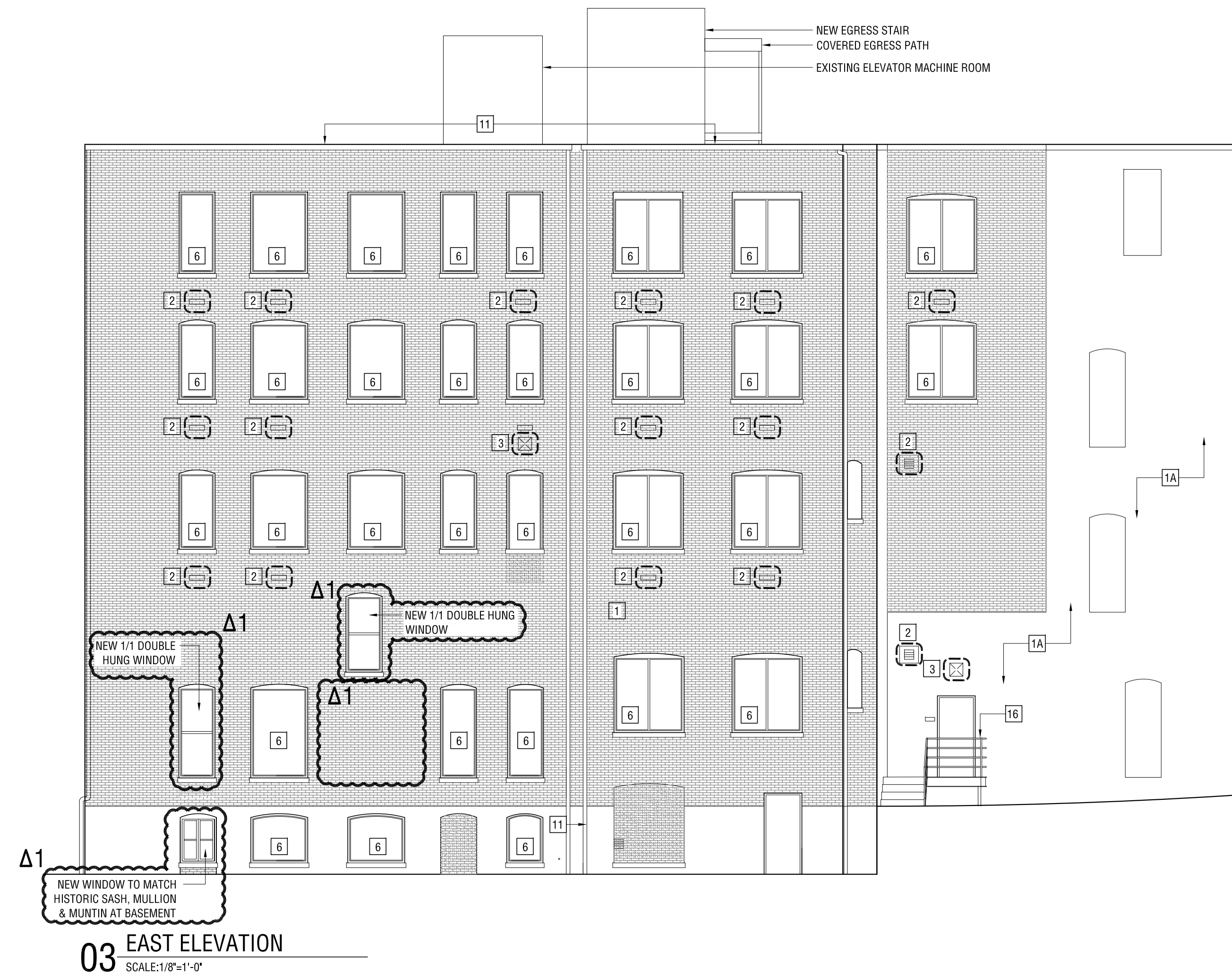
Rooftop Mock-up key and photos (M1 – M20)



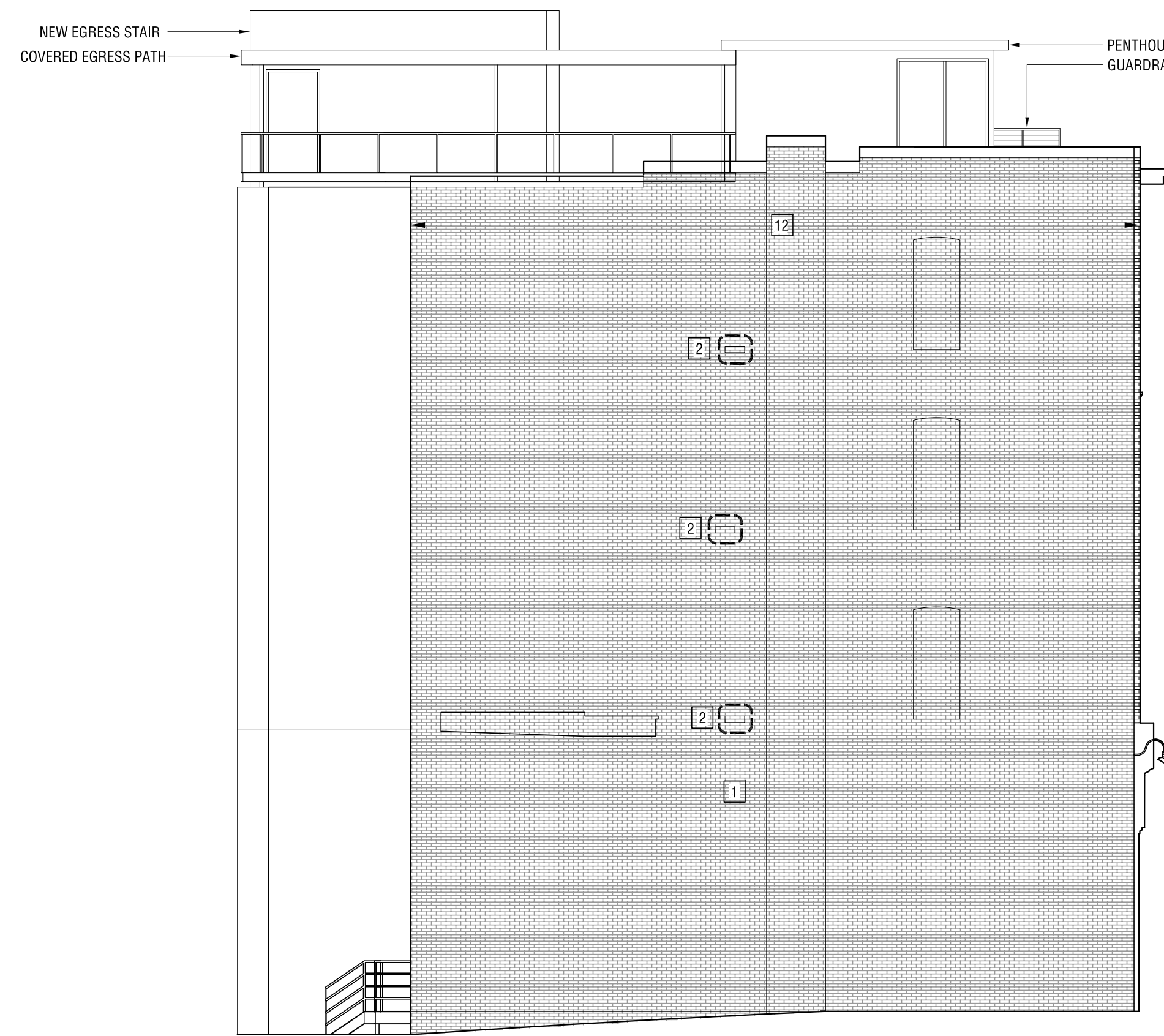
01 WEST ELEVATION
SCALE: 1/8"=1'-0"



