



PROJECT CONTACTS:

DEVELOPER:
NEST BUILDERS
CONTACT- AMANDA SEIBERT
804-698-9142

ARCHITECT:
CHRIS WOLF
CHRIS WOLF ARCHITECTURE, PLLC
804-514-7644

SPECIAL USE PERMIT FOR TWO NEW 2-STORY ATTACHED TWO-FAMILY HOUSES
IN RICHMOND'S BLACKWELL NEIGHBORHOOD

109 E. 17TH STREET DUPLEXES

109 EAST 17TH STREET
RICHMOND, VIRGINIA 23224

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A2.1	FRONT ELEVATION & EXTERIOR FINISH SCHEDULE
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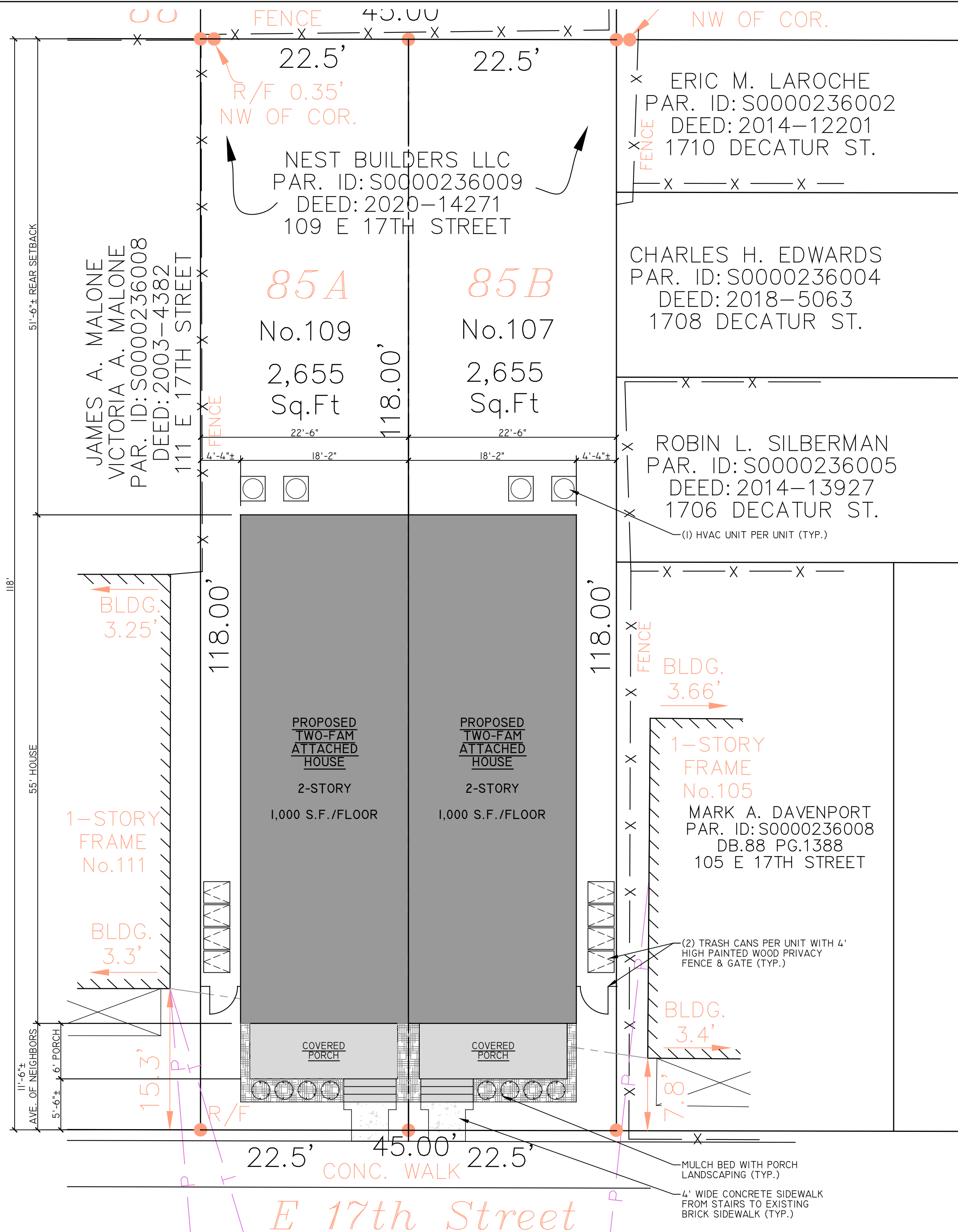


SET/REVISION:
INITIAL S.U.P. SUBMITTAL

DATE/MARK:
03.30.2022

COVER SHEET

CS



JAMES A. MALONE
VICTORIA A. MALONE
PAR. ID: S0000236008
DEED: 2003-4382
111 E 17TH STREET

85A
No. 109
2,655
Sq. Ft

85B
No. 107
2,655
Sq. Ft

CHARLES H. EDWARDS
PAR. ID: S0000236004
DEED: 2018-5063
1708 DECATUR ST.

ROBIN L. SILBERMAN
PAR. ID: S0000236005
DEED: 2014-13927
1706 DECATUR ST.

MARK A. DAVENPORT
PAR. ID: S0000236008
DB. 88 PG. 1388
105 E 17TH STREET

22.5' 45.00' 22.5'
CONC. WALK

E 17th Street

51'-6"± REAR SETBACK

118.00'

55' HOUSE

11'-6"± AVE. OF NEIGHBORS
5'-6"± PORCH

MULCH BED WITH PORCH LANDSCAPING (TYP.)

