



COMMISSION OF ARCHITECTURAL REVIEW APPLICATION / CERTIFICATE OF APPROPRIATENESS

PROPERTY (Location of Work)

Address 812 Jessamine St Richmond, VA 23223

Historic District Union Hill

PROPOSED ACTION

- Alteration (including paint colors)
- Rehabilitation
- Demolition
- Addition
- New Construction (Conceptual Review required)
- Conceptual Review
- Final Review

OWNER

Name Hamid Ghorashi, President
 Company Ghorash Properties LLC
 Mailing Address 3507 Walkers Ferry Rd
Midlothian VA, 23226
 Phone 804-338-3040
 Email ghorashih@comcast.net
 Signature Hamid Ghorashi
 Date 1/26/2017

APPLICANT (if other than owner)

Name _____
 Company _____
 Mailing Address _____
 Phone _____
 Email _____
 Signature _____
 Date _____

ACKNOWLEDGEMENT OF RESPONSIBILITY

Requirements: A complete application includes all applicable information requested on checklists to provide a complete and accurate description of existing and proposed conditions. Preliminary review meeting or site visit with staff may be necessary to process the application. Owner contact information and signature is required. Late or incomplete applications will not be considered.

Zoning Requirements: Prior to CAR review, it is the responsibility of the applicant to determine if zoning approval is required and application materials should be prepared in compliance with zoning.

Compliance: If granted, you agree to comply with all conditions of the COA. Revisions to approved work require staff review and may require a new application and CAR approval. Failure to comply with the COA may result in project delays or legal action. The COA is valid for one (1) year and may be extended for an additional year, upon written request.

(Space below for staff use only)

Application received **RECEIVED**

Date/Time _____

By _____

11:00

Complete Yes No

Commission of Architectural Review

Application/Certificate of Appropriateness: Supporting Documentation

812 Jessamine St
Richmond, VA 23223

PROPERTY DESCRIPTION

This 1,205 square foot single family home is two stories tall, free standing, and features contemporary style architecture. It sits on a 4,528 square foot lot that is approximately 26 feet wide by 172 feet deep. The house features 2 bedrooms, 1.5 bathrooms, and an open style front porch. This property was built in 1915. (See attached photos #'s 1-2, 10 -11)

The home is currently in need of exterior maintenance, mostly limited to caulking and repainting. An exception to that are many components of the front porch which are rotting, very deteriorated, or missing.

Two of the three wood columns at the front edge of the porch are deteriorated so far that 60% of the column circumference on the lower three feet was either missing or crumbled at touch. The third column was also deteriorated and soft at the base due to water infiltration through a split in the side that runs top to bottom. The existing columns were round wood columns with molded polyurethane foam caps and bases. They are approximately 96" tall and tapered from 8" diameter at the bottom to 5" at the top. They were set on 12" cubic bases made from pressure treated lumber. There were also two "half round" columns which set against the siding of the house underneath the head beam. These half round columns were identical to the other fully round columns in dimension and color. They were both water damaged and splitting apart in several places. All columns were painted brown similar to door and window trim. (See attached photos #'s 4 -6)

The tongue-and-groove porch flooring has rotted and fallen through in a two foot band around 80% of the porch perimeter. This has led to the same two collapsed columns described above to fall through the porch floor and no longer provide proper support to the roof. Large sections of flooring are soft in other areas as well. The T&G flooring appears to be original to the house. However, it has been sanded and refinished so many times that the tongue and groove are within 1/8" of the top surface. It would be very difficult to find replacement pieces that will match with the current board thickness and position of the tongue and groove within that thickness. (See attached photos #'s 15, 16)

The porches railings are badly deteriorated, especially the balusters, and top rails have split and cracked due to the columns collapsing and pulling them down. Railings and balusters are made from pressure treated lumber and therefore not original to the house. Railings and balusters were painted the same brown as the columns

The floor framing around 80% of the outer band is rotten and soft and well as over half of the floor joists. Joists are pressure treated 2x6 lumber and are installed using joist hangers. The visible surfaces of the floor framing were not previously painted.

The perimeter of the porch, between the bottom edge of the band beam and the ground was previously covered with white PVC privacy lattice. (See attached photo # 17)

The porch roof appears to be structurally sound and shingles are in good condition. The porch ceiling, which consists of T&G bead board, has minor moisture damage and rot, area is approximately 18"x6".

We, the current property owners, have not made any exterior alterations to the home before this point. Due to the precarious and deteriorated condition of the porch roof supports, the columns, we have found it necessary to jack up and brace the porch roof with temporary supports. The result of that process has been the removal of the damaged columns, damaged flooring and some floor joists. (See attached photo #'s 1-2, 10-11)

PROPOSED WORK

Our primary goals in rebuilding the porch are to increase durability, decrease future maintenance requirements and maintain historical appearance. The porch rebuild will not change anything in regards to overall dimensions or foot print. Drawings of proposed work are attached.

Floor framing will be all new material and will be constructed exactly the same as it was before using pressure treated 2x6 boards and joist hangers. All visible surfaces of the floor framing will be painted white to match columns and railings. The white PVC lattice that was previously installed around the outside perimeter, between the band beam and ground, will be reused/ reinstalled.

The new porch flooring will be Style Selections Composite Deck Boards in Natural Brown color. (See attached spec sheet for deck boards) It will be installed using hidden clips and will run in the same direction as the previous flooring, which is perpendicular to the front of the house. A 1 ½ " wide band will be installed on the front edge of the porch to conceal the cut ends of the deck boards and provide a more traditional looking finish.

