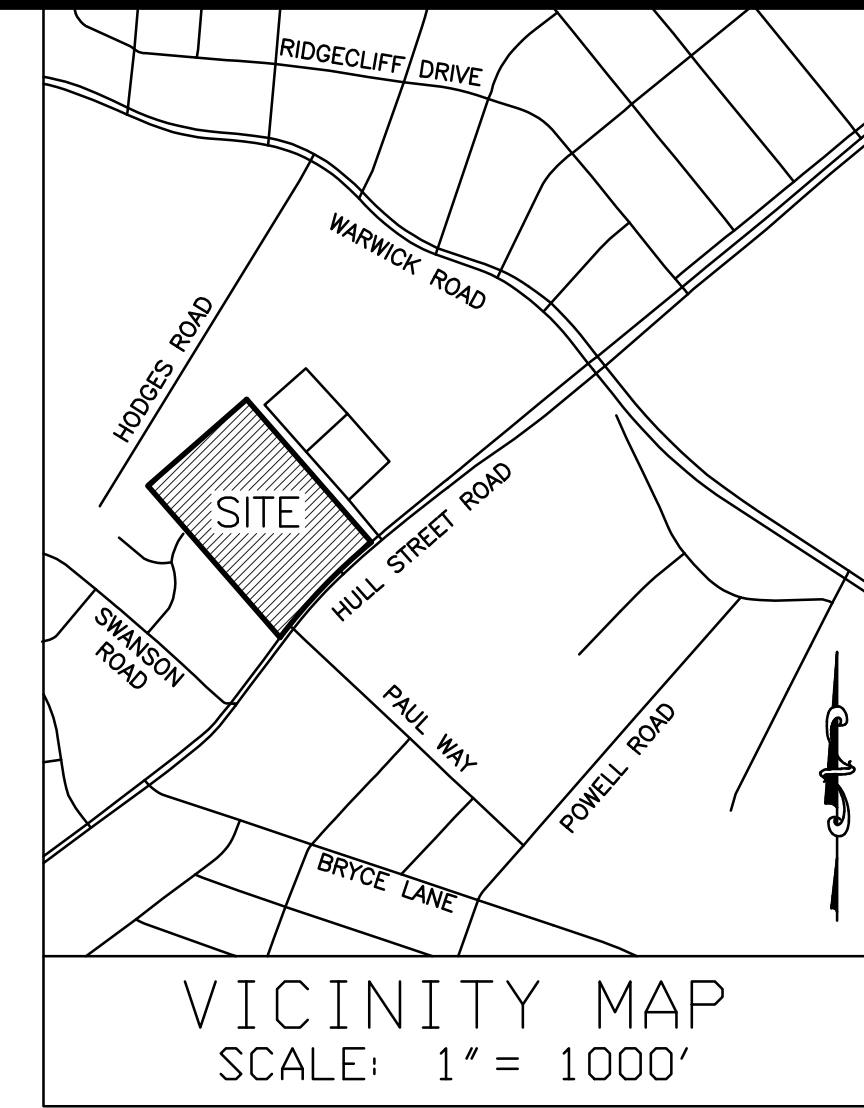
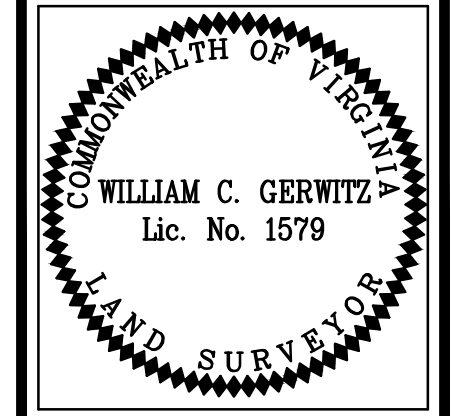


NO.	DATE	DESCRIPTION



MINIMUM BUILDING SETBACKS TO E'S FOR BUILDINGS IN EXCESS OF 35':  
 1' FOR EVERY 1' OF BUILDING HEIGHT

FOR RESIDENTIAL - 46' MAX HEIGHT  
 MINIMUM SETBACK 46'  
 PROVIDED 66'