02 SOUTH ELEVATION
SCALE: 1/8"=1'-0"



03 EAST ELEVATION
SCALE: 1/8"=1'-0"

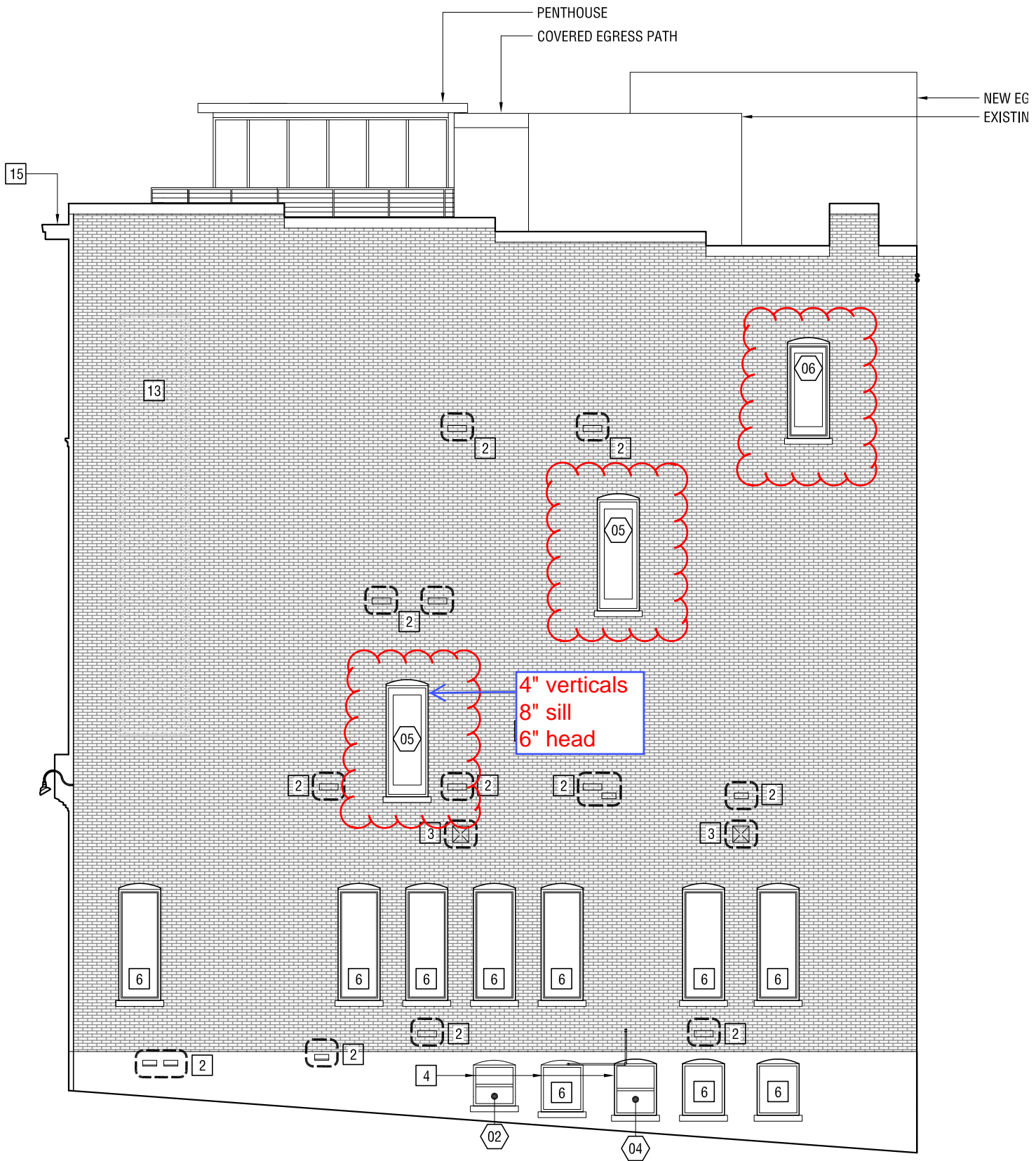


04 NORTH ELEVATION
SCALE: 1/8"=1'-0"

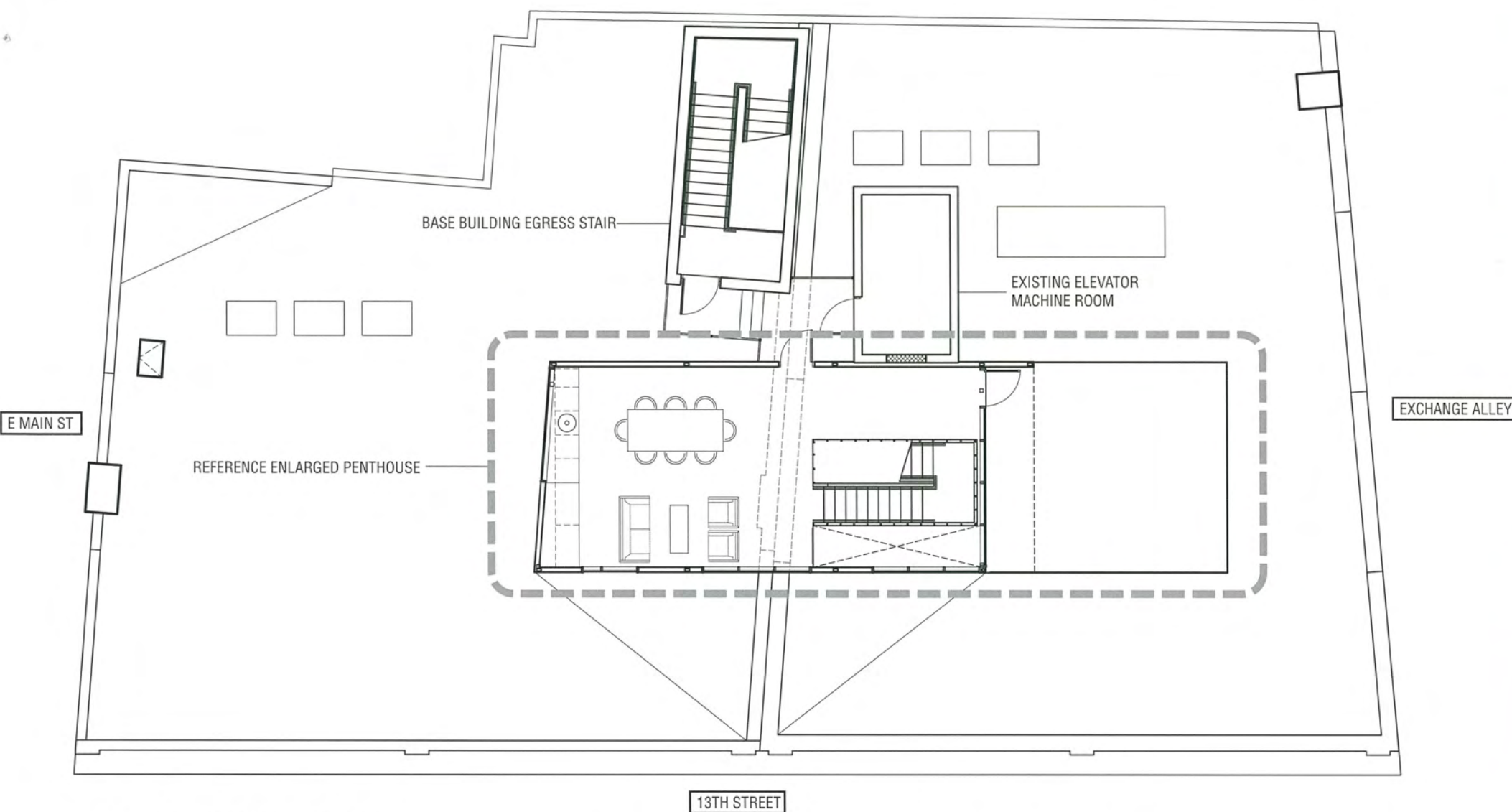
FACADE RESTORATION NOTES

- MASONRY**
- 1 ALL EXISTING MASONRY WILL BE REPAIRED, RE-POINTED AND BRICK WILL BE REPLACED AS NECESSARY. REPLACEMENT BRICK SHALL MATCH EXISTING BRICK IN SIZE, STYLE AND COLOR. REPLACEMENT MORTAR JOINTS SHALL MATCH EXISTING IN CONSISTENCY AND SIZE.
 - 1A PATCH, REPAIR, AND PAINT EXISTING STUCCO AND MATCH FINISH.
 - 2 REMOVE VENT AND REPLACE WITH BRICK. REPLACEMENT BRICK WILL MATCH EXISTING BRICK IN SIZE, STYLE AND COLOR. NEW MORTAR JOINTS WILL MATCH HISTORIC JOINTS IN COMPOSITION, PROFILE, AND COLOR.
 - 2A UTILIZE VENT OPENINGS ON SECOND FLOOR FOR NEW LIGHT FIXTURE CONDUIT AND JUNCTION BOXES.
 - 3 REMOVE LIGHT FIXTURE AND REPLACE WITH BRICK. REPLACEMENT BRICK WILL MATCH EXISTING BRICK IN SIZE, STYLE AND COLOR. NEW MORTAR JOINTS WILL MATCH HISTORIC JOINTS IN COMPOSITION, PROFILE, AND COLOR.
- WINDOWS**
- 4 [BLIND] SELECTED (PREVIOUSLY OPEN) BLIND WINDOWS WILL BE REOPENED AND GLAZED WITH CONTEMPORARY STOREFRONT GLAZING (SEE DEMOLITION PLANS AND WINDOW SCHEDULE FOR CLARIFICATION). REPAIR PER CITY OF RICHMOND, HISTORIC DISTRICT GUIDELINES.