The front columns will be square wood structural columns that are approximately 5 ¼ "square. (See attached photo #18 for manufacturer info) They have galvanized steel base plates/ feet, which prevents water damage to the bottom of the column. The columns will be wrapped or clad from top to bottom in smooth white PVC trim board that is 3/8 "thick to provide a maintenance free finish surface. (See attached spec sheet for PVC trim board sheet) This PVC wrap will bring the total dimension of the columns to 6" square. They will remain white to match the lattice, exposed floor frame surfaces, and railings. The "half" columns which sit against the house will be constructed of pressure treated 2x6 lumber and wrapped or clad in white PVC trim board and have final dimensions of 6"wide by 3" deep. We want to use a square column because it allows for the use PVC trim board as the finish surface and to match the railing post and baluster shapes. PVC would eliminate future problems with water damaged wood and does not require painting. The shape and dimension of the proposed columns

match the front porch columns found on several other homes on Jessamine St in the same block. (See attached photos #'s 7-9, 12-14)

The new railings will be a white composite railing system almost identical in appearance to other porch railings on the same block. (See attached photo # 13) Composite railings are low maintenance and provide excellent long term appearance and integrity. We are using Fiberon Home Select brand railings, in the Sentry railing profile with square 38" balusters. (See attached spec sheet for railings, balusters, and post sleeve) There will be one square railing post installed at center between the right and center columns. It will be approximately 46" tall. The post will be covered with a white composite post sleeve that matches the rail system, will be capped with a beveled white composite cap, and a matching post collar at the base.

The damaged T&G ceiling boards will be replaced or repaired in-kind and the whole ceiling will be repainted white. All other minor repairs required to the porch header, soffit, or trim will be done in-kind and repainted white.