FOR STORAGE - 55' MAX HEIGHT  
 MINIMUM SETBACK 55'  
 PROVIDED 59'

**COVERAGE CALCULATIONS:**

	BUILDING	AREA	
55+ HOUSING	2.525 AC	9.59 AC	26.3%
STORAGE	1.156 AC	2.60 AC	44.5%
<b>TOTAL</b>	<b>3.681 AC</b>	<b>12.19 AC</b>	<b>30.2%</b>

**SITE DATA:**

ADDRESS	TAX ID #	AREA
5336	C0070176084	2.99 AC
5348	C0070176086	3.98 AC
5400	C0070176090	5.22 AC
<b>TOTAL AREA:</b>		<b>12.19 ACRES</b>
<b>LOT COVERAGE:</b>	<b>0.30</b>	<b>= 3.67 ACRES (BUILDING)</b>
		<b>12.19 ACRES (TOTAL)</b>

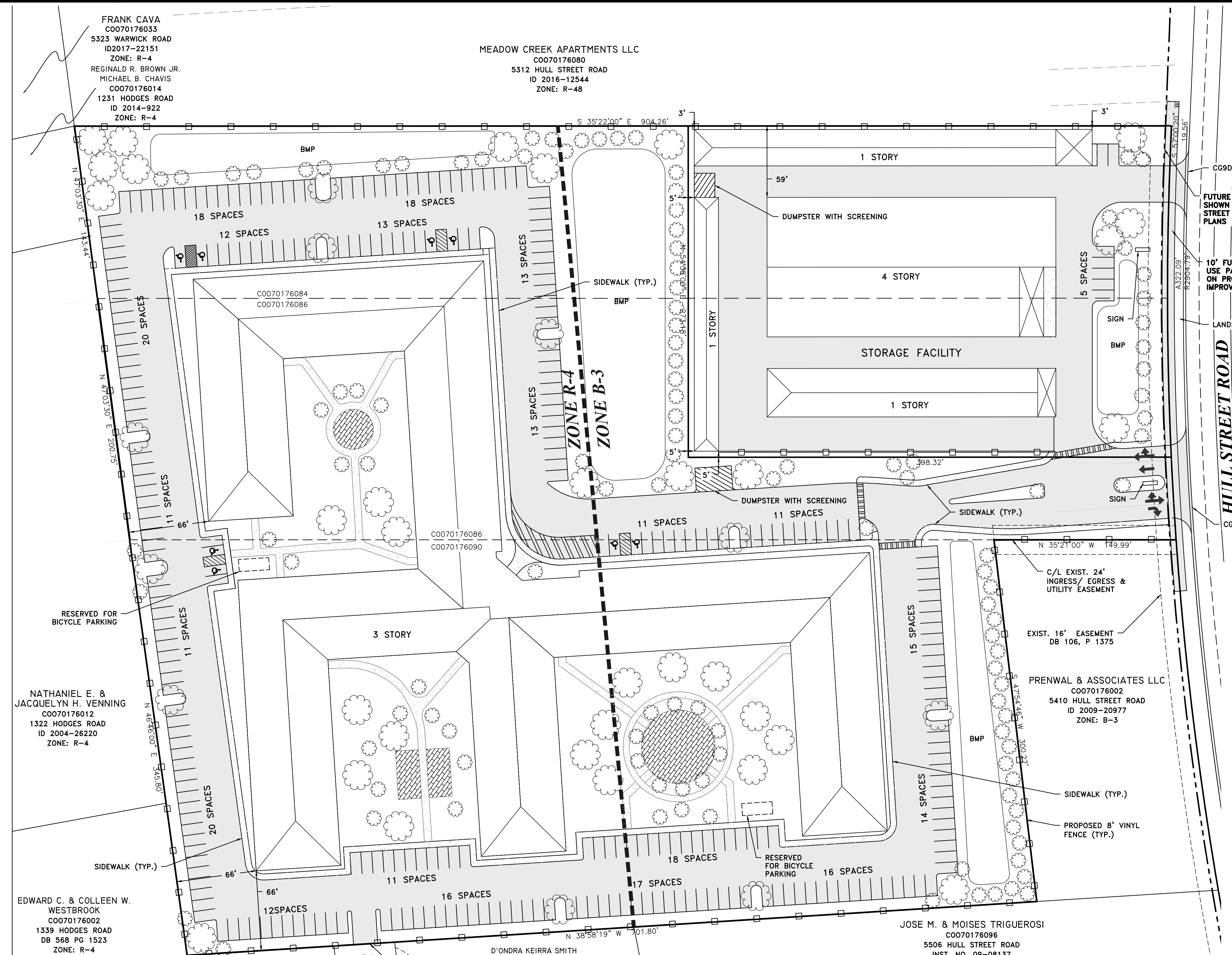
**ZONING:**  
 CURRENT ZONING: R-4 & B-3  
 PROPOSED ZONING: SPECIAL USE PERMIT

**PROPOSED USES:**  
 55+ APARTMENTS (9.59 ACRES)  
 NUMBER OF APARTMENTS: 240  
 DENSITY: 25.0 UNITS/AC  
 UNIT SIZES: 650 SF-1000 SF  
 3&4 STORY BUILDINGS

SELF STORAGE FACILITY (2.60 ACRES)  
 SQUARE FEET OF STORAGE: 175,000  
 1 & 4 STORY BUILDINGS

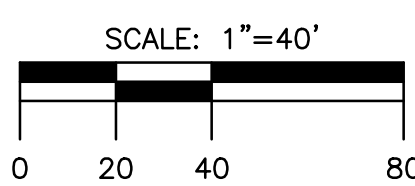
