



# Commission of Architectural Review SUBMISSION APPLICATION

City of Richmond, Room 510 – City Hall  
900 East Broad Street, Richmond, Virginia 23219  
PHONE: (804) 646-6335 FAX: (804) 646-5789

**12 COPIES OF SUPPORTING DOCUMENTATION ARE REQUIRED FOR PROCESSING YOUR SUBMISSION**

LOCATION OF WORK: 313 N. 24th and 2407 E. Marshall Street DATE: July 31, 2015

OWNER'S NAME: Sterling Bilder, LLC TEL NO.: 359-5018

AND ADDRESS: 17 S. Belmont Avenue EMAIL: josh.bilder@gmail.com

CITY, STATE AND ZIPCODE: Richmond, Virginia 23221

ARCHITECT/CONTRACTOR'S NAME: Lawrence Group Architects TEL. NO.: 917-547-0634

AND ADDRESS: 307 W 38th St, Suite 1618 EMAIL: sebastian.quinn@thelawrencegroup.com

CITY, STATE AND ZIPCODE: New York, NY 10018

Would you like to receive your staff report via email? Yes  No

## REQUEST FOR CONCEPTUAL REVIEW

I hereby request Conceptual Review under the provisions of Chapter 114, Article IX, Division 4, Section 114-930.6(d) of the Richmond City Code for the proposal outlined below in accordance with materials accompanying this application. I understand that conceptual review is advisory only.

## APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

I hereby make application for the issuance of a certificate under the provisions of Chapter 114, Article IX, Division 4 (Old and Historic Districts) of the Richmond City Code for the proposal outlined below in accordance with plans and specifications accompanying this application.

## DETAILED DESCRIPTION OF PROPOSED WORK (Required):

**STATE HOW THE DESIGN REVIEW GUIDELINES INFORM THE DESIGN OF THE WORK PROPOSED.** (Include additional sheets of description if necessary, and 12 copies of artwork helpful in describing the project. The 12 copies are not required if the project is being reviewed for an administrative approval. See *Instruction sheet for requirements.*)

Please see revised plans based on Conceptual Review.

Signature of Owner or Authorized Agent: *Joshua Bilder*

Name of Owner or Authorized Agent (please print legibly): Joshua Bilder

(Space below for staff use only)

Received by Commission Secretary 3:09 pm APPLICATION NO. \_\_\_\_\_

DATE RECEIVED SCHEDULED FOR \_\_\_\_\_

Note: CAR reviews all applications on a case-by-case basis.

JUL 31 2015

Revised 10-02-2014



**STERLING BILDER CHURCH HILL PROJECTS- 24th STREET GARAGE AND TOWNHOUSES**  
DEVELOPMENT AREAS

Nolde Garage + Townhouses	
Lot Area	21761
Parking Area	4870
Hardscape	8452
Built Footprint	13653
Built Area: Existing	9365
Built Area: New	12882
Total Built Area	23874
Commercial Area	6168
Patrick Henry Hall	1810
Residential Area	17706
Com/Res Ratio	
Parking Count	14 (inc 1 HC)

\*2nd Fl. Excluded

**RESIDENTIAL AREAS, UNIT COUNTS**

Nolde Garage + Townhouses	
Total Res. Area	17706
Total Common Area	175
Total Leaseable Area	17531
Unit Count	19
Live work/ Ave Res. Area	3 588
1 BR	6
2 BR Count	9
3 BR Count	1
Acres	0.45
Unit Density/Acre	42

BUILDING	PORCH HEIGHT	PARAPET HEIGHT
A	-	32' - 0"
B	18"	24' - 0"
C	14"	24' - 0"
D	22"	26' - 4"
E	3' - 0" / 22"	27' - 2"
F	5' - 4"	25' - 3"
G	-	26' - 6"
H	2' - 7"	26' - 6"
I	-	17' - 10" (@ GARAGE DR)
J	-	27' - 0"
K	-	20' - 8"
L	28" MAX	25' - 2"