PHOTOS AND SUPPORTING DOCUMENTATION



#12 815 Jessamine St

*Example of other square porch columns on the same block of Jessamine



#13 full view of porch at 815 Jessamine



#14 detail view of porch at 815 Jessamine St



#1 porch roof detail
right corner

#2 porch elevation photo, right
side

Unpainted strip was location of
one of the half round columns





#4 bottom of left corner column



#5 bottom of left corner column
*this was the only intact column from the porch



#6 one of the two half round columns



#7 813 Jessamine St

*Example of other square porch columns on the same block of Jessamine



#8 full view of porch at 813 Jessamine



#9 detail of porch at 813 Jessamine



#10 elevation photo of left side of porch



#11 floor joists not yet removed



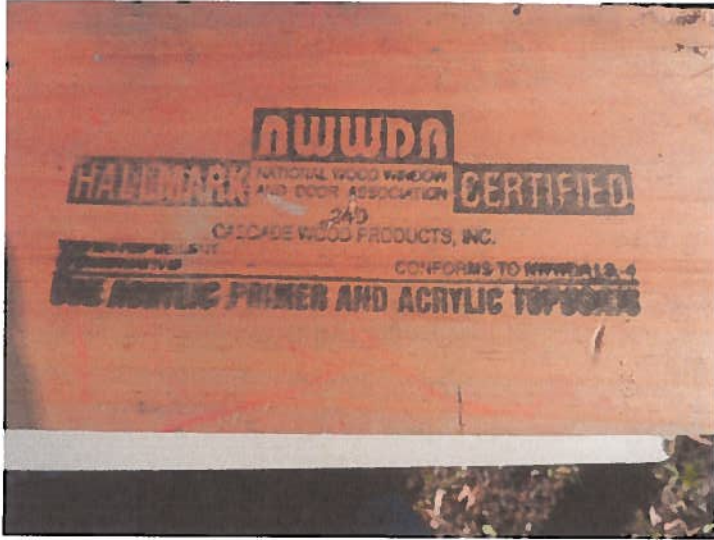
#15 old T&G porch floor board



#16 old T&G porch floor board



**#17 preexisting PVC lattice
on the porch skirt**



#18 manufacturers stamp on side of structural wood columns

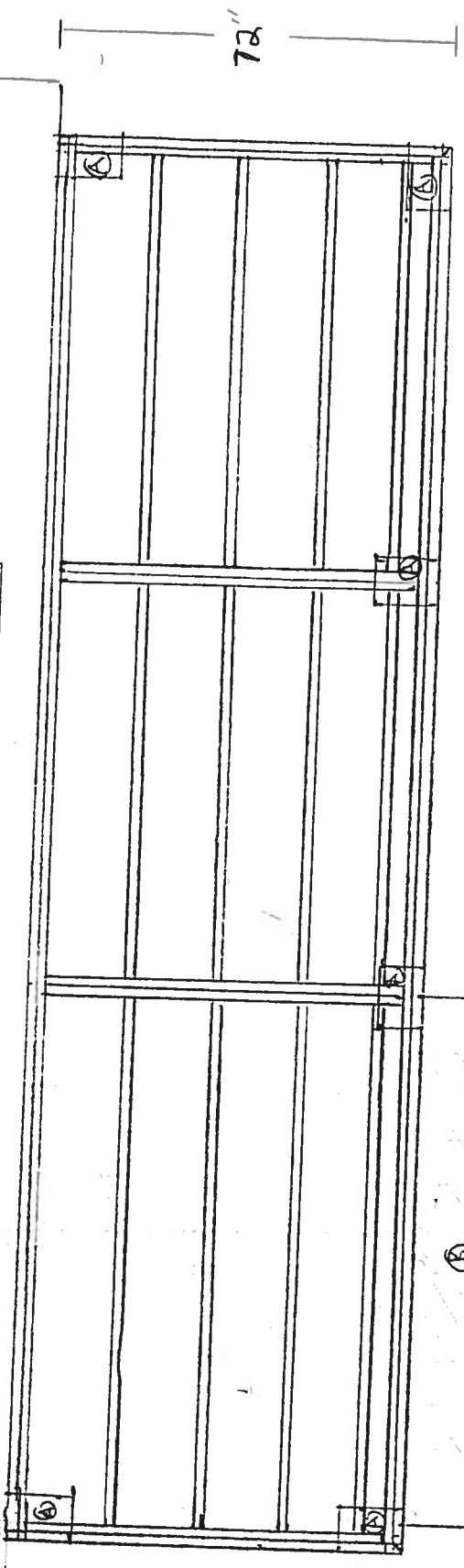


#19 right side of house detail

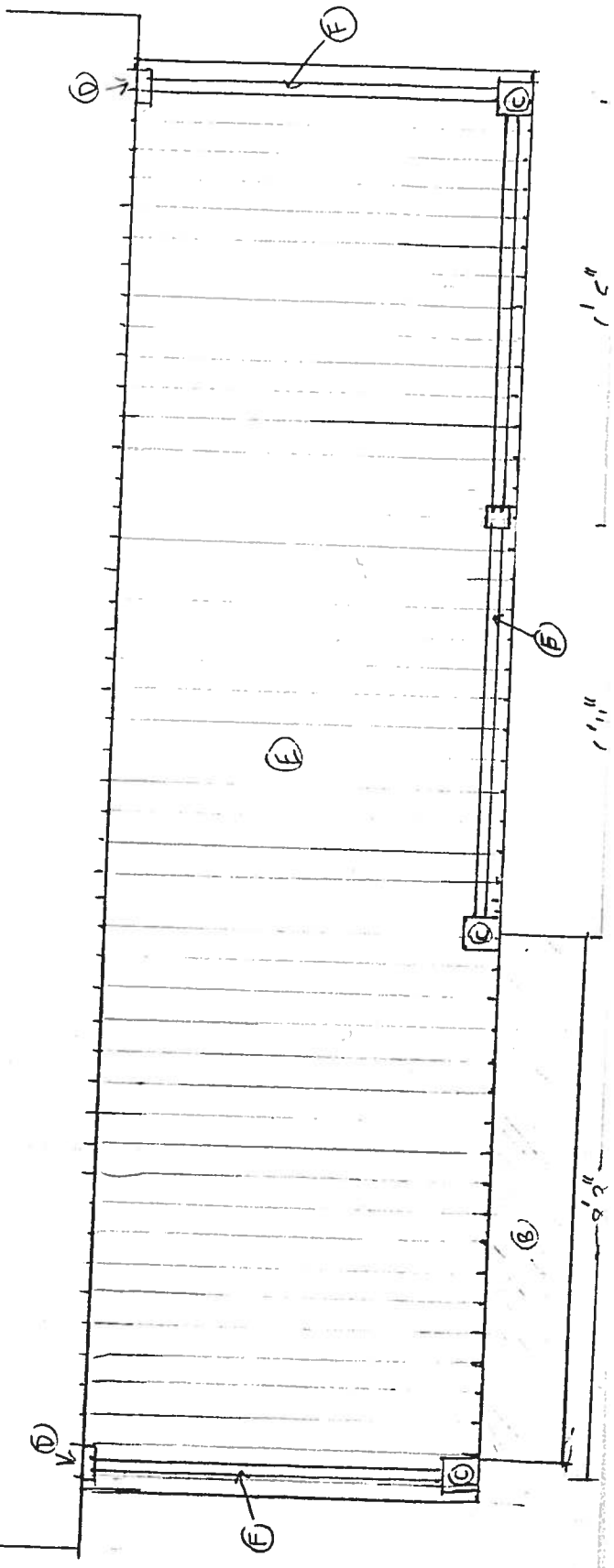
212 Jesamine St Richmond VA 1/8 scale drawing Front Porch Layout

(A) Existing brick & mortar porch foundation
 (B) Existing concrete step
 (C) New wood structural columns, clad in 3/8" PVC trim board, 6" sq
 (D) Pressure treated 2x6 "half" columns, clad in PVC trim board
 (E) Composite deck boards, 5/4" x 5 1/2" Style Selections Natural Bronze

812 JESSAMINE ST.
 RDR-011694-2017
 16"



21' 5"
 23' 3"