**COUNCIL DISTRICT:** 9TH

**OWNER/DEVELOPER:**  
 KEMP ENTERPRISES INC  
 2312 CROIX DRIVE  
 VIRGINIA BEACH, VA 23451



**NOTE:**

- THE LANDSCAPING AS SHOWN ON THIS CONCEPTUAL PLAN IS FOR DEPICTING GREENSPACE AND MAY NOT REPRESENT THE FINAL LANDSCAPING PLAN. 10YR TREE CANOPY FOR PARKING & NO LESS THAN 30S.F. / PARKING SPACE.
- THIS PLAN IS CONCEPTUAL. THE BUILDING LAYOUT MAY CHANGE AS THE PROJECT PROCEEDS IN THE DESIGN PROCESS.
- PARKING LIGHTING TO BE DESIGNED PER CITY OF RICHMOND MINIMUM STANDARDS.
- RESIDENTIAL COMPONENT MINIMUM PARKING PROVIDED
  - 1 SPACE / UNIT:
  - 240 SPACES REQUIRED | 294 PROVIDED
- STORAGE FACILITY MINIMUM PARKING PROVIDED
  - 1 SPACE FOR EMPLOYEE
  - 1 SPACE / 300 S.F. OFFICE SPACE
  - 3 SPACES REQUIRED | 7 PROVIDED



FRANK CAVA  
 C0070176033  
 5323 WARWICK ROAD  
 ID 2017-22151  
 ZONE: R-4  
 REGINALD R. BROWN JR.  
 MICHAEL B. CHAVIS  
 C0070176014  
 1231 HODGES ROAD  
 ID 2014-922  
 ZONE: R-4