 - 4A [SILL] REMOVE EXISTING PAINT FROM GRANITE SILL AND RECAULK AS REQ'D.
 - 5 [WOOD] EXISTING FRAMES AND SASHES WILL BE SCRAPPED AND REPAINTED. THE WINDOWS WILL BE RE-CAULKED AND RE-GLAZED AS NECESSARY. EXISTING BRICK JAMBS WILL BE REPAIRED AS NECESSARY. EXISTING SILLS WILL BE REPAIRED AS NECESSARY. CLEAN AND REMOVE MISCELLANEOUS DEBRIS. ENTIRE ASSEMBLY WILL BE REPAINTED PER CITY OF RICHMOND, HISTORIC DISTRICT GUIDELINES.
 - 6 [METAL] EXISTING FRAMES REPAINTED. THE WINDOWS WILL BE RE-CAULKED AND RE-GLAZED AS NECESSARY. EXISTING BRICK JAMBS WILL BE REPAIRED AS NECESSARY. EXISTING SILLS WILL BE REPAIRED AS NECESSARY. CLEAN AND REMOVE MISCELLANEOUS DEBRIS. ENTIRE ASSEMBLY WILL BE REPAINTED PER CITY OF RICHMOND, HISTORIC DISTRICT GUIDELINES.
 - 7 [STOREFRONT] EXISTING WOOD FRAMES WILL BE SCRAPPED AND REPAINTED. THE WINDOWS WILL BE RE-CAULKED AND RE-GLAZED AS NECESSARY. THE CAST IRON COLUMNS WILL BE REPAIRED AS NECESSARY AND REPAINTED. EXISTING SILLS WILL BE REPAIRED AS NECESSARY. ENTIRE ASSEMBLY WILL BE REPAINTED PER CITY OF RICHMOND, HISTORIC DISTRICT GUIDELINES.
 - 7A REMOVE VENT, INFILL OPENING AND REFINISH SO AS TO CONCEAL ANY VISUAL EVIDENCE OF OPENING.
- DOORS**
- 8 ALL EXISTING WOOD DOORS WILL BE RETAINED, REPAIRED, AND RE-GLAZED AS REQUIRED. OPERABLE DOOR ASSEMBLIES WILL RECEIVE NEW HARDWARE COMPATIBLE WITH HISTORIC CHARACTER OF THE BUILDING. EXISTING JAMBS WILL BE REPAIRED AS NECESSARY. ALL DOOR ASSEMBLIES WILL BE REPAINTED PER CITY OF RICHMOND, HISTORIC DISTRICT GUIDELINES.
