



**COMMISSION OF ARCHITECTURAL REVIEW**  
**APPLICATION / CERTIFICATE OF APPROPRIATENESS**

**PROPERTY** (Location of Work)

Address 812 Jessamine st  
 Historic District Union Hill

**PROPOSED ACTION**

- Alteration (including paint colors)       Rehabilitation       Demolition  
 Addition       New Construction (Conceptual Review required)  
 Conceptual Review       Final Review

**OWNER**

Name Chris Jefferson  
 Company Ridge Point Holdings LLC  
 Mailing Address 2920 West Broad St  
Suite 238  
 Phone 804-201-3624  
 Email Chris@RidgePointRe.com  
 Signature [Signature]  
 Date 7-28-17

**APPLICANT** (if other than owner)

Name \_\_\_\_\_  
 Company \_\_\_\_\_  
 Mailing Address \_\_\_\_\_  
 Phone \_\_\_\_\_  
 Email \_\_\_\_\_  
 Signature \_\_\_\_\_  
 Date \_\_\_\_\_

**ACKNOWLEDGEMENT OF RESPONSIBILITY**

**Requirements:** A complete application includes all applicable information requested on checklists to provide a complete and accurate description of existing and proposed conditions. Preliminary review meeting or site visit with staff may be necessary to process the application. Owner contact information and signature is required. Late or incomplete applications will not be considered.

**Zoning Requirements:** Prior to CAR review, it is the responsibility of the applicant to determine if zoning approval is required and application materials should be prepared in compliance with zoning.

**Compliance:** If granted, you agree to comply with all conditions of the COA. Revisions to approved work require staff review and may require a new application and CAR approval. Failure to comply with the COA may result in project delays or legal action. The COA is valid for one (1) year and may be extended for an additional year, upon written request.

(Space below for staff use only)

Application received:

Date/Time \_\_\_\_\_ EGE VE

By \_\_\_\_\_ JUL 28 2017

Complete  Yes  No

COA-021096-2017 Created 7/2016



## Ridge Point Real Estate, LLC.

2920 West Broad St Suite 238  
Richmond VA 23230

Office: 804-420-2274  
Fax: 888-751-5310

### 812 Jessamine St

It is proposed that exterior renovations take place at the property located at 812 Jessamine St Richmond VA. The proposed changes will be in line with the historical integrity of the Church Hill neighborhood. The siding on the property currently is a mix of vinyl and hardboard siding. We are proposing to remove the vinyl siding on the property and expose the hardboard wood siding underneath and/or install matching hardboard siding at all exterior elevations. Existing wood siding would be restored properly and painted a CAR approved Color that we are asking to later be approved by staff. That being said, it is our assumption that there is hardboard siding underneath that will only warrant restoration and not replacement. All of the existing windows on the property will be kept and restored. Any windows added will be custom wood windows that would be in line with existing windows at the property. We also ask that review and approval of any changes required by the Virginia Department of Historic Resources or National Park Service for rehabilitation tax credit purposes may be deferred to commission staff.

We are also proposing permission to repair exterior moldings, repair and refurbishment of the front porch and existing materials. The previous owner made alterations to the front porch prior to the purchase. We are proposing to paint all exterior trim white, with exterior paint color being approved by CAR staff. The existing wooden front door that appear to be original to the home as well as the transom above the front door will be repaired and maintained if for any reason we are unable to use the existing front door we ask that a new door be presented to CAR staff for approval. The current screen door will be removed. We are also proposing to install a new french door on the first floor seen in the rear elevation to provide access from the living room. The intention of the project is to provide repair to a property that has long been vacant in the neighborhood while bringing back the historical presence it once held with modern interior updates and amenities to continue to bring a new generation of families to the Church Hill area. This property is already under contract pending completion and the buyers are super excited about the Church Hill neighborhood.

An addition will be added to the property, however, the existing footprint of the home will stay the same as the addition is only a 2nd floor addition. Plans do label the roof material as asphalt however TPO roofing material can be installed as well if the CAR staff and CAR board will more appropriate. Per the CAR boards request adjustments and corrections have been made to the proposed plans. The addition portion of the property has been indented to allow for the being able to differentiate between the addition and existing building as well as resolve zoning requirements. The existing chimney will stay and **not** be removed, the room will be a flat room and "butt" into the bottom of the original room maintaining the original roof and offering a move clear look for the addition.

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**Chris Jefferson**



**Ridge Point Real Estate, LLC.**

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**Managing Member**  
**Ridge Point Real Estate**  
[Chris@ridgepointre.com](mailto:Chris@ridgepointre.com)



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**Exterior Front Photos:**





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**Rear Exterior:**



**Exterior vinyl siding to be removed to expose hardboard siding. Existing asphalt shingles visible as well.**



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**Neighbor to left of Front Elevation:**





**Ridge Point Real Estate, LLC.**

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**Neighbor Exterior Right:**



**Neighbors house to the left of subject property**



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### Exterior Photos



**Existing Porch: We are proposing to remove the PVC composite decking boards and vinyl railing system and installing wood tongue and groove decking boards and Richmond rail. This is not depicted specifically on plans, however, we believe the offer all integrity of the house is compromised with existing features.**





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**Exterior Front Porch Ceiling: Ceiling to be maintained and repaired/painted White.**



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**Rear Exterior showing existing asphalt shingles**



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**Rear elevation from Church Owned parking lot at rear of property. There is no public right away or alley directly behind the property.**



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**From the rear of elevation to left and right:**



**Exterior Right**



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**Exterior Left**



# RENOVATION & ALTERATIONS FOR 812 JESSAMINE ST. RICHMOND, VA 23223

## BUILDING INFORMATION:

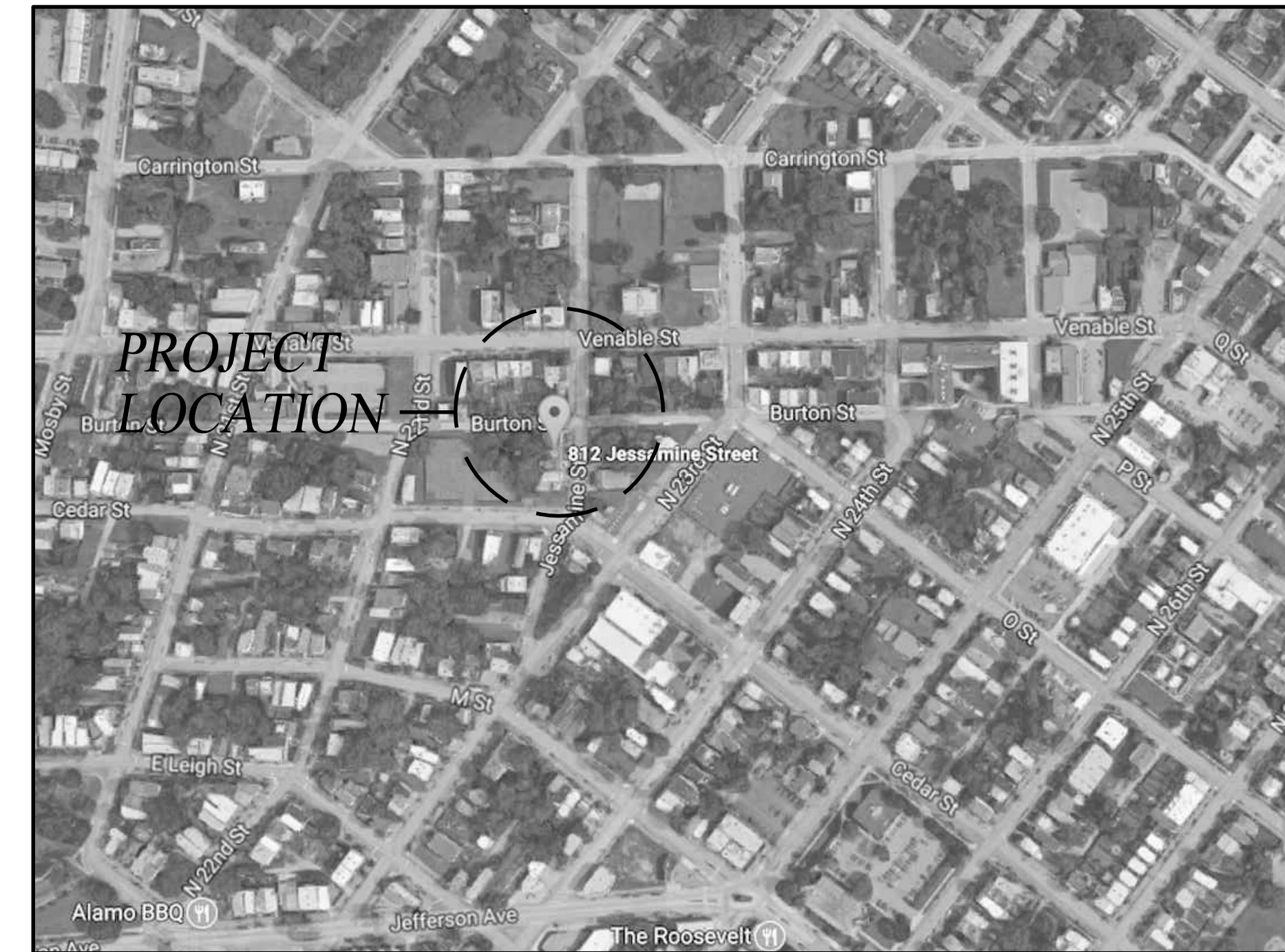
CONSTRUCTION CODE: VCC 2012, IRC 2012 - CONSTRUCTION TYPE: V-B  
 BUILDING AREA (INCLUDING THE EXTERIOR WALL): 1ST FLOOR: 825 SF  
 2ND FLOOR: 715 SF  
 TOTAL: 1,540 SF

STORIES ABOVE GRADE: 2 HEIGHT ABOVE GRADE: 27'-4" +/-  
 USE GROUP: SINGLE-FAMILY SPRINKLER SYSTEM: NO  
 FIRE DETECTION: YES, HARD-WIRED SMOKE DETECTION SYSTEM  
 INSULATION VALUES: CEILING: R-38 BATT INSUL  
 WALLS: R-19 BATT INSUL  
 FLOORS: R-30 BATT INSUL

## DRAWING INDEX:

T-1 TITLE SHEET, DRAWING INDEX  
 BUILDING INFO, VICINITY & LOCAL MAP  
 T-2 GENERAL CONSTRUCTION NOTES  
 D-1 DEMOLITION - 1ST & 2ND FLOOR PLAN  
 A-1 NEW WORK - 1ST & 2ND FLOOR PLAN  
 NEW WORK - ROOF PLAN  
 A-2 EXTERIOR ELEVATIONS  
 A-3 TYPICAL WALL SECTION

## VICINITY MAP



## GENERAL NOTES

### General Conditions:

Contractor to carefully review the contract documents and existing conditions of the job site to achieve full comprehension of the project renovation requirements. Contractor to include cost for all work described and required to satisfy the intent of the contract documents and required by existing conditions. Architect to be notified of conflicts between existing conditions and new work conflicts or omissions in the drawings and any limitations related to the execution of the work. In the case of conflicts within the contract documents, the strictest condition or requirement is to be included in the cost and scope of work. Contractor shall not proceed with the work, involved in such errors, omissions, or discrepancies until written instructions are given by the Architect. The Contractor shall be responsible to correct all work erroneously installed prior to receiving said instructions.