VICINITY PLAN

- KEY NOTES:**
1. EXISTING TREES TO REMAIN.
  2. ALL HVAC UNITS ON ROOF - NOT VISIBLE FROM PUBLIC VIEW
  3. WOOD TRASH ENCLOSURE - NOT VISIBLE FROM PUBLIC VIEW

**OPERATURE KEY**  
 N = NEW  
 E = EXISTING

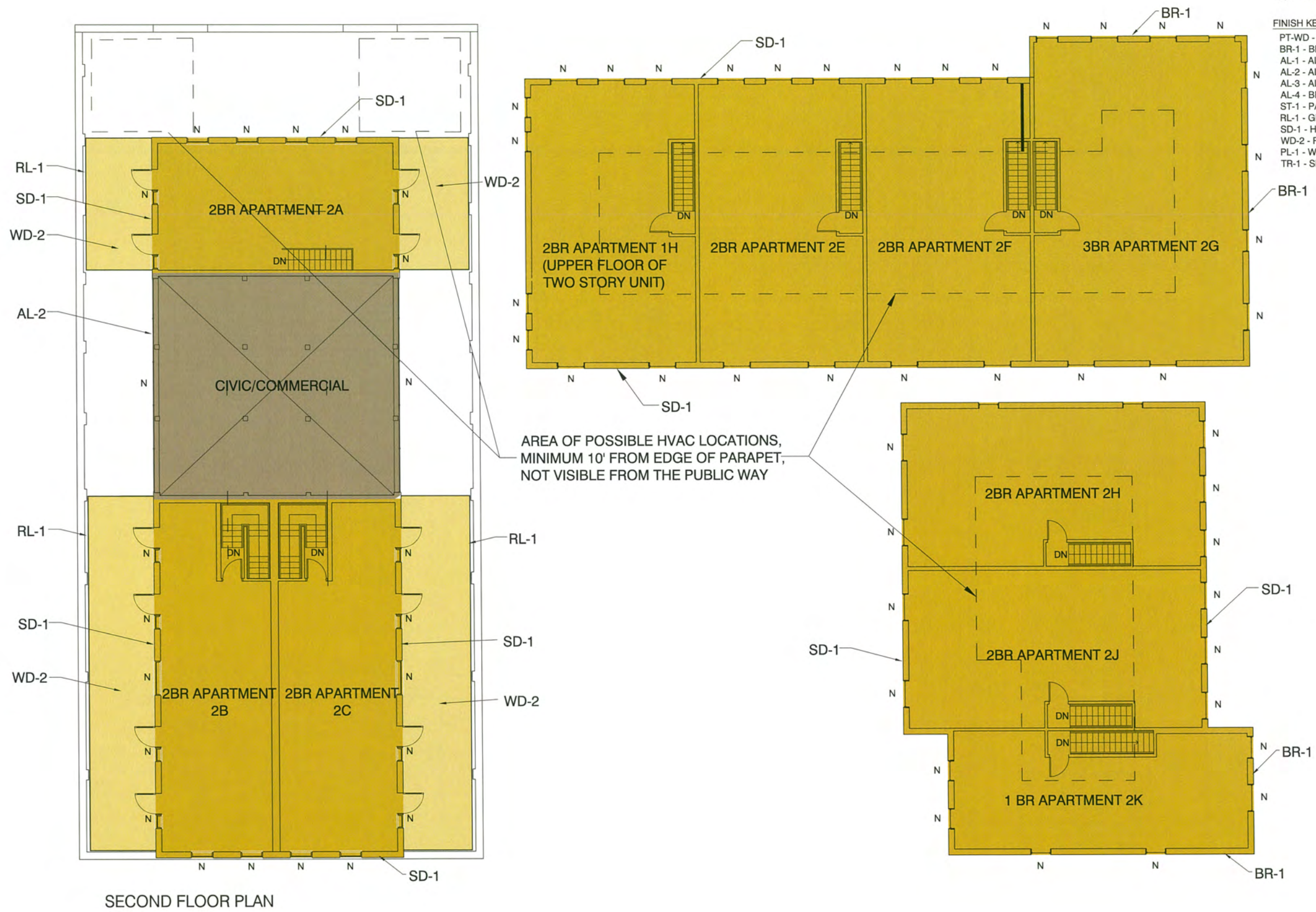
**FINISH KEY**  
 PT-WD - PAINTED WOOD  
 BR-1 - BRICK, SEE PHOTO/SAMPLE  
 AL-1 - ALUMINUM DOOR/WINDOW, SEE CUT SHEET  
 AL-2 - ALUMINUM FIN SHADE, SEE CUT SHEET  
 AL-3 - ALUMINUM STOREFRONT SYSTEM  
 AL-4 - BRONZE ANODIZED ALUMINUM  
 ST-1 - PAINTED STEEL AWNING  
 RL-1 - GLASS RAIL, SEE CUT SHEET  
 SD-1 - HARDI BOARD CLAPBOARDS, SEE CUT SHEET  
 WD-2 - PRESSURE TREATED WOOD  
 PL-1 - WHITE PAINTED PLASTER  
 TR-1 - SMOOTH HARDI BOARD



