



# COMMISSION OF ARCHITECTURAL REVIEW

## APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

### PROPERTY (location of work)

Address 2117 & 2119 Carrington St

Historic district Union Hill

Date/time rec'd: \_\_\_\_\_

Rec'd by: \_\_\_\_\_

Application #: \_\_\_\_\_

Hearing date: \_\_\_\_\_

### APPLICANT INFORMATION

Name Tiffany Person

Phone 804-644-0546

Company Better Housing Coalition

Email t.person@betterhousingcoalition.org

Mailing Address 23 W Broad St. Ste 100  
Richmond, VA 23220

Applicant Type:  Owner  Agent

Lessee  Architect  Contractor

Other (please specify): \_\_\_\_\_

### OWNER INFORMATION (if different from above)

Name \_\_\_\_\_

Company Richmond Affordable Housing

Mailing Address same as above

Phone \_\_\_\_\_

Email \_\_\_\_\_

### PROJECT INFORMATION

Review Type:  Conceptual Review  Final Review

Project Type:  Alteration  Demolition  New Construction

(Conceptual Review Required)

Project Description: (attach additional sheets if needed)

See attached description

### ACKNOWLEDGEMENT OF RESPONSIBILITY

**Compliance:** If granted, you agree to comply with all conditions of the COA. Revisions to approved work require staff review and may require a new application and CAR approval. Failure to comply with the COA may result in project delays or legal action. The COA is valid for one (1) year and may be extended for an additional year, upon written request.

**Requirements:** A complete application includes all applicable information requested on checklists to provide a complete and accurate description of existing and proposed conditions. Applicants proposing major new construction, including additions, should meet with Staff to review the application and requirements prior to submitting an application. Owner contact information and signature is required. Late or incomplete applications will not be considered.

**Zoning Requirements:** Prior to Commission review, it is the responsibility of the applicant to determine if zoning approval is required and application materials should be prepared in compliance with zoning.

Signature of Owner

Date

8/30/2019



# CERTIFICATE OF APPROPRIATENESS

## NEW CONSTRUCTION CHECKLIST

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**Well in advance of the COA application deadline contact staff to discuss your project, and if necessary, to make an appointment to meet with staff for a project consultation in the office or on site.**

Complete all applicable sections and submit with the COA application form. Staff can assist you in determining what items are required for your scope of work. An incomplete application may cause delays in processing or may be deferred to the next agenda. Application materials must clearly represent current and proposed conditions. Refer to Standards for New Construction outlined in Section 30.930.7(c) of the City Code, as well as, the *Richmond Old and Historic Districts Handbook and Design Review Guidelines*.

**PROPERTY ADDRESS:** 2117 & 2119 Carrington St.

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### NEW BUILDING TYPE

- single-family residence
- multi-family residence
- commercial building
- mixed use building
- institutional building
- garage
- accessory structure
- other

### DRAWINGS (refer to required drawing guidelines)

- floor plans
- elevations (all sides)
- roof plan
- list of windows and doors, including size, material, design
- context drawing showing adjacent buildings
- perspective
- site plan
- legal plat of survey

### WRITTEN DESCRIPTION

- describe new structure including levels, foundation, siding, windows, doors, roof and details
- state how the *Richmond Old and Historic Districts Handbook and Design Review Guidelines* informed the proposed work, site specific pages and sections of the *Guidelines* that apply
- material description; attach specification sheets if necessary

### PHOTOGRAPHS place on 8 ½ x 11 page, label photos with description and location (refer to photograph guidelines)

- site as seen from street, from front and corners, include neighboring properties

# CERTIFICATE OF APPROPRIATENESS APPLICATION INSTRUCTIONS

In advance of the application deadline please contact staff to discuss your project, application requirements, and if necessary, to make an appointment to meet with staff for a project consultation in the office or on-site. The Commission of Architectural Review website has additional project guidance and forms:

<http://www.richmondgov.com/CommissionArchitecturalReview/index.aspx>

Division of Planning and Preservation    804.646.6335    Carey.Jones@Richmondgov.com
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## SUBMISSION INSTRUCTIONS

Submit the following items to the Division of Planning and Preservation, Rm. 510, 900 E. Broad Street:

- One (1) signed and completed application – property owners signature required
- Eleven (11) copies of supporting documentation, as indicated on appropriate check-list, collated and stapled
- All plans and elevations should be printed **11x17** and all text easily legible
- One digital copy of the application and supporting documentation, depending on size emailed to staff or saved to a thumb drive or CD and delivered with the application materials.
- Applications are due by 12 PM (noon) on the deadline date (see table below).
- **Exception:** revisions to items deferred, denied or presented conceptually at the previous Commission meeting are due one week after the application due date. Please contact staff to confirm this date.
- **Application deadlines are firm.** All materials must be submitted by the deadline to be considered at the following Commission meeting. Designs must be final at the time of application; revisions will not be accepted after the deadline. Incomplete and/or late applications will not be placed on the agenda.
- The Commission will **not** accept new materials, revisions, or redesigns at the meeting. Deferral until the following month's meeting may be necessary in such cases to allow for adequate review by staff, Commissioners, and public notice if required.

## MEETING SCHEDULE AND DUE DATES

- Commission meetings start at 3:30 PM in the 5th floor conference room of City Hall, 900 E. Broad Street. The owner and/or applicant is *encouraged to attend* the meeting.

2019 Commission Meeting Date	Application Deadline (Friday at noon unless otherwise noted)
January 22 <sup>nd</sup>	December 28 <sup>th</sup> , 2018
February 26 <sup>th</sup>	January 25 <sup>th</sup>
March 26 <sup>th</sup>	March 1 <sup>st</sup>
April 23 <sup>rd</sup>	March 29 <sup>th</sup>
May 28 <sup>th</sup>	April 26 <sup>th</sup>
June 25 <sup>th</sup>	May 31 <sup>st</sup>
July 23 <sup>rd</sup>	June 28 <sup>th</sup>
August 27 <sup>th</sup>	July 26 <sup>th</sup>
September 24 <sup>th</sup>	August 30 <sup>th</sup>
October 22 <sup>nd</sup>	September 27 <sup>th</sup>
November 26 <sup>th</sup>	October 25 <sup>th</sup>
December 17 <sup>th</sup>	November 22 <sup>nd</sup>

2117 & 2119 Carrington St

CAR Conceptual Review

8/30/19

The proposed project is two two-story attached single-family residences located at the corner of Carrington & Tulip Streets, Carrington being the primary street. The design is a contemporary and streamlined version of the Italianate homes common throughout the Union Hill Historic District, with similar massing, symmetry, and proportions. The applicant is this aesthetic after discussion with City Staff to be complementary to both the new multifamily construction on the block (Goodwyn at Union Hill) as well as the historic buildings in the adjacent area.

The building will have a three (3) bay façade along the front elevation, defined by vertical seams as shown on the attached plans. Siding will be cementitious lap at 5 ½" reveal, colors SW 9178 (In the Navy) and SW 2816 (Rookwood Dark Green) per the *CAR Color Palette* for Italianate style buildings.

The foundation height will be set to meet site conditions and enhance the pedestrian experience at an appropriate scale, as suggested on page 48 of the *Richmond Old and Historic Districts Handbook and Design Review Guidelines*.

Front porch columns are to be square, with a lateral under-porch venting. With the Commission's approval, the porch pickets will be vertical and painted black in keeping with a contemporary/modern aesthetic.

Windows are to be a 2/2 divided or simulated divided aluminum, and exterior doors will be standard six (6) panel wood. The roof will be a sloped TPO shed style.

Facing south on Carrington



View facing West from corner  
of Tulip,





View from N 22<sup>nd</sup> south  
towards Carrington & Tulip



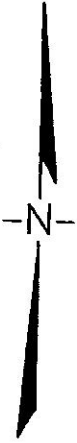
Facing North on Tulip







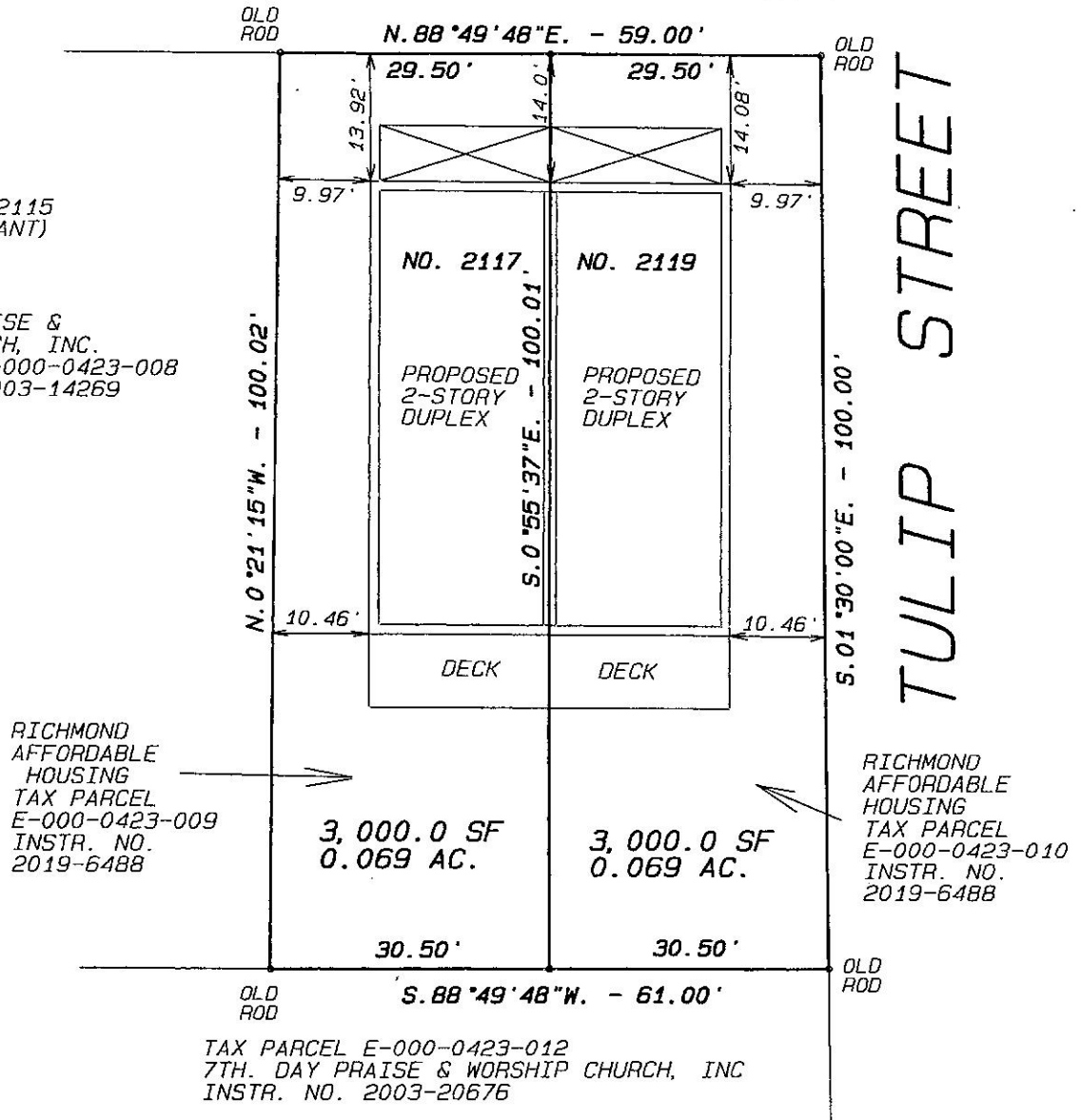
Arial view via Richmond City GIS  
Carrington along right side, Tulip at bottom



# CARRINGTON STREET

NO. 2115  
(VACANT)

7TH. DAY PRAISE &  
WORSHIP CHURCH, INC.  
TAX PARCEL E-000-0423-008  
INSTR. NO. 2003-14269



NOTE:  
THIS SURVEY HAS BEEN  
PREPARED WITHOUT THE  
BENEFIT OF A TITLE REPORT  
AND DOES NOT, THEREFORE,  
NECESSARILY INDICATE  
ALL ENCUMBRANCES  
ON THE PROPERTY.