All work shall be in accordance with the Virginia Statewide Uniform Building Code and International Residential Code, latest editions, to the satisfaction of authorities having jurisdiction. All manufactured products shall be used per manufacturer's written specifications. Contractor to apply for, pay for and obtain all permits, fees and inspections by authorities having jurisdiction over the work. Copies of all transactions shall be made available to the owner. Notify the architect of any variance with current codes. Contractor shall be responsible for compliance with public authorities regarding the performance of work.

Contractor to make available to the owner a construction schedule along with a schedule of values prior to commencement of work.

Contractor shall supply all labor, materials, equipment, tools, handling, transportation, debris removal, and all related costs and services necessary for the execution of the work.

Work is to be executed by the general contractor unless provisions are made otherwise. References to "contractor" are to include general contractor and subcontractors. The contractor shall be solely responsible for and have control over all construction means and methods required by the contract documents including coordination of work. The contractor is to be responsible for acts and omissions of the contractor's employees, subcontractors and their employees, and any other persons performing any of the work under contract with the contractor. The architect will not be responsible for errors, omissions or delays caused by the contractor.

Field Verifications: Verify all dimensions in the field before performing the work. The Contractor will be responsible to correct any work that is done in error because of failure to verify or clarify dimensions.

Substantial changes to the drawings or actual work are to be issued by the architect with the owner's approval.

### Construction Coordination:

Contractor is to coordinate and protect all new and existing work in place when exposed to potential damage by work of multiple trades. The Contractor shall coordinate construction of all required mechanical, electrical and plumbing.

All work and improvements shall be in strict accordance with the current codes adopted by the local jurisdictions and approved by the local building inspection office. All work is to comply with applicable provisions of the the occupational safety and health act- OSHA.

The contractor is to keep the premises free from excessive accumulation of waste materials or rubbish caused by construction and will remove it from the site in a timely fashion or as directed by the owner. Upon completion of the project, the contractor shall remove all remaining materials, waste or otherwise, as well as all construction equipment. The work and support areas shall be left broom clean.

### Product information and samples:

Shop-drawings and all other submittals are to be examined by the general contractor and checked for compliance with contract requirements.

### Quality Control:

Complete all construction and install materials per manufacturer's specifications and instructions and in a manner consistent with industry standards of workmanship and the products selected.

### Material Acquisition:

Protect products during all stages of handling to prevent damage. Comply with all requirements of specified product and manufacturer's instructions to ensure optimum condition of final installed product.

### Work Conditions:

Create appropriate environmental conditions for installing or applying finishes to the products specified.

Prior to product installation, evaluate all existing surfaces to receive product per product manufacturer's recommendation. Installation shall imply acceptance of substrate and shall not be grounds for claims against improper performance of installed materials.

Keep exits, exit lighting, fire protection and life safety devices operational during construction. Keep means of egress clear of all tools, materials and debris.

### Guarantee:

Warrant all materials, finishes and equipment supplied under this contract shall be new, unless otherwise specified, and that all work shall be of good quality, free from defects and in compliance with the contract documents. For one year beginning at the date of substantial completion, contractor will promptly remedy work found not to be in compliance with the contract documents. Contractor shall assume all costs for corrections.

Transfer all manufacturer warranties, product literature, maintenance requirements and schedules to the owner at completion of the project.

### Products:

Contractor to provide products specified in the following specifications or in the other contract documents. If no product is specified, contractor shall provide a match in quality and appearance to typical materials used in other similar buildings.

### Construction execution:

Dimensions to be verified in the field. If dimensions can not be verified or the verification would cause a delay in the progress of work, contractor shall guarantee dimensions to the subcontractor for coordination. Drawings may be scaled for reference only.

Wall partitions, unless noted otherwise, shall be located as dimensioned and shown on the construction plans and details. Dimensions are to faces of finished partitions. Actual partition thicknesses are used. Contractor shall verify dimensions. All vertical dimensions are given from top of finished flooring unless otherwise noted.

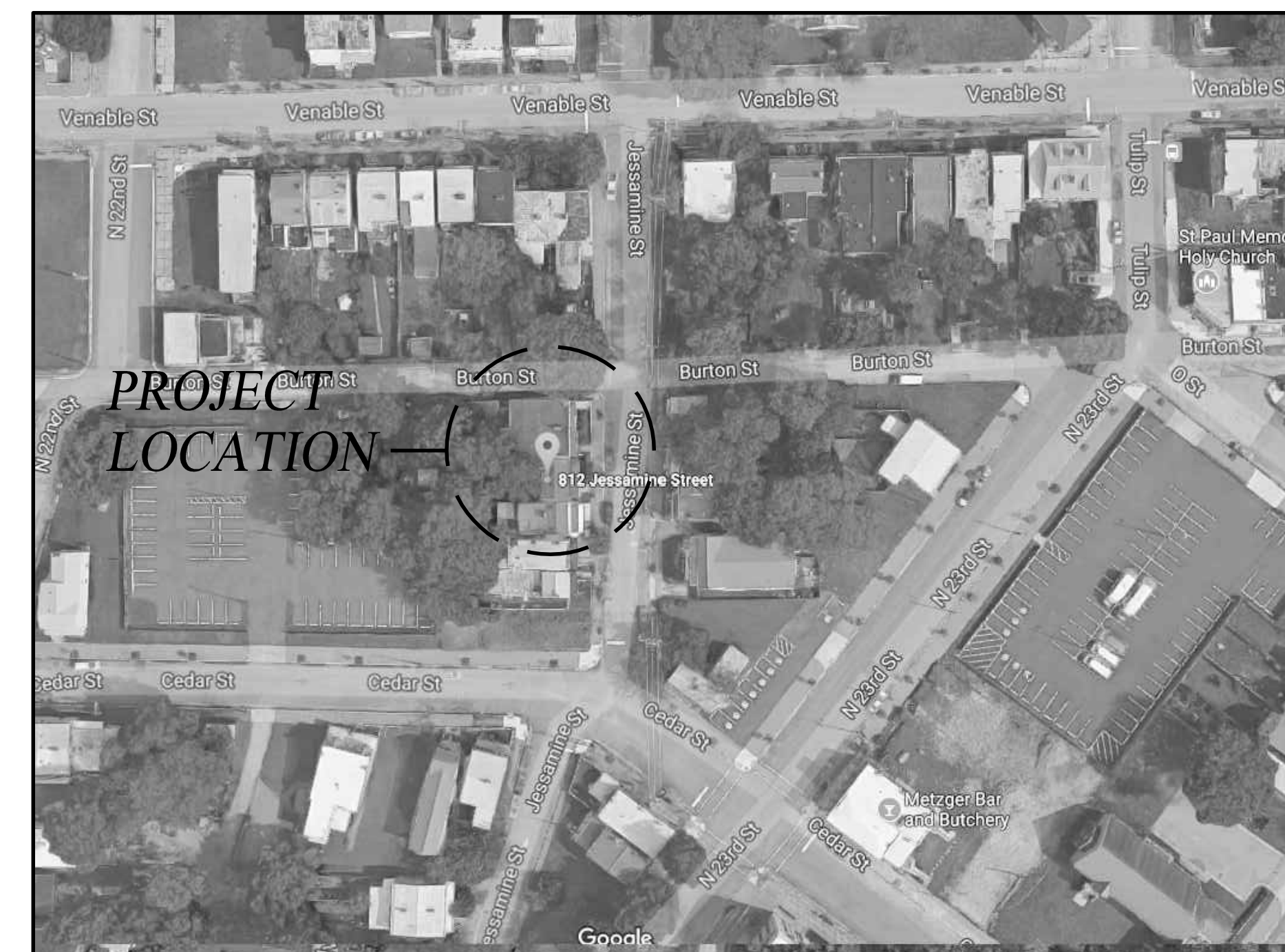
Contractor shall prepare concrete floors, if applicable, to be a smooth uniform surface. All floor anchors and penetrations shall be coordinated by contractor as part of the floor preparation.

Clean all surfaces and equipment 24 hours prior to occupancy. Vacuum or mop, as required, all floors and clean windows and glazing.

The date when the project is available for owner occupancy will be known as substantial completion. Additional touch-up or minor installation work may be incomplete.

Construct all items in strict adherence to the approved shop drawings and the referenced product standards. Connections of all parts being accurately and neatly fitted and securely fastened together.

## LOCATION MAP



Ridge Point Custom Homes

2920 WEST BROAD ST SUITE 238

Phone: 804-420-2274 Mobile: 804-201-3624 Fax: 888-751-5310

OWNER: CHRIS JEFFERSON

RENOVATION & ALTERATIONS FOR

812 JESSAMINE ST.

RICHMOND, VA 23223

DATE: 09.19.17

T-1

**GENERAL DESIGN & CODE INFORMATION**

ALL DESIGNS AND CONSTRUCTION ARE BASED ON THE 2012 INTERNATIONAL RESIDENTIAL CODE WITH THE VIRGINIA UNIFORM STATEWIDE BUILDING CODE "USBC" (2012 EDITION) AMENDMENTS.

DESIGN LOADS ARE DEAD LOADS PLUS LIVE LOADS BELOW, UNLESS OTHERWISE NOTED:

- A. ROOF - 20 P.S.F. LIVE, 10 P.S.F. DEAD
- B. ATTIC CEILING OVER ROOF SLOPES > 3:12 - 20 P.S.F. LIVE, 10 P.S.F. DEAD
- ATTIC CEILING UNDER ROOF SLOPES < 3:12 - 10 P.S.F. LIVE, 10 P.S.F. DEAD
- C. FLOOR (NON - SLEEPING ROOMS) - 40 P.S.F. LIVE, 20 P.S.F. DEAD
- D. FLOOR (SLEEPING ROOM AND UNFINISHED ATTIC WITH STAIRS) - 30 P.S.F. LIVE, 20 P.S.F. DEAD
- E. SOIL BEARING (UNDISTURBED SOLID GROUND) - 1500 P.S.F. (ASSUMED) AS PER TABLE R401.4.1

IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY CAPACITY IN FIELD PRIOR TO CONSTRUCTION. ARCHITECT CAN NOT BE HELD LIABLE IF CONTRACTOR DOES NOT PROVIDE CAPACITY TO ARCHITECT PRIOR TO CONSTRUCTION.