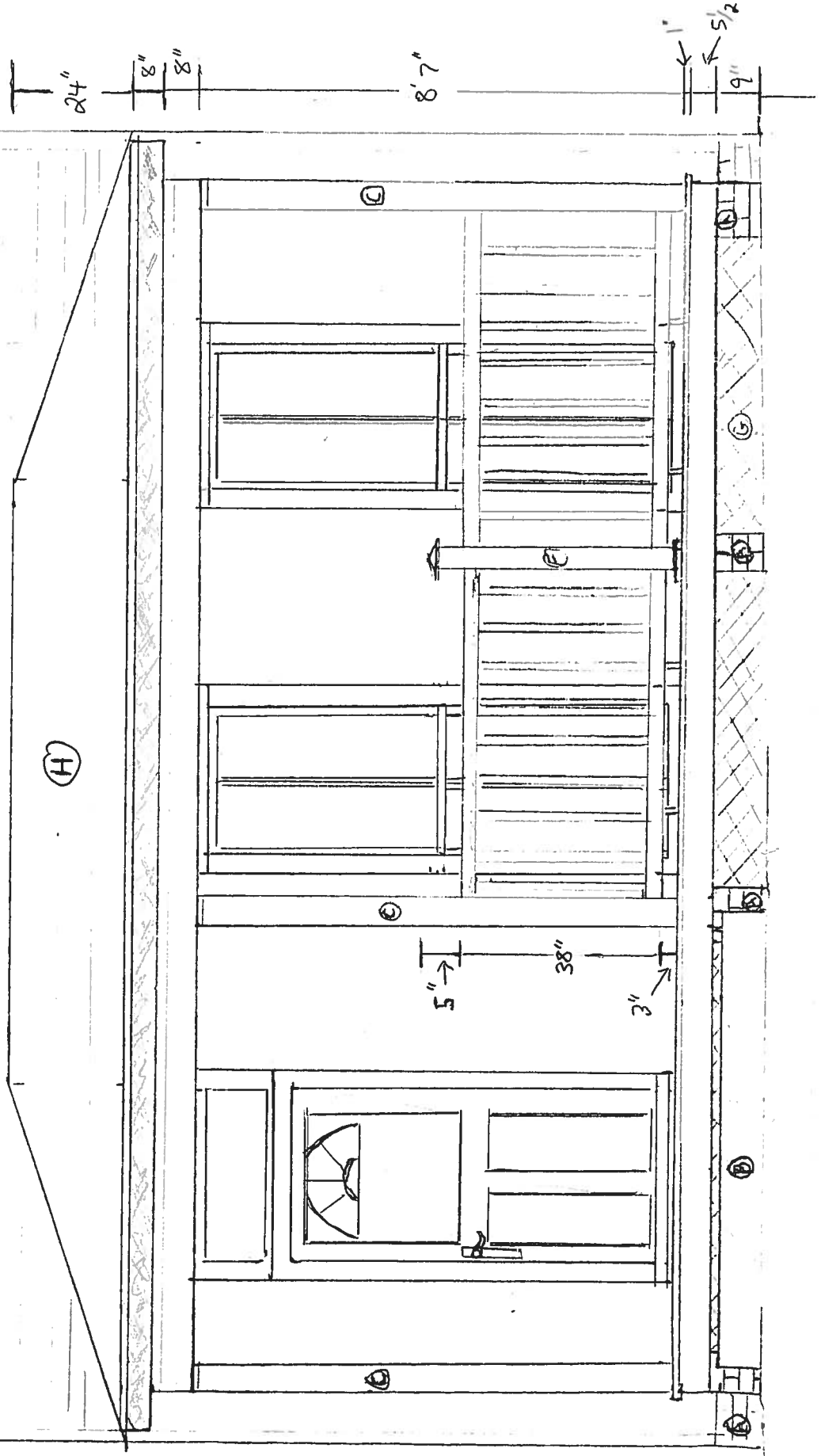
Street
 ↑

812 Jessamine St Richmond VA 3/8 scale Front Porch Elevation

Ⓔ Fiberon Home Select composite railing system - surface mount post w/ sleeve & cap, square balusters, all white

Ⓒ PVC lattice, white existing porch roof

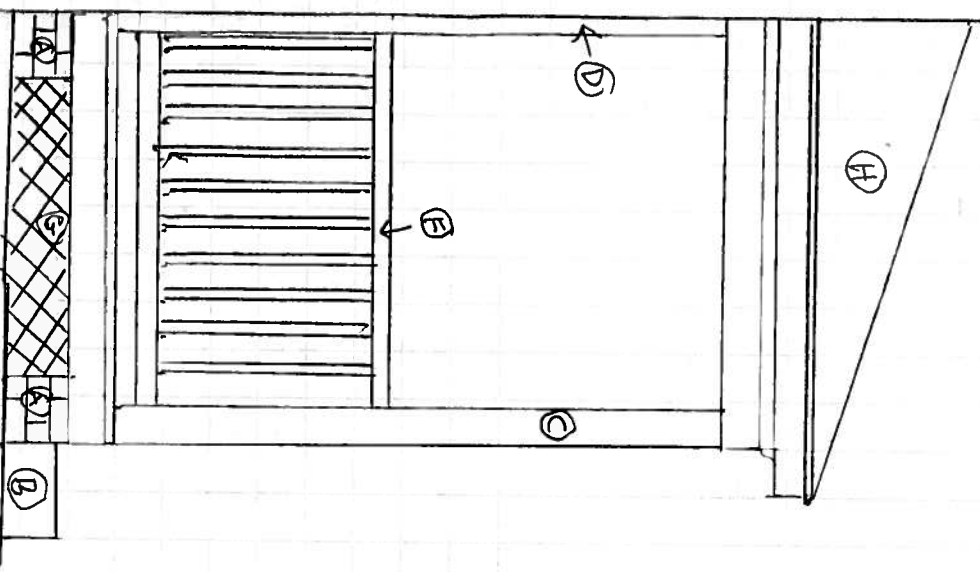
* All PVC trim board is white and will not be painted



812 Jessamine St Richmond VA 3/8 scale Front Porch side

Elevation

- * Left side drawn below.
- # Right side is mirror



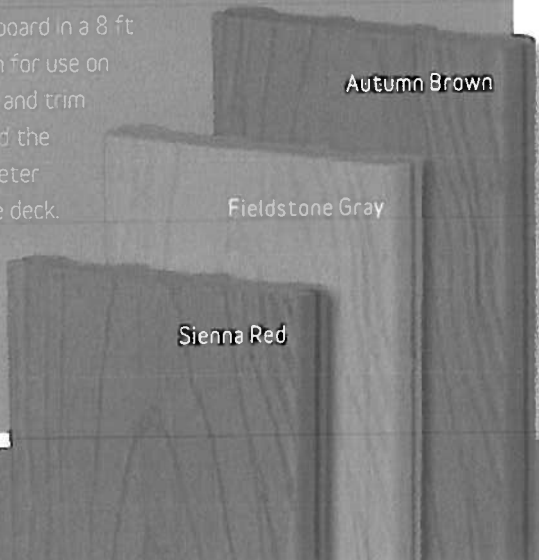


Fieldstone Gray

Slotted-edge Decking

Offering a clean surface appearance, Style Selections composite decking is slotted along the edge to accommodate a self-gapping fastener clip. These fasteners may be installed from above the framework rather than from underneath the actual deck.

Available in lengths of 12 ft, 16 ft and 20 ft lengths with a slotted edge, Style Selections is also available in a solid edge board in a 8 ft length for use on stairs and trim around the perimeter of the deck.



Autumn Brown

Fieldstone Gray

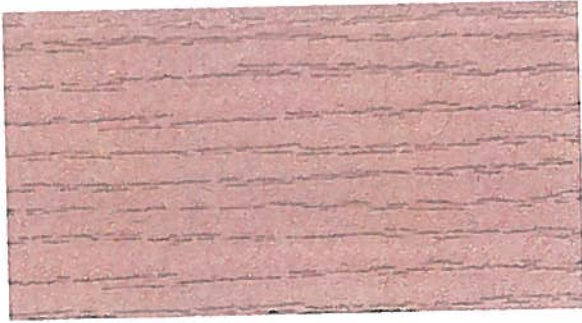
Sienna Red

Fascia

Style Selections fascia is available in 1/2 in x 11-1/4 in x 12 ft to match all decking colors. Decorative fascia is used to conceal the decking understructure; it is not intended for structural use. Made using the same cap stock and Strandex[®] technology as Style Selections composite decking, the matching fascia colors eliminate the need to paint or stain the wood understructure. Fascia can be also used to wrap oversized posts.