PLAT OF PROPERTY SITUATED  
ON THE SOUTHWEST CORNER  
OF CARRINGTON STREET AND  
TULIP STREET  
CITY OF RICHMOND, VIRGINIA  
MAY 31, 2019 SCALE: 1"=20'



STEVEN B. KENT & ASSOCIATES, P.C.  
LAND SURVEYORS  
1521 Brook Road  
Richmond, VA 23220  
PH. 804-643-6113

### CERTIFICATION

THIS IS TO CERTIFY THAT WE MADE AN ACCURATE FIELD SURVEY OF THE PREMISES SHOWN HEREON, THAT ALL IMPROVEMENTS AND VISIBLE EASEMENTS ARE SHOWN HEREON, THAT THERE ARE NO ENCROACHMENTS BY IMPROVEMENTS EITHER FROM ADJOINING PREMISES, OR FROM SUBJECT PREMISES, OTHER THAN SHOWN HEREON.

FILE E-423

DRAWING INFORMATION	
Scale	Noted
Drawn	LP Harrison
Checked	Chris Jefferson
Coordinator	Warren Thomas
Date	04.23.2019 R 08.29.2019
Project	Carrington Drive



Residential Design Services  
11924 Longfellow Drive  
Midlothian, Virginia 23112  
804.334.7413

2117 & 2119 CARRINGTON  
RICHMOND, VIRGINIA 23223

SITE PLAN, CODE NOTES AND  
FRONT ELEVATION

Project  
Drawing No.  
**1.0**

# PROJECT DATA

## LIST OF DRAWINGS

- 1.0 SITE PLAN, CODE NOTES, LEGEND, ELEVATION
- 2.0 FOUNDATION AND ROOF PLAN, DETAILS
- 3.0 FIRST AND SECOND FLOOR PLAN, SECTIONS
- 4.0 ELEVATIONS AND DETAILS
- 5.0 ELEVATIONS AND WALL SECTION
- 6.0 BRACED WALL PLANS AND SECTIONS

## CODE NOTES

- 1.0 2012 VIRGINIA UNIFORM BUILDING CODE  
2012 IRC
- 2.0 BUILDING USE GROUP: RESIDENTIAL - MULTI FAMILY ATTACHED
- 3.0 BUILDING AREA: FIRST FLOOR 918 SQ FT  
SECOND FLOOR 918 SQ FT  
TOTAL SQ FT 1,836 SQ FT

## DESIGN LOADS

SNOW	25P.S.F.
DEAD LOAD	10P.S.F.
SEISMIC	0.5P.S.F.
WIND	90P.S.F.
LIVE (EXCEPT BEDROOMS)	40P.S.F.
DEAD	10P.S.F.
LIVE (BEDROOMS)	30P.S.F.
GARAGE	50P.S.F.
STAIRS	40P.S.F.

## NOTE

THESE DRAWINGS ARE INTENDED TO PORTRAY THE WORK SHOWN. THEY DO NOT SHOW EVERY CONSTRUCTION DETAIL. THE GENERAL CONTRACTOR BY TAKING ON THIS PROJECT, IS RESPONSIBLE FOR ALL CONSTRUCTION. THE G.C. ACKNOWLEDGES THAT HE IS EXPERIENCED WITH CONSTRUCTION OF THIS TYPE AND IS FULLY CAPABLE OF IMPLEMENTING SUCH WORK SO AS TO IMPLEMENT ITS CONSTRUCTION AND COMPLETION IN A TIMELY MANNER.

# SCHEDULES

## WINDOW SCHEDULE

WIN	SIZE	MATERIAL	GRILLE	MODEL
①	3/0X6/0	ANOD ALUMINUM	2/0	-
②	2/0X2/0	ANOD ALUMINUM	2/0	-
③	-	-	-	-
④	3/0X3/2	ANOD ALUMINUM	2/0	-
⑤	1/0X4/0	ANOD ALUMINUM	TRANSOM	-

ALL WINDOW HEADERS ARE (2) 2 X 8 SOUTHERN PINE NO. 2

## DOOR SCHEDULE

DOOR	SIZE	TYPE
①	3/0X6/8	EXTERIOR INSULATED METAL WITH TRANSOM
②	2/10X6/8	INTERIOR 5 PANEL
③	2/0X6/8	INTERIOR 5 PANEL
④	(2) 2/6X6/8	EXTERIOR FRENCH - FULL LT
⑤	2/6X6/8	INTERIOR 5 PANEL
⑥	2/6X6/8	INTERIOR 5 PANEL POCKET
⑦	(2) 2/0X6/8	INTERIOR 5 PANEL

ALL DOOR HEADERS ARE (2) 2 X 8 SOUTHERN PINE NO. 2

# LEGEND

	BRICK VENEER		RECESSED CAN LIGHT
	C.M.U.		EXHAUST FAN
	NON-LOAD BEARING INTERIOR WALLS - 2X4 STUDS @ 24" O.C.		GARBAGE DISPOSAL
	EXTERIOR BRICK VENEER WITH 2X6 STUDS @ 16" O.C.		110VOLT RECEPTACLE
	"8C.M.U. WALL AND FOOTING		GROUND FAULT INTERUPTION
	SECTION DESIGNATION		WEATHER PROOF
	DOOR DESIGNATION		GROUND FAULT INTERUPTION
	WINDOW DESIGNATION		DRYER RECEPTACLE
	LIGHT FIXTURE		RANGE RECEPTACLE
	WALL MTD LIGHT FIXTURE		TELEPHONE
	LIGHT FIXTURE		CABLE TELEVISION
	EXTERIOR DBL FLOOD LIGHT WITH MOTION SENSOR		SWITCH @ 50" A.F.F.
	SURFACE MTD FLORESCENT NO. INDICATES LENGTH		3-WAY SWITCH @ 50" A.F.F.
			SMOKE DETECTOR
			DOOR BELL TRANSFORMER
			RECESSED ELECTRICAL PANEL
			CEILING FAN - WHEN DASHED, ROUGH-IN AND PROVIDE BLANK COVER FOR FUTURE USE, OTHER WISE INSTALL WHERE SHOWN

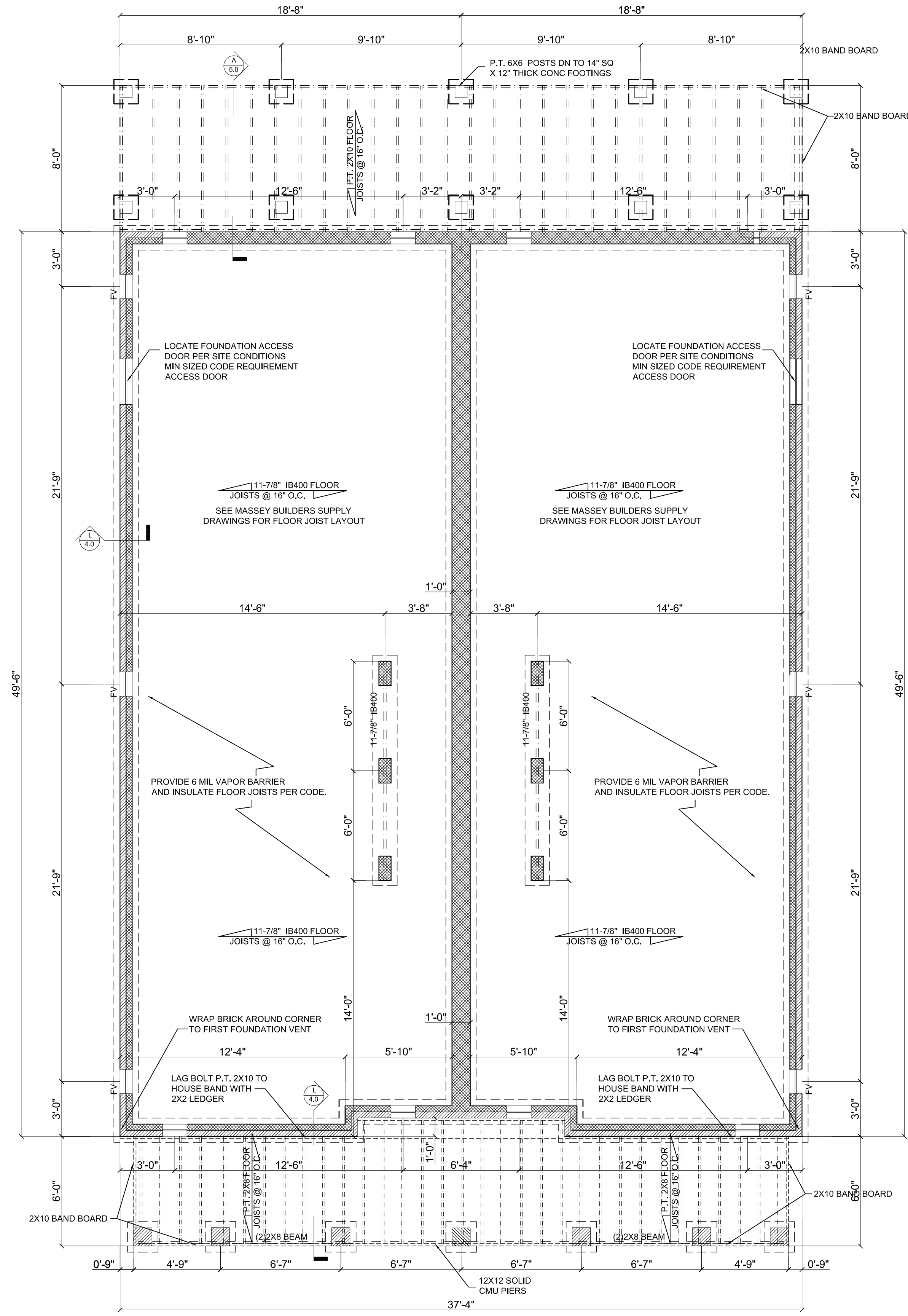


1 FRONT ELEVATION  
SCALE: 1/4" = 1'-0"

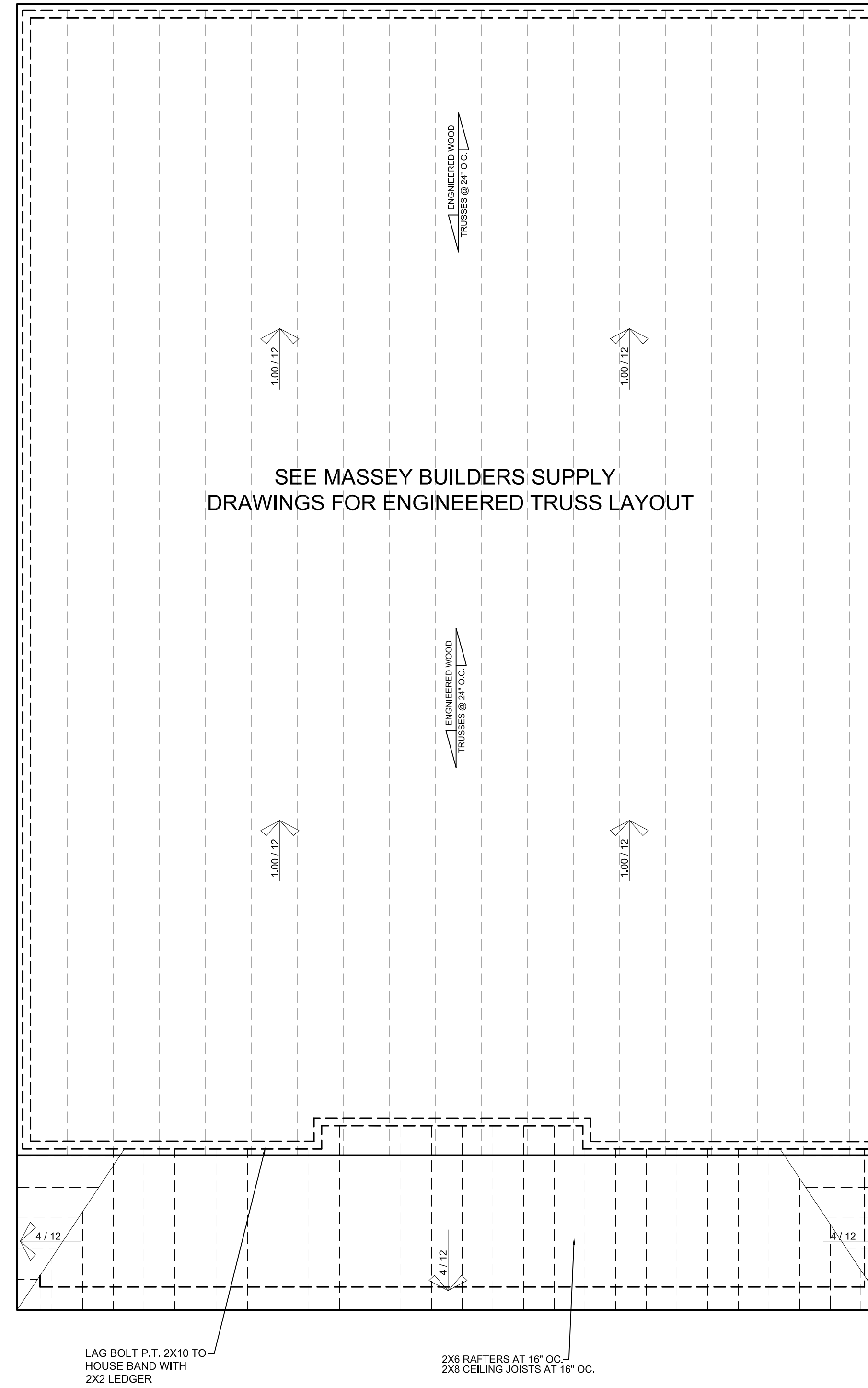
SP SITE PLAN  
1.0 SCALE: 1/16" = 1'-0"

