





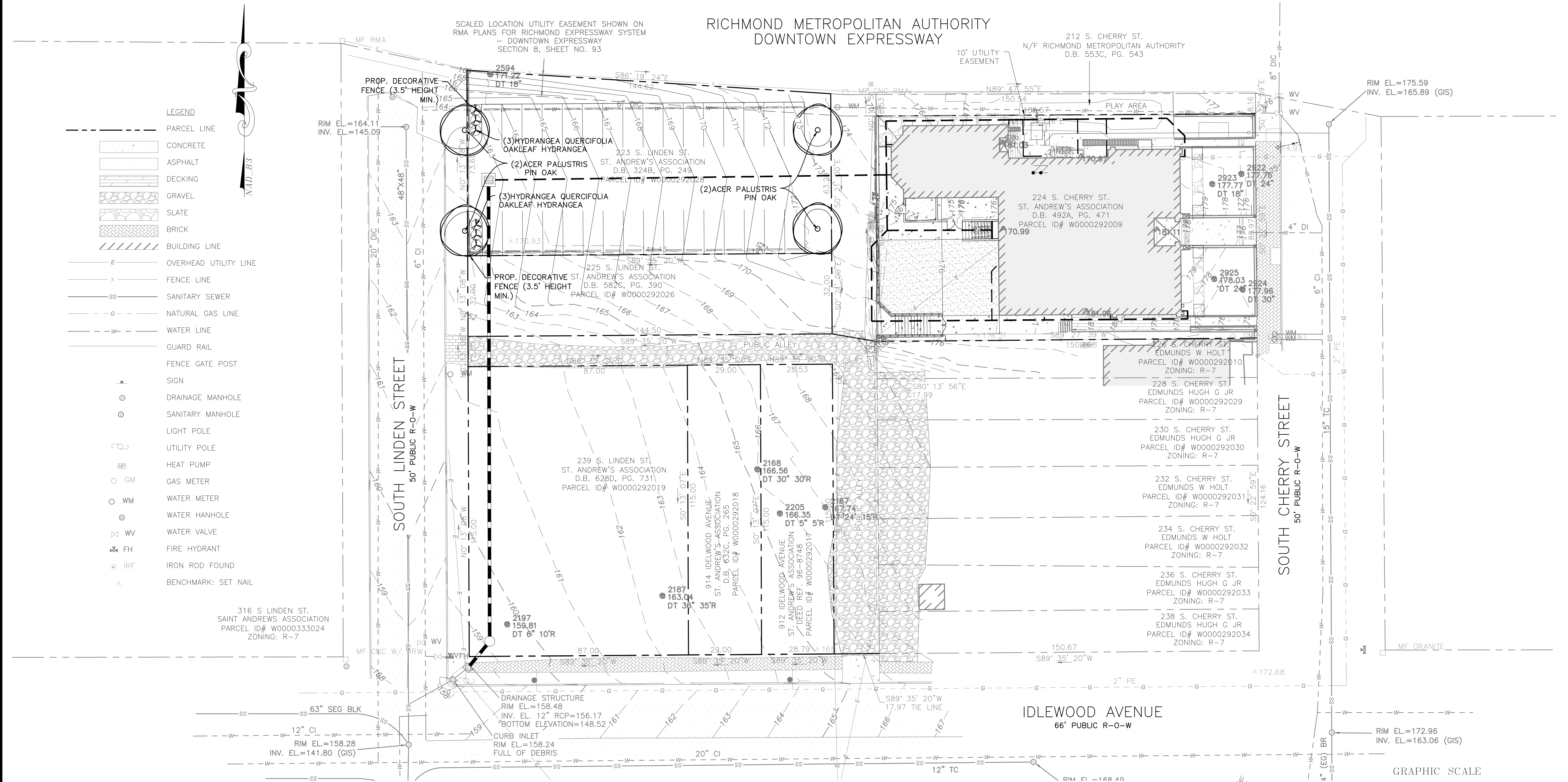


REV.	DATE	DESCRIPTION
1	4/29/18	CITY COMMENTS

DESIGN BY: Steve King  
CHECKED BY: Jeff Staub  
DRAWING SCALE: 1"=20'  
DATE: 4/25/2018

RICHMOND METROPOLITAN AUTHORITY  
DOWNTOWN EXPRESSWAY

SCALED LOCATION UTILITY EASEMENT SHOWN ON  
RMA PLANS FOR RICHMOND EXPRESSWAY SYSTEM  
DOWNTOWN EXPRESSWAY  
SECTION 8, SHEET NO. 93