F. WIND SPEED IS 100 M.P.H. U.O.N.

(WIND LOAD GOVERNS OVER SEISMIC U.O.N.) AS PER TABLE R 301.2.1 AND FIGURE R 301.2.4 ALL WINDOWS AND EXTERIOR DOORS SHALL BE DESIGNED AS PER TABLES R301.2(2) AND R301.2(3)

G. SEISMIC IS PER THE 2012 INTERNATIONAL RESIDENTIAL CODE

FOR ONE AND TWO FAMILY DWELLINGS WITH VIRGINIA AMENDMENTS

H. WIND EXPOSURE CATEGORY - B

I. GROUND SNOW LOAD - 10 P.S.F.

J. WEATHERING AREA AS PER FIG. R301.2(3) - MODERATE

K. FROST LINE DEPTH - SURFACE THE BOTTOM OF ALL FOOTINGS MUST BE A MIN. OF 12" BELOW FINAL GRADE.

L. TERMITES AREA AS PER FIG. 301.2(6) - MODERATE TO HEAVY

M. DECAY AREA AS PER FIG. 301.2(7) - SLIGHT TO MODERATE

N. WINTER DESIGN TEMPERATURE - 22 DEGREES

O. ICE SHIELD UNDERLAYMENT REQUIRED ON ALL ROOF SLOPES 4 ON 12 OR LESS ARE REQUIRED TO HAVE WATER & ICE SHIELD INSTALLED OVER ENTIRE ROOF SURFACE OR 2 LAYERS OF UNDERLAYMENT

**FOOTING & FOUNDATION CONSTRUCTION**

1. ALL EXTERIOR WALL/PIER FOOTINGS ARE MIN. 8" X 24" CONT. OR AS SOIL REQUIRES REBAR TO BE INSTALLED ONLY IF REQUIRED BY CODE OR SOIL CONDITIONS. FOR SHRINK SWELL CONDITIONS, CONSULT A GEOTECHNICAL ENGINEER. SEE WALL SECTIONS & DETAILS FOR ADDITIONAL EXTERIOR WALL FOOTING AND FOUNDATION WALL REQUIREMENTS.
2. FOOTINGS FOR 16" X 8" C.M.U. INTERIOR PIERS ARE MIN. 2'-0" X 2'-0" X 8" REBAR TO BE INSTALLED ONLY IF REQUIRED BY CODE OR AS SOIL REQUIRES. FOR SHRINK SWELL CONDITIONS, CONSULT A GEOTECHNICAL ENGINEER.
3. ALL FOOTINGS SHALL BE DESIGNED IN ACCORDANCE WITH R403.1.1. FOOTING WIDTH, "W" SHALL BE BASED ON BEARING CAPACITY OF SOIL IN ACCORDANCE WITH TABLE R401.4.1. FOOTING PROJECTIONS, "P" SHALL BE 4" MIN. NOT TO EXCEED THICKNESS OF FOOTING. FOOTING DEPTH SHALL BE 12" MIN. R403.1.4.
4. ALL PIERS ARE 16" X 8" C.M.U. TYPICAL. CAP ALL PIERS W/ 4" OF SOLID MASONRY ON 1 STORY STRUCTURES AND 8" OF SOLID MASONRY ON 1 1/2, 2 AND 3 STORY STRUCTURES. ALL PIERS OVER 32" HIGH MUST BE FILLED WITH TYPE "S" MORTAR. MAXIMUM UNSUPPORTED HEIGHT OF 16" X 8" C.M.U. FILLED PIER IS NOT TO EXCEED 10 TIMES THE LEAST DIMENSION OR 80". MAXIMUM UNSUPPORTED HEIGHT OF 16" X 8" C.M.U. UNFILLED HOLLOW PIER IS NOT TO EXCEED 4 TIMES THE LEAST DIMENSION OR 32". PIERS LARGER THAN 16" X 8" ARE NOTED ON PLANS. SEE DETAILS SHEET FOR ADDITIONAL REINFORCEMENT INFORMATION PROVIDE PIER REINFORCING W/ 1/2" THREADED RODS AT NO MORE THAN 2'-0" FROM ALL CORNERS AND SPACING AT NO MORE THAN 6'-0" MAX.
5. CONCRETE SHALL BE 3000 P.S.I. IN 28 DAYS UNLESS NOTED OTHERWISE. AND PLACED AS PER A.C.I. 318-11, ON STRUCTURAL FILL COMPACTED TO A MINIMUM DENSITY OF 95% OF ITS MAXIMUM DRY DENSITY AS DETERMINED BY THE PROCEDURES OUTLINED IN A.S.T.M. D-698
6. ALL REBAR LAP SPLICES (IF REBAR SHOWN) SHALL BE A MINIMUM OF 3'-0" UNLESS NOTED OTHERWISE AND SHALL BE FABRICATED AS PER A.S.T.M. A-615, GRADE 60
7. CHIMNEY FOOTINGS FOR MASONRY CHIMNEYS SHALL BE 12" LARGER THAN FOOTPRINT X 12" THICK (MIN.)
8. WALLS BACKFILLED WITH DIRT:
  - A. FOR EARTH FILL UP TO 4' MAXIMUM HEIGHT - USE 8" C.M.U. OR 8" BRICK WITH MEMBRANE OR SPRAY ON WATERPROOFING ON EXTERIOR. FOOTING MIN. SIZE OF 12" X 24" OR AS NOTED PLAN FOR SHRINK SWELL CONDITIONS, 18" X 24" MIN., 3'-0" BELOW GRADE
  - B. FOR EARTH FILL 4' & HIGHER UP TO MAX. OF 9' USE 12" X 24" FOOTING WITH #4 @ 16" DOWELS HOOKED IN FOOTING. USE 12" C.M.U. WALLS WITH #4 @ 16" VERTICAL BARS LOCATED 4" FROM NON DIRT FILL FACE, LAP ALL SPLICES 12" AND USE DUR-O-WALL HORIZONTAL REINFORCING EVERY 8" IN C.M.U. JOINTS. FILL ALL OPEN CELLS OF C.M.U. WITH EITHER TYPE M OR S MORTAR OR FILL WITH 3,000 P.S.I. CONCRETE. INSTALL MEMBRANE WATERPROOFING OR EQUAL AND ERECT ALL FRAMING BEFORE BACKFILLING FOR SHRINK SWELL CONDITIONS, 18" X 24" MIN., 3'-0" BELOW GRADE
9. ALL UTILITIES WHICH CROSS FOOTINGS MUST PASS ABOVE FOOTINGS. PROVIDE STEPPED FOOTING AS REQUIRED FOR UTILITY LINES TO EXTEND ABOVE FOOTING.
10. CONCRETE MASONRY UNITS SHALL BE IN ACCORDANCE WITH A.S.T.M. C-90 MORTAR TO CONFORM TO A.S.T.M. C-270. TYPE "S" BELOW GRADE, TYPE "N" ABOVE GRADE

**FRAMING CONSTRUCTION - OTHER THAN ROOF**

1. CRAWL GIRDERS ARE TO BE (3) 2 X 10 PRESSURE TREATED LUMBER UNLESS NOTED OTHERWISE
2. ALL LUMBER SHALL BE SOUTHERN YELLOW PINE #2 OR SPRUCE-PINE-FIR #2 OR BETTER FRAMING UNLESS NOTED OTHERWISE. UTILITY GRADE LUMBER IS UNACCEPTABLE.
3. STEEL BEAMS MUST HAVE (4) 2 X 4 STUD JACKS UNDER EACH END SUPPORT UNLESS NOTED OTHERWISE.
4. MICRO-LAM BEAMS MUST HAVE (3) 2 X 4 STUD JACKS UNDER EACH END SUPPORT UNLESS NOTED OTHERWISE
5. MASONRY LINTELS (PROVIDE 8" BEARING EACH END)
  - A. FOR SPANS UP TO 6' USE 3-1/2" X3-1/2" X 1/4" STEEL ANGLES (GALV) EXCEPT STANDARD PRESSED STEEL ANGLES 3-1/2" X 3-1/2" X 1/4" (GALV) MAY BE USED FOR FIREPLACE OPENINGS AS FOLLOWS--
    1. 10" OF BRICK OR STONE MAX. SPAN 36"
    2. 6" OF BRICK OR STONE MAX. SPAN 48"
    3. 30" OF BRICK OR STONE MAX. SPAN 72"
  - B. FOR SPAN FROM 6' TO 8' USE 5" X 3-1/2" X 5/16" STEEL ANGLES (GALV)

**FRAMING CONSTRUCTION - OTHER THAN ROOF CONT.**

6. ALL BRICK OVER LOWER ROOFS MUST HAVE ANGLE SECURELY SUPPORTED FROM BELOW
7. ALL WOOD I-JOISTS & OPEN JOISTS MUST BE BRACED IN ACCORDANCE W/ MANUF. DIRECTIONS PLUS DETAILS SHOWN ON PLANS
8. ALL RAFTER BRACES MUST HAVE (2) STUDS FROM PLATE TO FOUNDATION OR BEAM BELOW THEM @ ALL FLOORS. BRACES ON CEILING PLATE TO TRANSFER TO VERTICAL STUDS TO FOUNDATION
9. WHERE PARTITIONS FALL BETWEEN FLOOR TRUSSES 2 X 4 LADDERS @ 16" O.C. MUST BE PLACED PERPENDICULAR TO THE TRUSSES TO SUPPORT THE PLYWOOD DECKING
10. ON ALL OPEN WEB FLOOR TRUSSES OVER A 10' SPAN A MINIMUM SINGLE LINE OF 2 X 4'S SHALL BE NAILED TO DIAGONAL MEMBERS OR VERTICAL MEMBERS IN THE APPROXIMATE MID-SPAN AS A LOAD DISTRIBUTION MEMBER.
11. WHERE CEILING JOISTS ARE PARALLEL TO EXTERIOR WALLS AND RAFTERS BEAR ON STUD WALL TOP PLATES ADJACENT TO CEILING JOISTS, PROVIDE STUB JOISTS AS REQUIRED TO BRACE WALL TO CEILING JOISTS
12. HEADERS ARE TO BE DESIGNED AS PER TABLE R502.5(1) OF THE 2012 INTERNATIONAL RESIDENTIAL CODE WITH THE VIRGINIA UNIFORM STATEWIDE BUILDING CODE "USBC" (2012 EDITION) AMENDMENTS. USE CHART BELOW FOR TYPICAL HEADER SPANS AND SIZES