GROUND FLOOR PLAN

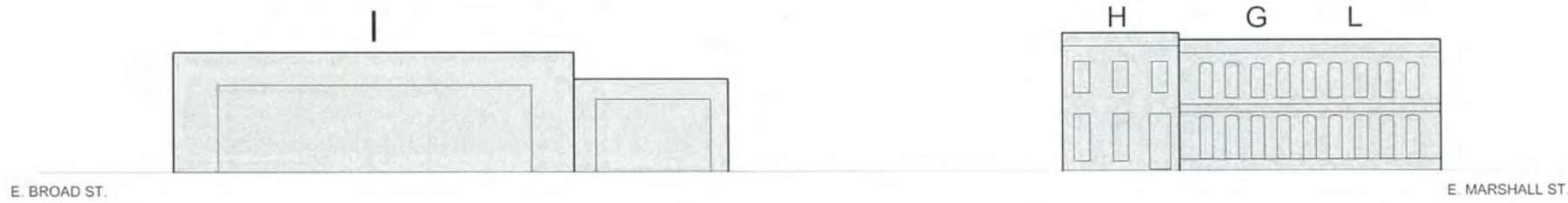
**DOOR / WINDOW KEY**  
 N = NEW  
 E = EXISTING  
 E/E = EXISTING/EXPANDED

**FINISH KEY**  
 PT-WD - PAINTED WOOD  
 BR-1 - BRICK, SEE PHOTO/SAMPLE  
 AL-1 - ALUMINUM DOOR/WINDOW, SEE CUT SHEET  
 AL-2 - ALUMINUM FIN SHADE, SEE CUT SHEET  
 AL-3 - ALUMINUM STOREFRONT SYSTEM  
 AL-4 - BRONZE ANODIZED ALUMINUM  
 ST-1 - PAINTED STEEL AWNING  
 RL-1 - GLASS RAIL, SEE CUT SHEET  
 SD-1 - HARDI BOARD CLAPBOARDS, SEE CUT SHEET  
 WD-2 - PRESSURE TREATED WOOD  
 PL-1 - WHITE PAINTED PLASTER  
 TR-1 - SMOOTH HARDI BOARD