STANDARD NOTES REQUIRED ON LANDSCAPE PLANS

- PLANT MATERIAL SIZES AND GRADING ARE TO COMPLY WITH THE LATEST EDITION OF "AMERICAN STANDARDS OF NURSERY STOCK," PUBLISHED BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION.
- CONTRACTOR SHALL ASCERTAIN LOCATION OF ALL UTILITIES PRIOR TO EXCAVATION. PRIOR TO COMMENCING ANY WORK, CONTACT "MISS UTILITY" AT 1-800-552-7001.
- NO CHANGES TO PLANT SCHEDULE UNLESS FIRST APPROVED BY THE PLAN REVIEW SECTION.
- LANDSCAPING WILL BE DESIGNED SO AS NOT TO INTERFERE WITH SIGHT DISTANCE NEEDS OF DRIVERS IN THE PARKING AREAS AND AT THE ENTRANCE/EXIT LOCATIONS.
- PLANT MATERIAL QUANTITIES AND SIZES WILL BE INSPECTED FOR COMPLIANCE WITH APPROVED PLANS BY A SITE PLAN REVIEW AGENT PRIOR TO THE RELEASE OF THE CERTIFICATE OF OCCUPANCY.
- THE OWNER IS RESPONSIBLE FOR MAINTAINING SHRUBS AND TREES THAT ARE REQUIRED PER APPROVED LANDSCAPING PLANS. DYING OR DEAD PLANT MATERIALS ARE TO BE REPLACED DURING THE NEXT PLANTING SEASON.
- PLANT MATERIALS SHALL HAVE ALL STRINGS OR ROPES AT THE BASE OF THE PLANT CUT AWAY FROM THE TRUNK (INCLUDING BIODEGRADABLE BRANDS OF ROPE).
- NO LANDSCAPING SHALL BE INSTALLED THAT OBSTRUCTS ACCESS TO FIRE HYDRANT OR OTHER FIRE DEPARTMENT CONNECTIONS. A CLEAR AREA OF 5' SHALL BE MAINTAINED AROUND ALL FIRE DEPARTMENT CONNECTIONS.

WATERING SCHEDULE:

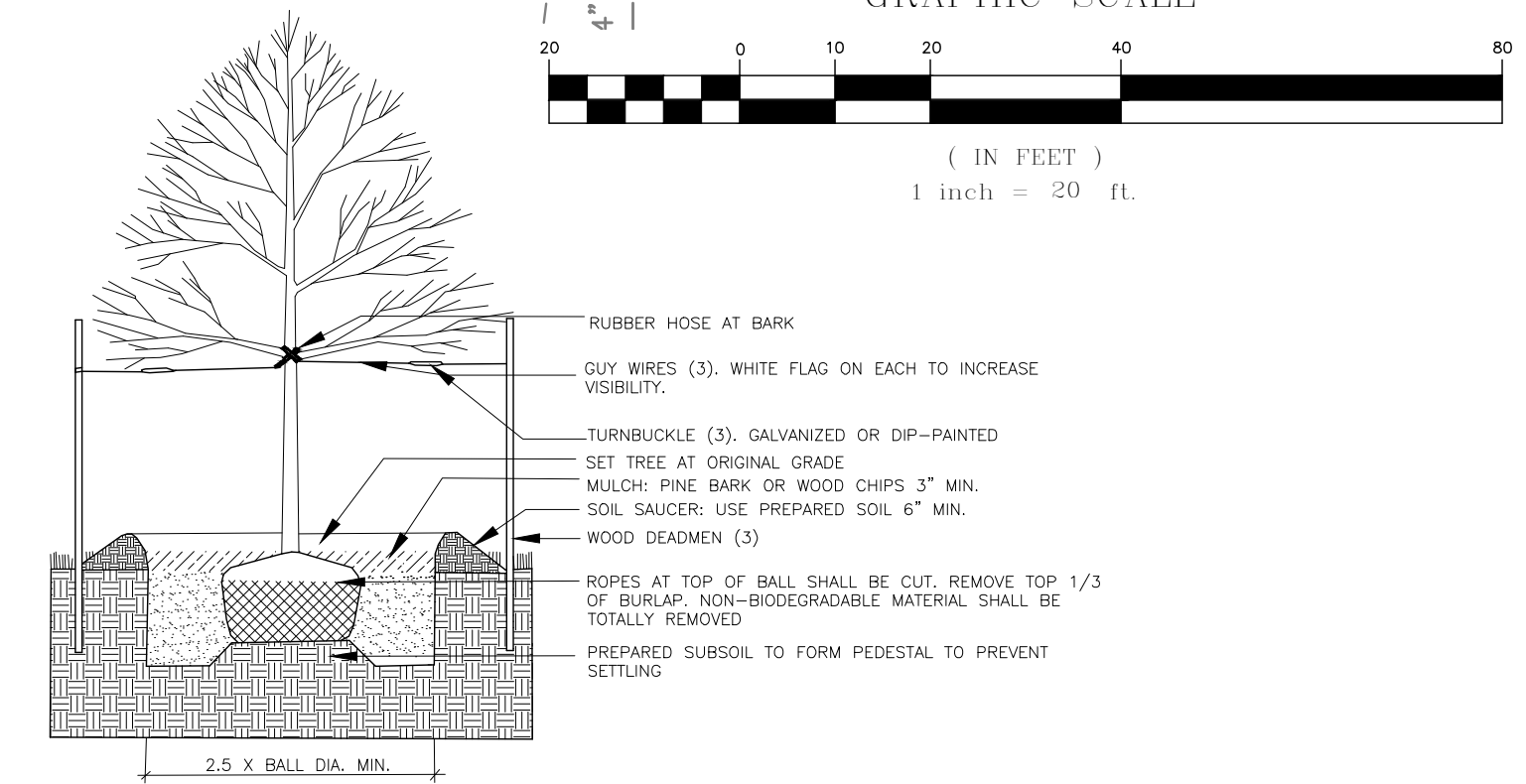
- DURING THE ESTABLISHMENT PERIOD THE CONTRACTOR SHALL WATER EACH PLANT WITH THE FOLLOWING MINIMUM QUANTITIES OF WATER FOR EACH WATERING, UNLESS OTHERWISE DIRECTED BY THE ENGINEER.
  - DECIDUOUS TREES OVER 10' HT. - 12 GALLONS PER UNIT
  - DECIDUOUS TREES 10' HT. OR LESS - 6 GALLONS PER UNIT
  - EVERGREEN TREES - 8 GALLONS PER UNIT
- THE CONTRACTOR SHALL WATER ALL LIVING PLANTS EVERY 4 WEEKS DURING THE PERIOD BETWEEN APRIL 1 AND MAY 31, EVERY 2 WEEKS DURING THE PERIOD BETWEEN JUNE 1 AND SEPTEMBER 30, EVERY 4 WEEKS DURING THE PERIOD BETWEEN OCTOBER 1 AND NOVEMBER 30.