SIZE OF HEADER	BUILDING WIDTH	EXTERIOR BEARING WALLS				INTERIOR BEARING WALLS	
		ROOF & CEILING	ROOF, CLG. & ONE CENTER BEARING FLR	ROOF, CLG. & ONE CLEAR FLOOR SPAN	ROOF, CLG. & TWO CENTER BEARING FLRS	ONE FLOOR ONLY	TWO FLOORS
2 - 2 X 4	20'	3'-6"	3'-1"	2'-8"	2'-7"	3'-1"	2'-2"
	28'	3'-2"	2'-9"	2'-4"	2'-3"	2'-8"	1'-10"
2 - 2 X 6	20'	5'-5"	4'-6"	3'-11"	3'-9"	4'-6"	3'-2"
	28'	4'-8"	4'-0"	3'-5"	3'-3"	3'-11"	2'-9"
2 - 2 X 8	20'	6'-10"	5'-9"	5'-0"	4'-9"	5'-9"	4'-11"
	28'	5'-11"	5'-0"	4'-4"	4'-2"	5'-0"	3'-6"
2 - 2 X 10	20'	8'-5"	7'-0"	6'-1"	5'-9"	7'-0"	4'-11"
	28'	7'-3"	6'-2"	5'-3"	5'-1"	6'-1"	4'-3"
2 - 2 X 12	20'	9'-9"	8'-1"	7'-1"	6'-8"	8'-1"	5'-9"
	28'	8'-5"	7'-1"	6'-1"	5'-10"	7'-0"	5'-0"
3 - 2 X 8	20'	8'-4"	7'-2"	6'-3"	5'-11"	7'-2"	5'-1"
	28'	7'-5"	6'-3"	5'-5"	5'-2"	6'-3"	4'-5"
3 - 2 X 10	20'	10'-6"	8'-9"	7'-7"	7'-3"	8'-9"	6'-2"
	28'	9'-1"	7'-8"	6'-7"	6'-4"	7'-7"	5'-4"
3 - 2 X 12	20'	12'-2"	10'-2"	8'-10"	8'-5"	10'-2"	7'-2"
	28'	10'-7"	8'-11"	7'-8"	7'-4"	8'-10"	6'-3"

13. ALL SHEATHING TO BE APA RATED WOOD STRUCTURAL PANELS (R602.10) AS FOLLOWS:

	GRADE	THICKNESS (NOMINAL)
ROOF:	O.S.B.	5/8"
WALL:	O.S.B.	1/2"
FLOOR:	O.S.B.	3/4"

INSTALL ALL SHEATHING IN ACCORDANCE W/ TABLE R602.10.5 AND R602.3(3)

14. FLOOR AND WALL FRAMING SHALL BE CAPABLE OF ACCOMMODATING ALL LOADS IMPOSED AND TRANSMITTING THE RESULTING LOADS TO THE SUPPORTING ELEMENTS DOWN TO THE FOUNDATION.
15. PROVIDE 2X6 STUD FRAMING SPACED @ 16" O.C. @ ALL UNBRACED GABLE END WALLS.
16. PER SECTION R602.3.1 THE SIZE, HEIGHT AND SPACING OF ALL STUD MEMBERS SHALL BE IN ACCORDANCE WITH TABLE R602.3(5). BALLOON FRAMED WALLS ARE DESIGNED AND SEALED BY RDP AND NOT PRESCRIPTIVE.
17. ALL INTERIOR BEARING WALLS SHALL BE CONSTRUCTED, FRAMED AND FIRE BLOCKED AS REQUIRED FOR EXTERIOR WALLS (R602.4).
18. PROVIDE FIRE BLOCKING IN ALL AREAS AS MANDATED IN BUILDING CODE PROVIDE DRAFTSTOPPING IN ALL ATTICS AND FLOORS AS PER R502.12
19. ALL FASTENERS IN PRESSURE TREATED WOOD ARE TO BE HOT-DIPPED ZINC-COATED GALVANIZED STEEL, STAINLESS STEEL, SILICON BRONZE, OR COPPER AS PER SECTION R319.3
20. ALL FLOOR JOIST AND GIRDER SPANS SHALL BE IN ACCORDANCE WITH TABLES R502.3.1(1), R502.3.1(2), R502.3.3(1)-(2), R502.5(1), R502.5(2) AND SECTIONS R502.4 & R502.10
21. PER SECTION R502.6 ALL JOIST, BEAM OR GIRDER ENDS SHALL BEAR NLT 1 1/2" ON WOOD OR METAL AND NLT 3" ON MASONRY OR CONCRETE EXCEPT WHERE SUPPORTED ON A 1" X 4" RIBBON STRIP AND NAILED TO ADJ. STUD OR APPROVED
22. ALL FASTENERS SHALL BE INSTALLED IN ACCORDANCE WITH TABLES R602.3(1)-(2) JOIST HANGERS
23. FIRE RATED SHEATHING - ALL FIRE RATED SHEATHING SPECIFIED IS TO BE BLAZEGUARD WOOD PANELS AS MANUFACTURED BY INTERNATIONAL BARRIER TECHNOLOGY

**ROOF CONSTRUCTION**

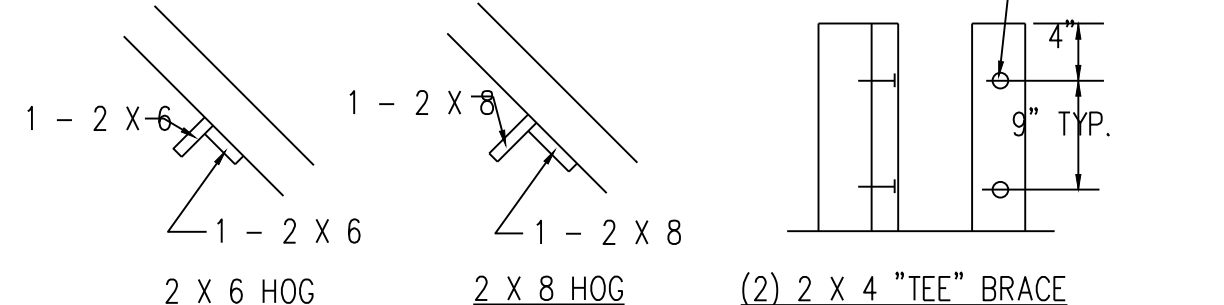
1. ALL LUMBER SHALL BE SOUTHERN YELLOW PINE #2 OR SPRUCE-PINE-FIR #2 OR BETTER FRAMING UNLESS NOTED OTHERWISE. STUD OR UTILITY GRADE LUMBER IS UNACCEPTABLE.
2. RAFTER - 2 X 8 @ 16" O.C. UNLESS NOTED OTHERWISE. THEY ARE CUT IN TO HIPPS, RIDGES, ETC. UNLESS NOTED OTHERWISE

A. TILE, SLATE AND OTHER BEARING ROOF COVERINGS

SHALL USE 2 X 10 @ 16" RAFTERS UNLESS OTHERWISE NOTED

3. COLLAR TIES - 2 X 4 @ 32" AT ALL RIDGES AND AS REQUIRED BY TABLE R 602.3.1
4. (3) COLLAR TIES MIN. @ ALL RIDGES EVEN IF 2 TIES MUST BE PUT ON (1) SET OF RAFTERS
5. ALL BRACES ARE (2) 2 X 4 NAILED W/ 16d NAILS @ 9" O.C. VERTICALLY FROM TOP TO BOTTOM - SEE DETAIL BELOW. BRACES 8'-0" AND LONGER MUST BE BRACED HORIZONTALLY @ 4'-0"
6. ALL HIPPS & RIDGES ARE TO BE SIZED SO THAT ALL RAFTERS BEAR FULLY ON THE RIDGE BOARD.
7. ALL HOGS ON CEILING JOISTS OR RAFTERS ARE 2 X 6 OR 2 X 8 UNLESS NOTED OTHERWISE. IF REQUIRED BY APPLICABLE CODE
8. MAXIMUM SPACING OF RAFTER BRACES - RAFTERS CAN BE SPLICED OVER HOGS FOR 2 X 6 HOG - 6'-0" O.C. FOR 2 X 8 HOG - 7'-6" O.C.

**BRACING DETAILS**



9. ALL ROOF TRUSSES MUST BE BUILT IN ACCORDANCE W/ TRUSS MANUFACTURERS DIRECTIONS. WOOD TRUSS PERMANGANATE BRACING SHALL BE PROVIDE IN ACCORDANCE WITH THE BUILD COMPONENTS SAFETY INFORMATION (BCS1-BS3) "PERMANENT RESISTANT / BRACING OF CHORDS & WEB MEMBERS"
11. PROVIDE HURRICANE STRAPS AT ALL ROOF RAFTERS WHERE REQUIRED BY APPLICABLE CODES
12. ROOF SHEATHING SHALL BE A MINIMUM OF 5/8" O.S.B. SHEATHING AND SHALL CONFORM TO TABLE R 803.2.1
13. WITH NO ROOF PLAN:
  - A. ALL LUMBER SHALL BE SOUTHERN YELLOW PINE #2 OR SPRUCE-PINE-FIR #2 OR BETTER FRAMING, UNLESS SHOWN OTHERWISE.
  - B. USE 2 X 8 @ 16" RAFTERS, UNLESS SHOWN OTHERWISE.
  - C. MAX. ALLOWABLE SPANS AS PER APPLICABLE CODE.
  - D. USE (2) 2 X 6 HOGS AT RAFTER WITH (2) 2 X 4 BRACES AT 6'. MAX. SPACING. CARRY BRACES TO PARTITIONS/BEAMS OR MIN. OF (2) 2 X 6 HOGS ON CEILING JOISTS. CUT IN ALL RAFTERS USING RIDGES, VALLEYS, ETC., ONE SIZE LARGER THAN RAFTER SIZE. CEILING JOISTS.
  - E. ALL BRACED LOADS MUST GO TO FOUNDATION.
14. PER SECTION R802.4 ALL CEILING JOIST SPANS SHALL BE IN ACCORDANCE WITH TABLES R802.4(1) AND R802.4(2).
15. PER SECTION R802.5 ALL RAFTER SPANS SHALL BE IN ACCORDANCE WITH TABLES R802.5.1(1) THROUGH R802.5.1(8).
16. ACCORDING TO SECTION R802.6 ALL RAFTER AND CEILING JOIST ENDS SHALL BEAR NLT 1 1/2" ON WOOD OR METAL AND NLT 3" ON MASONRY OR CONCRETE.