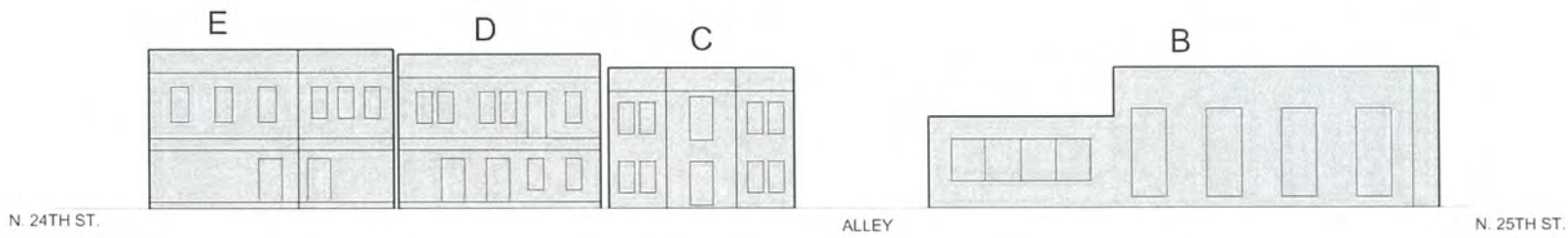




N. 24TH STREET EAST ELEVATION



N. 24TH STREET WEST ELEVATION



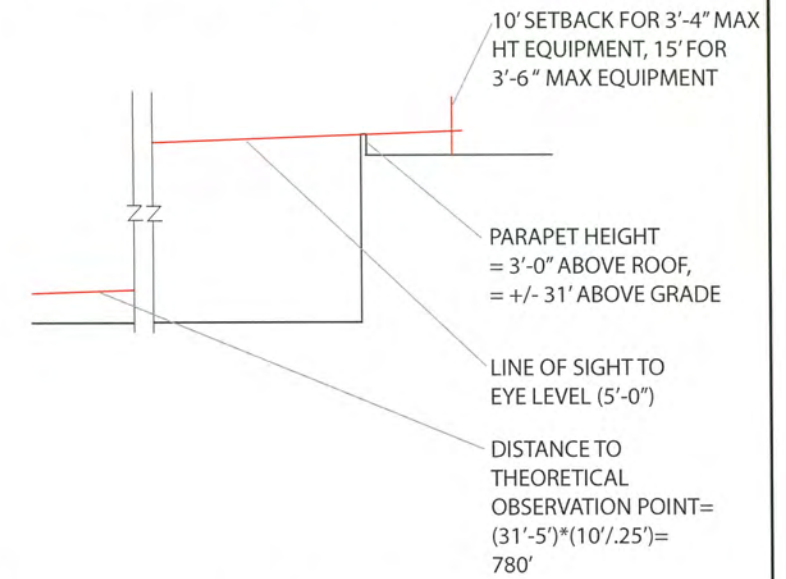
E. MARSHALL NORTH ELEVATION



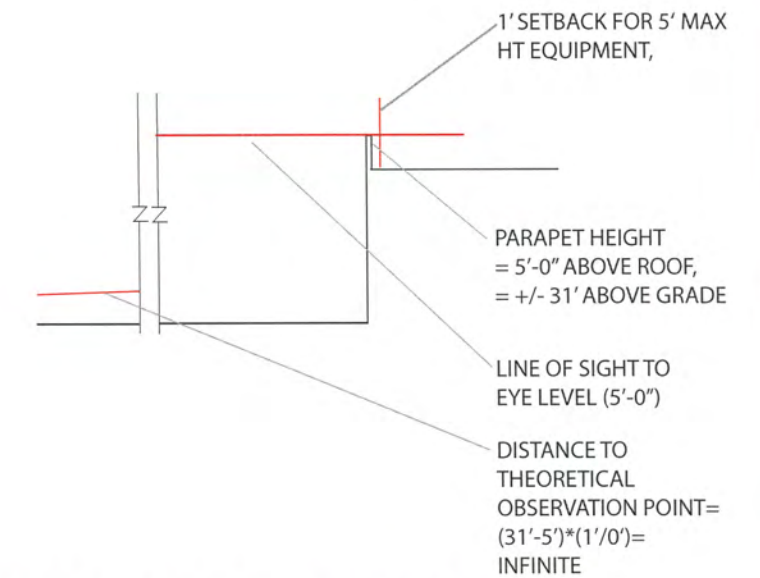