TREE CARE NOTES:

- CITY OF RICHMOND TREE PLANTING SPECIFICATIONS SHALL BE FOLLOWED.
- ALL TREES TO MEET ANSI Z160 STANDARDS.
- ALL TREES SPECIFIED ARE BALLED AND BURLAPED. CONTAINER TREES ARE CONSIDERED SUBSTITUTES AND REQUIRE LANDSCAPE ARCHITECT APPROVAL PRIOR TO PLANTING.
- STAKES MUST BE REMOVED WITHIN 1 YEAR OF PLANTING.
- WHEN A BRANCH, STEM, OR LIMB IS BROKEN A CLEAN CUT AT THE SITE SHALL BE MADE.
- DEBRIS AND OTHER MATERIAL MAY NOT BE PLACED OR STORED AT THE BASE OF A TREE OR ANYWHERE OUTSIDE THE LIMIT OF WORK.
- DRIVING OR PARKING HEAVY EQUIPMENT ON THE BASE OF TREES SHALL BE AVOIDED WHENEVER POSSIBLE.
- STUMPS SHALL BE CUT AS CLOSE TO THE GROUND AS POSSIBLE.
- LANDSCAPE ARCHITECT SHALL APPROVE LOCATION OF ALL TREE PROTECTION FENCE.
- NO LARGE TREES SHALL BE PLANTED BENEATH WIRES.

GENERAL NOTES:

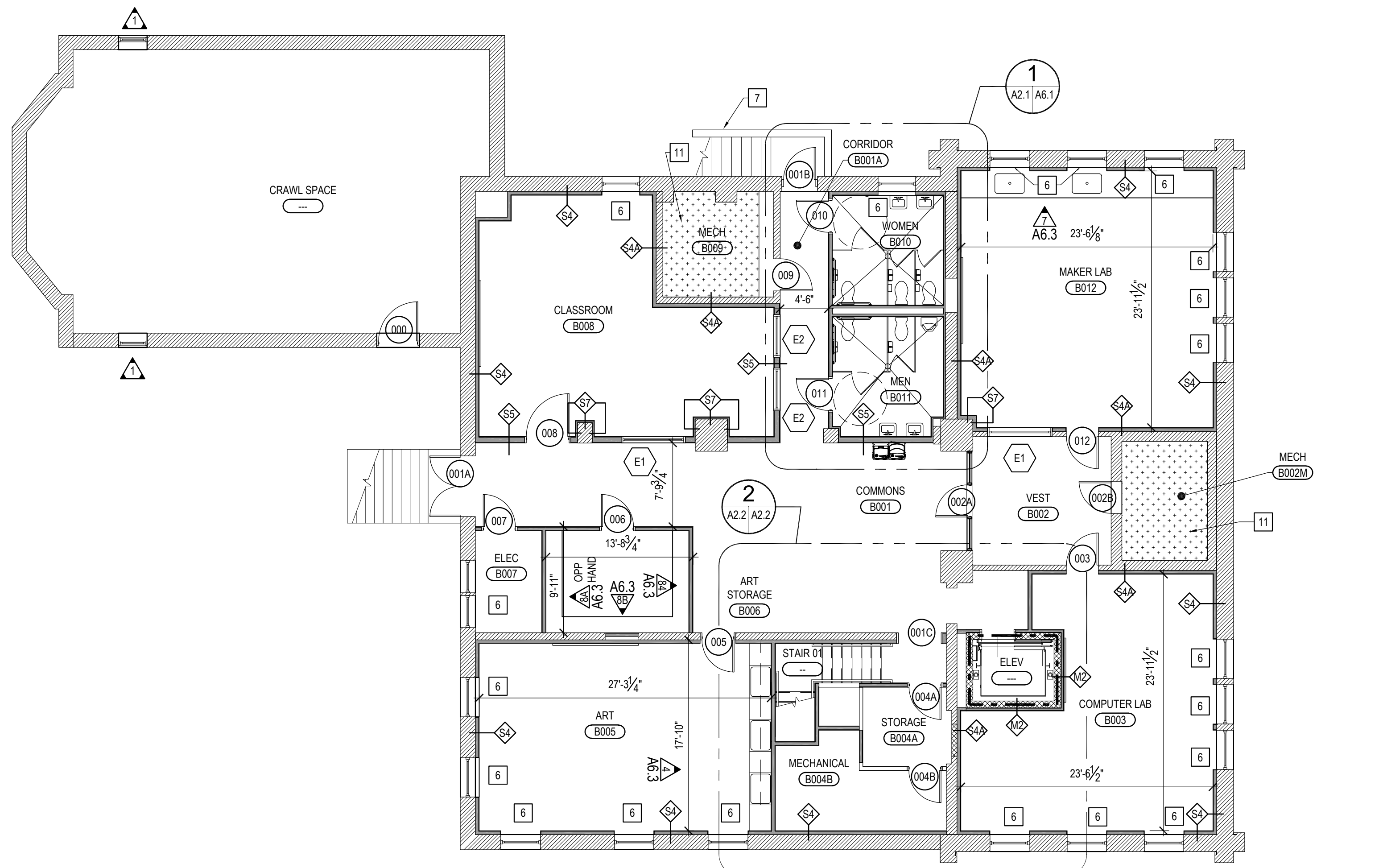
- ALL PLANTING SHALL BE IN ACCORDANCE WITH PROJECT DOCUMENTS.
- SIZE OF PLANTS INDICATED ON THIS SUMMARY SHEET REFER TO SIZE OF PLANTS DELIVERED TO THE PROJECT SITE.
- THE CONTRACTOR SHALL WATER ALL LIVING TREES DURING THE WARRANTY PERIOD; SEE WATERING SCHEDULE BELOW.
- LOCATION OF PLANT MATERIALS SHOWN ON THE PLANS ARE APPROXIMATE AND SHALL BE ADJUSTED AS REQUIRED FOR CHANGES DUE TO ACTUAL FIELD CONDITIONS WHEN DIRECTED BY THE LANDSCAPE ARCHITECT.
- ON CENTER SPACING OF PLANT MATERIAL SHALL BE INDICATED IN THE LANDSCAPE SUMMARY OR PLAN, UNLESS OTHERWISE DIRECTED BY THE LANDSCAPE ARCHITECT.
- THE LOCATION OF ALL PLANT MATERIAL SHALL BE STAKED IN THE FIELD BY THE CONTRACTOR FOR APPROVAL BY THE LANDSCAPE ARCHITECT PRIOR TO EXCAVATION OF PLANTING PITS AND/OR BEDS AND INSTALLATION OF ANY PLANT MATERIAL.
- THE MULCHING MATERIAL FOR THIS PROJECT SHALL BE SHREDDED HARDWOOD BARK.
- JUNCTION AND ACCESS BOXES ARE EITHER TO BE SCREENED OR PAINTED TO MATCH THE BUILDING.
- MECHANICAL EQUIPMENT, WHETHER ROOF-TOP OR GROUND LEVEL, SHALL BE SHIELDED AND SCREENED FROM PUBLIC VIEW AND DESIGNED TO BE PERCEIVED AS AN INTEGRAL PART OF THE BUILDING. UNITS TO BE IN RELIEF BEHIND PARAPETS AND/OR WALLS USED FOR SCREENING.