**ADDITIONAL CODE INFORMATION**

1. CONTRACTOR TO NOTIFY APPLICABLE STATE UTILITY LOCATION SERVICES PRIOR TO EXCAVATION
2. PER SECTION R312, GUARDRAILS ARE REQUIRED ON PORCHES, BALCONIES AND RAISED FLOOR SURFACES MORE THAN 30" ABOVE GRADE OR FLOOR BELOW. ALL INTERIOR AND EXTERIOR RAILINGS ARE TO BE MINIMUM 36" IN HEIGHT, BE ABLE TO WITHSTAND 200 LBS. OF FORCE AND NOT ALLOW A SPHERE GREATER THAN 3 7/8" IN DIAMETER TO PASS THROUGH. NO RAILING DESIGN W/ LADDER EFFECT IS ALLOWED. HANDRAIL GRIP SIZE AS PER SECTION R 311.7.7.3 IN THE IRC.
3. PER SECTION R308.4 & CPSC 16-CFR PART 1201, ALL GLAZING IN HAZARDOUS AREAS SHALL BE SAFETY-TYPED. THEREFORE, ALL SIDELITES NEAR ENTRY DOORS OR ANY WINDOWS THAT ARE IMPACTED BY A DOOR SWING SHALL HAVE THEIR GLASS TEMPERED.
4. PER N1102.2.3 ATTIC ACCESS TO BE INSULATED WITH AN R VALUE EQUAL TO THE DIAPHRAGM THAT THEY PENETRATE. ALL ACCESSES MUST BE GASKETED AND CONSTRUCTED TO CONTAIN INSULATION SPILL OVER.
5. PER SECTION R310, EGRESS WINDOWS SHALL MEET THE FOLLOWING REQUIREMENTS: MINIMUM OF (1) 5.7 SQ. FT. CLEAR OPENING PER BEDROOM IS REQUIRED AT THE SECOND LEVEL OR ABOVE. MINIMUM OF (1) 5.0 SQ. FT. CLEAR OPENING PER BEDROOM IS REQUIRED FOR WINDOWS ON THE FIRST LEVEL.
6. PER SECTION R314, SMOKE DETECTORS SHALL BE INTERCONNECTED, RECEIVE PRIMARY POWER FROM THE BUILDING WIRING AND HAVE A BATTERY BACKUP.
7. ALL GLASS BATH TUB ENCLOSURES ARE TO BE TEMPERED.
8. ALL WINDOWS AT STAIR LANDINGS LESS THAN 60" ABOVE THE FLOOR ARE REQUIRED TO HAVE SAFETY GLAZING.
9. GARAGE TO LIVING SPACES ENTRY DOOR TO BE N.L.T. 1 5/8" WITH A FIRE RATING OF N.L.T. 20 MINUTES
10. INTERIOR GARAGE WALL & CEILING FINISH TO HAVE N.L.T. 5/8" GYPSUM BOARD ADJACENT TO ALL LIVING AREAS
11. ALL BATH VENTILATION FANS MUST DISCHARGE TO OUTSIDE SPACES
12. ALL SMOKE DETECTORS MUST BE INTERCONNECTED AS DIRECTED BY CODE.
13. ALL ELECTRICAL WORK SHALL BE ACCORDING TO THE APPLICABLE CODE(S).
14. PER SECTION R703.8 CORROSION RESISTIVE FLASHING SHALL BE PROVIDED AT ALL VALLEYS AND ROOF WALL WALL INTERSECTIONS
15. PER SECTION R308.4 PROVIDE SPECIALTY GLAZING AS REQUIRED AT "HAZARDOUS LOCATIONS"
16. ALL BATH AND SHOWER WALLS WITH SHOWER HEADS SHALL HAVE NONABSORBENT SURFACES UP TO 6'-0" IN HEIGHT AS PER SECTION R307.2
17. ALL STAIRWAYS SHALL BE ILLUMINATED AS PER SECTION R303.6 AND HAVE CONTROLS AS PER SECTION R303.6.1
18. ENERGY EFFICIENCY CALCULATIONS SHALL BE IN ACCORDANCE WITH N1101.2.1 IF REQUIRED BY CITY OFFICIALS
19. NOTE NOT USED
20. ALL WALL COVERINGS SHALL BE SECURELY FASTENED IN ACCORDANCE WITH TABLE R703.4 PER SECTION R703.4
21. PROVIDE MECHANICAL VENTILATION AT ALL TOILET ROOMS IN ACCORDANCE W/ SECTION M1507
22. ALL OUTLETS IN WET LOCATIONS SHALL BE PROVIDED AS REQUIRED PER SECTIONS E3801.4, E3802.6, E3802.1, & E3802.3
23. AS PER N1101.9 A PERMANENT ENERGY CODE CERTIFICATE SHALL BE POSTED ON OR IN THE ELECTRICAL DISTRIBUTION PANEL.
24. AS PER N1102.1 FENESTRATION REQUIREMENTS FOR EXTERIOR WINDOWS AND DOORS SHALL BE U 0.35 OR LOWER, ONE OPAQUE DOOR IS EXEMPT FROM THE U FACTOR PER N1102.3.4. UP TO 15 SQUARE FEET OF WINDOW AREA IS ALSO EXEMPT FROM MEETING 0.35 U.
25. WINDOW SILL HEIGHT FOR ALL SECOND FLOOR WINDOWS SHALL BE AS PER SECTION R612.2.
26. PROVIDE CARBON MONOXIDE DETECTORS PER IRC R315.1 AND R315.3
27. PROVIDE FIRE EXTINGUISHER IN KITCHEN PER R329
28. PER R302.5.2 PROVIDE MINIMUM 26 GAGE SHEET STEEL OR OTHER APPROVED MATERIALS AND NO OPENINGS INTO GARAGE
29. PER M1602.2 OUTDOOR AND RETURN AIR FOR FORCED AIR-SYSTEMS PROHIBITED FROM GARAGE.
30. PER N1102.4.3 ALL FIREPLACES, INCLUDING WOOD BURNING, MUST HAVE THEIR FIRE BOX OPENINGS SEALED AND GASKETED AND RECEIVE COMBUSTION AIR DIRECTLY FROM OUTSIDE.



**Ridge Point Custom Homes**

2920 WEST BROAD ST SUITE 238

Phone: 804-420-2274 Mobile: 804-201-3624 Fax: 888-751-5310

OWNER: CHRIS JEFFERSON

RENOVATION & ALTERATIONS FOR

812 JESSAMINE ST.

RICHMOND, VA 23223

DATE: 09.19.17

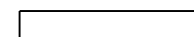

T-2



**DEMOLITION NOTES**

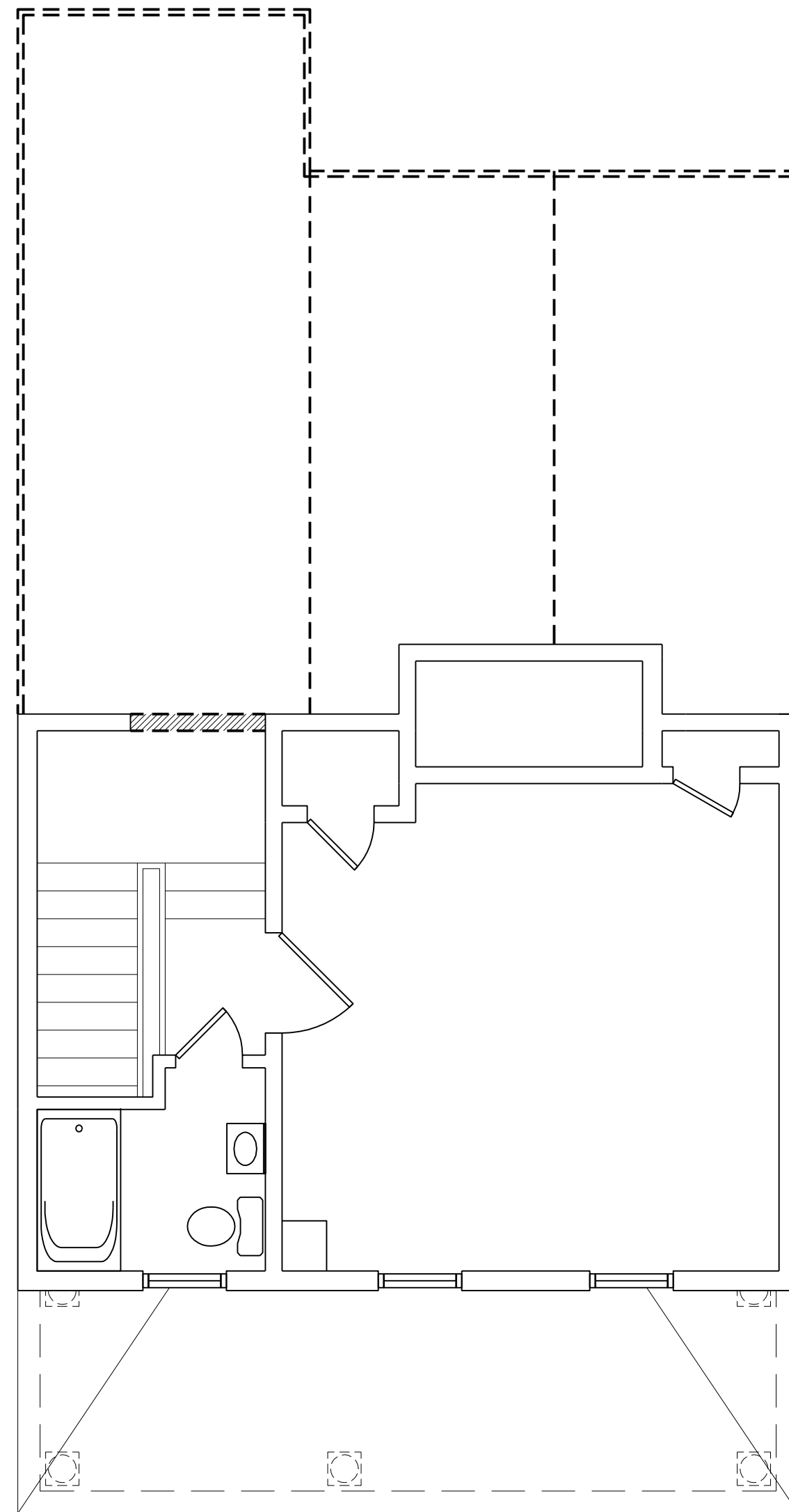
1. REMOVE ALL FIRE DAMAGED STRUCTURAL ELEMENTS, INCLUDING TRUSSES, STUDS, JOISTS, BEAMS, LINTELS, SHEATHING, SUBFLOOR, ETC. PREPARE ADJOINING SURFACES TO RECEIVE NEW CONSTRUCTION & REPLACE W/ NEW MATERIALS TO MATCH EXISTING.
2. REMOVE ALL INTERIOR PARTITIONS, FINISHES, FIXTURES, CASEWORK & MILLWORK OUT TO EXTERIOR WALLS & DOWN TO SUBFLOOR
3. INSPECT ALL DRYWALL & INSULATION & REPLACE IF COMPROMISED BY FIRE, SMOKE OR WATER DAMAGE.
4. REMOVE ALL EXTERIOR WINDOWS, DOORS, FRAMES & TRIM. COORDINATE OPENINGS W/ NEW FLOOR PLAN & INFILL OPENINGS WHERE REQUIRED W/ FRAMING & SHEATHING TO MATCH EXISTING.
5. REMOVE ALL EXTERIOR SIDING, TRIM, TRIM, HOUSEWRAP, ETC. DOWN TO EXISTING SHEATHING & PREPARE TO RECEIVE NEW MATERIALS.
6. REMOVE EXISTING ROOF CONSTRUCTION IN ITS ENTIRETY AS REQUIRED TO ACCOMMODATE NEW 2ND STORY FLOOR JOISTS.
7. UPON COMPLETION OF DEMOLITION WORK, CLOSELY INSPECT ALL REMAINING MATERIALS. REMOVE & PREP FOR REPLACEMENT ANY MATERIALS SHOWING SIGNS OF DAMAGE OR ROT.