E. MARSHALL SOUTH ELEVATION

HVAC NON-VISIBILITY DIAGRAMS

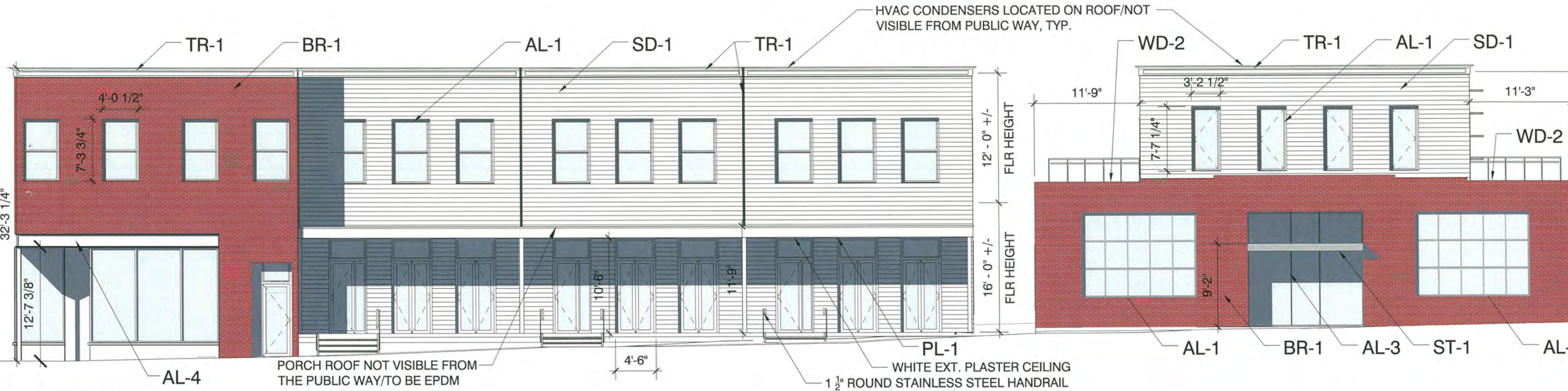
PLEASE NOTE, AS PREVIOUSLY STATED, NO HVAC EQUIPMENT IS TO BE VISIBLE FROM THE PUBLIC WAY.