25 YEAR
stain&fade
25 YEAR
structural
LIMITED WARRANTY

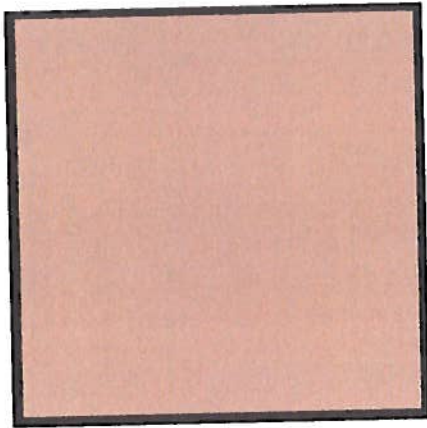
styleselections™



Style Selections composite decking-
manufacturer's color: **Natural Brown**

Color selected for porch flooring at 812 Jessamine St

51



Craftsman Brown SW# 2835

(pg 61 Old & Historic Districts of Richmond, Virginia Handbook
and Design Review Guidelines)



**Natural Brown color
decking installed (example)**

Installation Guidelines

Before You Begin

Please read the following guidelines before attempting to build the deck. For best results, follow these tips, paying close attention to gapping, spacing and fastener requirements. Color variation is a distinct feature of Style Selections composite decking and is not covered by warranty. Each board has a unique appearance and should be arranged according to the end user's preference. Prior to construction, check with your local regulatory agency for special code requirements in your area.

Tools Required

- Cordless drill driver
- Circular saw
- White or yellow removable chalk
- Chalk line
- Carpenter's square
- Tape measure
- Safety glasses

Joist Span

- 16 in on-center joist spacing for installation perpendicular to the joist.
- 12 in on-center joist spacing for installation diagonal to the joist.
- 8 in on-center joist spacing for stair treads spanning three stringers.

Side Gapping

- 1/4 in between boards.

End-to-End Spacing

- Allow a minimum of 1/16 in gap between board ends for every 20°F of difference between installation temperature and the hottest temperature expected (see Figure 1).
- Additional blocking may be needed for support (see Figure 2).
- Allow 1/4 in between all decking material and any permanent structure or post.

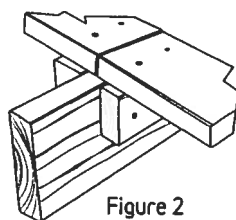


Figure 2

Temperature °F on day of installation	Warmest annual temperature °F expected in region													
	45	50	55	60	65	70	75	80	85	90	95	100		
45														
50	1/8													
55		1/8												
60			1/8											
65				1/8										
70					1/8									
75						1/8								
80							1/8							
85								1/8						
90									1/8					
95										1/8				
100											1/8			
105												1/8		
110													1/8	
115														1/8

Figure 1

Ventilation

- Allow 2 in clear space between the bottom edge of the decking understructure and the surface underneath the deck.
- Adequate drainage is also needed to prevent water from pooling under the deck.

Choosing a Fastener

Hidden Fastener Systems

For appearance and ease of installation, a hidden fastener that fits into the .160 in slot on each side of the deck board is recommended. This minimizes pre-drilling and provides a fastener-free deck surface. Follow manufacturer's guidelines for installing decking using a hidden fastener system.

Traditional Fasteners

- For traditional face screw fasteners, 2-1/2 in corrosion-resistant composite deck screws are recommended. These screws help minimize the common "mushroom" effect that sometimes occurs when using standard fasteners. They can also reduce the amount of pre-drilling and countersinking.
- Pre-drill and countersink all deck screws that are within 1-1/2 in of the end of the deck board.
- Screws should be driven flush with the deck surface using a drill driver.
- Do not overtighten.
- For any decking where two boards meet end-to-end over a joist, add additional blocking.
- Apply these same principles when installing stair treads.

Installing Boards

- Deck boards are intended to be installed embossed side up.
- Install from the outside edge of the deck and work toward the house or structure.
- The ends of the boards must fall on a joist. Always add blocking at end joints (see Figure 2).
- Always install traditional fasteners perpendicular to board surface and drive flush. Do not overtighten or splitting and mushrooming may occur.

Trimming Ends

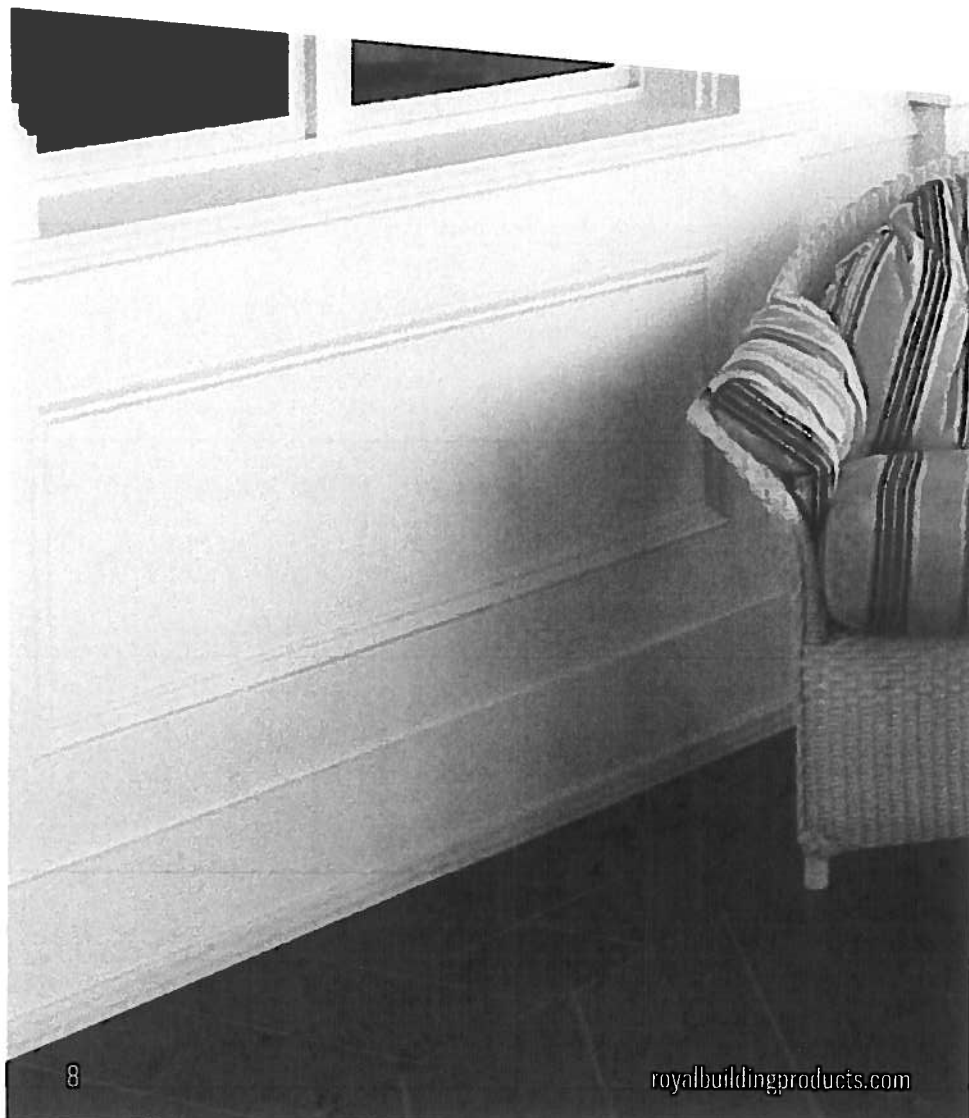
After all of the decking has been secured, snap a chalk line flush with or up to 1-1/2 in out from the deck framing, and trim with a circular saw.