4' WIDE CONCRETE SIDEWALK FROM STAIRS TO EXISTING BRICK SIDEWALK (TYP.)

(1) HVAC UNIT PER UNIT (TYP.)

(2) TRASH CANS PER UNIT WITH 4' HIGH PAINTED WOOD PRIVACY FENCE & GATE (TYP.)

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ARCHITECTURAL
SITE PLAN

CI.I



GENERAL FLOOR PLAN NOTES:

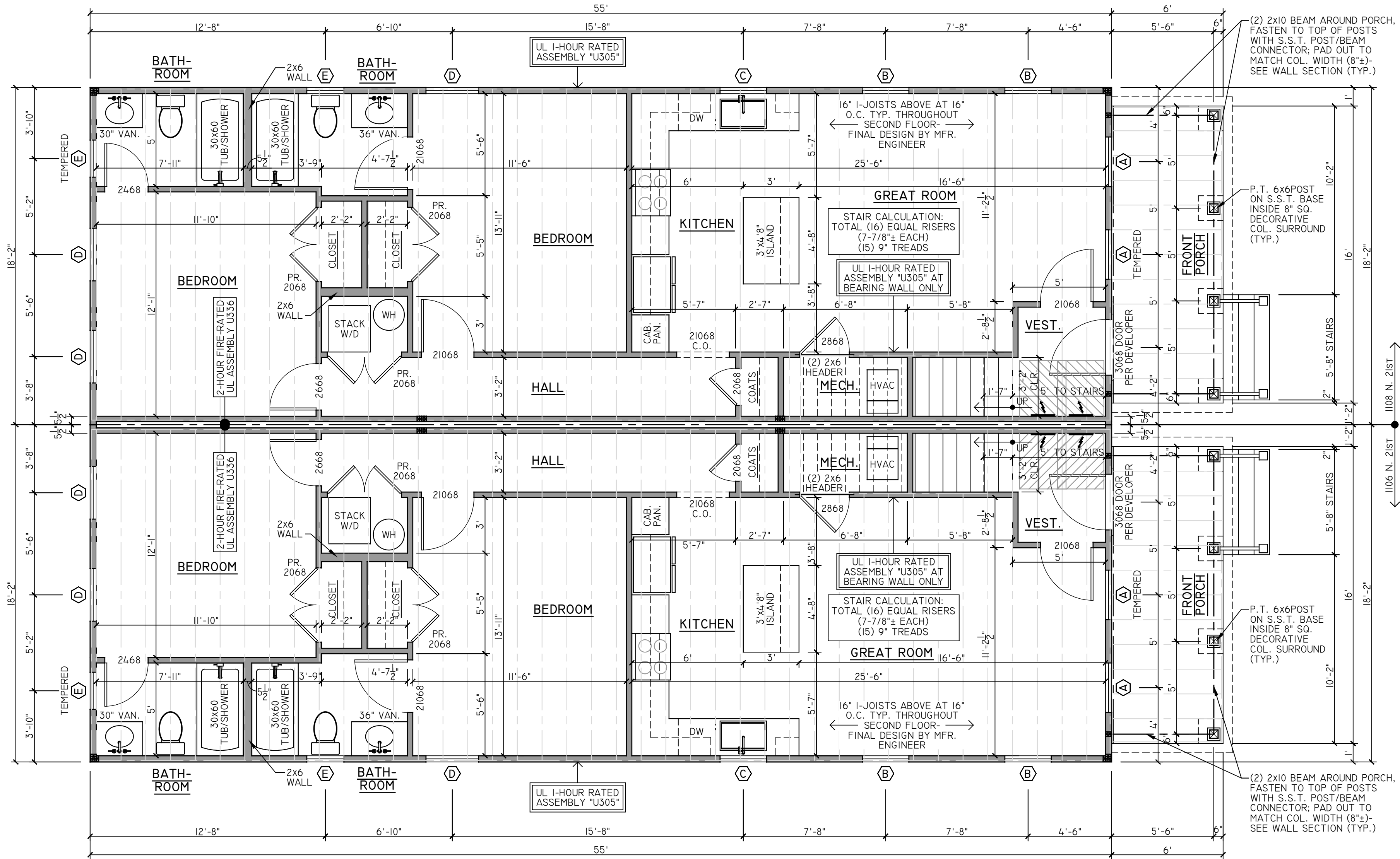
- SEE SPECIFICATIONS AND GENERAL STRUCTURAL REQUIREMENTS ON COVER SHEET (CS) FOR FURTHER INFORMATION.
- EXTERIOR DIMENSIONS TO OUTSIDE OF FOUNDATION/SHEATHING OR CENTER UNLESS NOTED OTHERWISE.
- INTERIOR DIMENSIONS TO FACE OF STUD UNLESS NOTED OTHERWISE.
- EXTERIOR STUD WALLS DRAWN/DIMENSIONED AS 4" (STUD+SHEATHING). INTERIOR WALLS DRAWN/DIMENSIONED AS 3-1/2" THICK (STUD ONLY).
- ALL WALLS SHALL BE 2x4 STUDS AT 16" O.C. WITH (1) 2x4 BOTTOM PLATE & (2) 2x4 TOP PLATES UNLESS NOTED OTHERWISE.
- PROVIDE BLOCKING FOR PLUMBING FIXTURES, CABINETS, MECHANICAL SYSTEMS, ETC. AS REQUIRED. G.C. COORDINATE.
- INTERIOR DOOR LOCATIONS GENERALLY CENTERED. DOORS LOCATED AGAINST ADJACENT WALL NOT DIMENSIONED G.C. COORDINATE WITH SELECTED CASING.
- ALL WINDOWS & DOORS IN BEARING WALLS (ALL EXT. WALLS) SHALL HAVE MIN. (2) JACK STUDS & (2) 2x6 HEADER UNLESS NOTED OTHERWISE ON FLOOR PLANS.
- FIRE RATED EXTERIOR WALLS SHALL BE 1-HR RATED FROM FIRE EXPOSURE TO EITHER SIDE. CONSTRUCT PER UL ASSEMBLY. EXTERIOR SHEATHING SHALL BE 5/8" DENSGLASS GOLD OR SIMILAR.