TYPICAL TOWNHOUSE HVAC SECTION DIAGRAM



TYPICAL GARAGE HVAC SECTION DIAGRAM

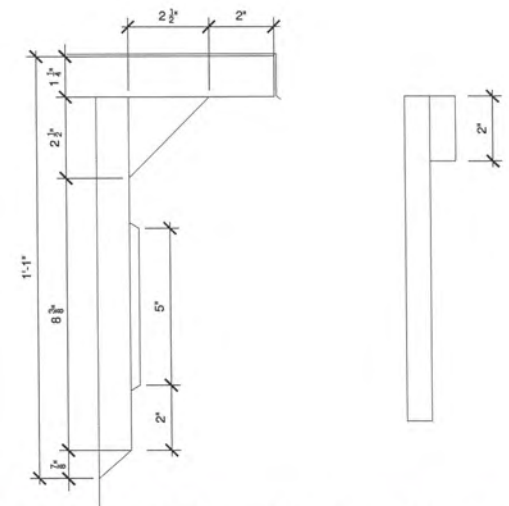


WEST ELEVATION



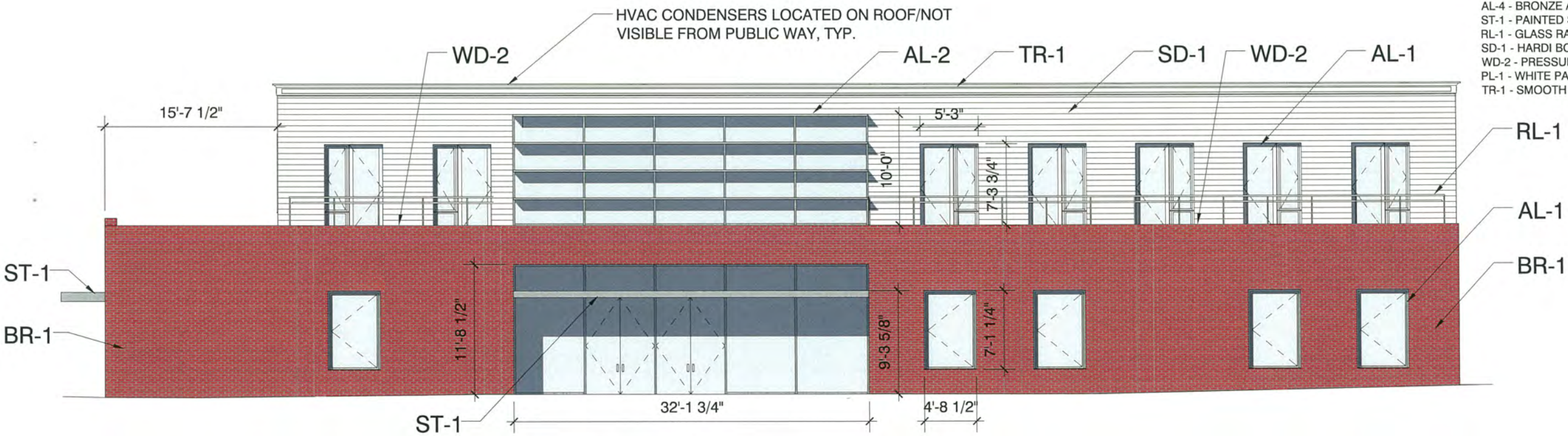
NORTH ELEVATION

- FINISH KEY**
- PT-WD - PAINTED WOOD
  - BR-1 - BRICK, SEE PHOTO/SAMPLE
  - AL-1 - ALUMINUM DOOR/WINDOW, SEE CUT SHEET
  - AL-2 - ALUMINUM FIN SHADE, SEE CUT SHEET
  - AL-3 - ALUMINUM STOREFRONT SYSTEM
  - AL-4 - BRONZE ANODIZED ALUMINUM
  - ST-1 - PAINTED STEEL AWNING
  - RL-1 - GLASS RAIL, SEE CUT SHEET
  - SD-1 - HARDI BOARD CLAPBOARDS, SEE CUT SHEET
  - WD-2 - PRESSURE TREATED WOOD
  - PL-1 - WHITE PAINTED PLASTER
  - TR-1 - SMOOTH HARDI BOARD