MEADOW CREEK APARTMENTS LLC  
 C0070176080  
 5312 HULL STREET ROAD  
 ID 2016-12544  
 ZONE: R-48

NATHANIEL E. & JACQUELYN H. VENNING  
 C0070176012  
 1322 HODGES ROAD  
 ID 2004-26220  
 ZONE: R-4

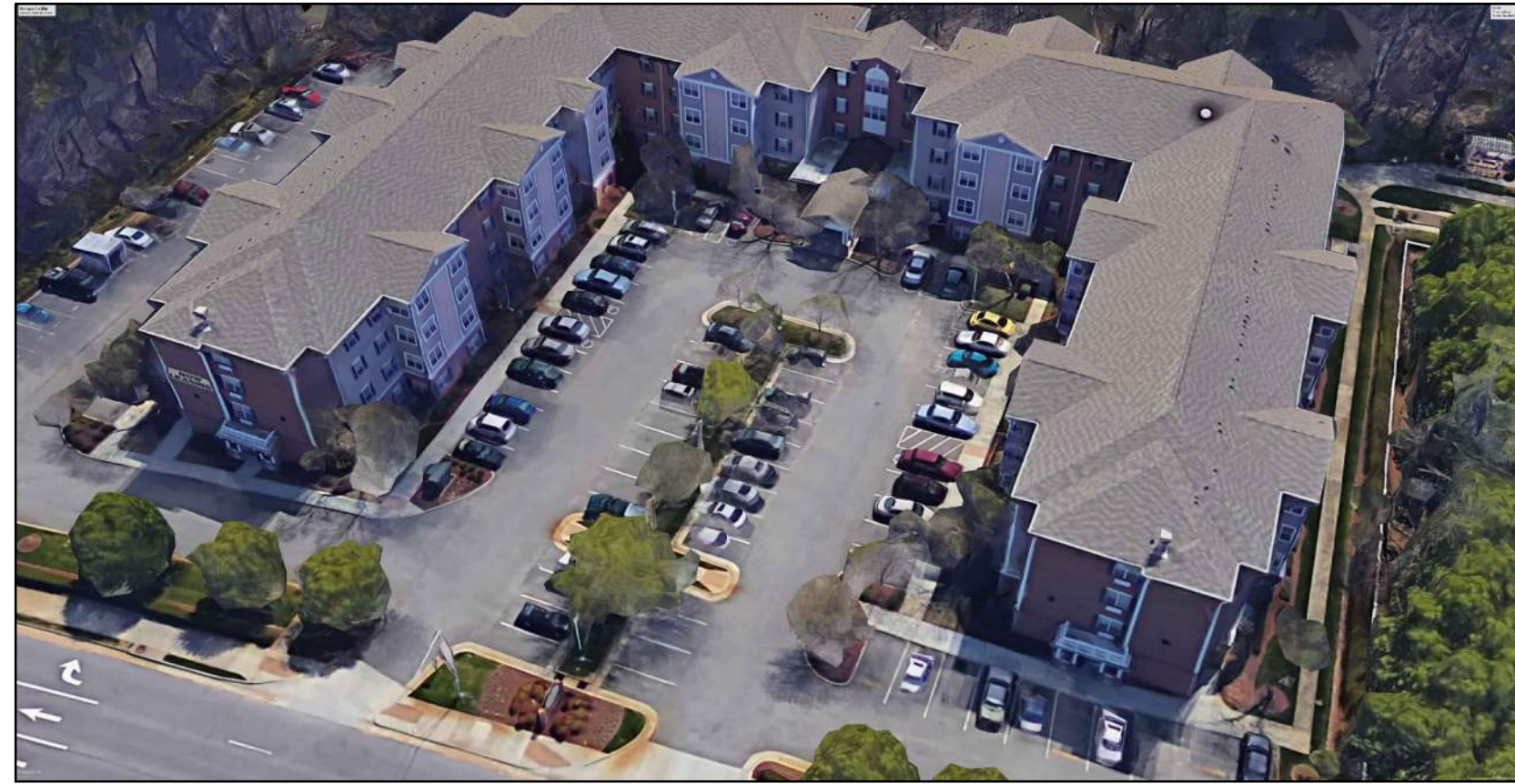
EDWARD C. & COLLEEN W. WESTBROOK  
 C0070176002  
 1339 HODGES ROAD  
 DB 568 PG 1523  
 ZONE: R-4