WINDOW SCHEDULE (EACH HOUSE)

NO.	QTY.	SIZE (NOM.)	TYPE	REMARKS
A	02	2'8"x6'	S.H.	* (01) UNIT TEMPERED- SEE FLOOR PLANS FOR LOCATIONS
B	04	2'6"x2'6"	FIXED	
C	02	2'6"x4'	S.H.	VERIFY SIZE WITH COUNTER/CABINETS
D	06	2'10"x5'6"	S.H.	EGRESS WINDOW
E	04	2'x4'	S.H.	* (02) UNITS TEMPERED- SEE FLOOR PLANS FOR LOCATIONS
F	02	2'8"x5'6"	S.H.	

WINDOW NOTES:

- G.C. SHALL VERIFY ALL WINDOW SCHEDULE INFORMATION PRIOR TO ORDERING WINDOWS OR FRAMING.
- SEE CONSTRUCTION NOTES FOR ADDITIONAL SPECIFICATIONS.
- ALL WINDOW SIZES NOMINAL. G.C. VERIFY ACTUAL SIZES & FRAMING REQUIREMENTS WITH WINDOW MANUFACTURER.
- HEAD HEIGHTS NOMINAL. G.C. COORDINATE ACTUAL HEADER HEIGHT WITH WINDOW ROUGH OPENING & INSTALLATION REQUIREMENTS.
- ALL WINDOWS & DOORS SHALL BE INSTALLED PER TYVEK STANDARD INSTALLATION INSTRUCTIONS.
- FLASH TOPS OF ALL WINDOWS & DOORS.
- WINDOWS REQUIRED FOR EMERGENCY EGRESS SHALL MEET THE REQUIREMENTS OF IRC R310.1, GENERALLY 20" MIN. CLEAR WIDTH, 24" MIN. CLEAR HEIGHT, & MIN. 5.7 S.F. NET CLEAR OPENING. G.C. VERIFY WITH MANUFACTURER & NOTIFY ARCHITECTS OF DISCREPANCIES PRIOR TO ORDERING OR FRAMING.
- NO SECOND FLOOR WINDOW GLAZING SHALL BE WITHIN 18" OF FINISH FLOOR.
- G.C. CONSULT DEVELOPER FOR WINDOW COLOR.



01 | FIRST FLOOR PLAN

1/4" = 1'