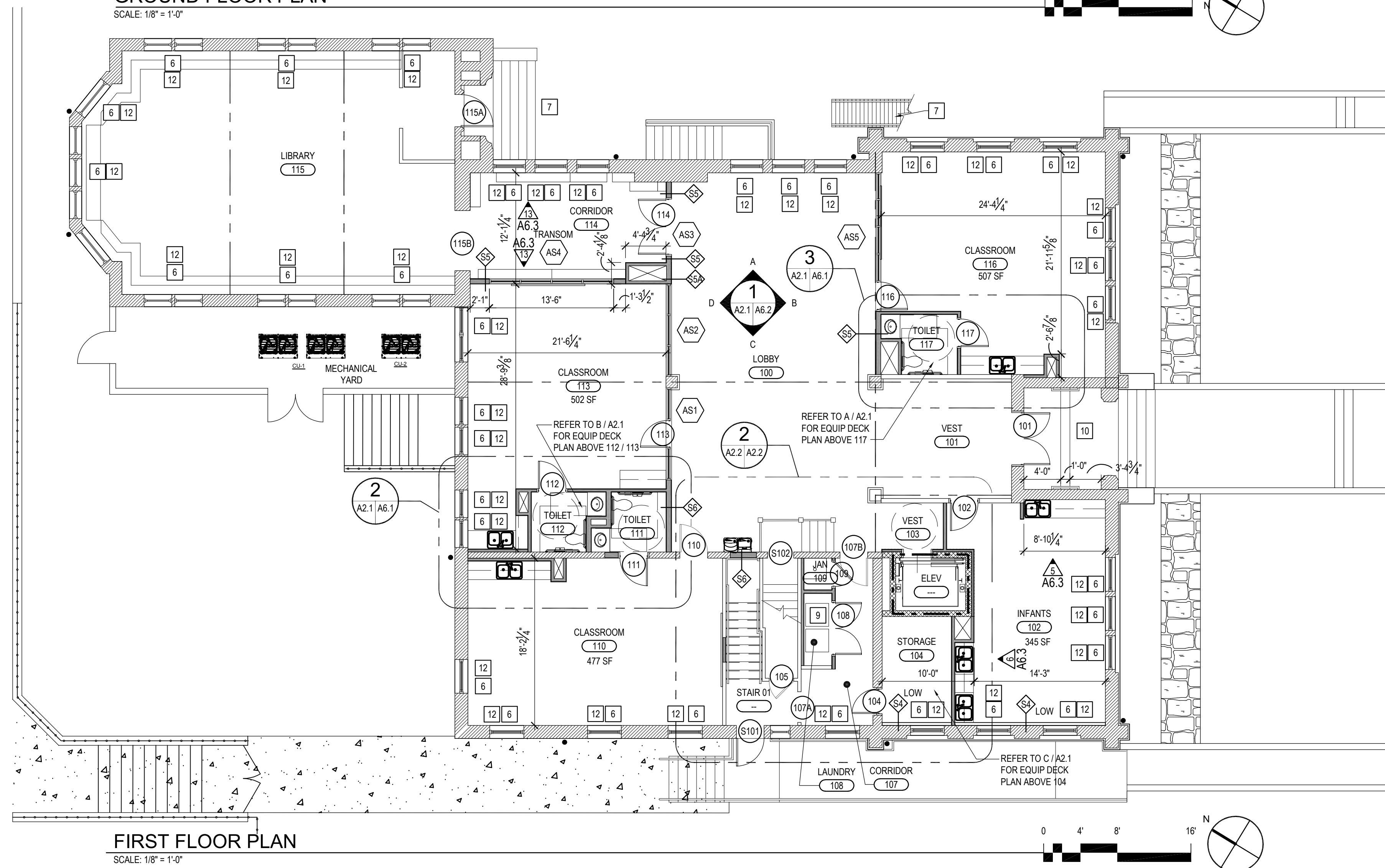
PLANT LIST

SYM.	QTY.	BOTANICAL NAME	COMMON NAME	SIZE
TREES & SHRUBS				
PO	3	Quercus palustris	Pin Oak	2.5" CAL.