 - 9 FIX AND SECURE EXISTING DOOR FROM THE INTERIOR. REPAIR THRESHOLD AND JAMB AS NECESSARY. REPAIR DOOR ASSEMBLY PER CITY OF RICHMOND, HISTORIC DISTRICT GUIDELINES.
 - 10 NOT USED
 - 11 REPAIR AND MAINTAIN GUTTER. REPLACE DOWNSPOUTS AND TIE INTO STORM DRAIN.
- PAINT**
- 12 REPAIR ENTIRE FACADE PER CITY OF RICHMOND, HISTORIC DISTRICT GUIDELINES. REFER FINISH SCHEDULE FOR PAINT SPECS. [MASONRY] PAINT 9 [STOREFRONT COLUMNS, ENTABLATURE, PEDIMENT, WINDOW BARS AND UPPER CORNICE] PAINT 6 [STOREFRONT WINDOWS & BASE, AND HISTORIC WINDOW FRAMES] PAINT 7
 - 13 BUILDING SIGNAGE SHALL BE A PAINTED BANNER PER CITY OF RICHMOND HISTORIC DISTRICT GUIDELINES AND BE COMPATIBLE WITH SURROUNDING HISTORIC SIGNAGE TYPOLOGY.
- METAL GRILLS**
- 14 TYPICAL EXISTING METAL GRILLS OVER WINDOWS REPAIR AND REPAINT AS REQUIRED. GRILLS OMITTED FOR CLARITY. VERIFY LOCATIONS IN FIELD.
- CORNICE**
- 15 INVESTIGATE FOR ALL ROT AND OVERALL DECAY. REPAIR AND REPLACE AS REQUIRED. MATCH EXISTING PROFILE AND REFLASH TOP OF CORNICE WITH NEW METAL TO MATCH SPECIFIED PAINT COLOR.
- STAIR**
- 16 REPAIR, SECURE LANDING AND HANDRAILS, REFINISH AND REPAINT STAIR, RAILS, AND LANDING.