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FIRST FLOOR PLANS

AI.I

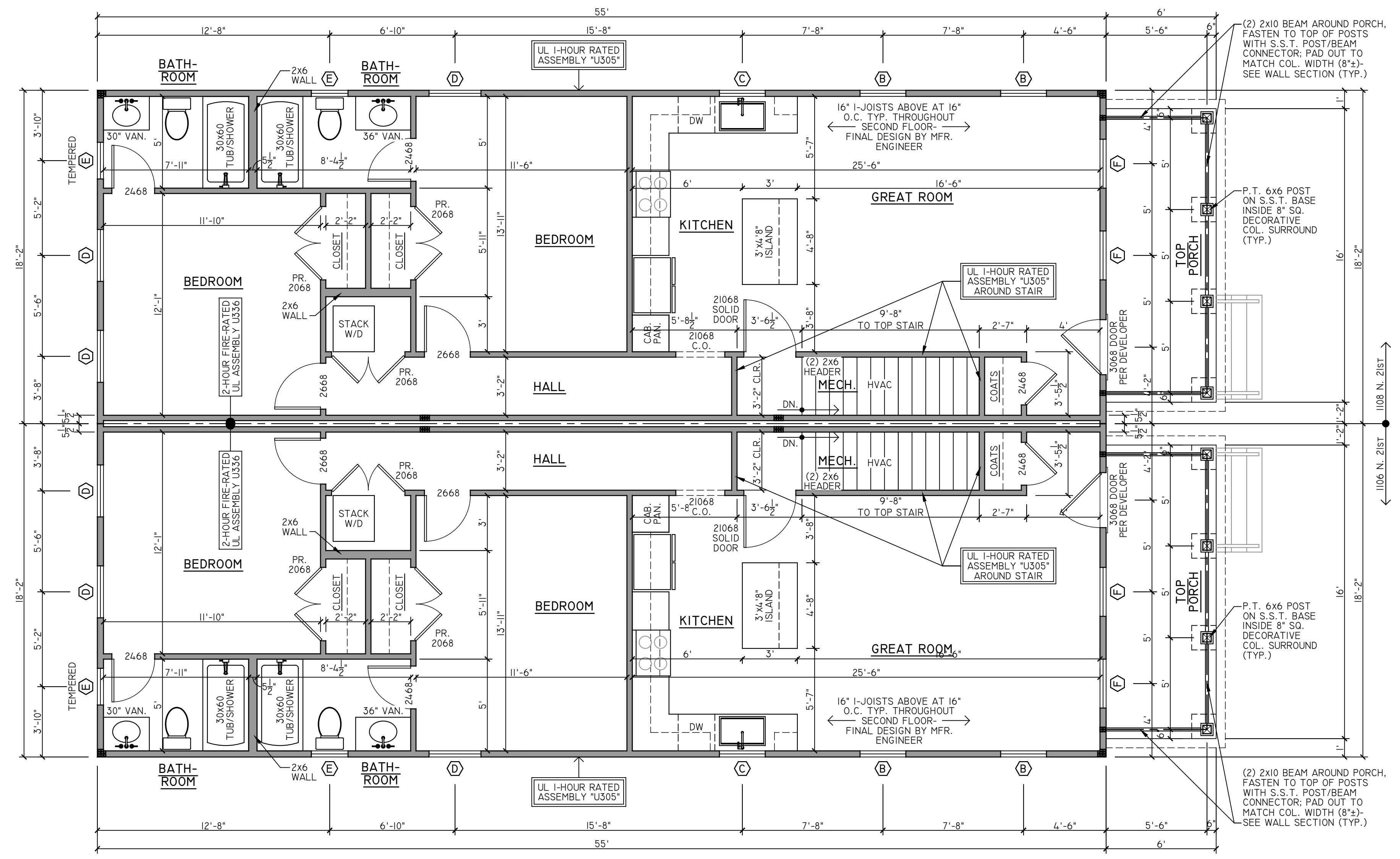
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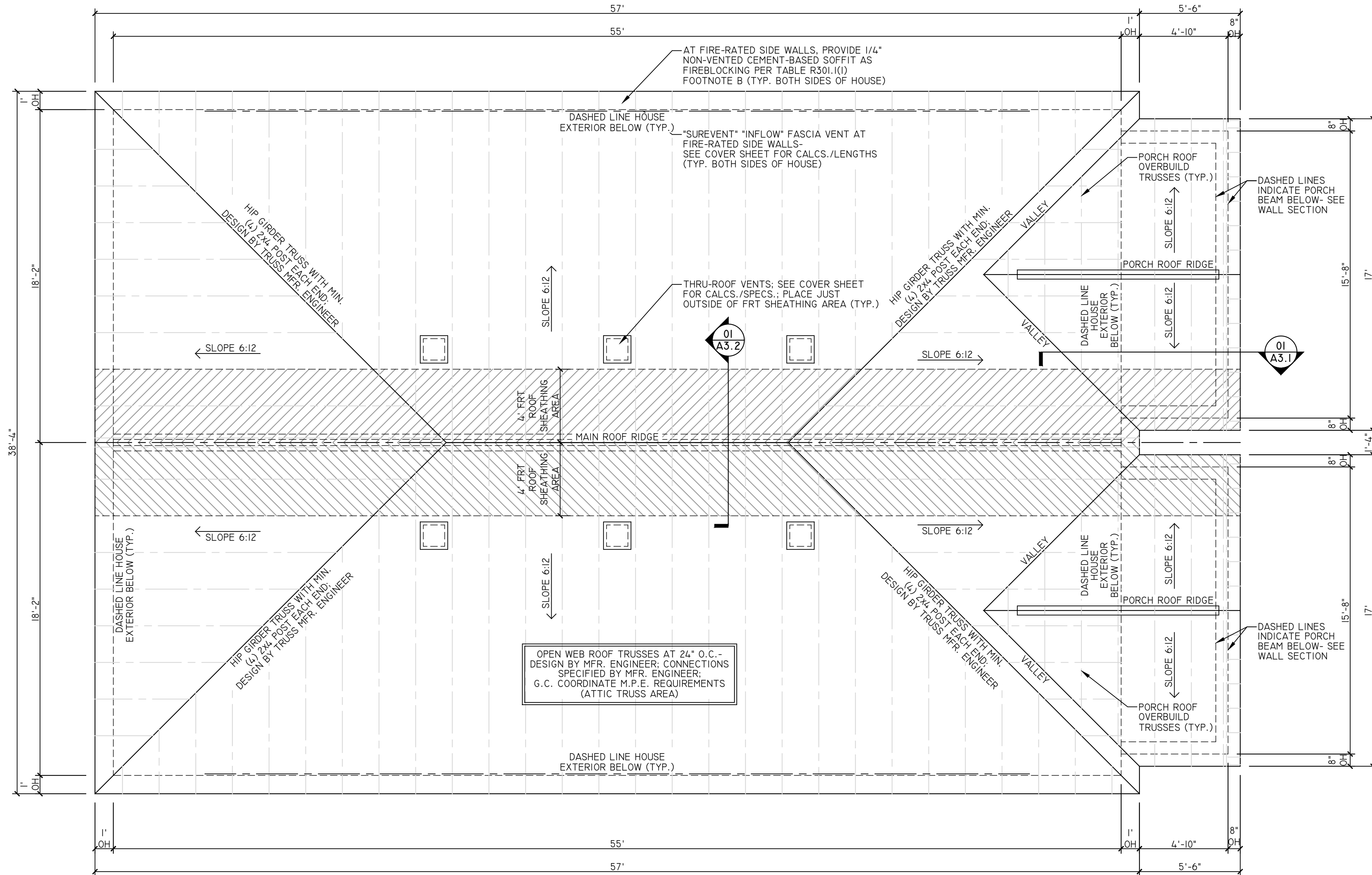
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SECOND FLOOR PLANS
AI.2