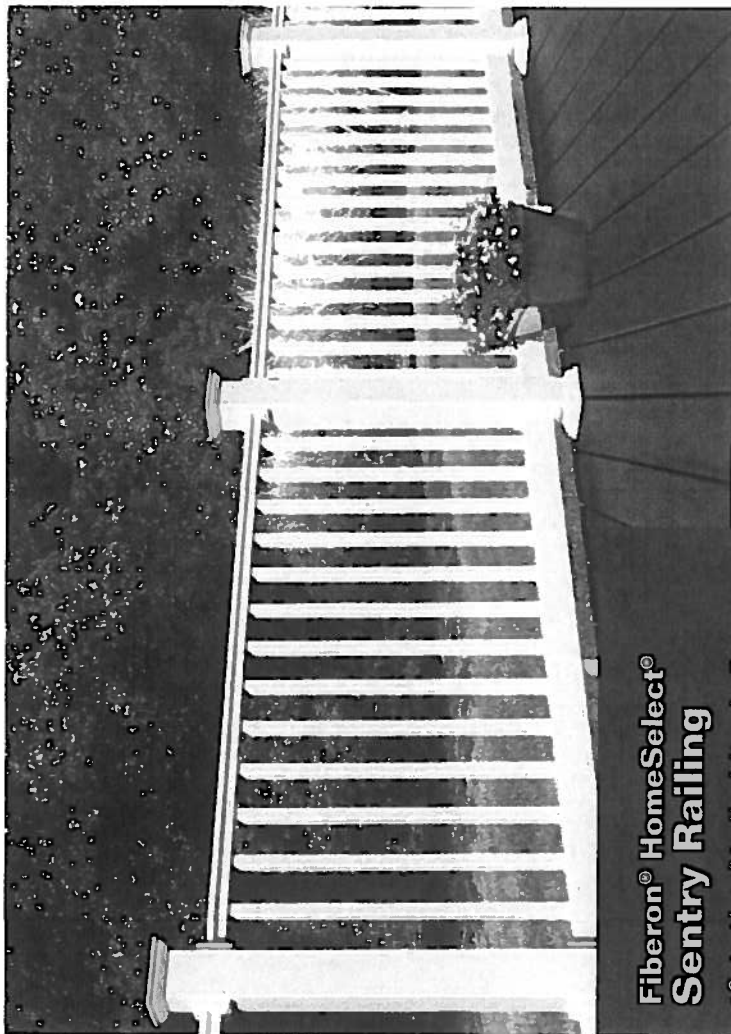
Fascia

- Fasten the fascia from one end to the other or from the center out to each end. Never fasten the fascia from both ends to the center.
- Pre-drill and attach fascia to the rim joist using three screws evenly spaced vertically. Repeat every 16 in on-center.
- Leave 1/8 in space between the fascia ends where two pieces meet or wherever a piece meets a solid surface (i.e., a corner or a building wall) to allow for expansion of the material.

AVAILABLE SIZES

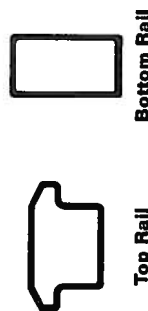
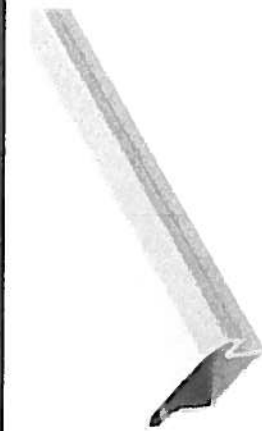
NOMINAL WIDTH	ACTUAL DIMENSIONS	PROFILE NUMBER	PIECES PER UNIT	ACTUAL LENGTH
3/8 THICKNESS				
3/8" x 4'	3/8" x 48"	2878	32	8', 10', 12', 18', 20'
1/2 THICKNESS				
1/2" x 4'	1/2" x 48"	2871	24	8', 10', 12', 18', 20'
5/8 THICKNESS				
5/8" x 4'	5/8" x 48"	2838	19	8', 10', 12', 18', 20'
4/4 THICKNESS				
1" x 4'	3/4" x 48"	2837	16	8', 10', 12', 18', 20'
5/4 THICKNESS				
5/4" x 4'	1" x 48"	2864	12	8', 10', 12', 18', 20'