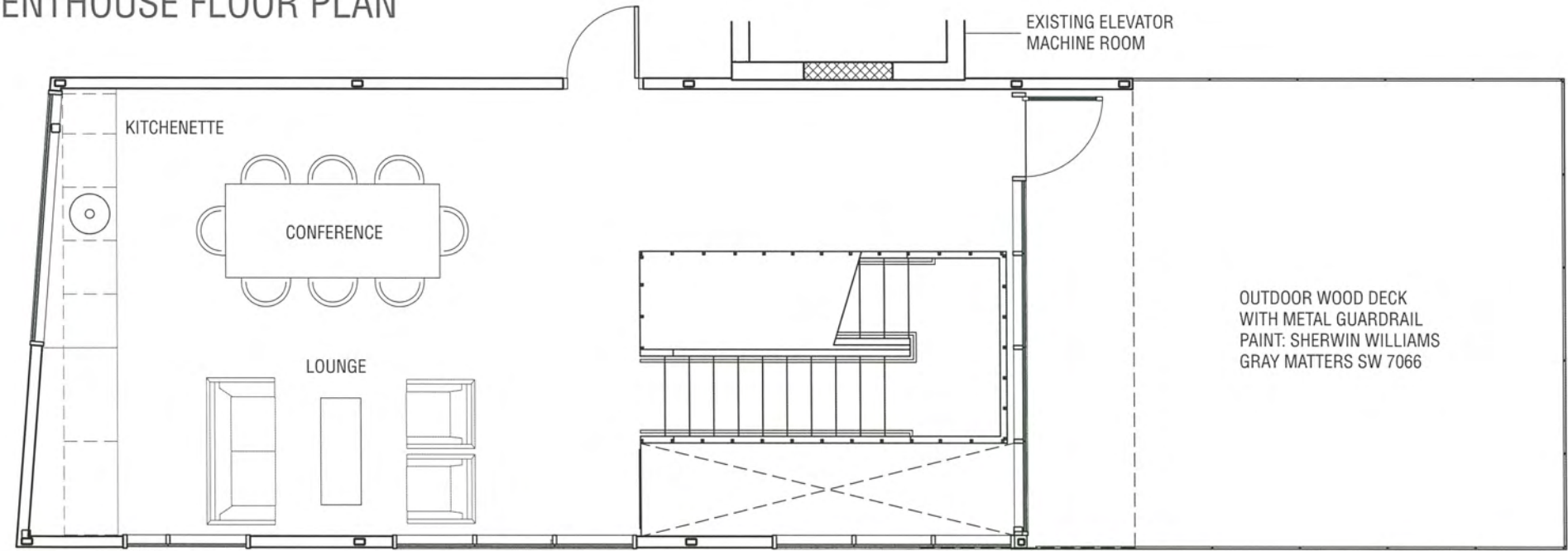
JOB NUMBER / 21405	DATE / 23 JAN 2015	SCALE / 1/8"=1'-0"	DRAWN / APS	CHECKED / CPF	REVISIONS / Δ1 REVISIONS JAN 23 2015
SHEET / A4.01			EXTERIOR ELEVATIONS		



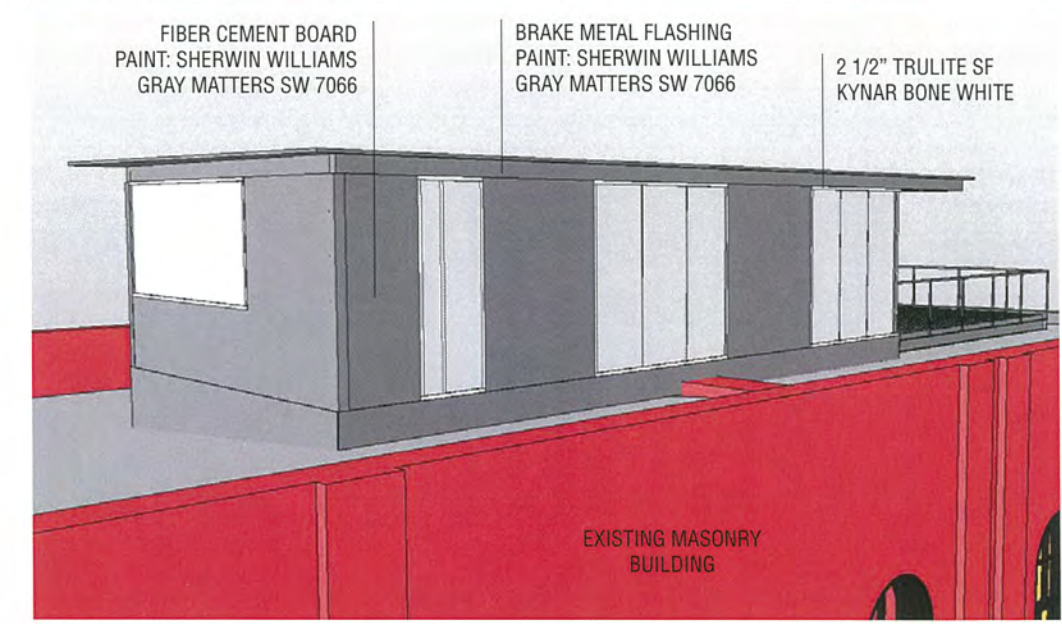
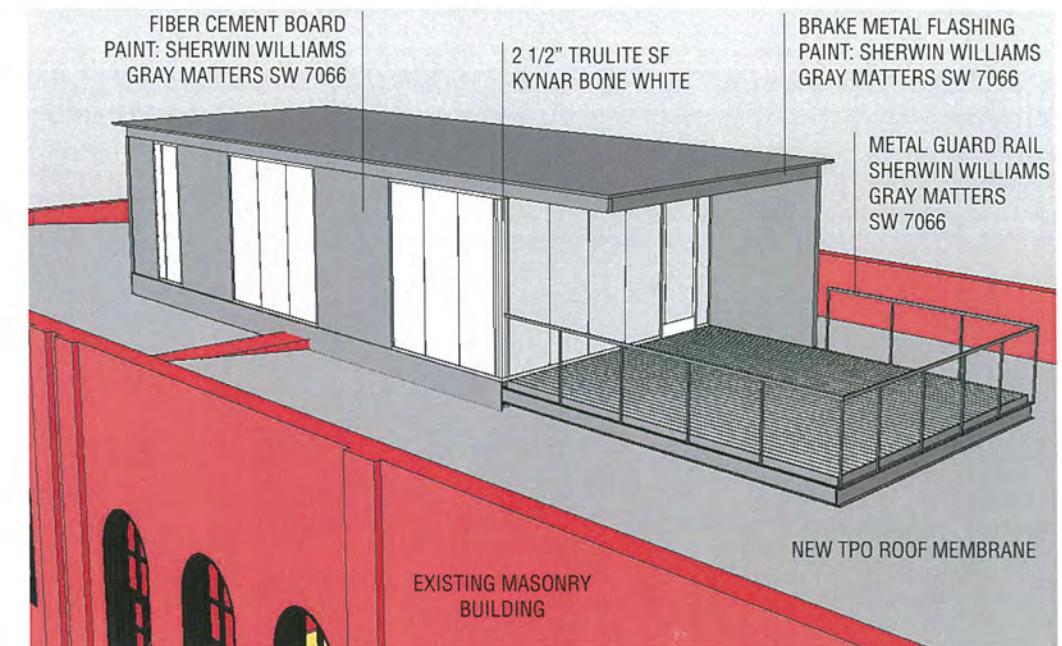
SOUTH ELEVATIONS
JAN 21 2015