01 | SECOND FLOOR PLANS
 1/4" = 1"

- GENERAL ROOF PLAN NOTES:
1. SEE COVER SHEET FOR ATTIC VENTING REQUIREMENTS.
 2. PLACE ROOF PENETRATIONS (EXHAUSTS, VENT STACKS, ETC.) IN LEAST VISIBLE AREAS PRACTICAL.
 3. ALL ROOFS SHINGLES OVER ROOFING FELT PER DEVELOPER SPECIFICATION.
 4. INSTALL ROOFING, UNDERLAYMENT, EDGING, AND PENETRATIONS PER THESE DRAWINGS AND MANUFACTURER INSTALLATION DETAILS.
 5. PROVIDE MIN. 36" ICE/WATER SHIELD AT ALL ROOF EDGES & VALLEYS & ALUMINUM DRIP EDGE AT ALL EDGES.
 6. PROVIDE ALUMINUM GUTTERS & DOWNSPOUTS TO COLLECT & REMOVE ALL ROOF WATER AND DISPERSE OUT AWAY FROM HOUSE FOUNDATION; SEE ELEVATIONS FOR LOCATIONS.
 7. ROOF DIMENSIONS GENERALLY INCLUDE 2x SUB-FASCIA.
 8. FINAL TRUSS DESIGN BY TRUSS MFR. ENGINEER, TO BE APPROVED BY ARCHITECT.



01 | ROOF PLAN
1/4" = 1'

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ROOF PLAN
AI.3



01 | FRONT ELEVATION
1/4" = 1'

NO.	COMPONENT/MATERIAL	COLOR/FINISH
01	FOUNDATION & PORCH PIERS - PARGED BLOCK	GRAY/BLACK
02	HARDIEPLANK LAP SIDING	1106 GRAY, 1108 ARCTIC WHITE
03	SHINGLE SIDING	1106 ARCTIC WHITE, 1108 GRAY
04	SYNTHETIC TRIM	SMOOTH, PAINTED WHITE
05	SYNTHETIC-WRAPPED DROPPED BEAMS	PAINTED WHITE
06	VINYL SOFFIT	FACTORY WHITE
07	PARTIAL GLASS ENTRY DOOR	PAINT COLOR DIAGRAMMATIC ONLY, FINAL SELECTION PER DEVELOPER
08	VINYL WINDOWS	WHITE
09	8" SQUARE PORCH COLUMNS	PAINTED WHITE
10	FRONT PORCH- SYNTH. WRAP STAIRS, COMP. DECKING	PAINTED- WHITE WRAP; GRAY DECKING
11	PORCH RAILINGS - WOOD "RICHMOND" RAIL	PAINTED WHITE
12	ALUMINUM GUTTER & DOWNSPOUTS	PREFINISHED WHITE
13	MAIN ROOF- TPO	FACTORY WHITE
14	ASPHALT SHINGLE ROOFS	CHARCOAL GRAY

EXTERIOR FINISH NOTES:
 1. EXTERIOR ELEVATION NOTES ARE TYPICAL ACROSS ALL EXTERIOR ELEVATIONS UNLESS NOTED OTHERWISE.
 2. GRADES SHOWN APPROXIMATE. V.I.F.
 3. G.C. COORDINATE ALL MATERIALS/PRODUCT SELECTIONS WITH DEVELOPER.