Fiberon® HomeSelect® Sentry Railing

- Sentry rails are a flat and beveled top rail profile.
- Fiberon HomeSelect is a strong, low-maintenance composite railing system. Easy to install. Permanent finish never needs staining or painting. Great for decks, porches and patios.
- Package includes 6-ft. factory-size 1.75-in. top and bottom rail that can be used in a horizontal or vertical stair application. Maximum post spacing center-to-center is 76-in using 4-in x 4-in post inserts.
- Brackets required for installation (sold separately). For non-stair application use Lowe's Item #44292. For a stair application, use Lowe's Item #44292. For a baluster inserts and collars (sold separately).
- Complete your Sentry railing system with a wide range of Fiberon HomeSelect railings are designed to meet national building code requirements for residential applications.
- Stair Brackets work for 37-36 degree slopes.
- Angle Brackets work for 45 degree angles.



Note: Printed color swatches are for reference only. Due to variances in offset and digital printing, actual product colors may vary.

SOS Item Number	Sections & Accessories Description	Vendor Model #	Lowe's Everyday Low Price
445589	6-ft White Sentry Top and Bottom Rail	RL PK 72IN SENTRY WH	\$38.55
442921	2-Pack White Sentry Rail Brackets	BKT SEN 2 PK WH	\$18.46
442922	2-Pack White Sentry Star Brackets	BKT SEN ST 2 PK WH	\$20.32
387083	2-Pack White Natural Angle Bracket	BKT ANGLE 2 PK WHITE	\$43.03
447387	5-Pack 3.5-in White Square Baluster	BAL SQ 3.5 5PK WH	\$21.12
447391	5-Pack 3.5-in White Square Baluster	BAL SQ 3.5 5PK WH	\$22.86
445569	30-Pack White Star Square Baluster Insert	BAL TURNED 34 5PK WH	\$30.56
445566	30-Pack Black Star Square Baluster Insert	BAL 12 AD SQ ST 30 BL	\$24.00
458827	30-Pack Black Star Round Baluster Insert	BAL 12 AD RD LN 30 BL	\$18.20
458741	30-Pack Black Star Round Baluster Insert	BAL 12 AD RD ST 30 BL	\$20.80
445553	4-in x 4-in x 48-in White Post Sleeve	POST SILV COMP 48 WH	\$31.05
445546	4-in x 4-in x 8-ft 4-in White Post Sleeve	POST SILV COMP 100 WH	\$61.25
446443	Post Sleeve Surface Mount Kit	BKT-POST-SLV-MT-L	\$55.50
442881	White Bevel Post Sleeve Cap	CAP BEVEL 4 WH	\$3.00
442878	White New England Post Sleeve Cap	CAP N E 4 WH	\$6.00
447380	White Post Sleeve Collar	POST SILV MLDG 4 WH	\$4.52



CANCELLATION POLICY: PLEASE CONTACT FIBER COMPOSITES, LLC FOR ORDER CANCELLATION. ORDERS CAN BE CANCELED UP TO 48 HOURS FROM SUBMISSION OF ORDER. FIBER COMPOSITES, LLC WILL MAKE EVERY EFFORT TO CANCEL AN ORDER IF THE ORDER HAS NOT SHIPPED OR BEEN STAGED FOR SHIPMENT.



Round balusters require inserts for rail applications

Round baluster inserts made for use with Decorsion® 32-in Aluminum Classic Balusters (Available at Lowe's) not sold by Fiberon



Round Rail Baluster Insert



Square & round balusters require inserts for stair applications

Round baluster inserts made for use with Decorsion® 32-in Aluminum Classic Balusters (Available at Lowe's) not sold by Fiberon



Square Stair Baluster Insert



Round Stair Baluster Insert

For the most up-to-date information and specifications, visit www.fiberonhomeselect.com or 1-800-315-7528.



Why Choose Fiberon HomeSelect Premium Composite Railing?

Fiberon is an innovation leader in the manufacture and development of wood-alternative decking and railing products. Since its inception in 1997, Fiberon has continued to advance the technology of providing homeowners with products that are both beautiful and durable. Fiberon decking and railing systems have achieved an unequalled reputation for quality performance while presenting homeowners with a wide variety of design choices, colors and grain patterns. Fiberon is dedicated to offering the best and widest selection of products in the business.

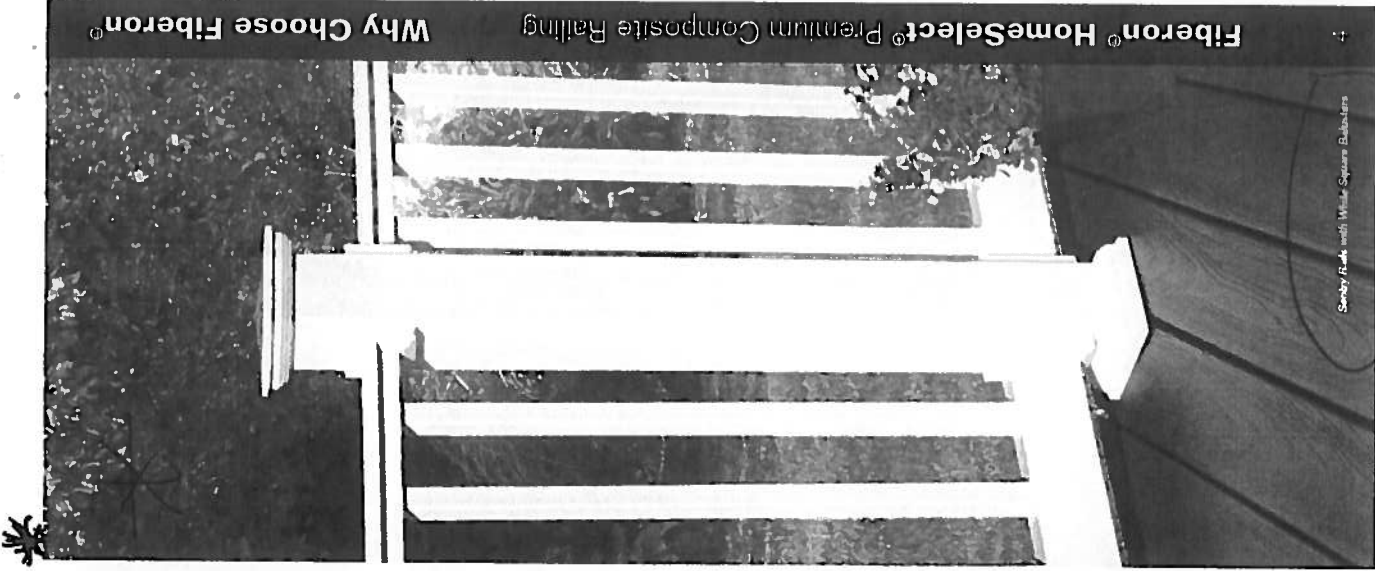
Sustainable Products that Save Natural Resources