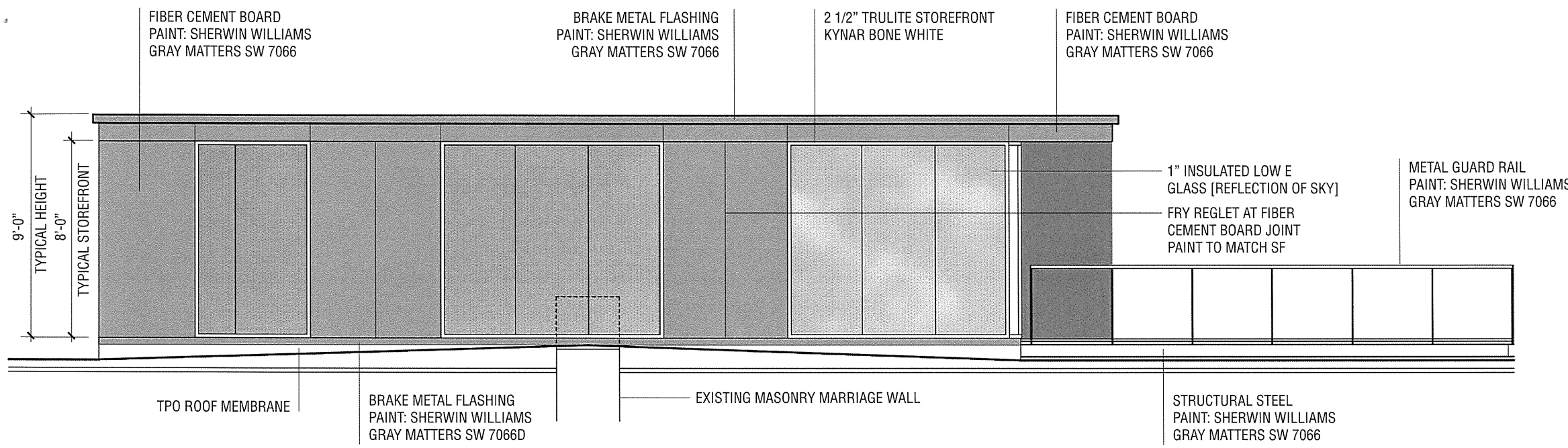
PENTHOUSE FLOOR PLAN



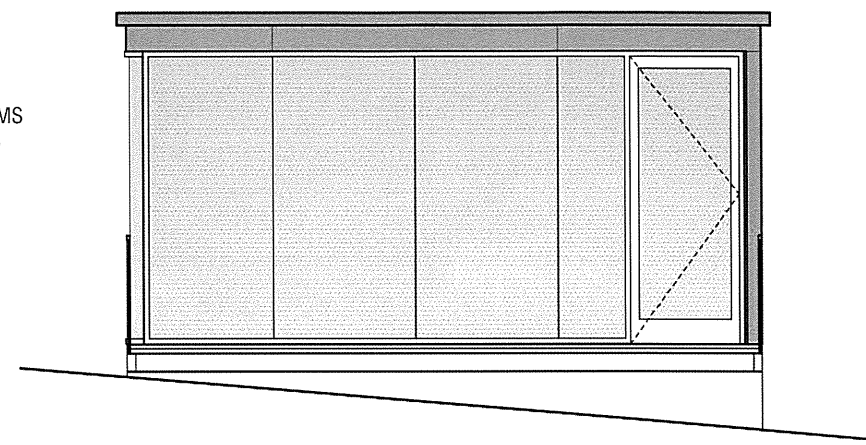
ENLARGED PENTHOUSE FLOOR PLAN



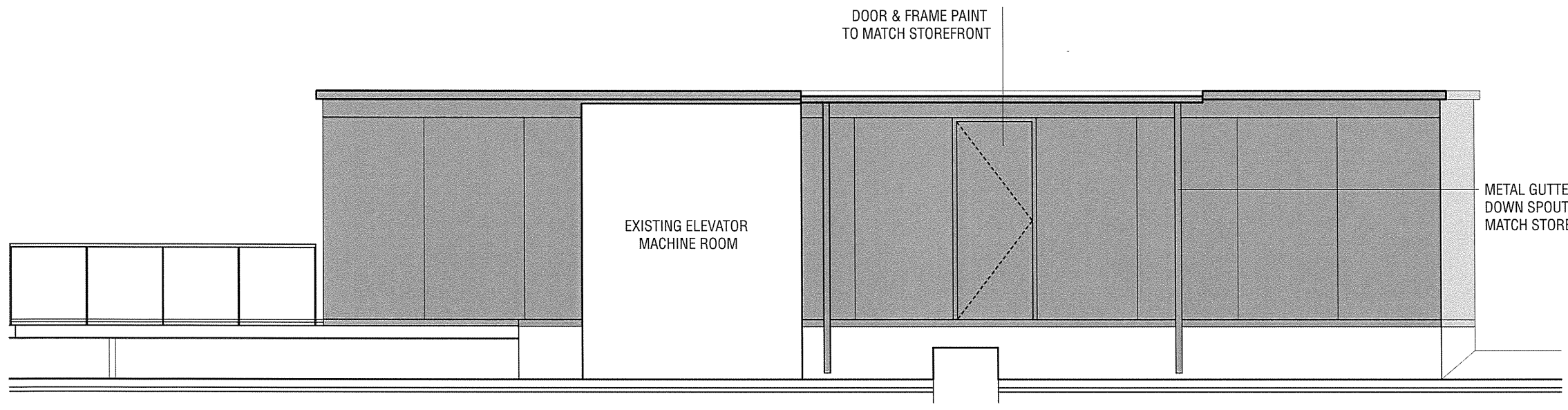
PENTHOUSE PERSPECTIVES



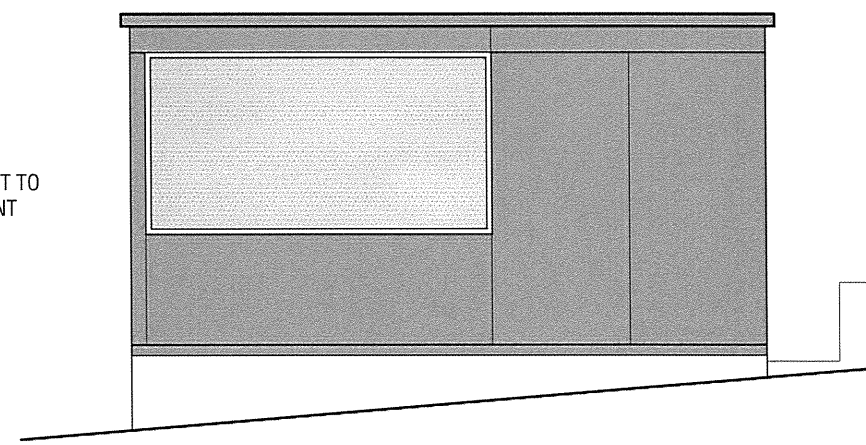
WEST ELEVATION [TYPICAL COMMENTS]



SOUTH ELEVATION



EAST ELEVATION



NORTH ELEVATION