FOUNDATION NOTES

1. ALL CONCRETE @ SLABS AND FOUNDATION SHALL BE 3000 PSI MINIMUM AT 28 DAYS SHALL BE 3000 PSI MINIMUM AT 28 DAYS
2. FOUNDATION VENTS SHALL BE INSTALLED TO SUIT FIELD CONDITIONS 1:150 SF
3. FOOTINGS SHALL BE STEPPED IN 8" INCREMENTS TO SUIT FIELD CONDITIONS AND SHALL HAVE (2) #4 REINFORCING BARS CONTINUOUS AT BOTTOM (TYPICAL)
4. FINISHED GRADE @ CRAWL SPACE AREA SHALL BE LEVELED AND EQUAL TO OR HIGHER THAN EXTERIOR FINISHED GRADE
5. ENTIRE CRAWL SPACE SHALL BE COVERED WITH A 6 MIL THICK POLYETHYLENE VAPOR BARRIER
6. ACCESS DOOR IS SHOWN ONLY TO INDICATE THAT ONE IS REQUIRED AND IS TO BE INSTALLED TO CRAWL SPACE. IT SHALL BE INSTALLED TO SUIT FIELD CONDITIONS.



1 FOUNDATION PLAN  
2.0 SCALE: 1/4" = 1'-0"



2 ROOF PLAN  
2.0 SCALE: 1/4" = 1'-0"

RMT X RP

DRAWING INFORMATION	
Scale	Noted
Drawn	LP Hartson
Checked	Chris Jefferson
Coordinator	Warren Thomas
Date	04.23.2019 R 08.29.2019
Project	Carrington Drive



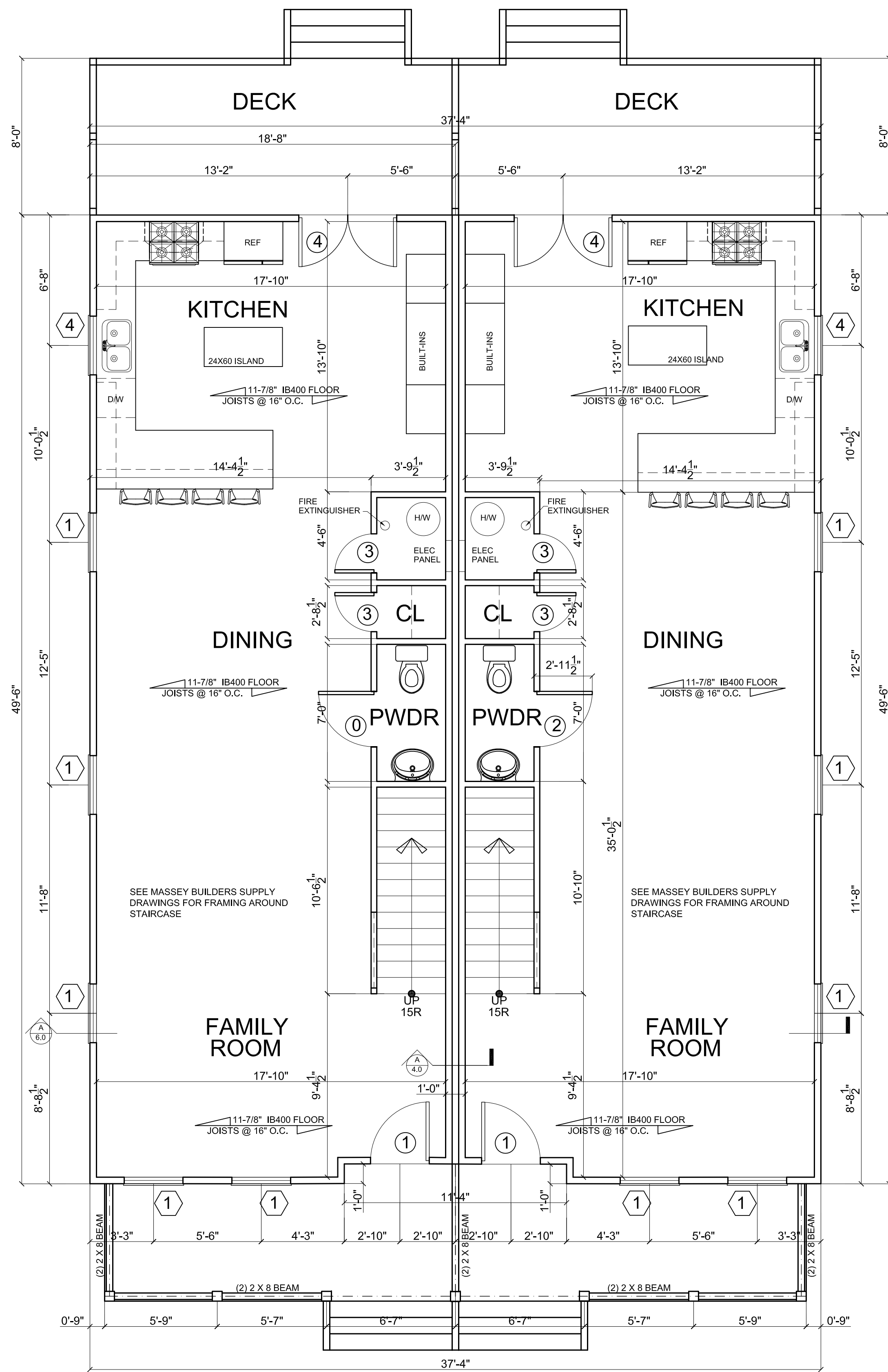
Residential Design Services  
11924 Longfellow Drive  
Midlothian, Virginia 23112  
804.334.7413

Project  
2117 & 2119 CARRINGTON  
RICHMOND, VIRGINIA 23223

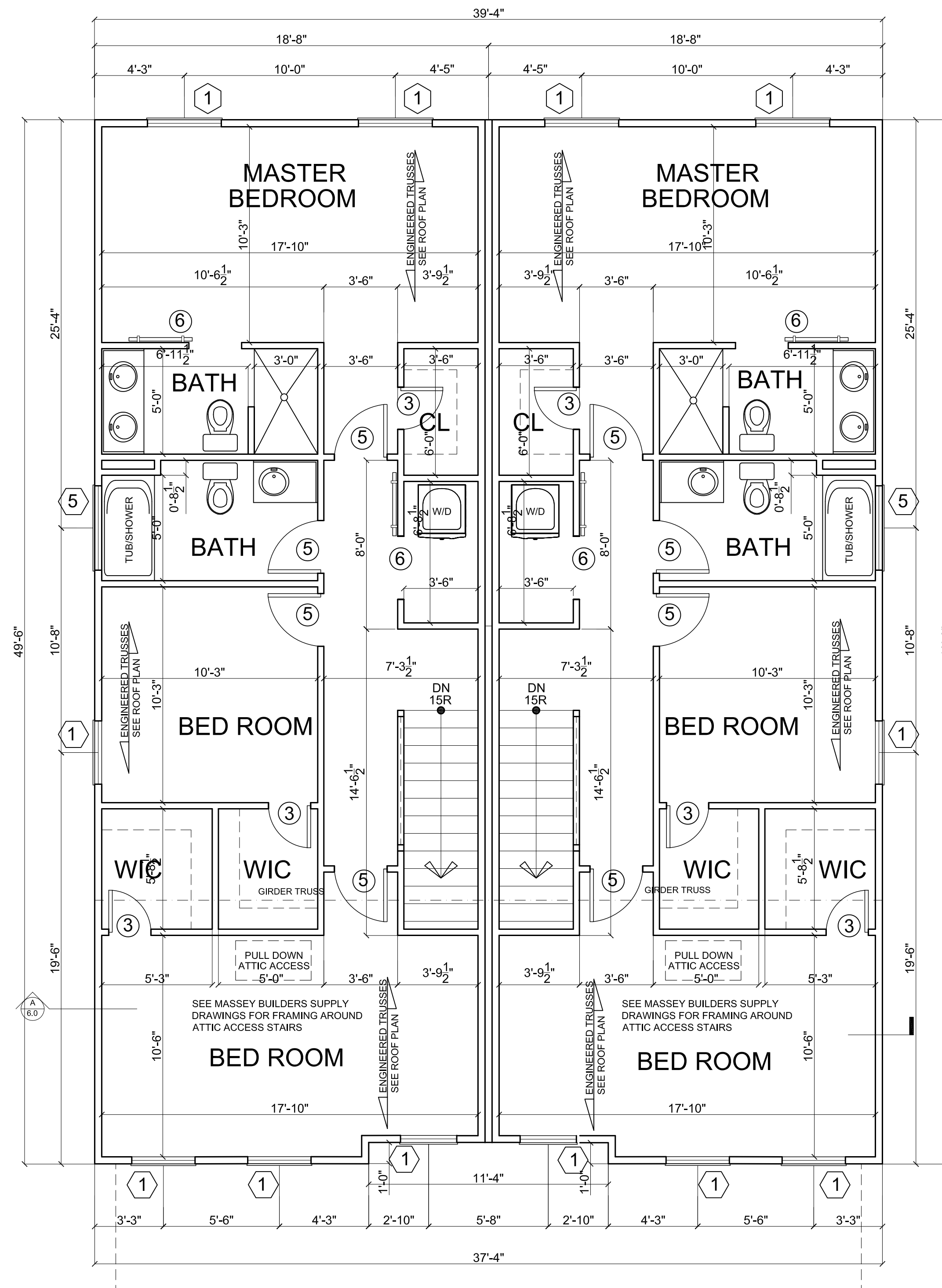
Title  
FOUNDATION AND ROOF PLANS  
SECTIONS AND DETAILS

Drawing No.  
2.0





1  
3.0  
**FIRST FLOOR PLAN**  
SCALE: 1/4" = 1'-0"



2  
3.0  
**SECOND FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

RMT X RP

DRAWING INFORMATION	
Scale	Noted
Drawn	LP Hartson
Checked	Chris Jefferson
Coordinator	Warren Thomas
Date	04.23.2019 R 08.29.2019
Project	Carrington Drive



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Project  
**2117 & 2119 CARRINGTON  
RICHMOND, VIRGINIA 23223**