**LEGEND:**

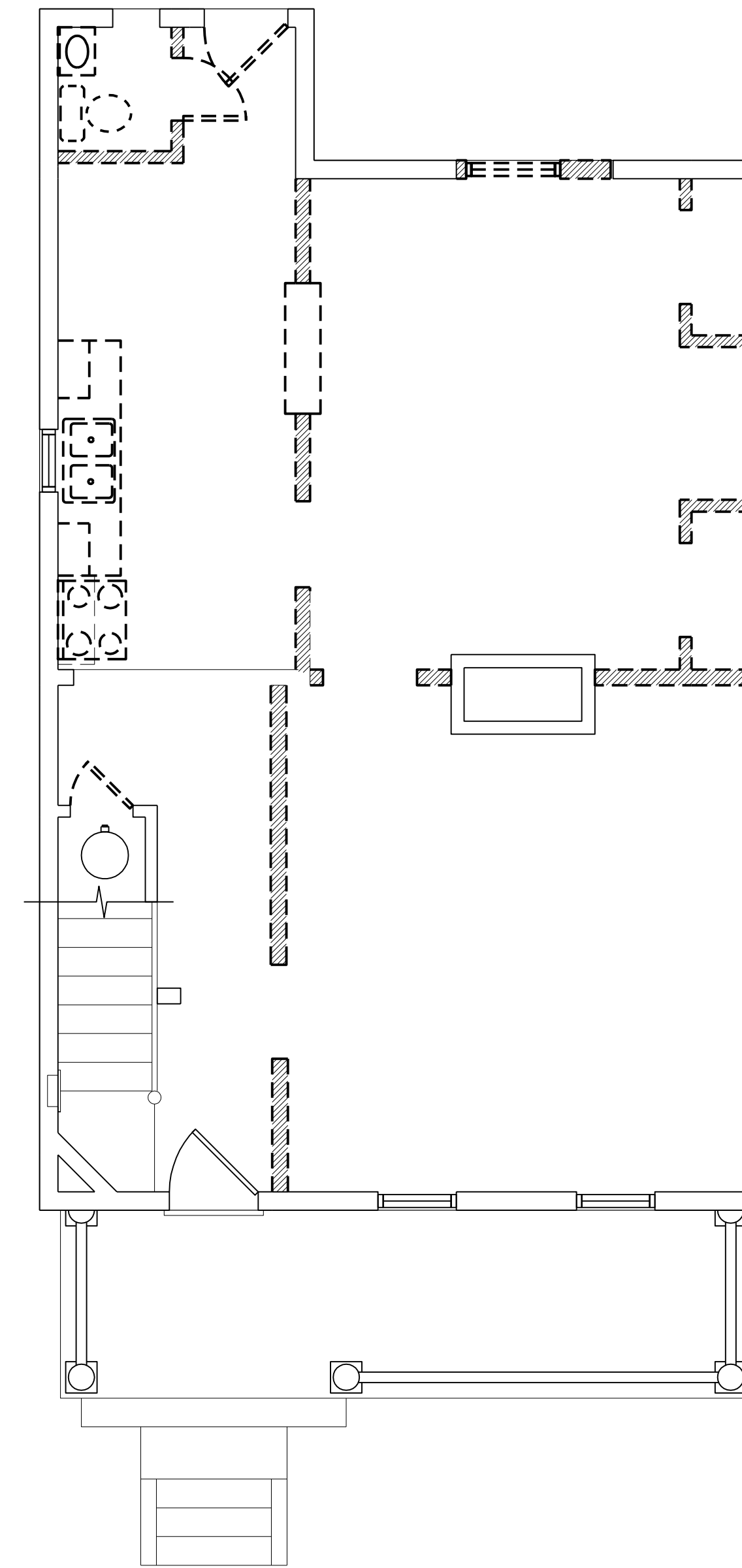
-  INDICATES EXISTING CONSTRUCTION
-  INDICATES CONSTRUCTION TO BE DEMOLISHED

**SQUARE FOOTAGE**

1ST FLOOR:	825 S.F.
2ND FLOOR:	390 S.F.
TOTAL:	1,215 S.F.



**DEMOLITION  
FIRST FLOOR PLAN**  
SCALE: 1/4"=1'-0"



**DEMOLITION  
FIRST FLOOR PLAN**  
SCALE: 1/4"=1'-0"



**Ridge Point Custom Homes**

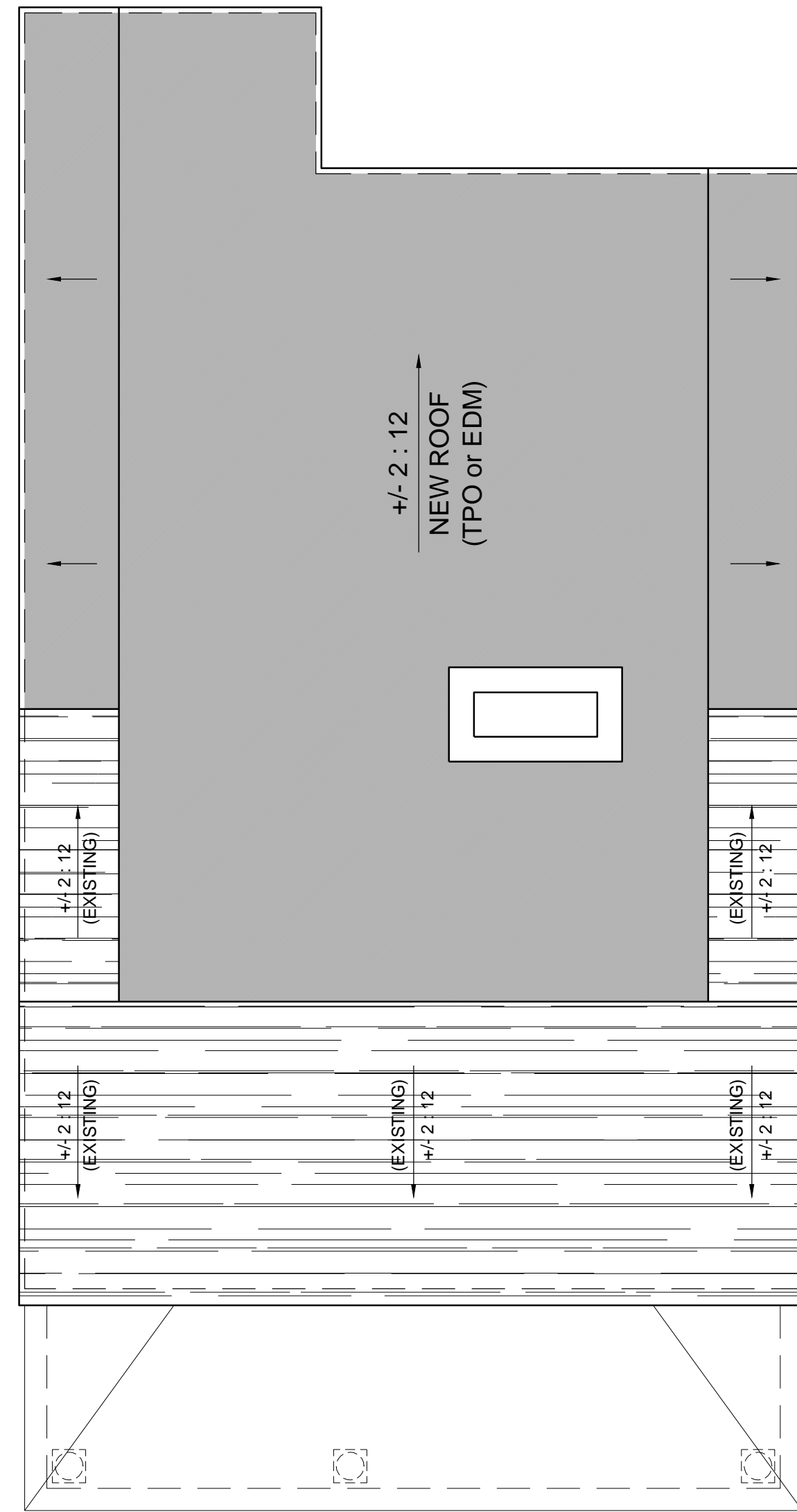
2920 WEST BROAD ST SUITE 238  
Phone: 804-420-2274 Mobile: 804-201-3624 Fax: 888-751-5310  
OWNER: CHRIS JEFFERSON