POWERS - TAYLOR PENTHOUSE ELEVATIONS

DRAWINGS NOT TO SCALE
MAY 01 2015

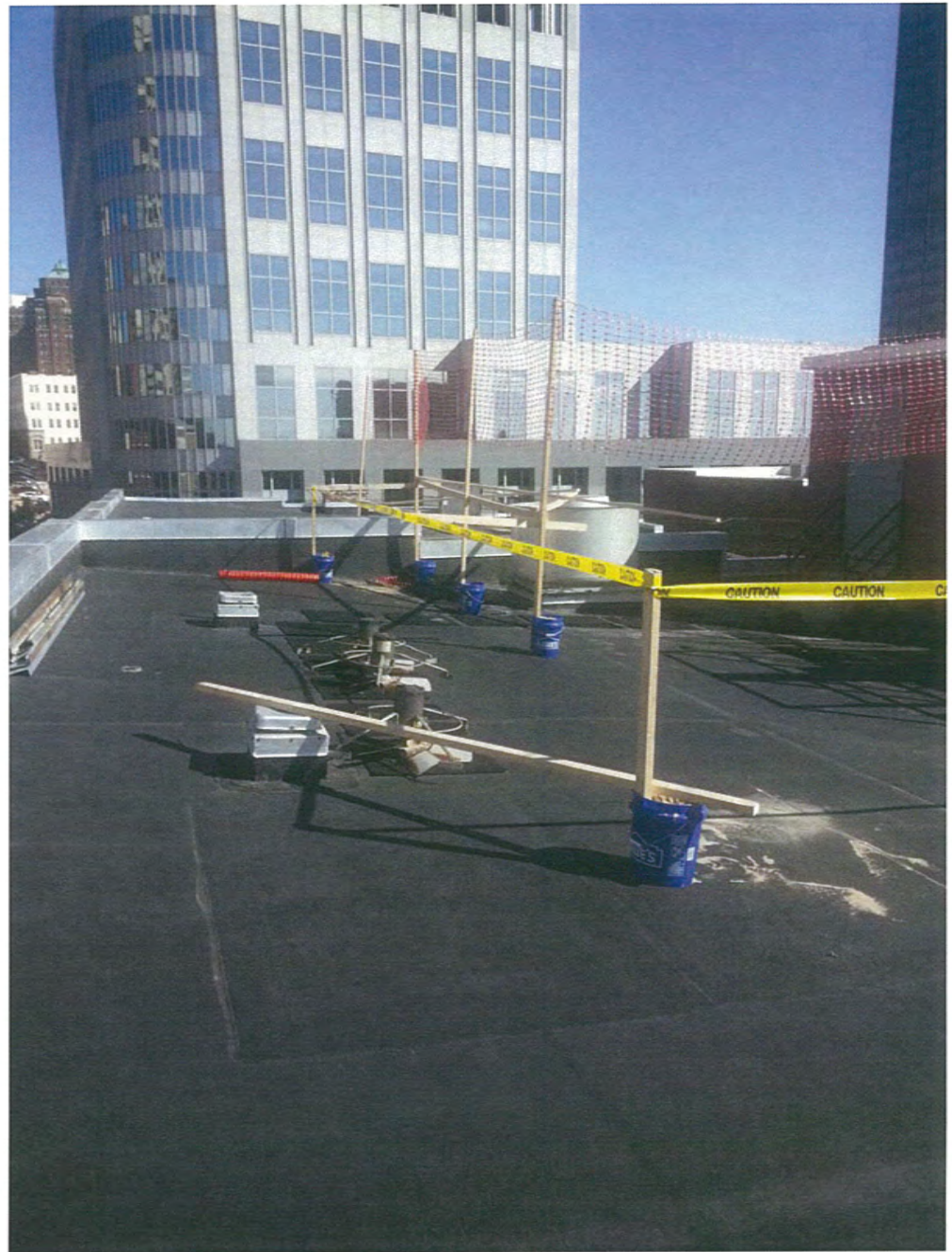
Powers-Taylor Building, 13 S. 13th Street, Richmond, VA
DHR #2013-242, NPS #29883
Rooftop Mock-up photograph key



Powers-Taylor Building, 13 S. 13th Street, Richmond, VA
DHR #2013-242, NPS #29883
Rooftop mock-up photographs taken October 2014