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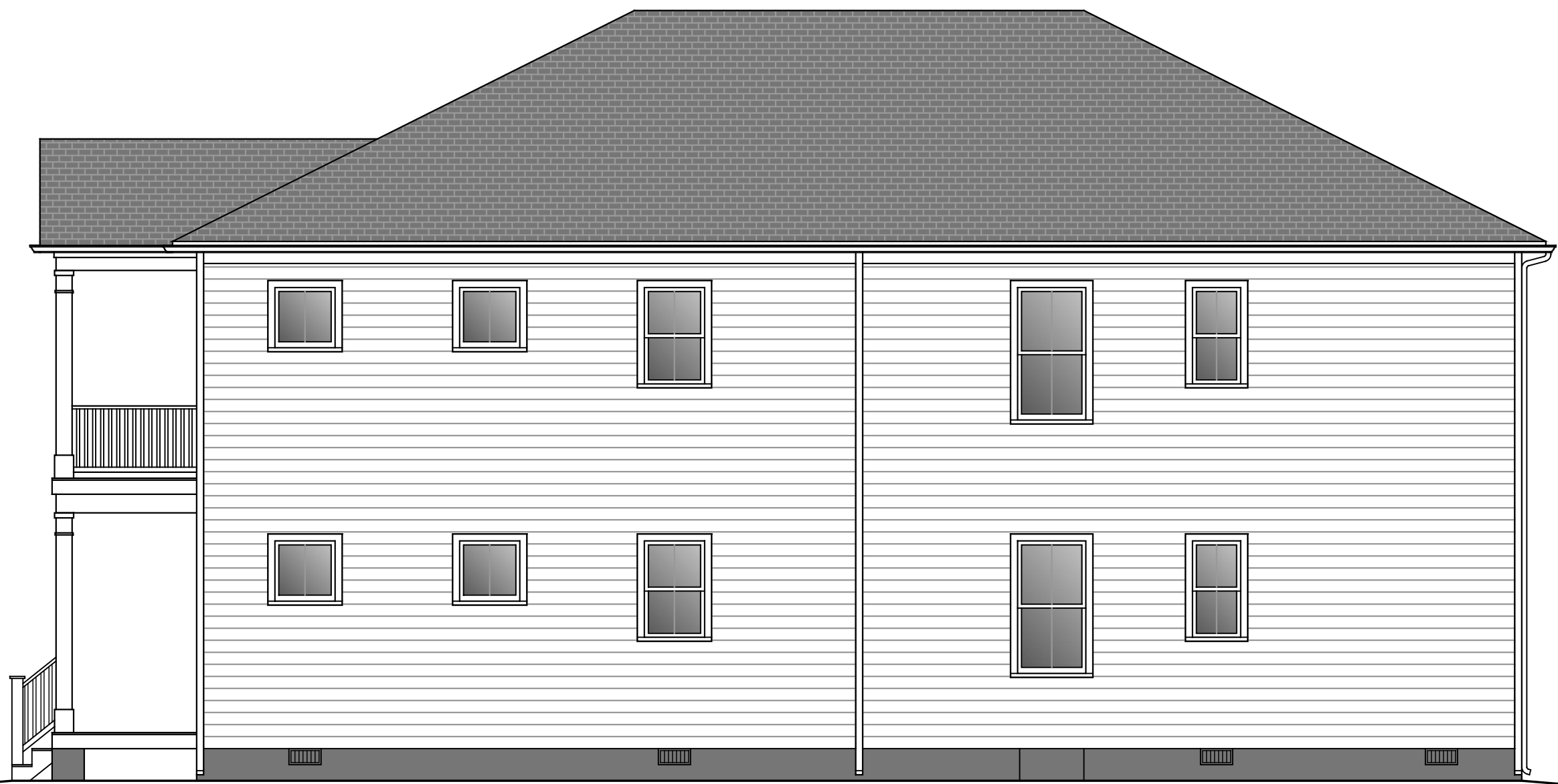
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