Fiberon responds to the growing public concern for environmental conservation by offering consumers durable product options that save natural resources, produced in a virtually waste-free manufacturing process. From raw material sourcing to homeowner maintenance, Fiberon outdoor living products incorporate the following sustainable practices and benefits:

- Made from locally-sourced, recycled materials - Up to 74% recycled content
- Produced in an energy efficient, virtually waste-free manufacturing process
- Contributes to high performance green buildings
- Safe for your home and for the environment
- Sustainable—durable performance year after year

fiberon

HomeSelect.
Premium Composite Railing



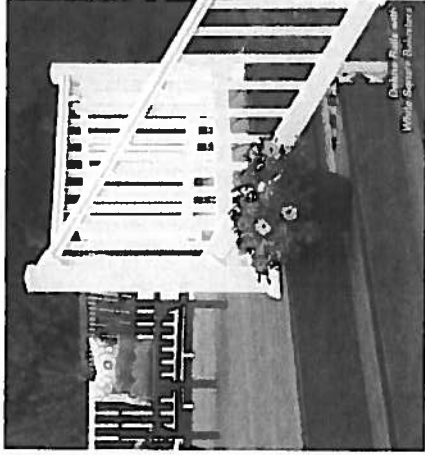
Why Choose Fiberon®

Fiberon® HomeSelect® Premium Composite Railing

Seneca Rail with White Square Balusters



Classic Rail in Midnight Black with Square Balusters



Classic Rail with White Square Balusters



Charcoal Brown Glaze Rail with Square Balusters



Natural Rails in Mahogany with Black Square Balusters

Natural Rail



Natural 6-ft Mahogany #446586



Natural Rail Brackets Black #118791 White #517796



Natural Stair Brackets Black #445572 White #517795



Natural Angle Brackets Black #478191 White #367083

Classic Rail



Classic 6-ft White #446593



Classic 6-ft Midnight Black #774179 Chestnut Brown #774169



Classic Rail Brackets White #442923



Classic Rail Brackets Midnight Black #774177



Classic Rail Brackets Chestnut Brown #774173



Classic Stair Brackets White #446439



Classic Stair Brackets Midnight Black #774178



Classic Stair Brackets Chestnut Brown #774174

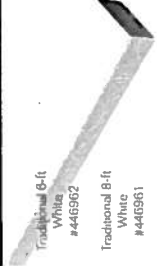


Classic Angle Brackets White #367083



Classic Angle Brackets Black #478191

Traditional Rail



Traditional 6-ft White #446592



Traditional 8-ft White #446591



Traditional Rail Brackets White #446596



Traditional Stair Brackets White #445454



Traditional Angle Brackets White #445454

Deluxe Rail



Deluxe 6-ft White #446449



Deluxe 8-ft White #517814



Deluxe Rail Brackets White #446985



Deluxe Stair Brackets White #446438



Deluxe Angle Brackets White #446438

Sentry Rail



Sentry 6-ft White #446588



Sentry Rail Brackets White #442921



Sentry Stair Brackets White #442922



Sentry Angle Brackets White #367083

Rail Accessories: Balusters Sold in 5 packs



White Square Balusters 33 1/2-in #447387 38-in #447391



Turned Balusters White (only) 34-in #447386



Midnight Black Square Balusters 33 1/2-in #447389 38-in #442919



Chestnut Brown Square Balusters 33 1/2-in #774171 38-in #774172

Rail Accessories: Inserts 3 pa.



White Stair Square Baluster Inserts #445569



Midnight Black Stair Square Baluster Inserts #445566



Chestnut Brown Stair Square Baluster Inserts #719375



Black Rail Round Baluster Inserts #459627



Black Stair Round Baluster Inserts #459741

Made for use with DecloraBery® 22 in Round Aluminum Classic Balusters - Available at Lowe's, not sold by Fiberon

Rail Accessories: Post Cap



White Bevel Post Cap #442881



White New England Post Cap #442878



Midnight Black Harbour Post Cap #21595



Chestnut Brown Harbour Post Cap #774175

Rail Accessories: Post Collars



White Post Collar #441380



Black Post Collar #447373



Chestnut Brown Post Collar #774176

Rail Accessories: Post Sleeves and Surface Mount Bracket



White Post Sleeve 4-in x 4-in x 48-in #445553 White (only) 4-in x 4-in x 8-ft 4-in #445546



Midnight Black Post Sleeve 4-in x 4-in x 48-in #475436



Chestnut Brown Post Sleeve 4-in x 4-in x 48-in #774170



Mahogany Post Sleeve 4-in x 4-in x 48-in #24180



Post Sleeve Surface Mount (Installs on concrete or wood surfaces) #446443

Rail Accessories: Post Sleeves



White 6-ft ClearVisionSystem® Channels & Gaskets (Panels sold separately) #478193



Black 6-ft ClearVisionSystem® Channels & Gaskets (Panels sold separately) #478195



ClearVisionSystem® Panel 28 5-in x 65-in x .205-in #478194

ClearVisionSystem Acrylic Panels are approved only for use on deck heights below 30-in