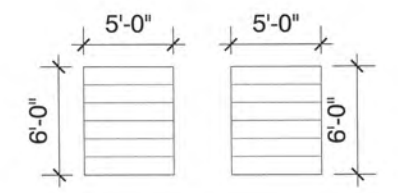


TYPICAL CORNICE DETAIL AT BRICK/SIDING      TYPICAL TRIM DETAIL AT POR

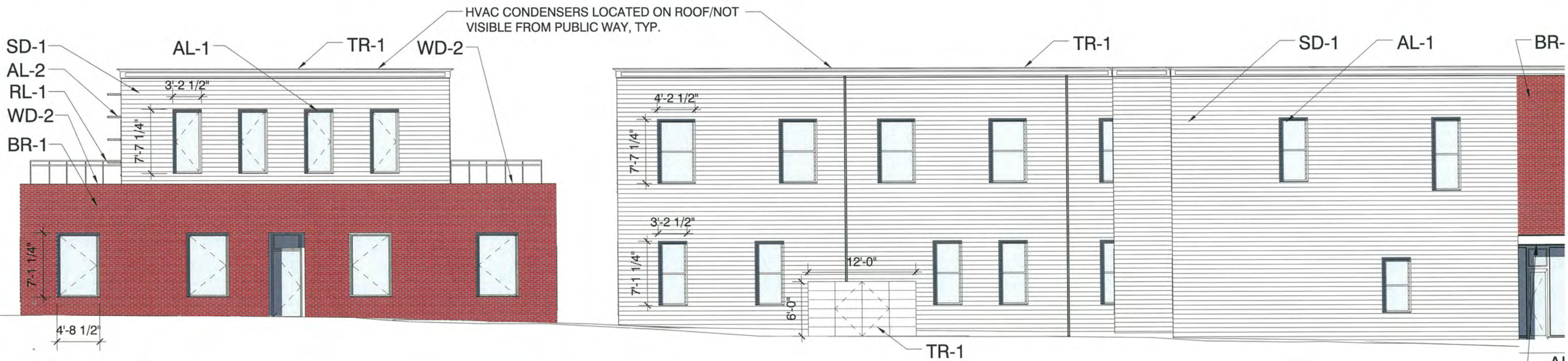
- FINISH KEY**
- PT-WD - PAINTED WOOD
  - BR-1 - BRICK, SEE PHOTO/SAMPLE
  - AL-1 - ALUMINUM DOOR/WINDOW, SEE CUT SHEET
  - AL-2 - ALUMINUM FIN SHADE, SEE CUT SHEET
  - AL-3 - ALUMINUM STOREFRONT SYSTEM
  - AL-4 - BRONZE ANODIZED ALUMINUM
  - ST-1 - PAINTED STEEL AWNING
  - RL-1 - GLASS RAIL, SEE CUT SHEET
  - SD-1 - HARDI BOARD CLAPBOARDS, SEE CUT SHEET
  - WD-2 - PRESSURE TREATED WOOD
  - PL-1 - WHITE PAINTED PLASTER
  - TR-1 - SMOOTH HARDI BOARD



SOUTH ELEVATION



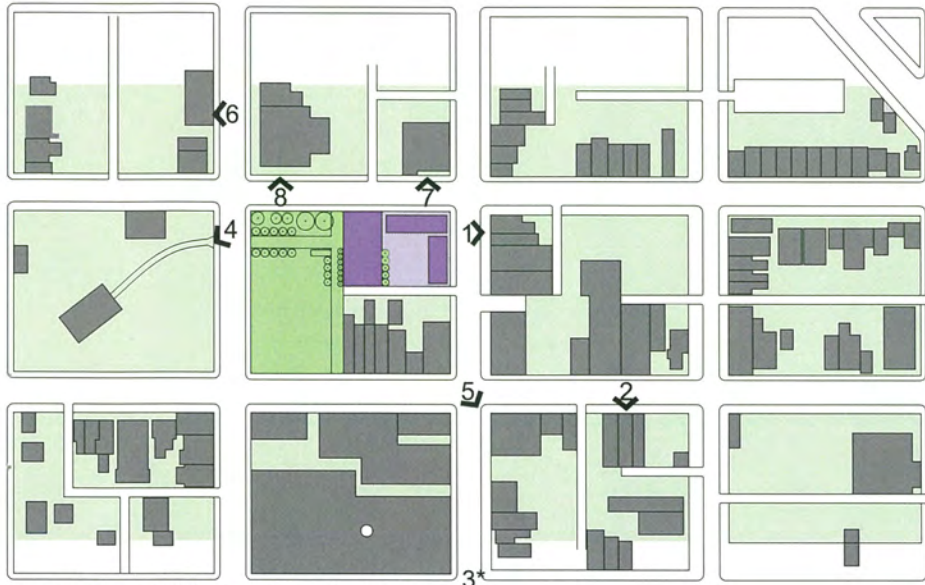
TRASH ENCLOSURE ELEVATION



EAST ELEVATION







\*Not shown on map: North 27th Street & East Marshall Street









PROPOSED BRICK/ EXISTING GARAGE FRONT FACADE



PROPOSED BRICK/ EXISTING GARAGE PARKING LOT FACADE



PROPOSED BRICK/ EXISTING GARAGE PARK FACADE