RENOVATION & ALTERATIONS FOR

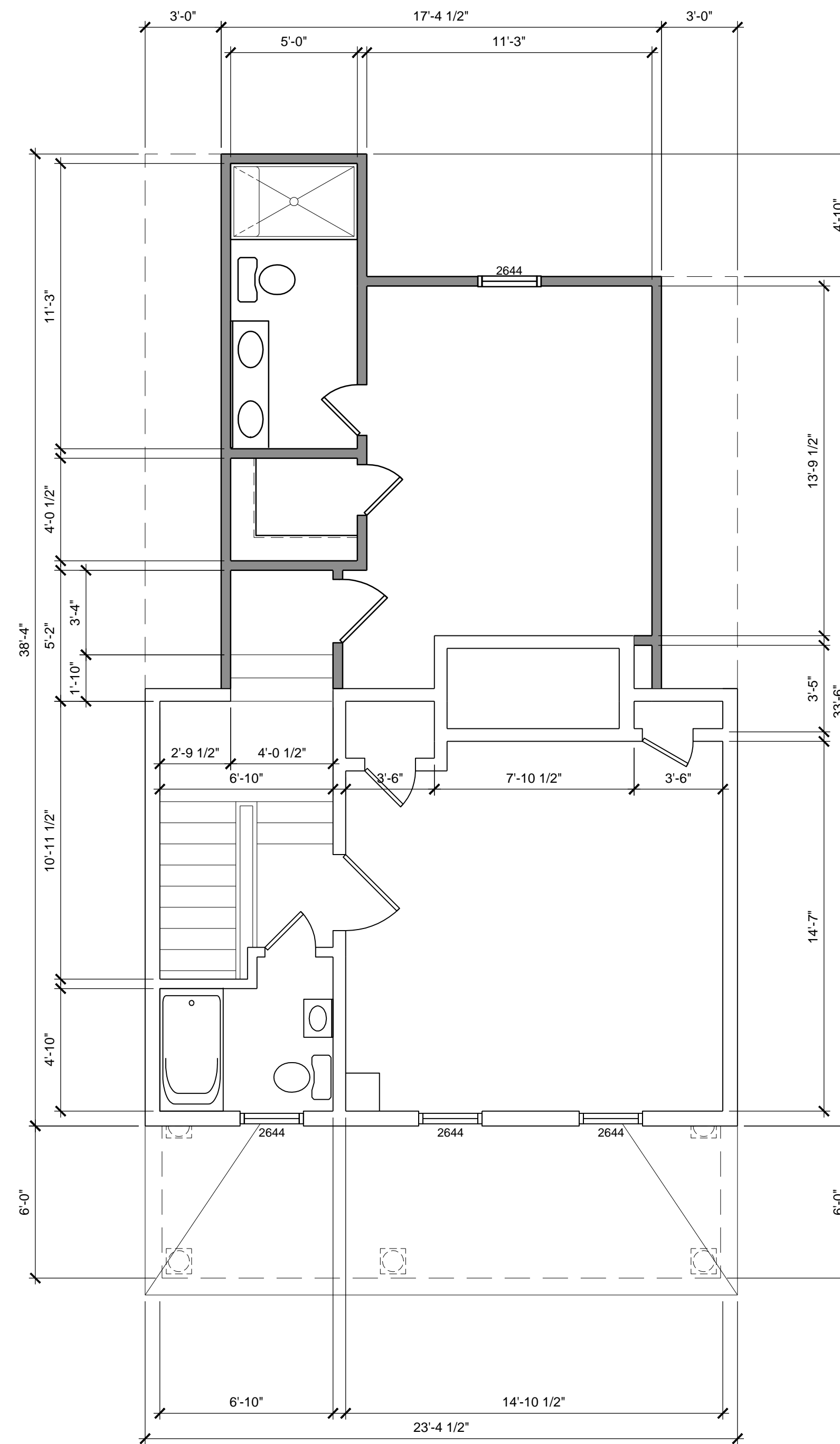
812 JESSAMINE ST.  
RICHMOND, VA 23223

DATE: 09.19.17

D-1



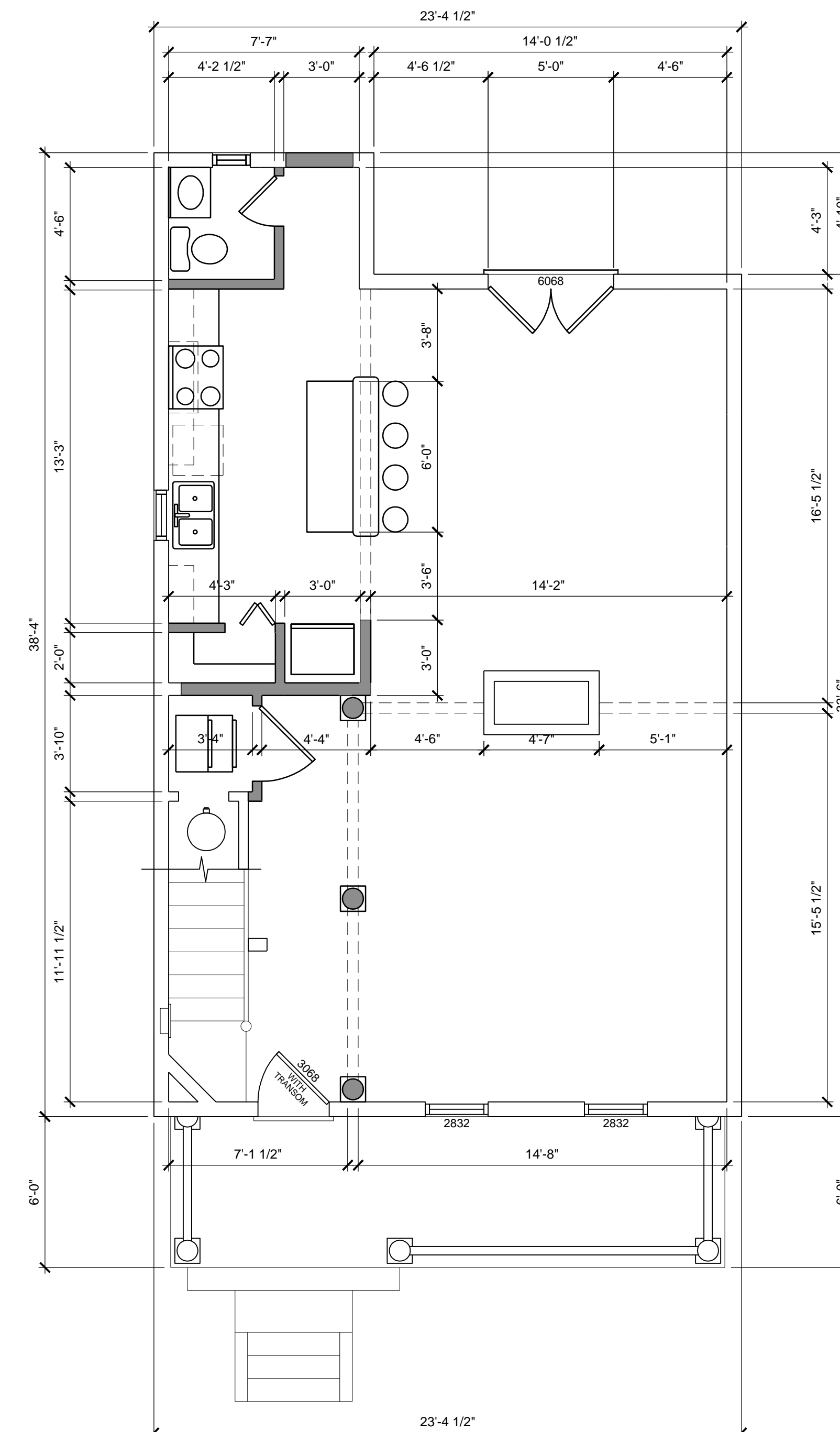
**NEW WORK  
ROOF PLAN**  
SCALE: 1/4"=1'-0"



**NEW WORK  
SECOND FLOOR PLAN**  
SCALE: 1/4"=1'-0"

**LEGEND:**

	INDICATES EXISTING CONSTRUCTION
	INDICATES NEW WALL CONSTRUCTION: 2X4 @ 16" OC



**NEW WORK  
FIRST FLOOR PLAN**  
SCALE: 1/4"=1'-0"

**SQUARE FOOTAGE**

1ST FLOOR:	825 S.F.
2ND FLOOR:	715 S.F.
<b>TOTAL:</b>	<b>1,540 S.F.</b>



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812 JESSAMINE ST.

RICHMOND, VA 23223

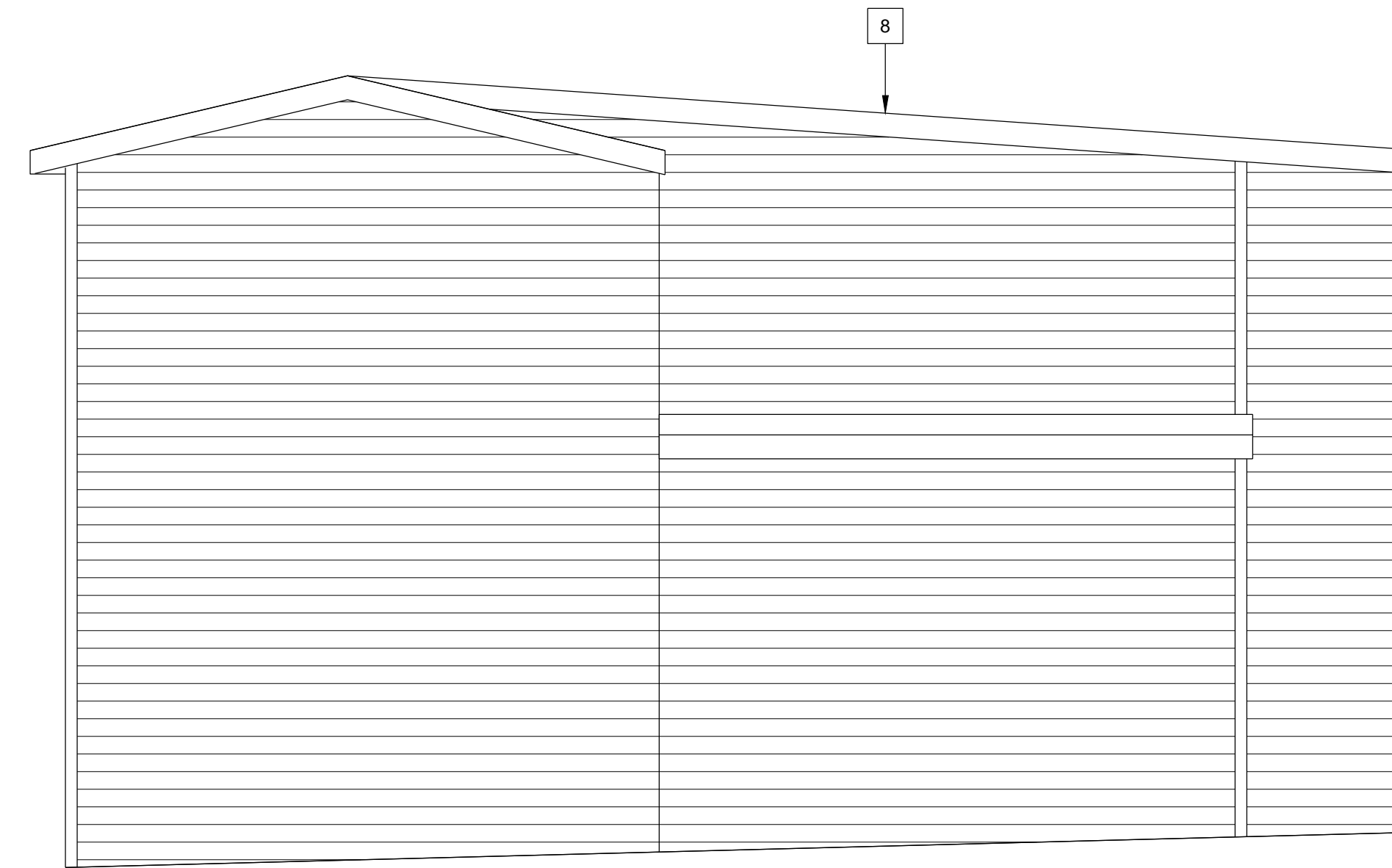
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**A-1**