Title  
**FIRST AND SECOND FLOOR  
PLANS SECTIONS AND NOTES**

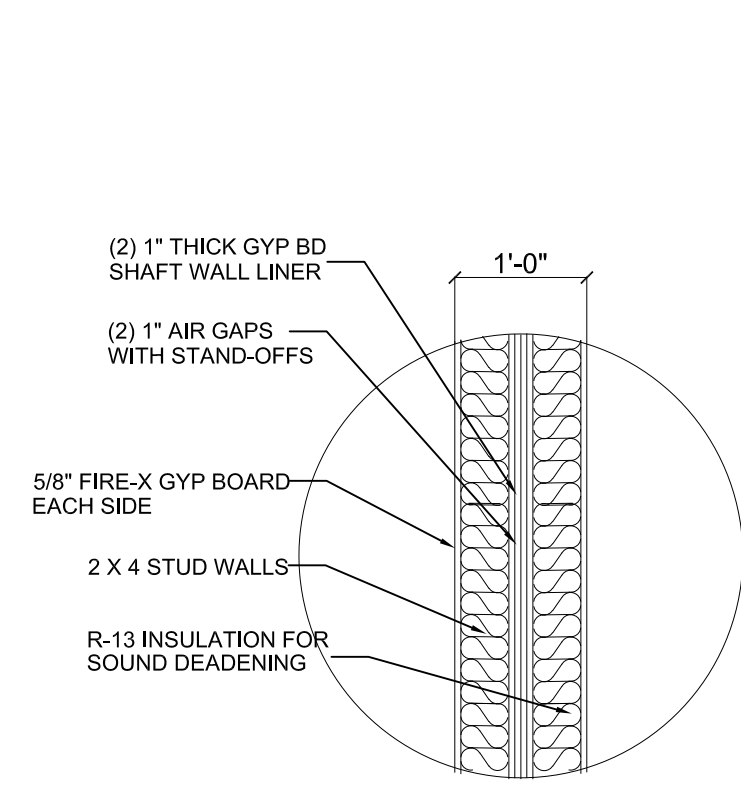
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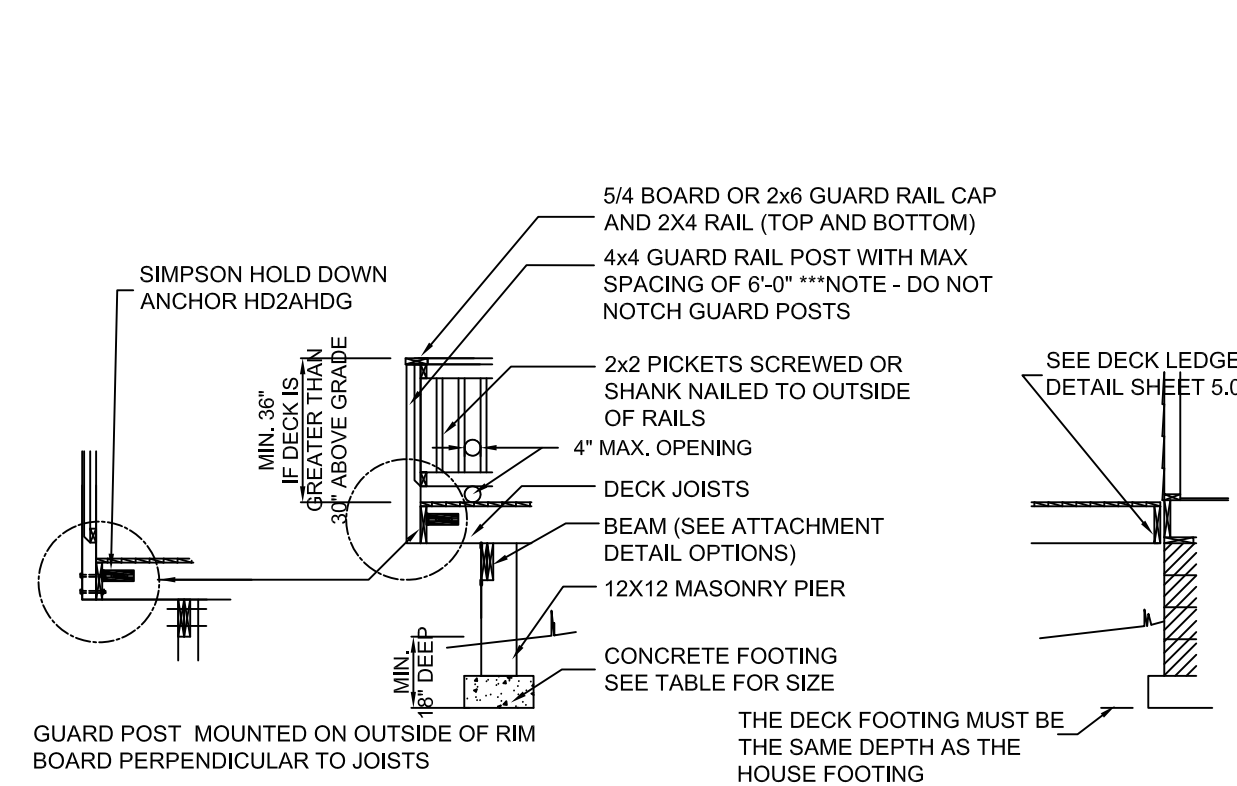
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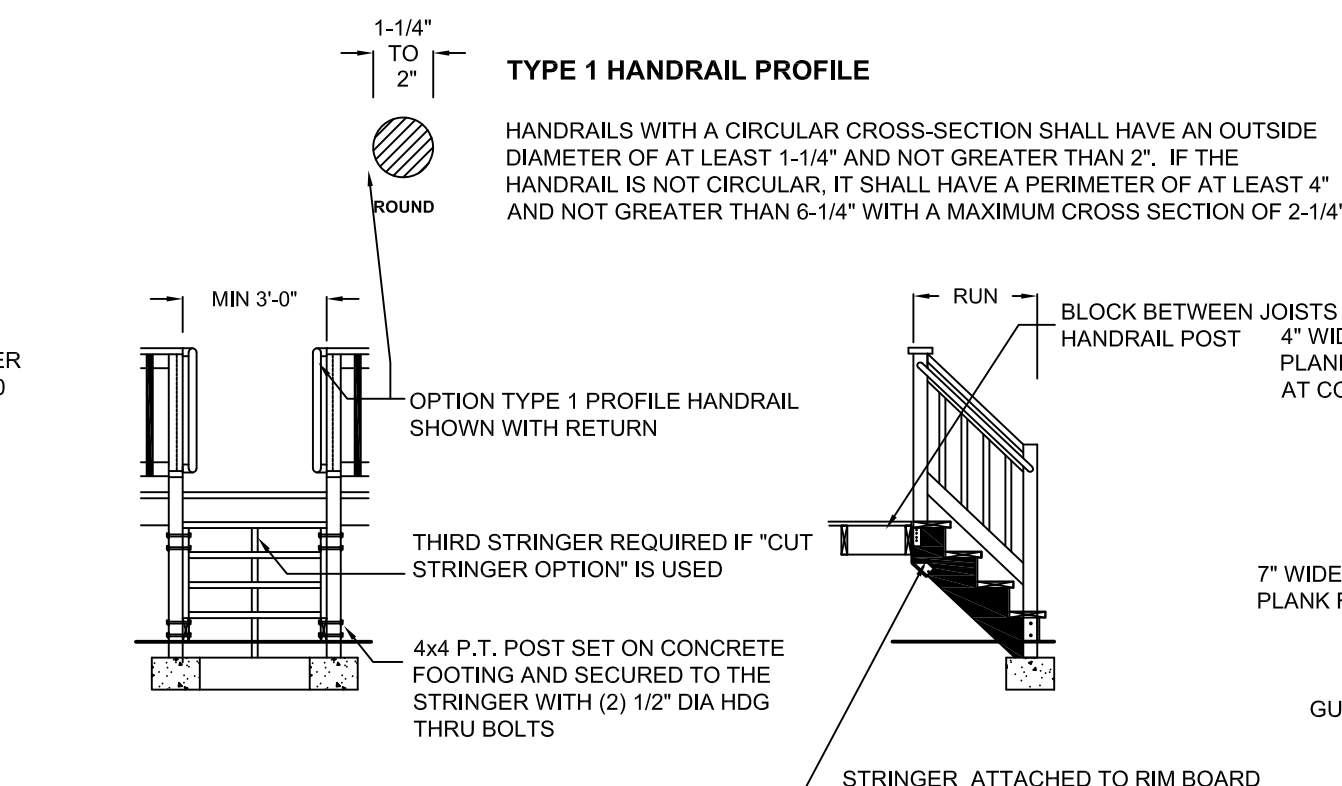
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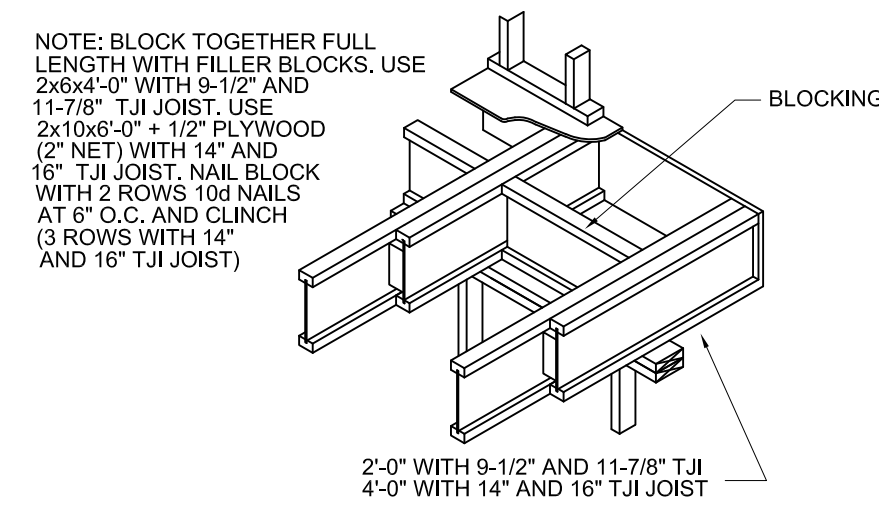
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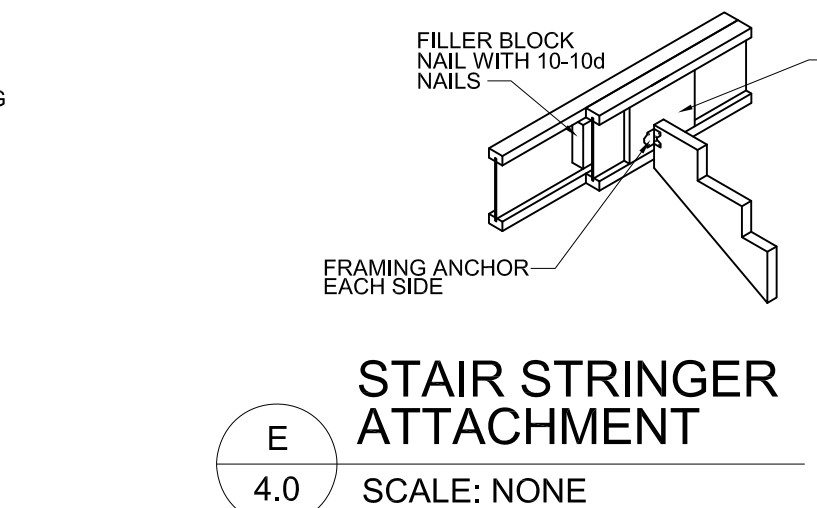
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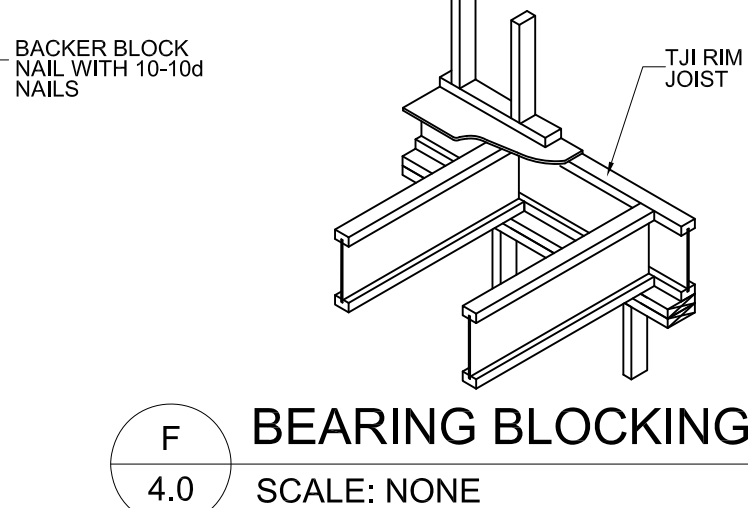
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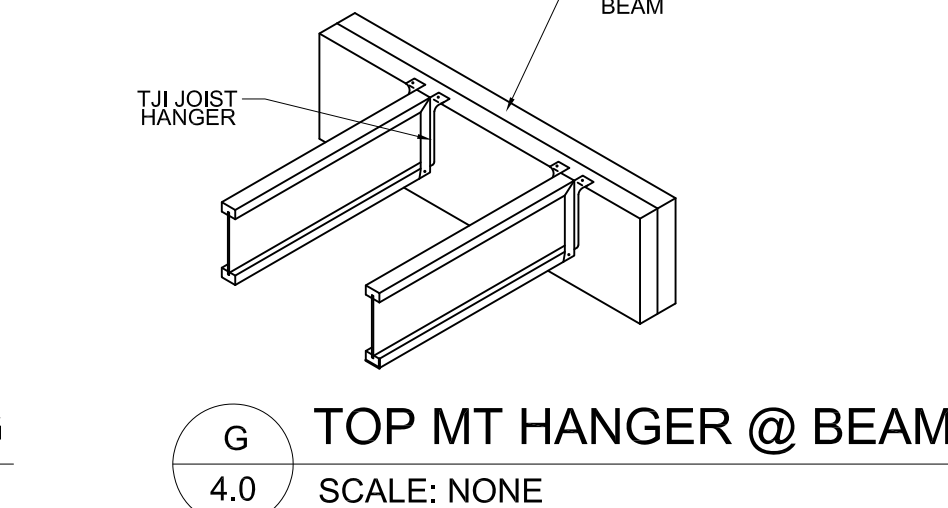
**D CANTILEVER STRENGTHENING WITH TJI JOISTS**  
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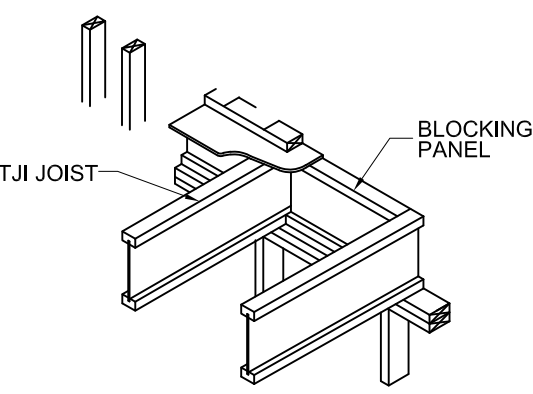
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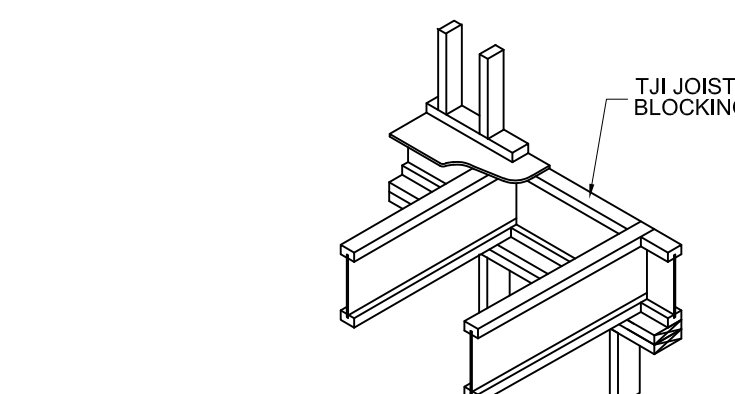