HENRY L. & LAVERNE D. COLE  
 C0070175023  
 5400 PRINCESS ELLA LANE  
 ID 2015-1609  
 ZONE: R-4

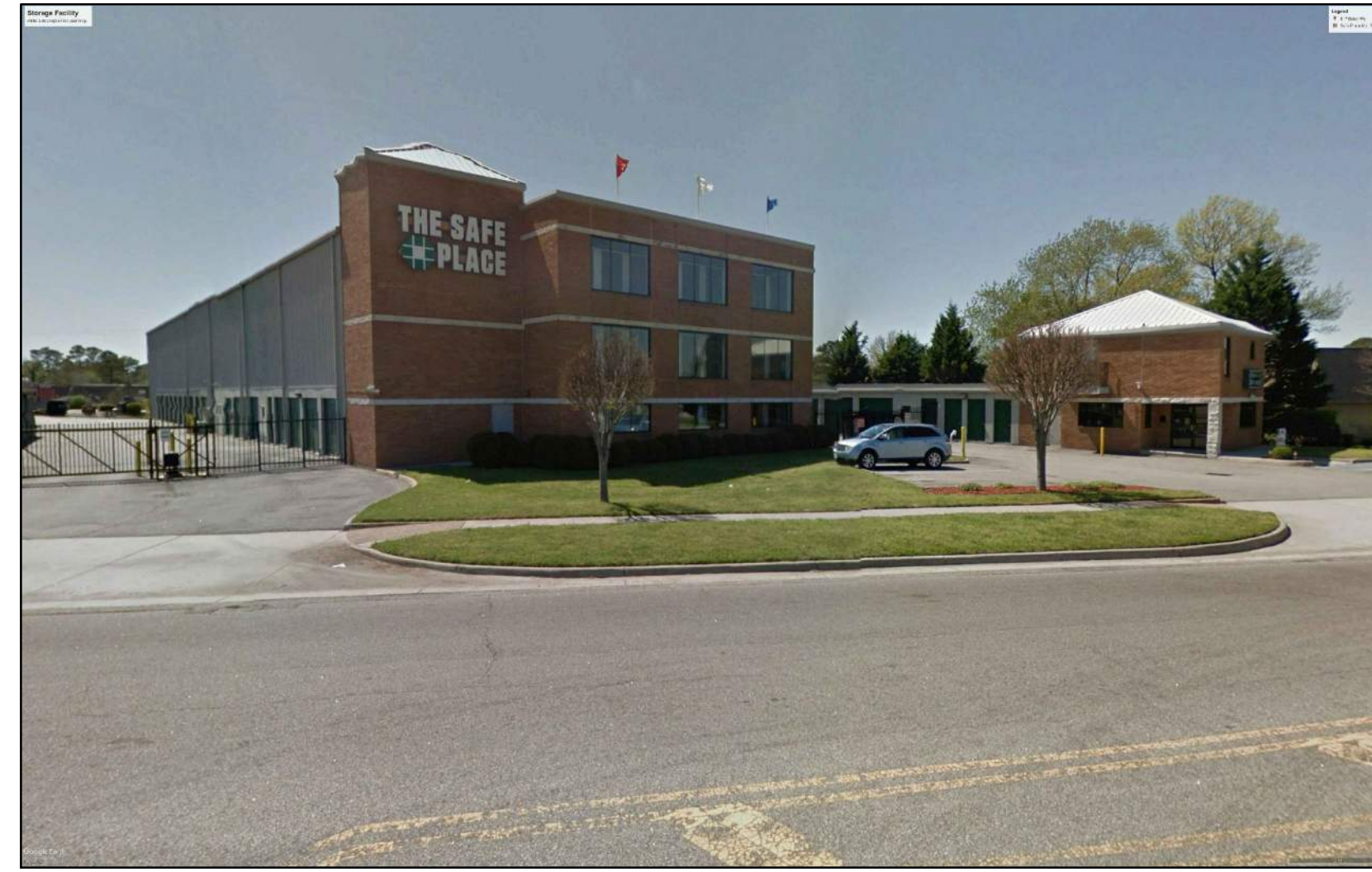
D'ONDRA KEIRRA SMITH  
 C0070175002  
 5401 PRINCESS ELLA LANE  
 ID 2014-7247  
 ZONE: R-4