M1. Mockup from roof



M2. Mockup from roof

Powers-Taylor Building, 13 S. 13th Street, Richmond, VA
DHR #2013-242, NPS #29883
Rooftop mock-up photographs taken October 2014



M3. Mockup from roof



M4. Mockup from roof

Powers-Taylor Building, 13 S. 13th Street, Richmond, VA
DHR #2013-242, NPS #29883
Rooftop mock-up photographs taken October 2014



M5. View from Main and 13th. Not visible



M6. View from parking lot on 13th. Not visible

Powers-Taylor Building, 13 S. 13th Street, Richmond, VA
DHR #2013-242, NPS #29883
Rooftop mock-up photographs taken October 2014



M7. View from parking lot on 13th. Not visible



M8. Side view from 13th. Not visible

Powers-Taylor Building, 13 S. 13th Street, Richmond, VA
DHR #2013-242, NPS #29883
Rooftop mock-up photographs taken October 2014



M9. Alley beside building. Not visible



M10. Alley beside building. Not visible

Powers-Taylor Building, 13 S. 13th Street, Richmond, VA
DHR #2013-242, NPS #29883
Rooftop mock-up photographs taken October 2014



M11. View from south side of Main St. Visible



M12. View from south side of Main St. Visible

Powers-Taylor Building, 13 S. 13th Street, Richmond, VA
DHR #2013-242, NPS #29883
Rooftop Mock-up photographs taken October 2014



M11 A. View from alley, edited to enhance reader visibility

Powers-Taylor Building, 13 S. 13th Street, Richmond, VA
DHR #2013-242, NPS #29883
Rooftop mock-up photographs taken October 2014



M13. View from alley. Not visible



M14. View from alley. Not visible

Powers-Taylor Building, 13 S. 13th Street, Richmond, VA
DHR #2013-242, NPS #29883
Rooftop mock-up photographs taken October 2014



M15. View from alley. Visible



M16. View from alley. Visible

Powers-Taylor Building, 13 S. 13th Street, Richmond, VA
DHR #2013-242, NPS #29883
Rooftop Mock-up photographs taken October 2014



M15 A. View from alley, edited to enhance reader visibility

Powers-Taylor Building, 13 S. 13th Street, Richmond, VA
DHR #2013-242, NPS #29883
Rooftop Mock-up photographs taken October 2014



M16 A. View from alley, edited to enhance reader visibility

Powers-Taylor Building, 13 S. 13th Street, Richmond, VA
DHR #2013-242, NPS #29883
Rooftop mock-up photographs taken October 2014



M17. View from alley (zoom). Visible).



M18. View from 13th and Cary. Not visible

Powers-Taylor Building, 13 S. 13th Street, Richmond, VA
DHR #2013-242, NPS #29883
Rooftop mock-up photographs taken October 2014



M19. View from Shockoe Slip. Not visible



M20. View from Main and 13th Street. Not visible



COMMONWEALTH of VIRGINIA

Department of Historic Resources

2801 Kensington Avenue, Richmond, Virginia 23221

Molly Joseph Ward
Secretary of Natural Resources

Julie V. Langan
Director
Tel: (804) 367-2323
Fax: (804) 367-2391
www.dhr.virginia.gov

December 29, 2014

Mr. J. Sheppard Haw III
13 S. 13th Street, LLC / Suite 200
10900 Nuckols Road
Glen Allen, Virginia 23060

Reason: 13 South 13th Street / Richmond
DHR # 2013-242

Dear Mr. Haw:

The Department of Historic Resources has reviewed the Federal and State Historic Rehabilitation Tax Credit applications, Part 2, "Description of Rehabilitation", for the proposed work to the previously certified commercial building located at 13 South 13th Street here in Richmond. The project scope of work is consistent with the *Secretary of the Interior's Standards for Rehabilitation* provided the following conditions are met:

- Typically, rooftop additions on buildings 4 stories (or less) cannot be approved to meet preservation guidelines; constructing additional stories on small scale buildings radically alters the historic appearance of smaller buildings. However, in this case, it appears that the small one story penthouse designed will not be visible for the surrounding historic district. However, should construction of the expanded rooftop penthouse result in a visible rooftop addition, the new construction should be stopped and fully documented and submitted for review. This will ensure that appropriate design changes are made so that an approved Part 3 *Certification for the Completed Rehabilitation* of your project can be issued.
- While modern sash existing on the south and rear elevations can be retained, as proposed, these storefront designs cannot be approved for re-establishing historic window openings. New window openings must be in-filled with new sash matching a documented design, or a compatible contemporary design. (Such as a one over one / double hung sash.) Specifications for the new window sash design should be submitted for review and approval.

Administrative Services
10 Courthouse Ave.
Petersburg, VA 23803
Tel: (804) 862-6408
Fax: (804) 862-6196

Capital Region Office
2801 Kensington Avenue
Richmond, VA 23221
Tel: (804) 482-6446
Fax: (804) 367-2391

Tidewater Region Office
14415 Old Courthouse Way
2nd Floor
Newport News, VA 23608
Tel: (757) 886-2818
Fax: (757) 886-2808

Western Region Office
962 Kime Lane
Salem, VA 24153
Tel: (540) 387-5443
Fax: (540) 387-5446

Northern Region Office
5357 Main Street
PO Box 519
Stephens City, VA 22655
Tel: (540) 868-7029
Fax: (540) 868-7033

- Stucco repair work should follow guidelines as established in Preservation Brief Number 22: The Preservation and Repair of Historic Stucco.

My comments have been forwarded up to the National Park Service along with your Part 2 application; you can expect NPS review comments within the next 30 days. In the interim, should your scope of work change in any way, or if I can be of further assistance, please contact me at (804) 482-6095.

Sincerely,

A handwritten signature in cursive script that reads "William Mills Crosby". The signature is written in dark ink and has a fluid, connected style.

William Mills Crosby

Architect, Senior

Investment Tax Act Incentives