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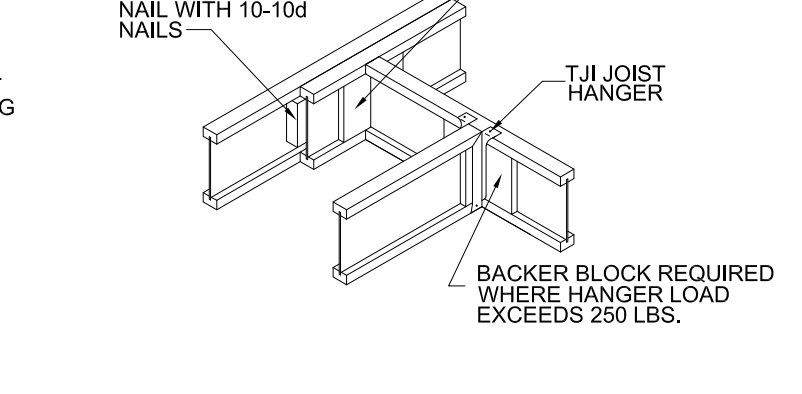
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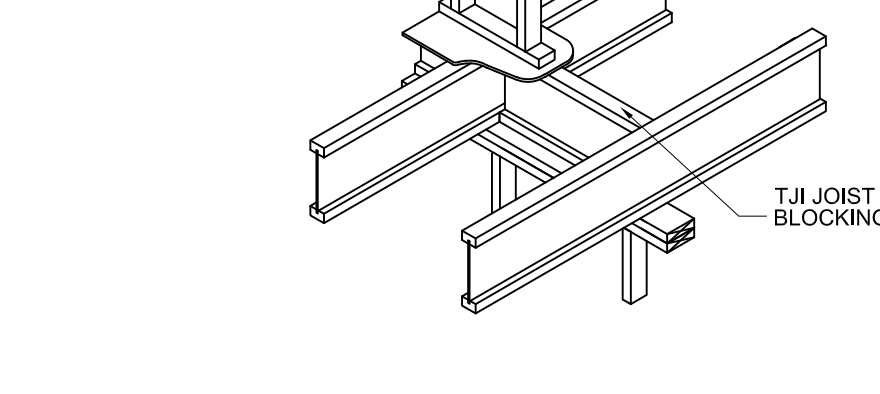
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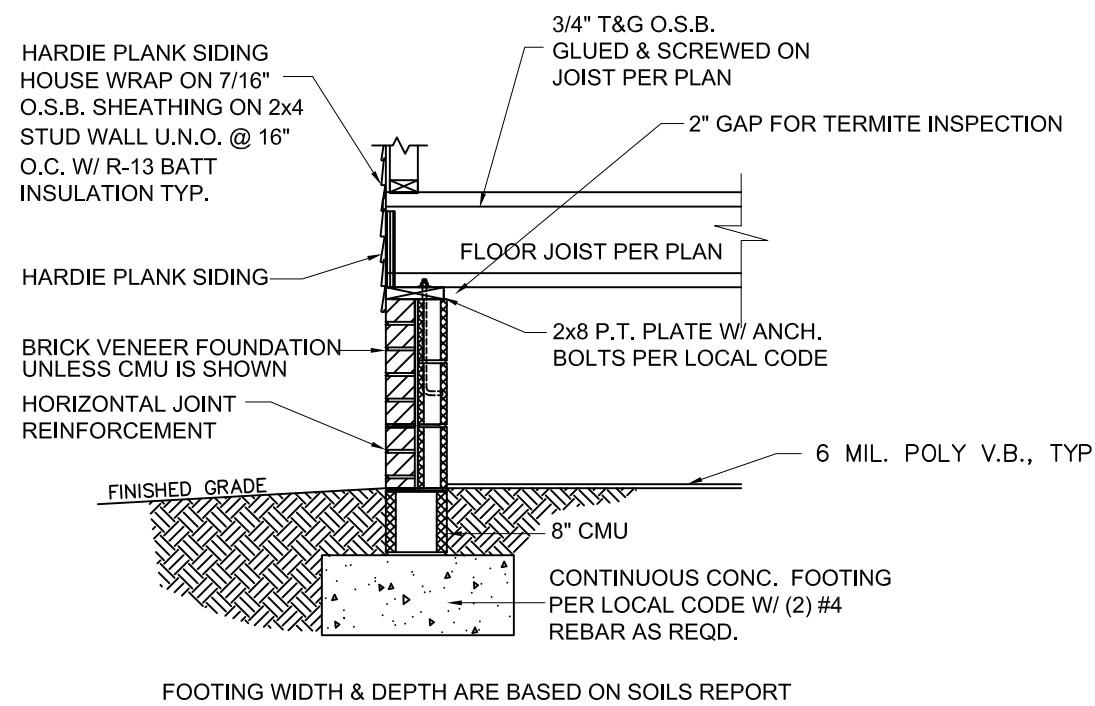
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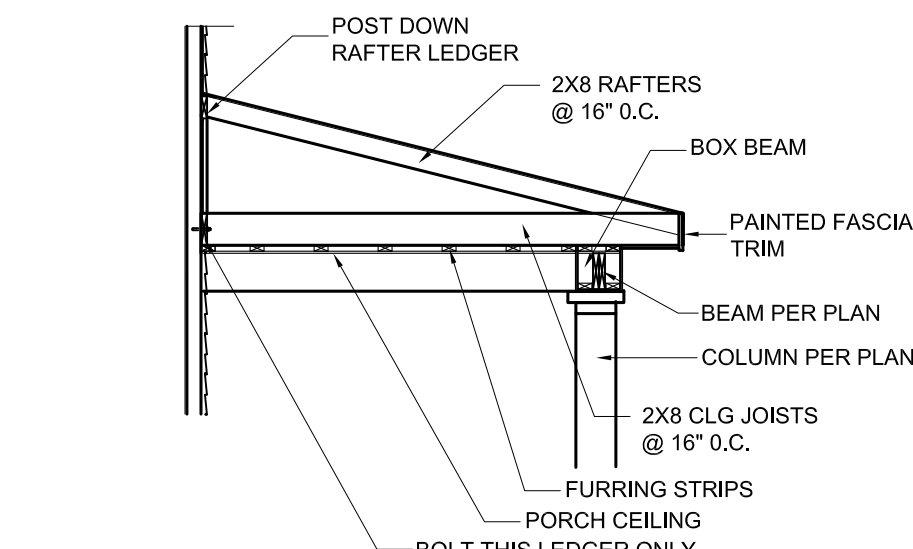
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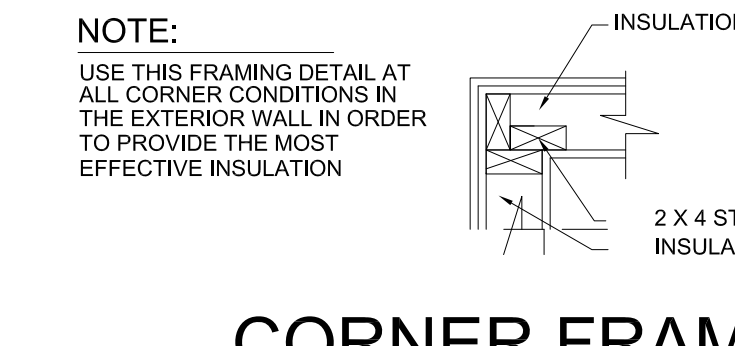
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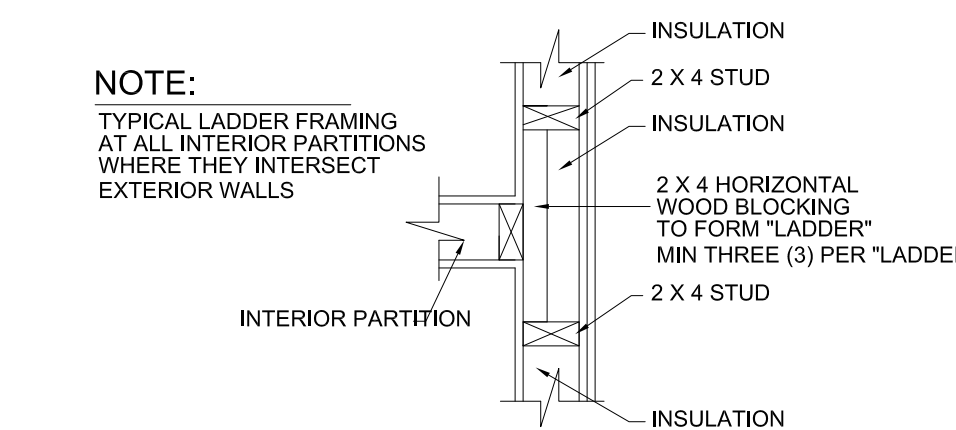
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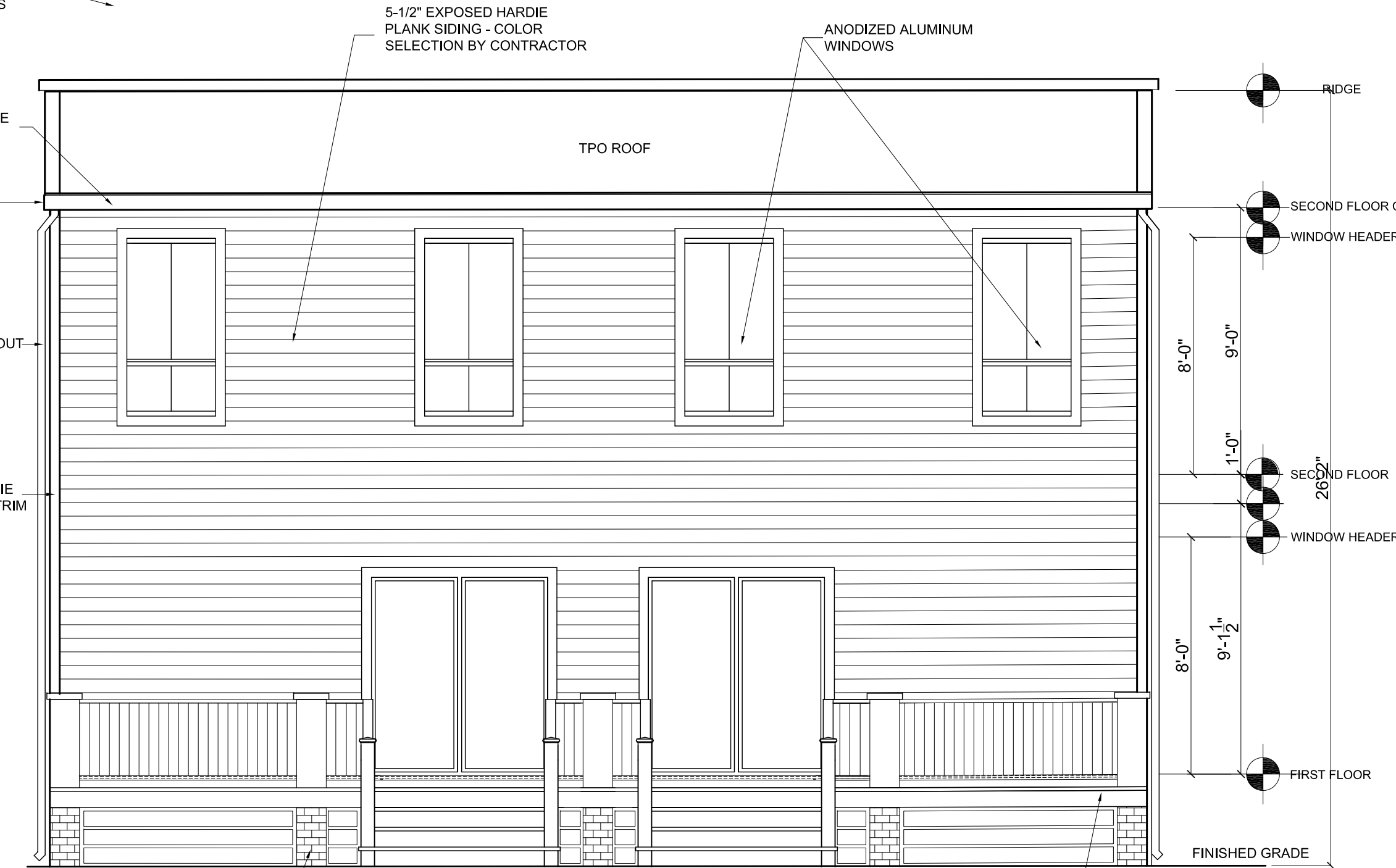
**D PORCH ROOF DETAIL**  
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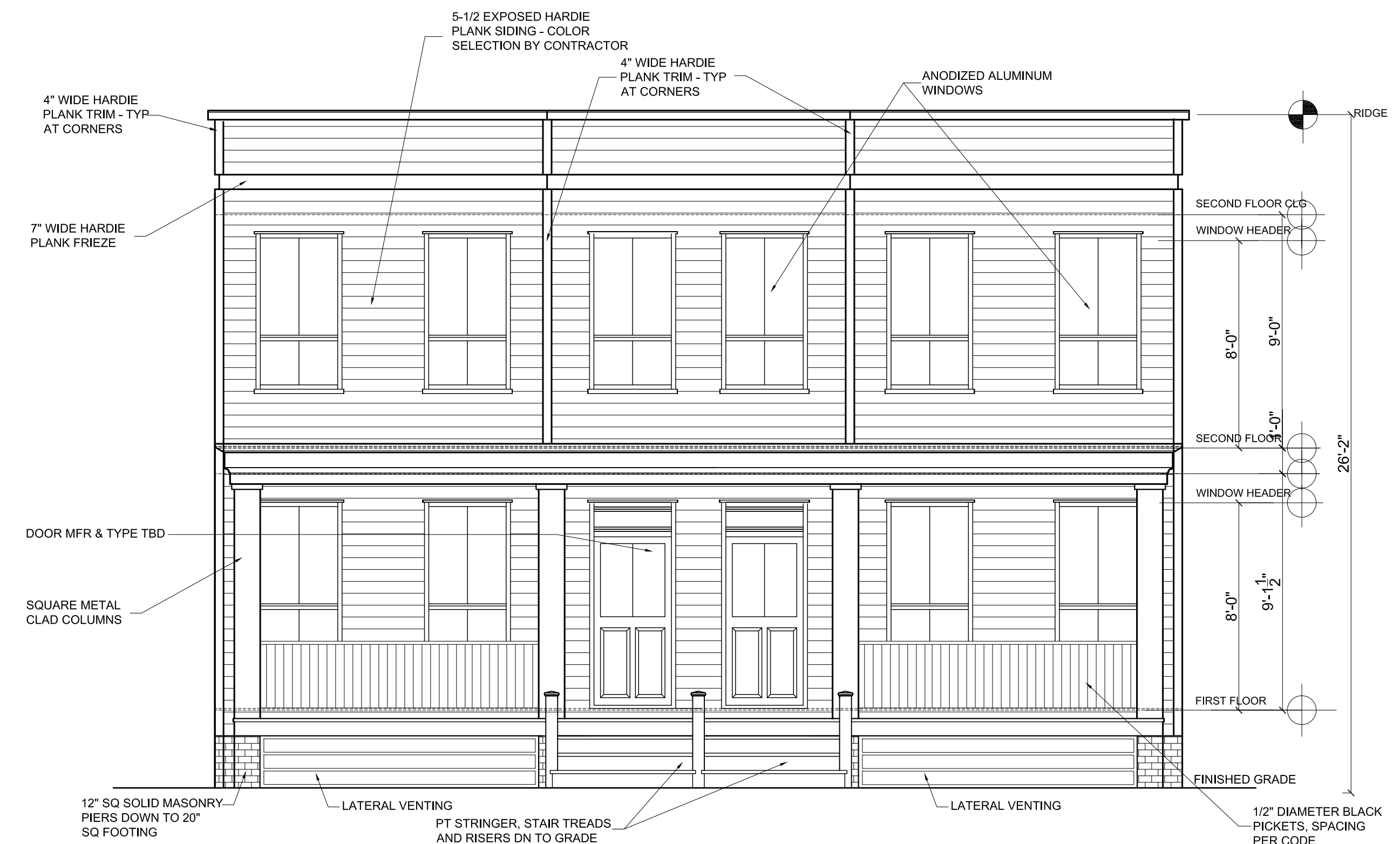
**N CORNER FRAMING DETAIL**  
4.0 SCALE: 1" = 1'-0"