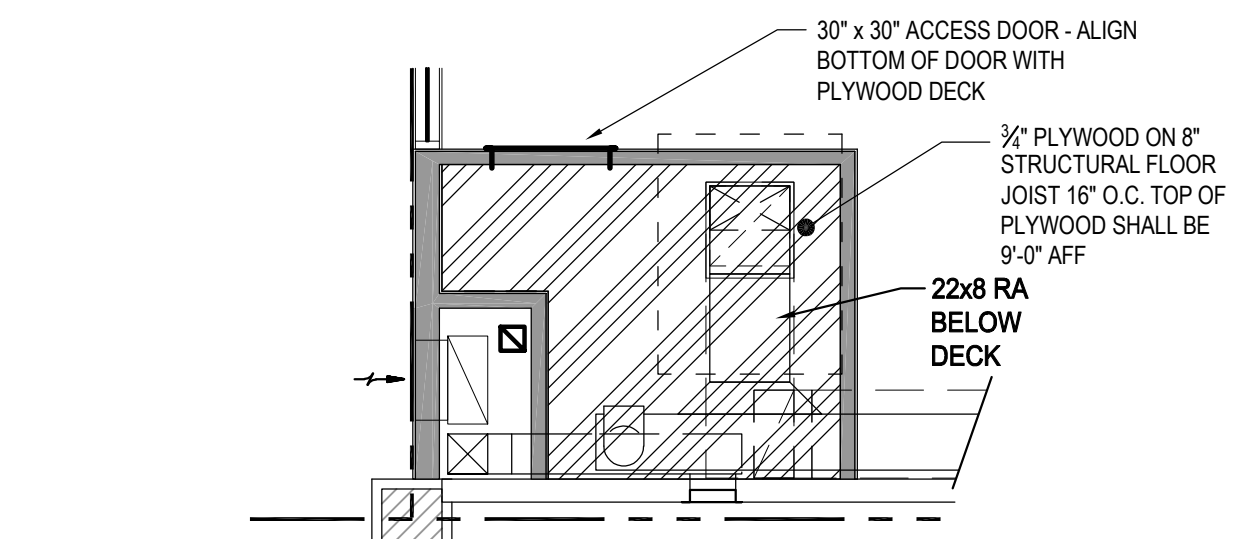




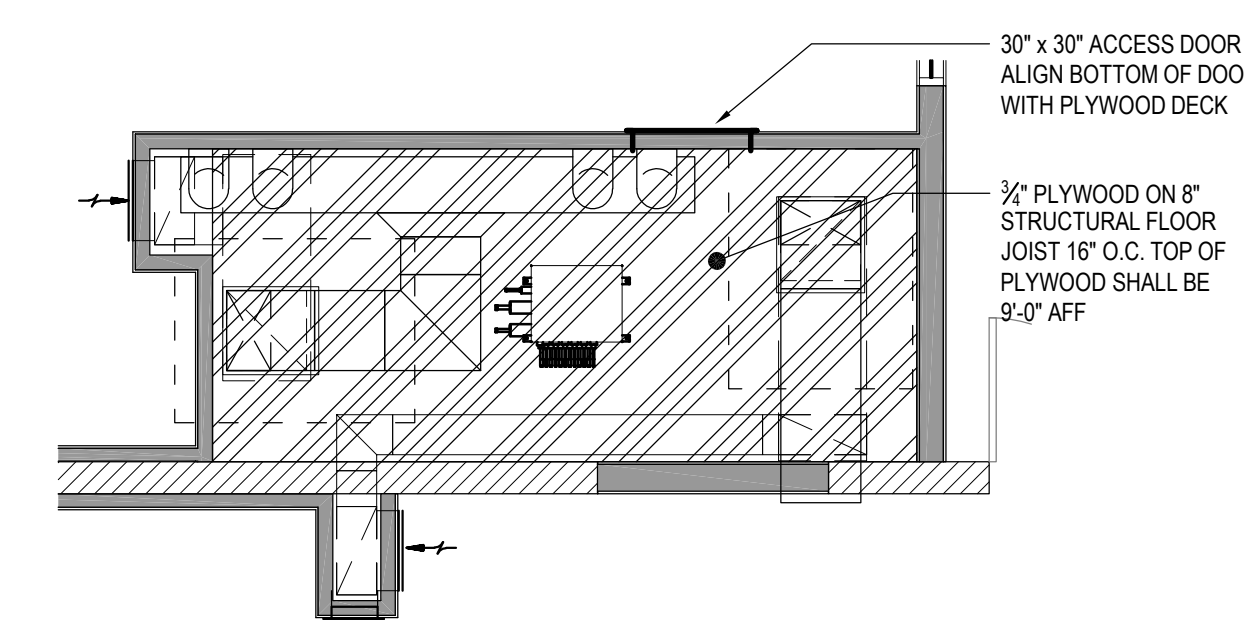
**GROUND FLOOR PLAN**  
SCALE: 1/8" = 1'-0"



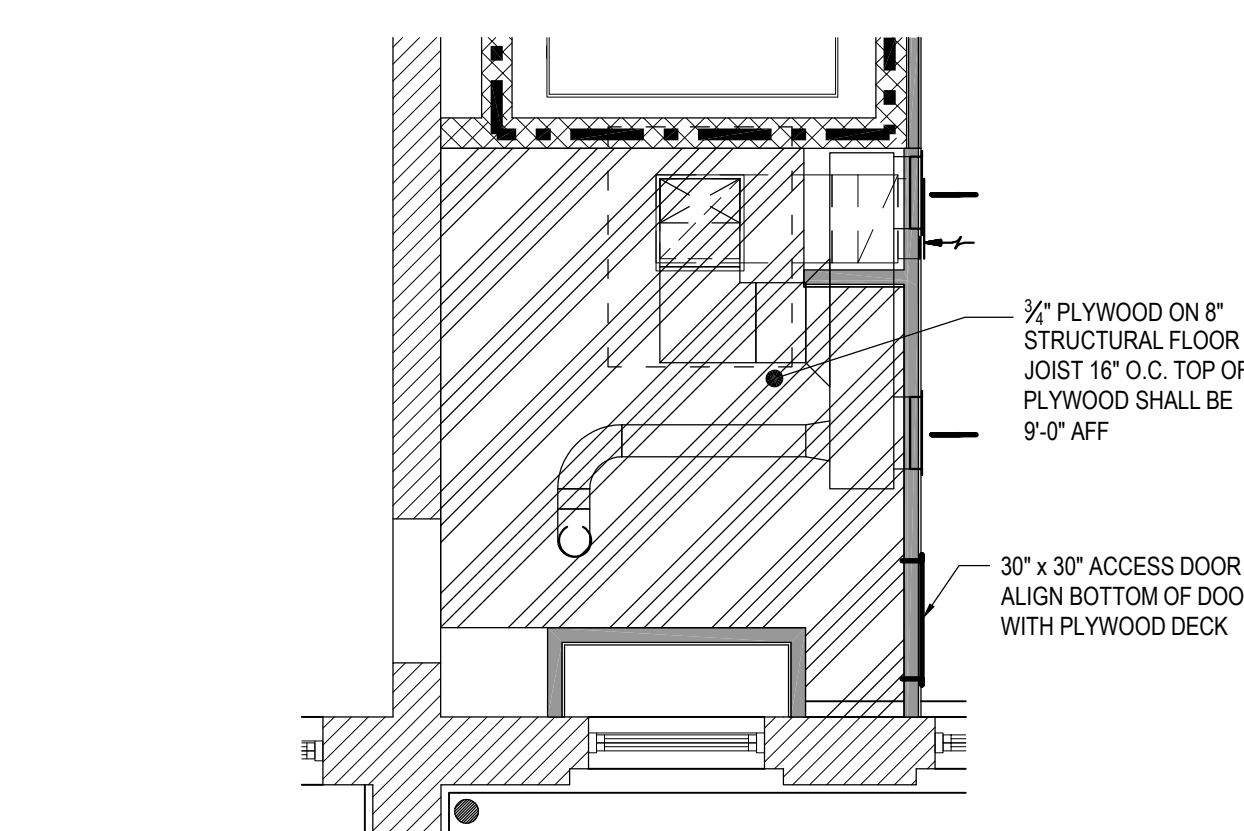
**FIRST FLOOR PLAN**  
SCALE: 1/8" = 1'-0"