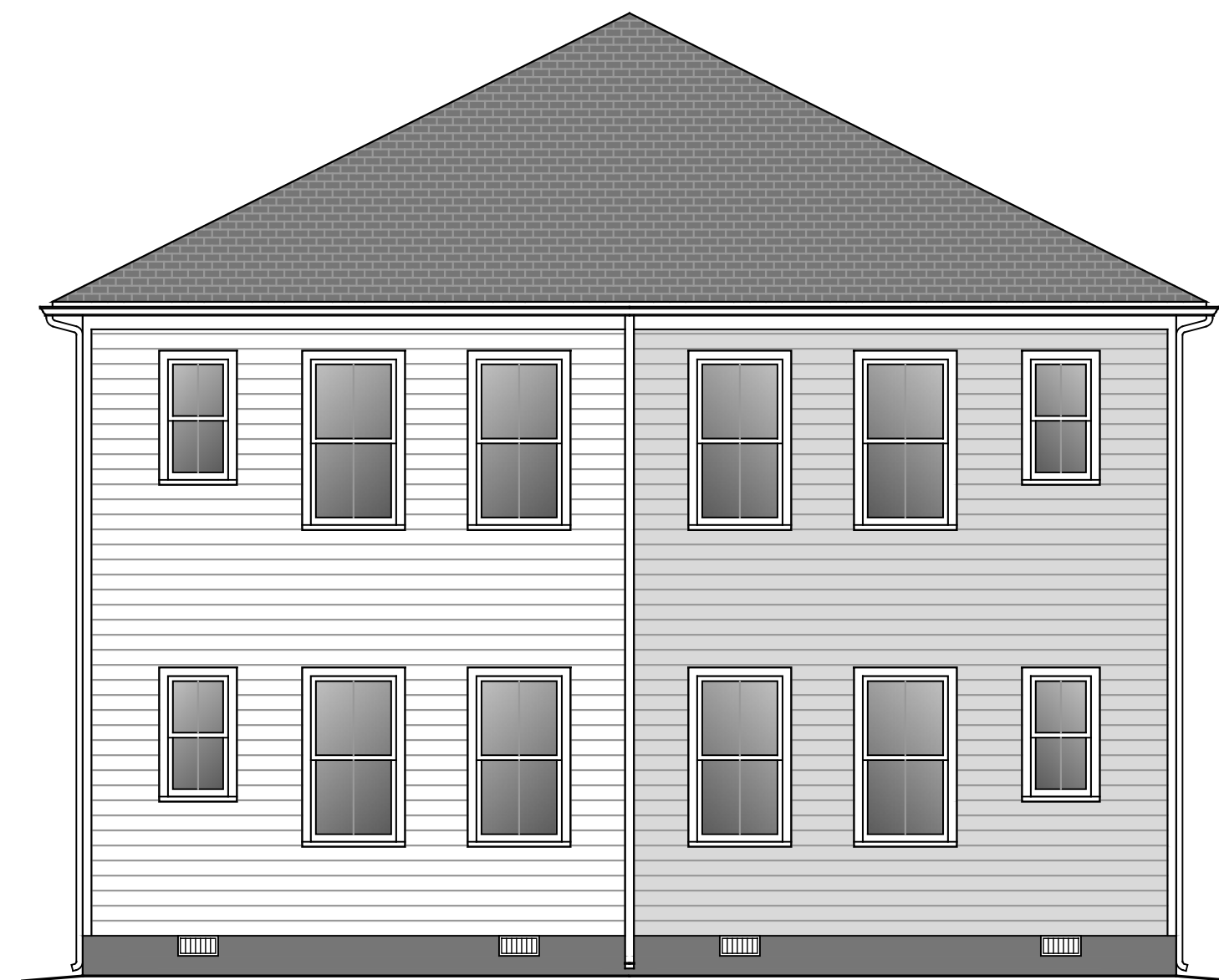
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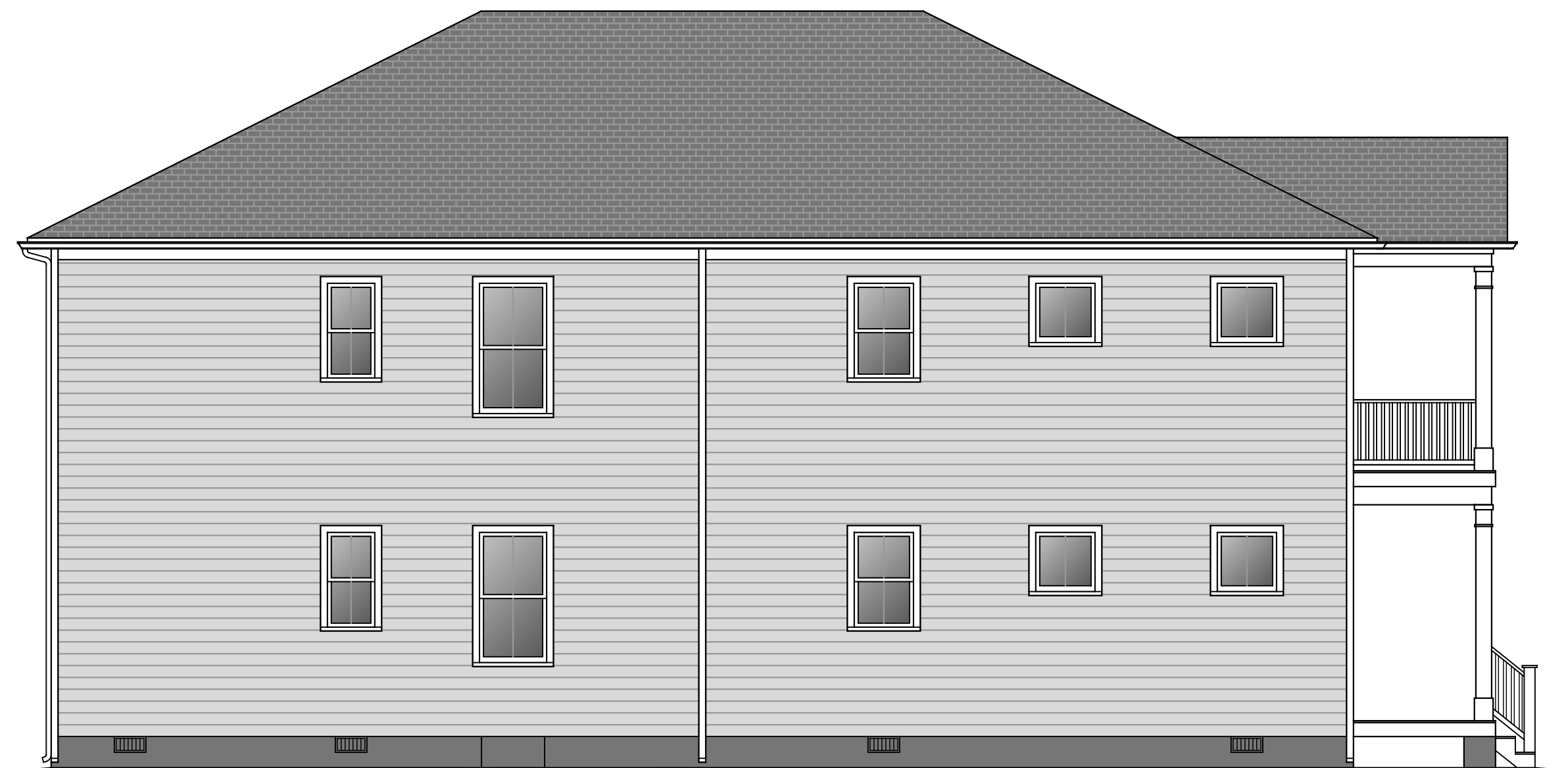
FRONT ELEVATION
A2.1