**O PLAN FRAMING DETAIL**  
4.0 SCALE: 1" = 1'-0"



**2 REAR ELEVATION**  
4.0 SCALE: 1/4" = 1'-0"



**1 FRONT ELEVATION**  
4.0 SCALE: 1/4" = 1'-0"

Project  
2117 & 2119 CARRINGTON  
RICHMOND, VIRGINIA 23223

Title  
ELEVATIONS AND DETAILS

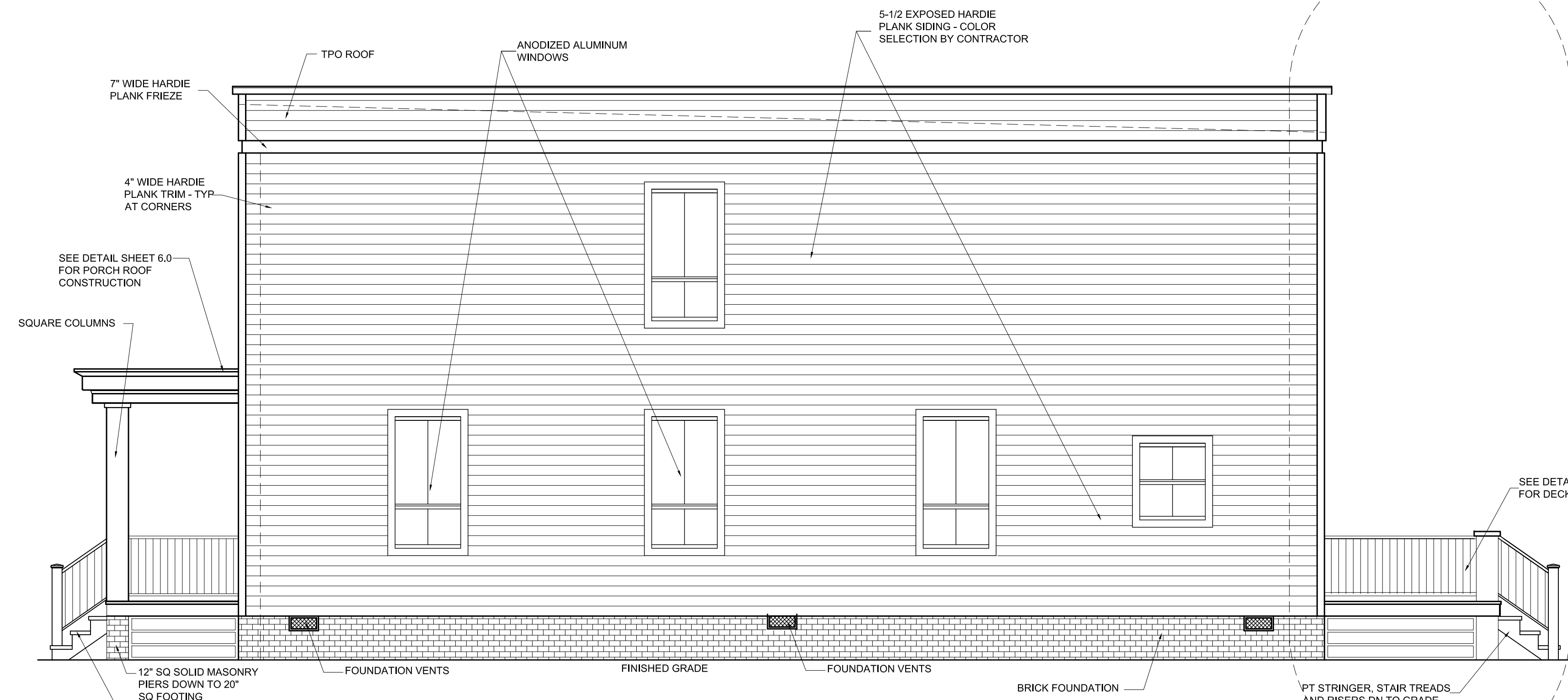
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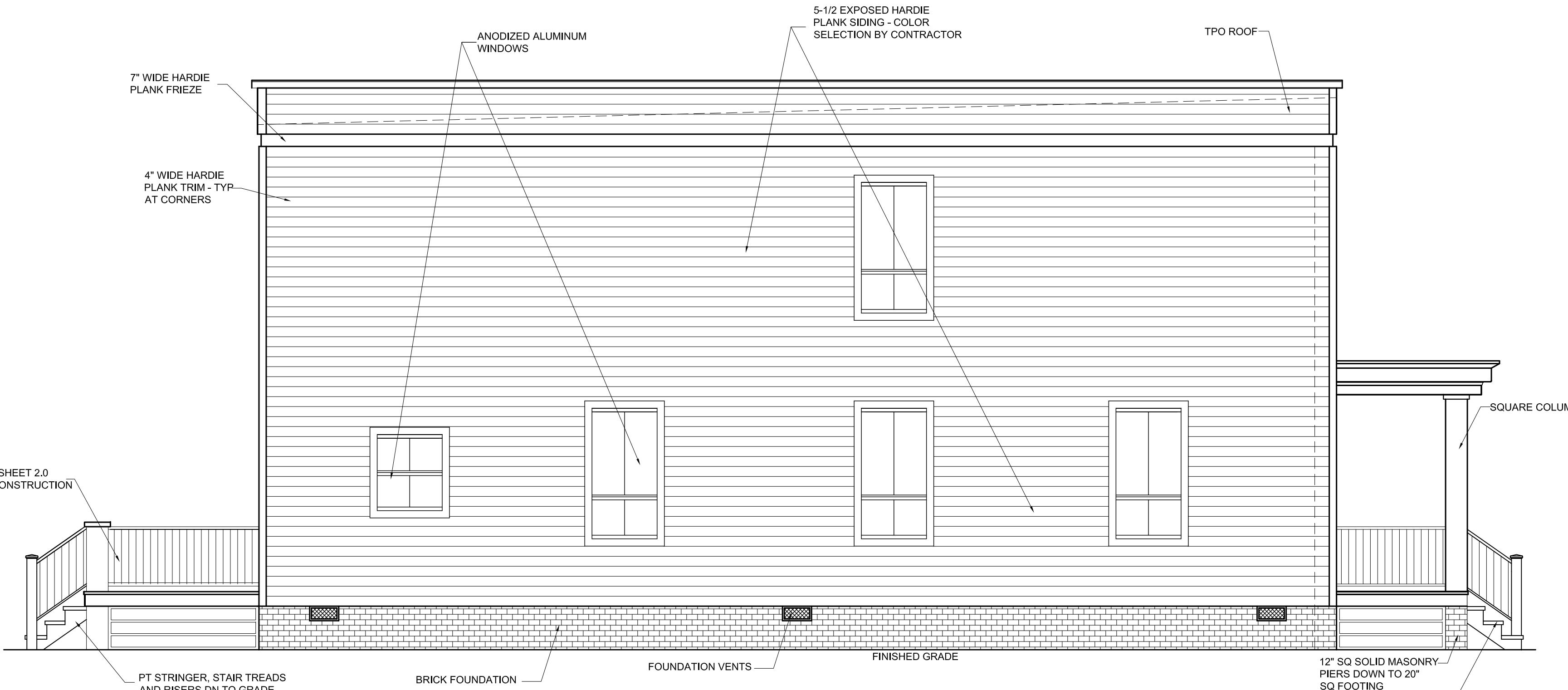
DRAWING INFORMATION	
Scale	Noted
Drawn	LP Hartson
Checked	Chris Jefferson
Coordinator	Warren Thomas
Date	04.23.2019 R 08.29.2019
Project	Carrington Drive