JOSE M. & MOISES TRIGUEROSI  
 C0070176096  
 5506 HULL STREET ROAD  
 INST. NO. 09-08137  
 ZONE: B-3

PRENVAL & ASSOCIATES LLC  
 C0070176002  
 5410 HULL STREET ROAD  
 ID 2009-20977  
 ZONE: B-3



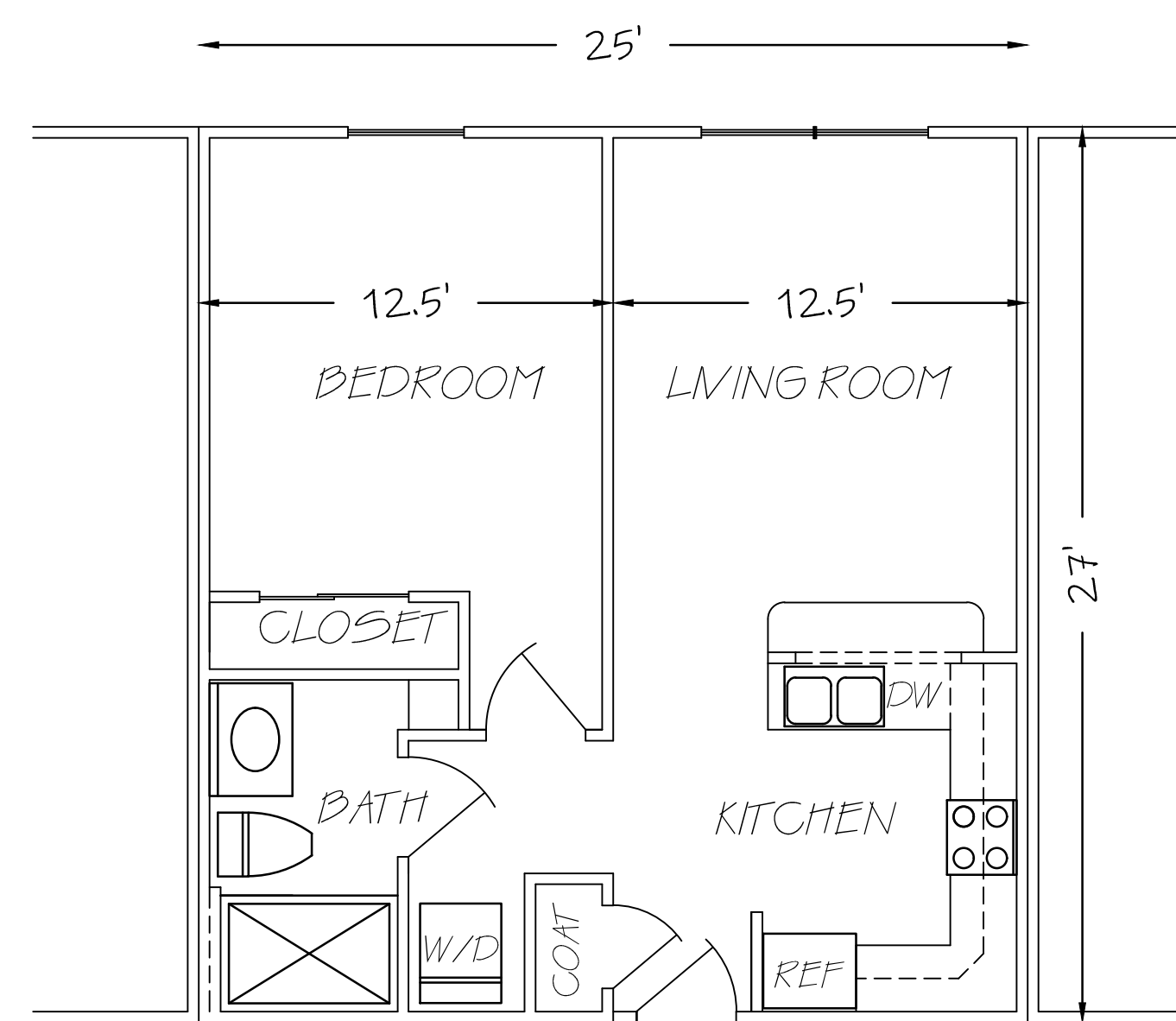
***SENIOR APARTMENTS  
3 & 4 STORY***



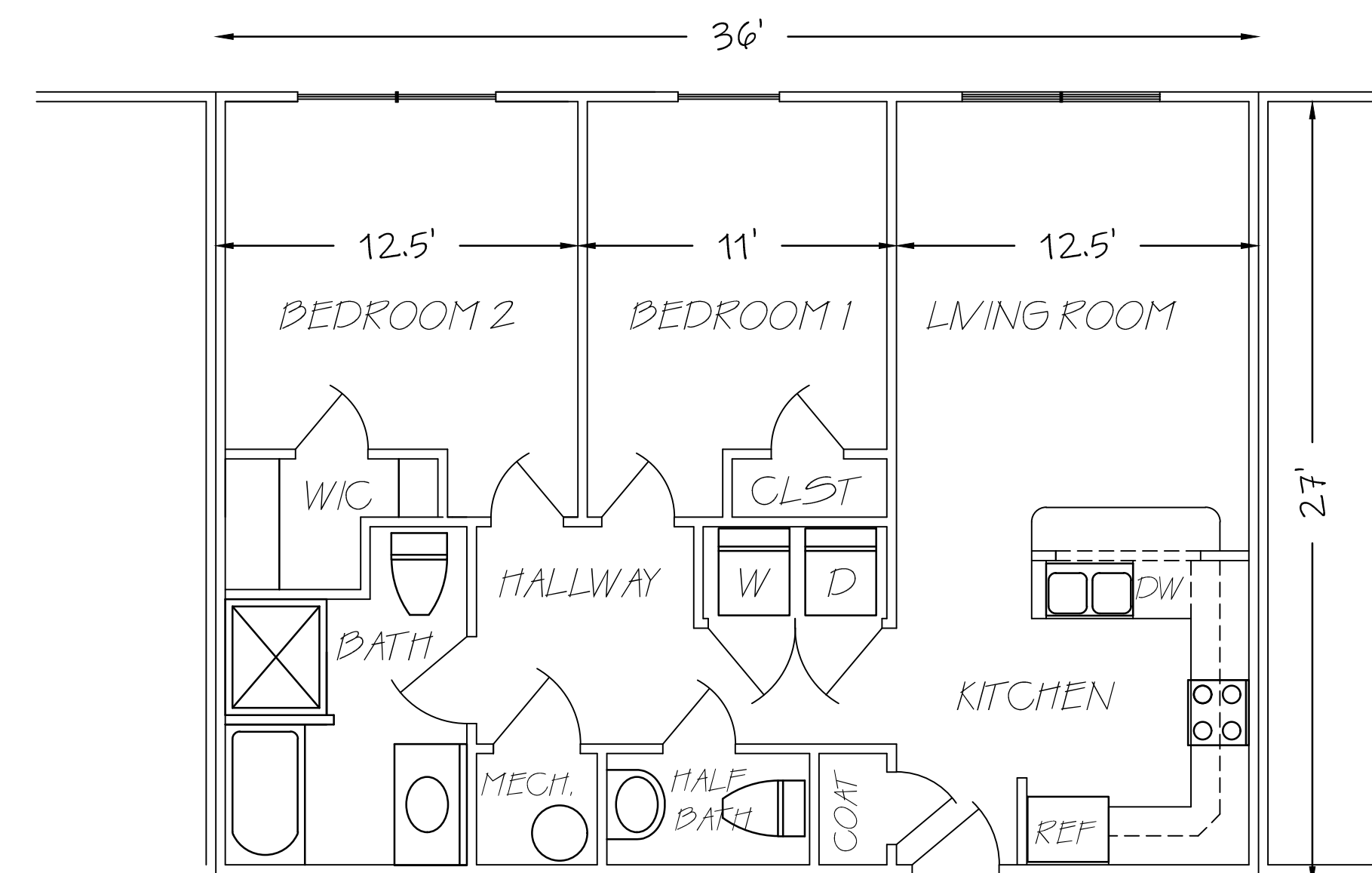
***STORAGE FACILITIES  
1 & 3 STORY***



***VINYL FENCE  
8' HEIGHT***



***UNIT 1 (675 SQ.FT.)***



***UNIT 2 (972 SQ.FT.)***

IMPERVIOUS COVERAGE CALCULATIONS BY USE:		
CURRENT ZONING:	R-4	B-3
BUILDINGS	1.899 AC	1.782 AC
PARKING	1.837 AC	2.021 AC
SIDEWALK	0.292 AC	0.217 AC
TOTAL IMPERVIOUS	4.027 AC	4.020 AC
TOTAL AREA	5.980 AC	6.210 AC
IMPERVIOUS/TOTAL	67.3%	64.7%

SCALE: 1" = 5'

**YOUNGBLOOD, TYLER  
& ASSOCIATES P.C.**  