02 | RIGHT SIDE ELEVATION
 $\frac{3}{16}'' = 1'$



01 | REAR ELEVATION
 $\frac{3}{16}'' = 1'$



03 | LEFT SIDE ELEVATION
 $\frac{3}{16}'' = 1'$

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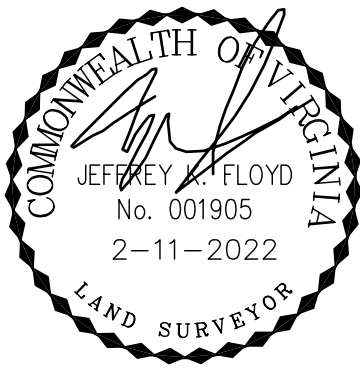
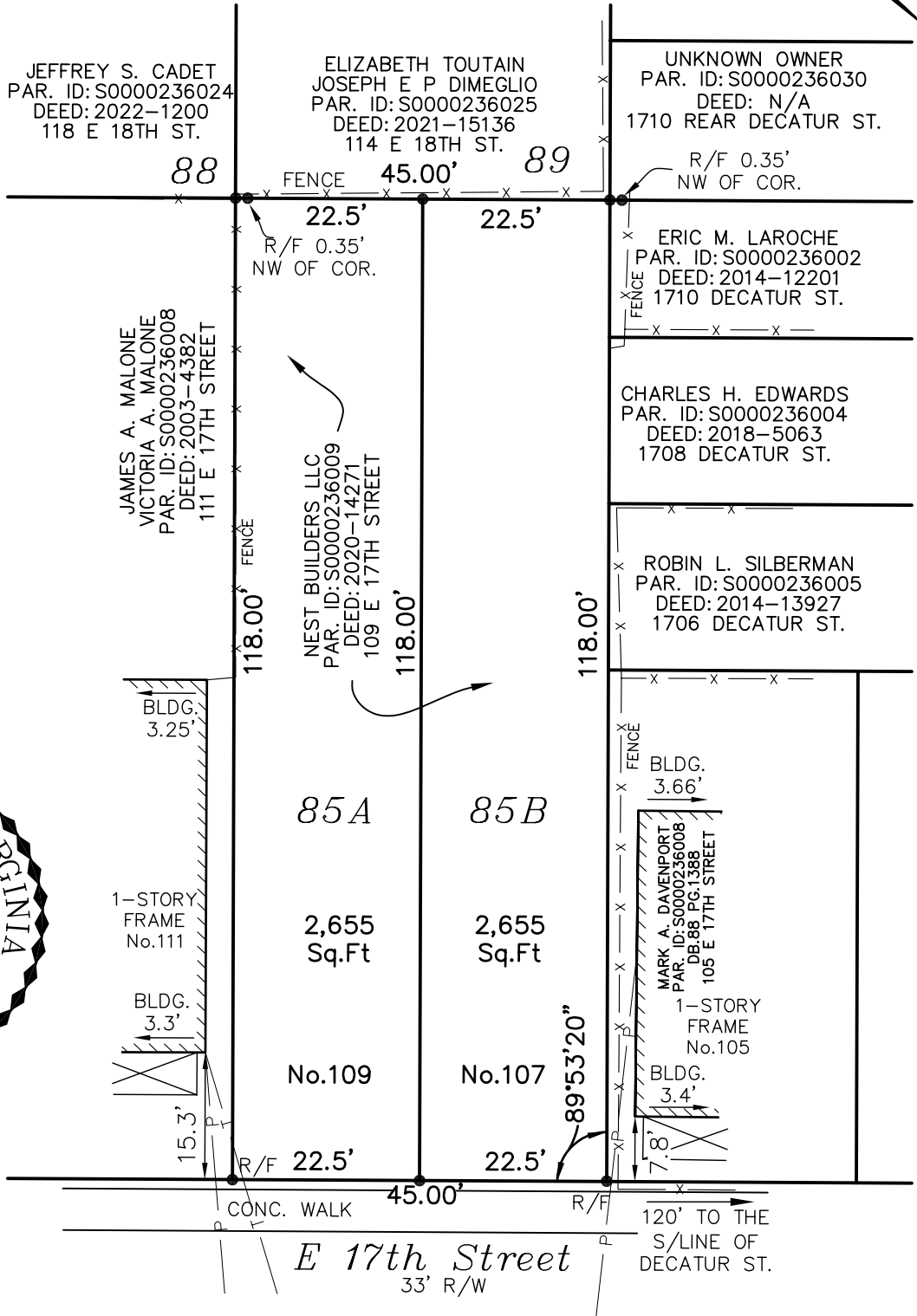
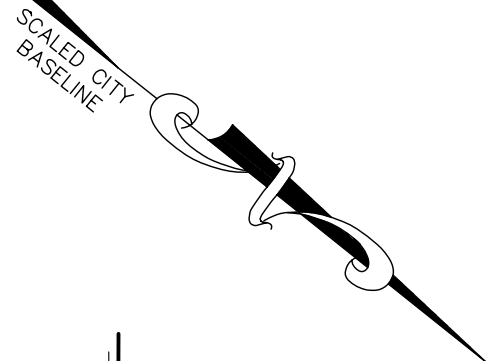
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REAR, LEFT, & RIGHT
 EXTERIOR ELEVATIONS

A2.2

This is to certify to the PURCHASER/OWNER shown hereon, and his TITLE INSURER and Lender, that on 2-11-2022 I made an Accurate survey of the premises shown hereon and that there are no easements or encroachments visible on the ground other than those shown hereon. This survey has been made without the benefit of a title search and is subject to any uses recorded and unrecorded and other pertinent facts in which a title search may disclose. Copies of this plat without the certifying surveyor's seal with an original signature are INVALID.



MAP SHOWING THE DIVISION OF LOT 85, BLOCK "E", "MARX ADDITION" IN THE CITY OF RICHMOND, VA.

Virginia Surveys
P.O. BOX 118
CHESTERFIELD, VA 23832
(804) 748-9481
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DATE: 2-11-2022
CERTIFIED BY JEFFREY K. FLOYD
VIRGINIA CERTIFICATE NO. 001905
SCALE: 1"=20'
JOB NO. 220114784