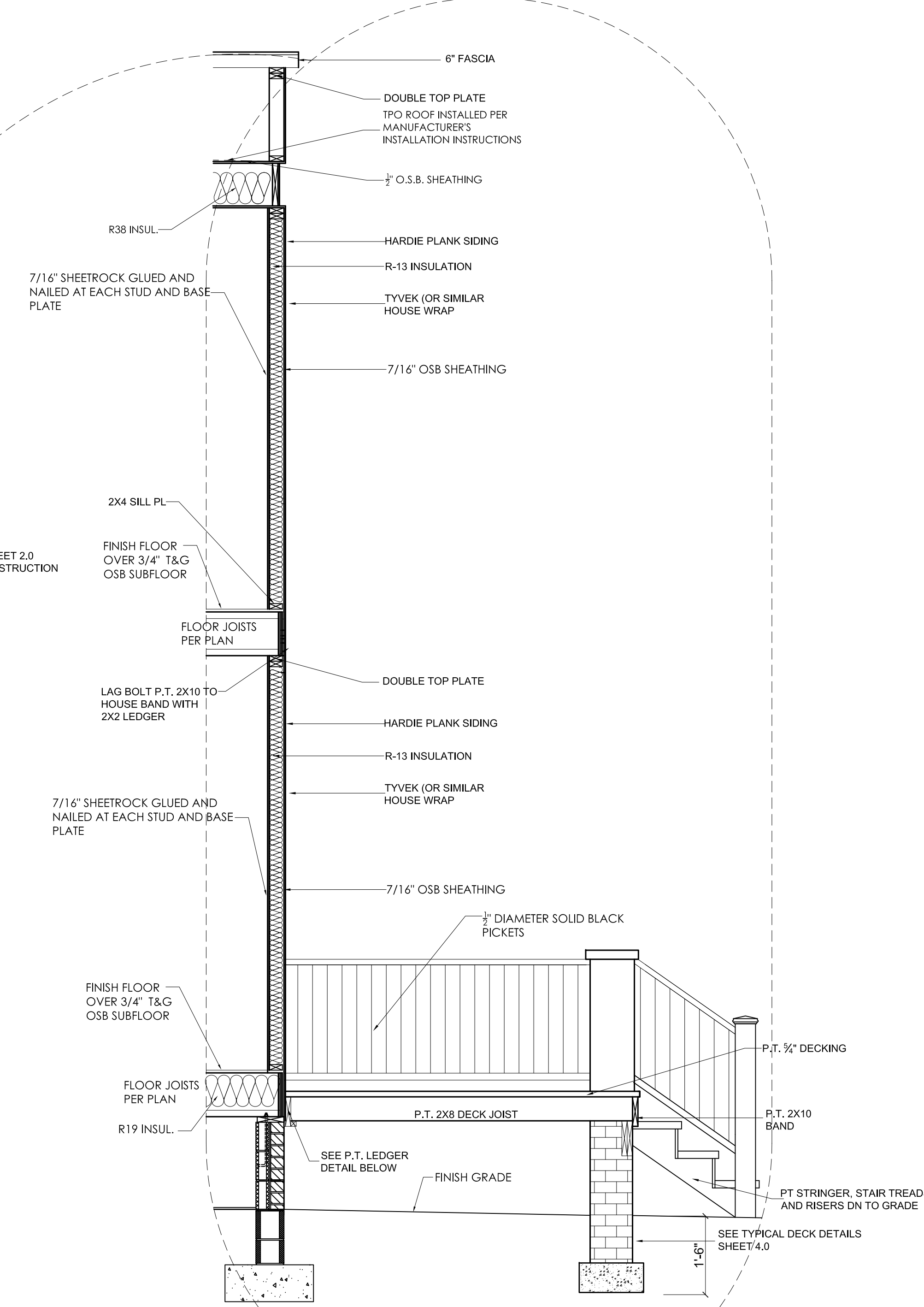
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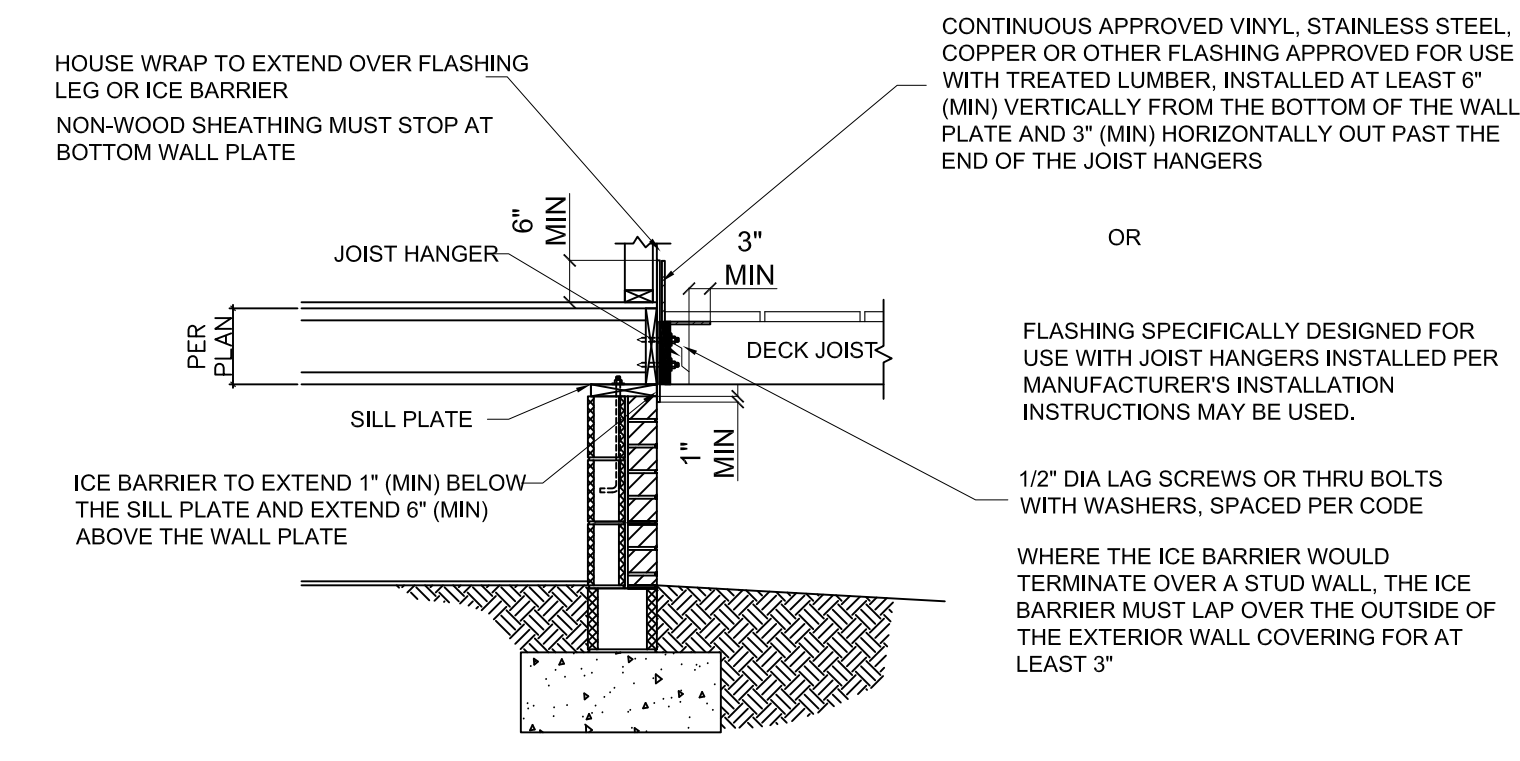
**3 RIGHT SIDE ELEVATION**  
SCALE: 1/4" = 1'-0"