**A EQUIPMENT DECK PLAN**  
SCALE: 1/4" = 1'-0"



**B EQUIPMENT DECK PLAN**  
SCALE: 1/4" = 1'-0"



**C EQUIPMENT DECK PLAN**  
SCALE: 1/4" = 1'-0"

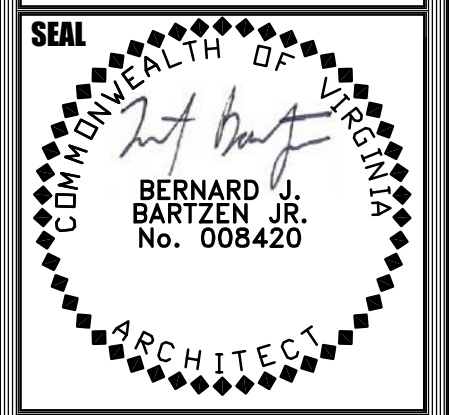
**PROPOSED WORK PLAN KEY NOTES**  
NOTE: NOT ALL KEY NOTES ARE USED ON EVERY SHEET

- 1 ELECTRIC OPERATED PROJECTION SCREEN - (16:10 RATIO W/ 123" DIA TYP.)
- 2 ELECTRIC OPERATED - DOUBLE ROLLER AND BLACKOUT SHADE - REFER TO SPEC 122413
- 3 MANUAL - DOUBLE ROLLER AND BLACKOUT SHADE - REFER TO SPEC 122413
- 4 REFER TO WINDOW POCKET DETAIL A / A3.2
- 5 MANUAL - SINGLE ROLLER SHADE - REFER TO SPEC 122413
- 6 REPAIR / REPLACE WOOD WINDOW SILL AS NEEDED
- 7 SCRAP AND PAINT EXISTING FIRE ESCAPE / HANDRAIL / GUARDRAIL
- 8 NEW ATTIC HATCH - MATCH EXISTING SIZE
- 9 WASHER AND DRYER, (BY OWNER) REFER TO MEP DRAWINGS FOR SERVICE COORDINATION
- 10 NEW FRAMED TREADS, RISERS AND HANDRAIL, REFER TO DETAIL 5 / A7.1
- 11 HATCH INDICATES AREA OF FLOOR INFILL W/ CONCRETE SLAB
- 12 INSTALL INTERIOR MAGNETIC STORM WINDOWS (MAGNETIC ONE LITE, MOUNT TO CHANNEL WITH MUNTIN BAR) - BY ALLIED WINDOW
- 13 REMOVE EXISTING ROOF SKYLIGHT, REPAIR ROOF CURB AS NEEDED AND INSTALL NEW FLASHING AND NEW SKYLIGHT BY WASCO AS EQUAL. REMOVE INTERIOR GLASS FRAME AT CEILING AND INSTALL NEW WOOD TRIM AT CEILING OPENING. PRIME AND PAINT EXISTING VERTICAL PANELING.

**bartzen + ball**  
architecture design and planning  
414 WEST FRANKLIN STREET  
RICHMOND, VA 23220  
ph: 804-344-4405  
fx: 804-344-4406

**PROJECT TITLE**  
ST. ANDREWS  
SCHOOL -  
GRACE ARENTS  
LIBRARY  
**PROJECT ADDRESS**  
224 S. CHERRY ST.  
RICHMOND, VA 23220

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**MEP**  
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ENGINEERING  
530 EAST MAIN STREET  
RICHMOND, VA. 23219  
ph: 804-977-0403



**REVISIONS LOG**

NUMBER	DATE	DESCRIPTION

**PROJECT NUMBER**  
1605  
**DATE**  
JUNE 22, 2018  
**SHEET TITLE**  
GROUND AND  
FIRST FLOOR PLAN  
**SHEET NUMBER**  
**A2.1**



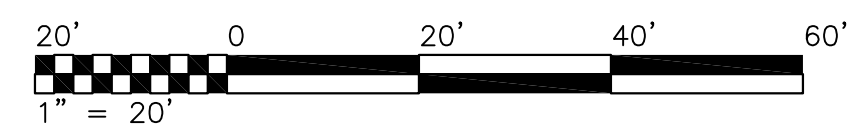


THIS TOPOGRAPHIC SURVEY FOR A SITE DESIGN FOR ST. ANDREWS ASSOCIATION IN THE CITY OF RICHMOND, VA WAS COMPLETED UNDER THE DIRECT SUPERVISION AND RESPONSIBLE CHARGE OF GEORGE L. NYFELER, III FROM AN ACTUAL GROUND SURVEY MADE UNDER MY SUPERVISION; THE IMAGERY AND DATA WAS OBTAINED BETWEEN 11/21/2017 AND 12/6/2017; AND THAT THIS MAP MEETS MINIMUM ACCURACY STANDARDS UNLESS OTHERWISE NOTED.

VERTICAL DATUM: NAVD88

HORIZONTAL AND VERTICAL DATUM ESTABLISHED WITH RTK SOLUTIONS FOR GPS OBSERVED POINTS.