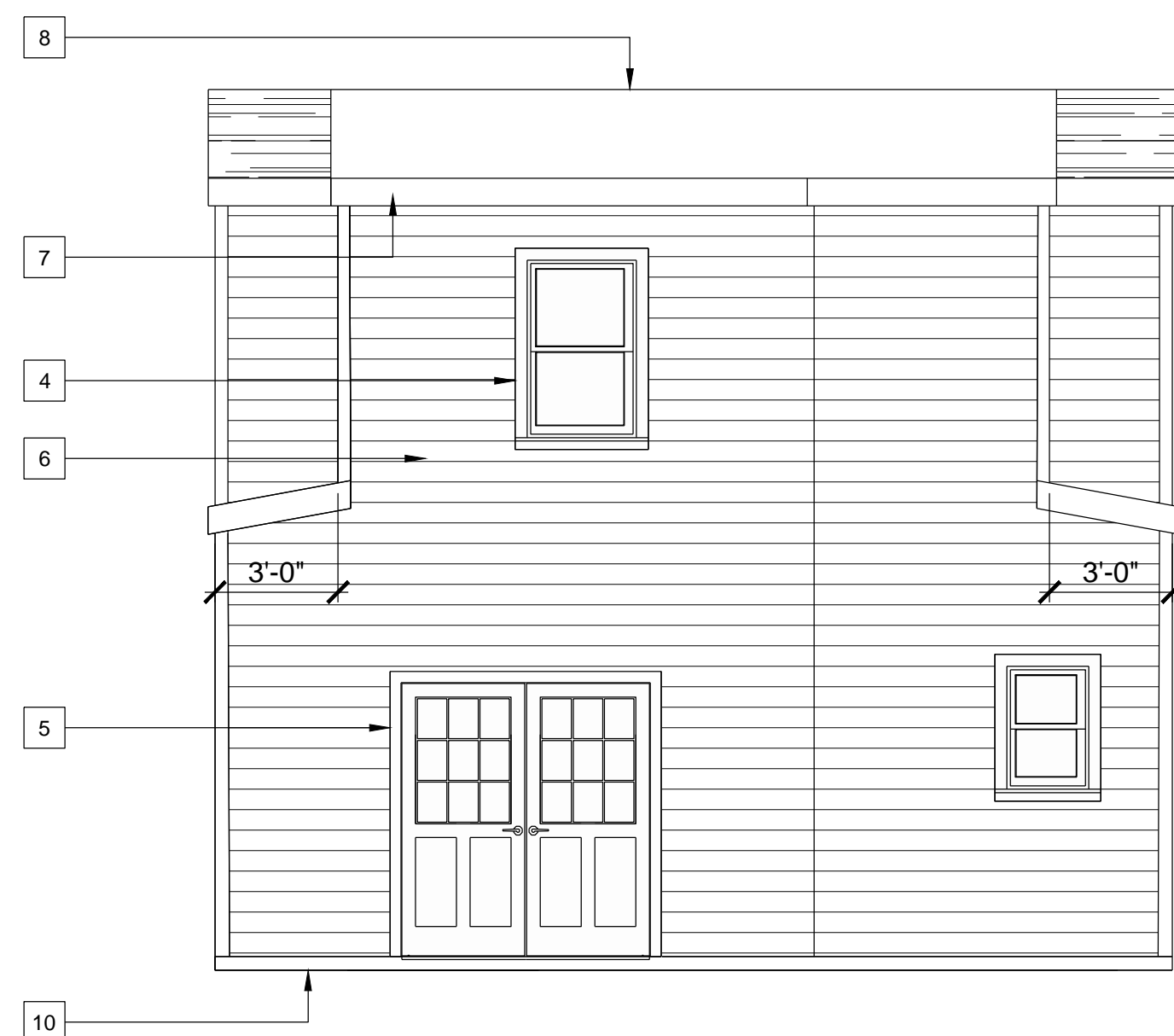
**FRONT ELEVATION**

SCALE: 1/4"=1'-0"



**RIGHT SIDE ELEVATION**

SCALE: 1/4"=1'-0"



**REAR ELEVATION**

SCALE: 1/4"=1'-0"



**RIGHT SIDE ELEVATION**

SCALE: 1/4"=1'-0"

ARCHITECTURAL KEY NOTES: 1

NOTE: 2' CONTINUOUS SHEATHING FOR ALL WALL BRACING, INCLUDING CORNERS BY DOORS AND WINDOWS

- 1. PORCH COLUMNS: (EXISTING)
- 2. PORCH ROOFING: (EXISTING)
- 3. PORCH: COMPOSITE DECKING (EXISTING)
- 4. WINDOWS: - SEE PLANS FOR SIZE
- 5. DOORS: - SEE PLANS FOR SIZE
- 6. SIDING AND TRIM: HARDBOARD SIDING
- 7. FASCIA BOARDS: MATCH SIDING AND TRIM
- 8. FLAT ROOF: TPO or EDM
- 9. ROOF FLASHING: METAL, COLOR TO MATCH FASCIA BOARD
- 10. TURNED DOWN PORCH FOUNDATION: PARGED TO MATCH FOUNDATION. 12" CONTINUOUS CONCRETE FOOTING, 18" BELOW GRADE MIN. (2) # 4 REBAR HORIZONTAL.
- 11. SIMPSON HDU8 HOLD DOWN



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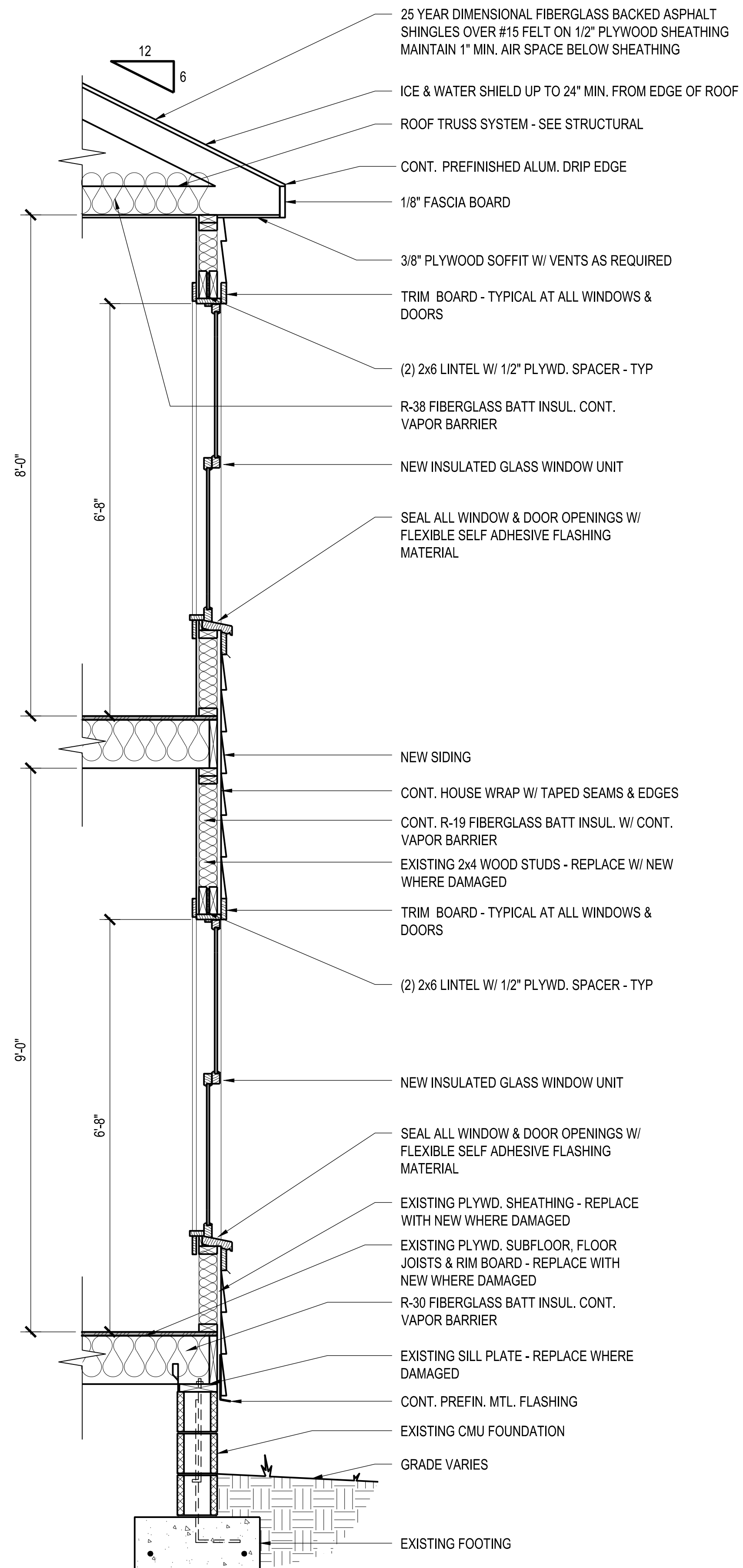
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**A-2**



**TYPICAL WALL SECTION**

SCALE: 3/4"=1'-0"



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**A-3**