**2 LEFT SIDE ELEVATION**  
SCALE: 1/4" = 1'-0"



**A DECK DETAIL**  
SCALE: 1/2" = 1'-0"



**B DECK LEDGER DETAIL**  
SCALE: NONE

Project  
**2117 & 2119 CARRINGTON RICHMOND, VIRGINIA 23223**

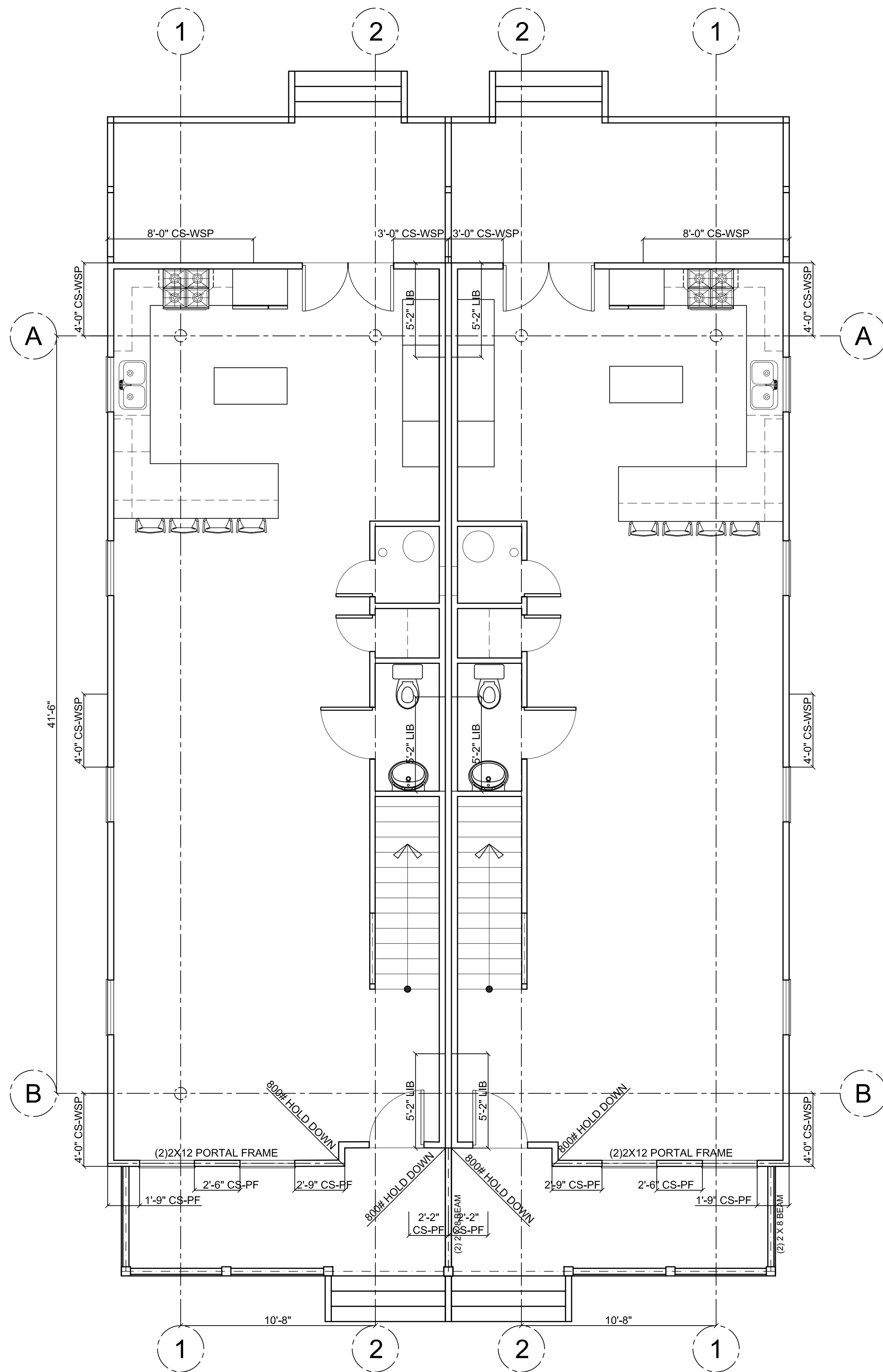
Title  
**ELEVATIONS AND WALL SECTION**

Drawing No.  
**5.0**

DRAWING INFORMATION	
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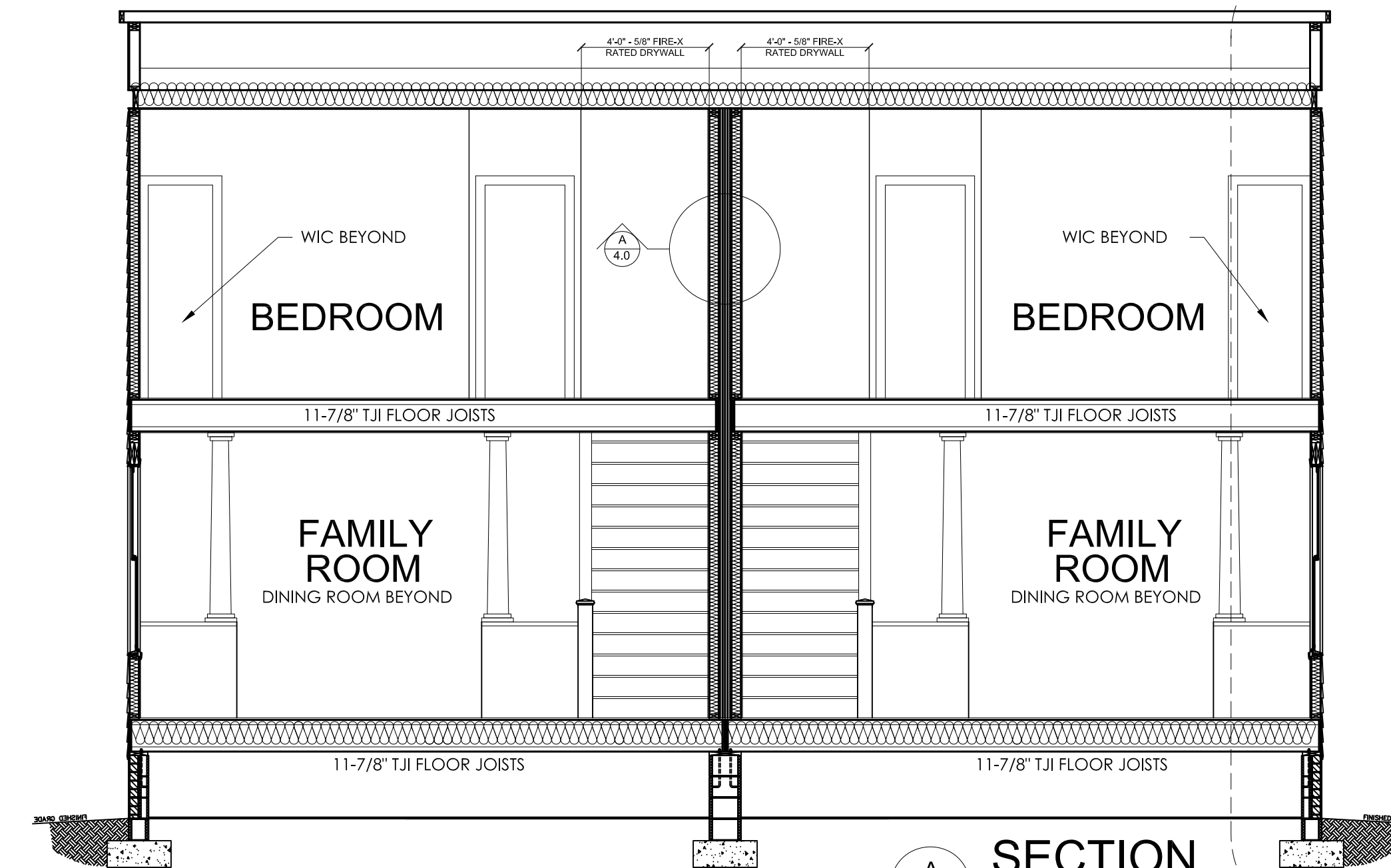


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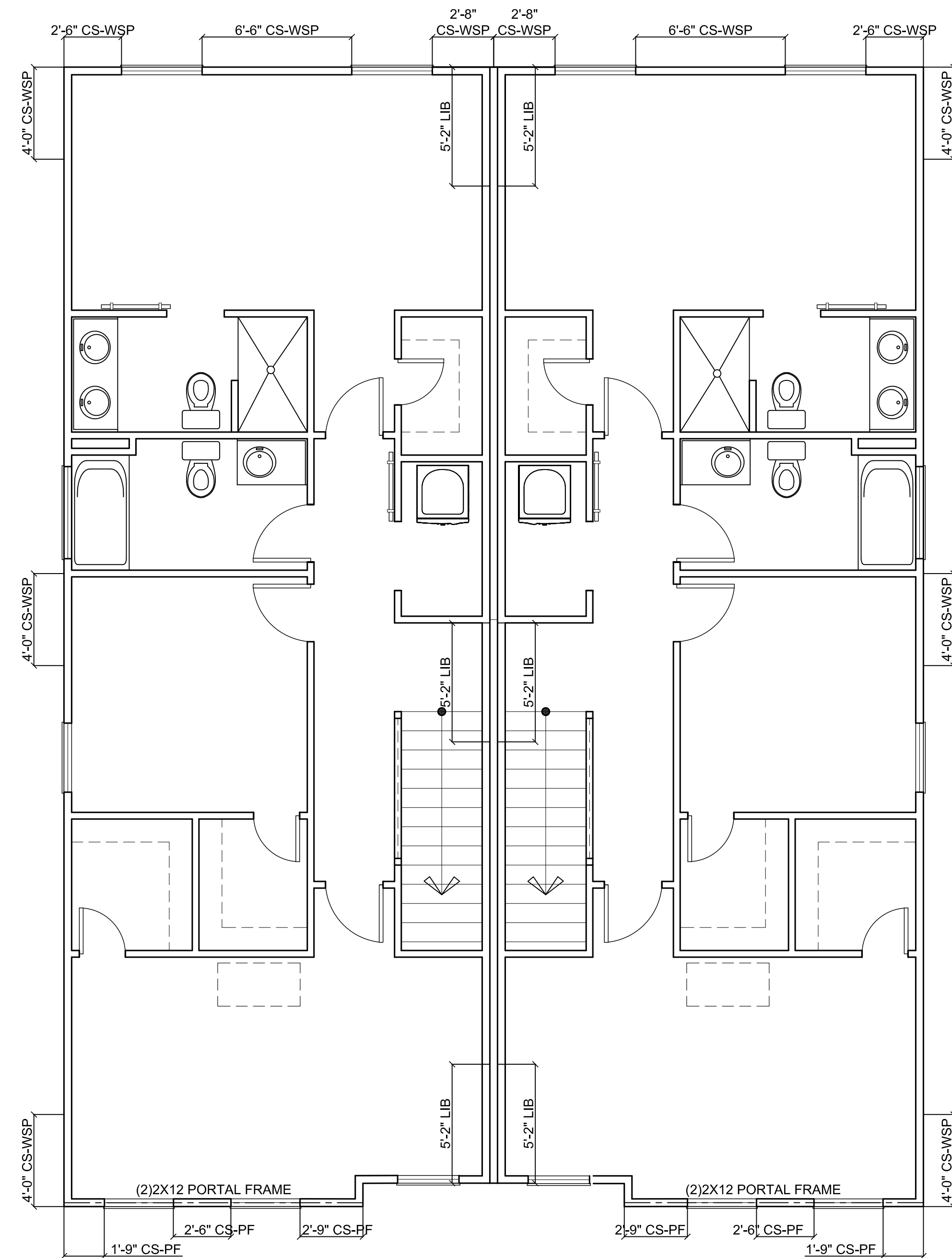
**FIRST FLOOR  
BRACED WALL PLAN**

1  
6.0  
SCALE: 3/16" = 1'-0"



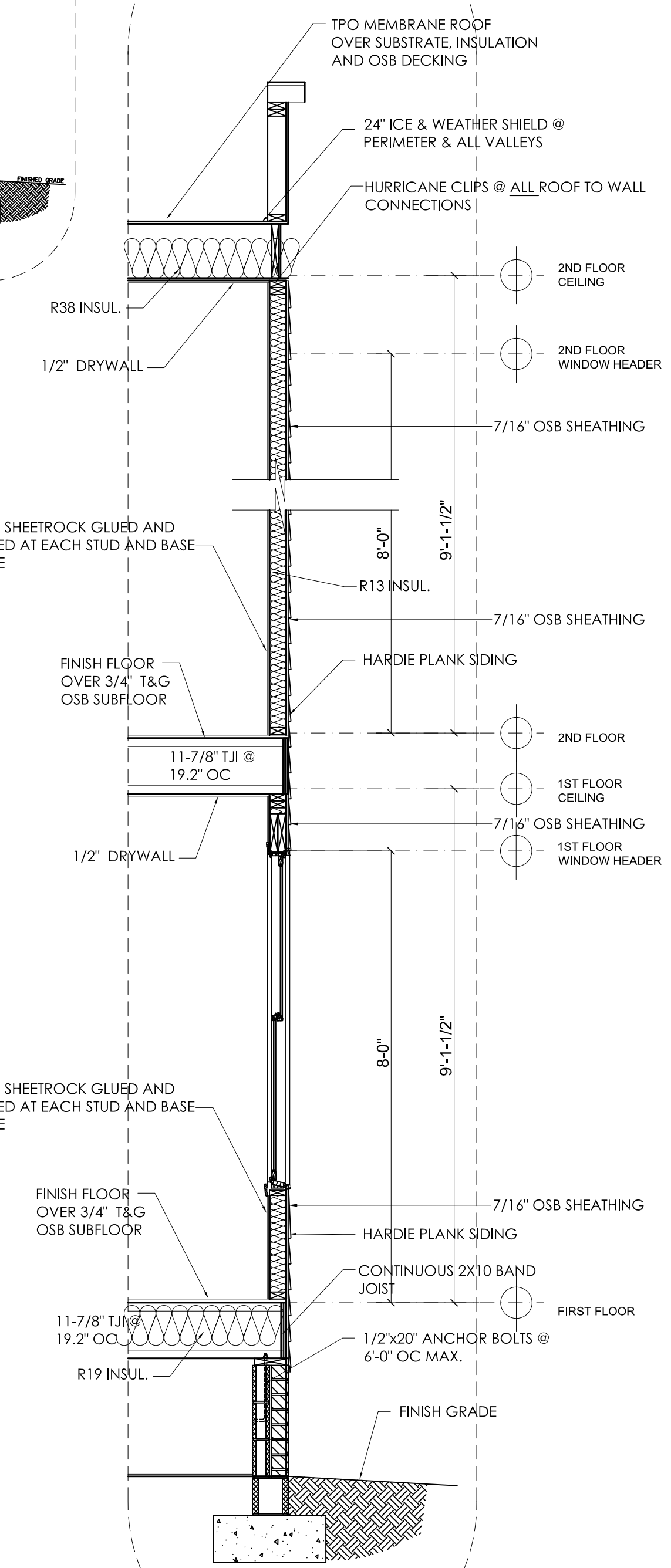
**SECTION  
A**

6.0  
SCALE: 1/4" = 1'-0"



**SECOND FLOOR  
BRACED WALL PLAN**

2  
6.0  
SCALE: 3/16" = 1'-0"



**WALL SECTION  
B**

6.0  
SCALE: 1/2" = 1'-0"

Project  
**2117 & 2119 CARRINGTON  
RICHMOND, VIRGINIA 23223**

Title  
**SECTIONS AND  
BRACED WALL PLANS**

Drawing No.  
**6.0**