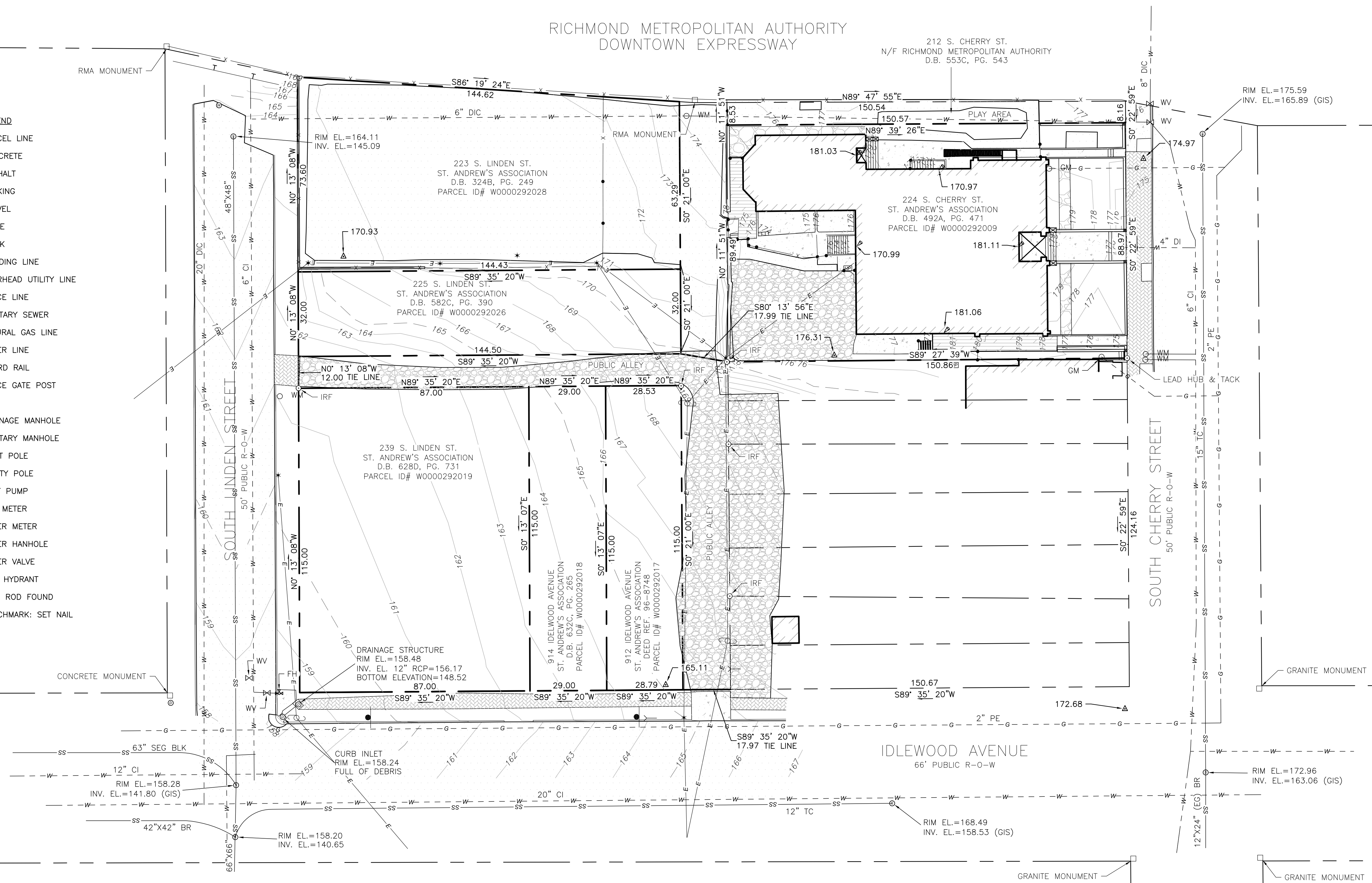
UTILITIES SHOWN ARE FROM A COMBINATION OF FIELD LOCATED EVIDENCE AND CITY OF RICHMOND PROVIDED MAPPING.



RICHMOND METROPOLITAN AUTHORITY  
DOWNTOWN EXPRESSWAY

212 S. CHERRY ST.  
N/F RICHMOND METROPOLITAN AUTHORITY  
D.B. 553C, PG. 543

- LEGEND**
- PARCEL LINE
  - CONCRETE
  - ASPHALT
  - DECKING
  - GRAVEL
  - SLATE
  - BRICK
  - BUILDING LINE
  - OVERHEAD UTILITY LINE
  - FENCE LINE
  - SANITARY SEWER
  - NATURAL GAS LINE
  - WATER LINE
  - GUARD RAIL
  - FENCE GATE POST
  - SIGN
  - DRAINAGE MANHOLE
  - SANITARY MANHOLE
  - LIGHT POLE
  - UTILITY POLE
  - HEAT PUMP
  - GAS METER
  - WATER METER
  - WATER HANHOLE
  - WATER VALVE
  - FIRE HYDRANT
  - IRON ROD FOUND
  - BENCHMARK: SET NAIL



**NYFELER ASSOCIATES**  
LAND SURVEYING & MAPPING  
619 W CARY STREET, RICHMOND, VA 23220  
804-277-4231 nyfelerasociates.com

DATE:	12/7/2017
JOB NUMBER:	17040
SCALE:	1" = 40'
DRAWN BY:	JRW

**TOPOGRAPHIC SURVEY**  
6 PARCELS IN THE NAME OF  
ST. ANDREWS ASSOCIATION IN  
THE CITY OF RICHMOND VA