CONSULTING ENGINEERS, PLANNERS & SURVEYORS  
7309 HANOVER GREEN DRIVE P.O. BOX 517 MECHANICSVILLE, VIRGINIA 23111  
PHONE: (804) 746-5285 FAX: (804) 750-7624 EMAIL: YOUNGBLOOD-TYLER@YOUNGBLOOD-TYLER.COM

**KEMPS VILLAGE  
SENIOR APARTMENTS  
& STORAGE FACILITY**  
RICHMOND VIRGINIA

CONCEPTUAL PLAN

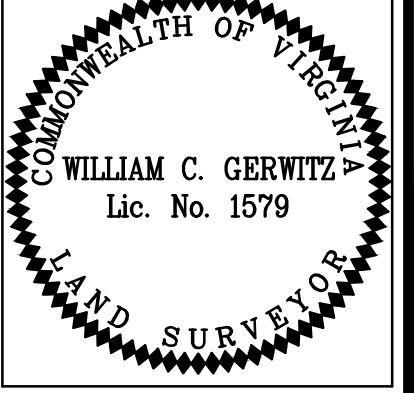
DATE: AUGUST 4, 2018

REVISIONS

DATE	NOTES

DESIGNED BY: WCG  
DRAWN BY: JGW  
CHECKED BY: WCG

J. N.: 475-01-100  
CAD FILE: HULL ST PROP.DWG









YOUNGBLOOD  
TYLER &  
ASSOCIATES, P.C.

# KEMPS VILLAGE

RENDER  
SPHERE





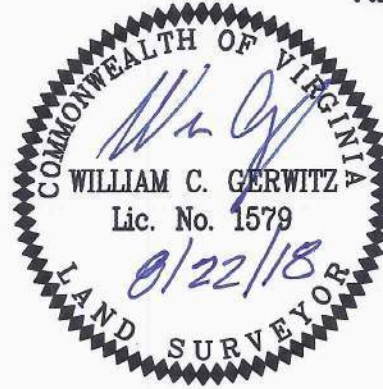




THIS PLAT WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT AND MAY BE SUBJECT TO EASEMENTS OF RECORD WHICH ARE NOT SHOWN ON THIS PLAT.

**KEMP ENTERPRISES INC.**

THE SUBJECT PROPERTY SHOWN HEREON APPEARS TO BE LOCATED IN ZONE 'X' AS GRAPHICALLY SHOWN ON THE FLOOD INSURANCE RATE MAP COMMUNITY PANEL NUMBER 5101290076D HAVING AN EFFECTIVE DATE OF APRIL 2, 2009. THIS SURVEYOR MAKES NO GUARANTEES AS TO THE ACCURACY OF THE ABOVE INFORMATION. THE LOCAL F.E.M.A. AGENT SHOULD BE CONTACTED FOR VERIFICATION.



PLAT COMPILED FROM PLATS PROVIDED BY CLIENT.

EDWARD C. &  
COLLEEN W. WESTBROOK  
CO070176002  
1339 HODGES ROAD  
DB 568 PG 1523  
ZONE: R-4

NATHANIEL E. & JAQUELYN H.  
VENNING  
CO070176012  
1322 HODGES ROAD  
ID 2004-26220  
ZONE: R-4

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1231 HODGES ROAD  
ID 2014-922

