



Commission of Architectural Review SUBMISSION APPLICATION

City of Richmond, Room 510 – City Hall
900 East Broad Street, Richmond, Virginia 23219
PHONE: (804) 646-6335 FAX: (804) 646-5789

12 COPIES OF SUPPORTING DOCUMENTATION ARE REQUIRED FOR PROCESSING YOUR SUBMISSION

LOCATION OF WORK: 611-613 N. 21st St DATE: 1/28/15

OWNER'S NAME: Church Hill Rentals, LLC TEL NO.: 804-991-4111

AND ADDRESS: 3426 Pump Rd #169 Richmond VA 23233 EMAIL: DVKSF@YAHOO.COM

CITY, STATE AND ZIP CODE: _____

ARCHITECT/CONTRACTOR'S NAME: Esolve Development Inc TEL. NO.: 804-991-4111

AND ADDRESS: same EMAIL: DVKSF@YAHOO.COM

CITY, STATE AND ZIP CODE: _____

Would you like to receive your staff report via email? Yes No

REQUEST FOR CONCEPTUAL REVIEW

I hereby request Conceptual Review under the provisions of Chapter 114, Article IX, Division 4, Section 114-930.6(d) of the Richmond City Code for the proposal outlined below in accordance with materials accompanying this application. I understand that conceptual review is advisory only.

APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

I hereby make application for the issuance of a certificate under the provisions of Chapter 114, Article IX, Division 4 (Old and Historic Districts) of the Richmond City Code for the proposal outlined below in accordance with plans and specifications accompanying this application.

DETAILED DESCRIPTION OF PROPOSED WORK (Required):

STATE HOW THE DESIGN REVIEW GUIDELINES INFORM THE DESIGN OF THE WORK

PROPOSED. (Include additional sheets of description if necessary, and 12 copies of artwork helpful in describing the project. The 12 copies are not required if the project is being reviewed for an administrative approval. See instruction sheet for requirements.)

Requesting changes to already approved design for new attached duplexes due to grading of the lot.

Revision to design of front staircase from being front to being out to sides.

~~Change rear 1st floor deck from framing to concrete slabs.~~

Signature of Owner or Authorized Agent: **X** Daniel Kleyma

Name of Owner or Authorized Agent (please print legibly): DANIEL KLEYSMAN

(Space below for staff use only)

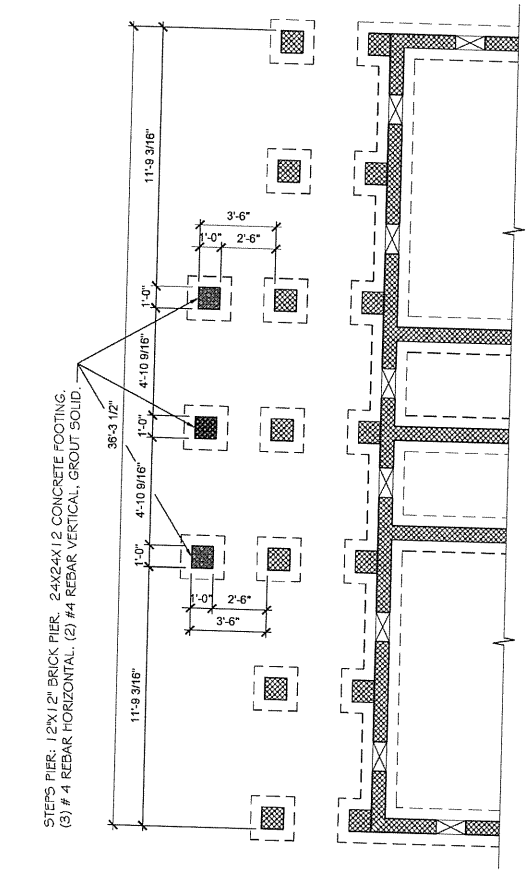
Received by Commission Secretary

APPLICATION NO. _____

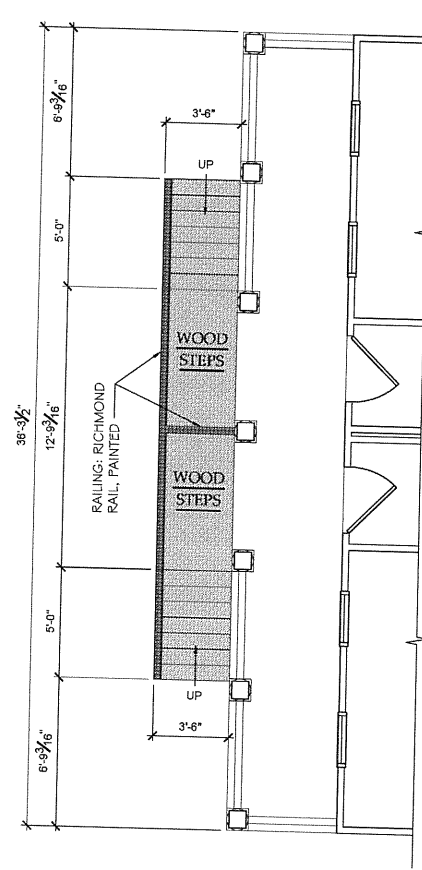
DATE JAN 28 2015 400

SCHEDULED FOR _____

Note: CAR reviews all applications on a case-by-case basis.



NEW FRONT STEPS FOUNDATION
SCALE: 1/4"=1'-0"



NEW FRONT STEPS LAYOUT
SCALE: 1/4"=1'-0"

EVOLVE DEVELOPMENT, INC.
3420 PUMP RD SUITE 169 RICHMOND, VA 23233
dvk5f@yahoo.com 804-991-4111

611 & 613 N 21st St
RICHMOND, VA 23223

DATE: 01-28-15

A-1

ARCHITECTURAL KEY NOTES: 1

NOTE: 2" CONTINUOUS SHEATHING FOR ALL WALL BRACING, INCLUDING CORNERS BY DOORS AND WINDOWS

1. FOUNDATION: CMU FINISHED WITH PARPING SEE WALL DETAIL A-1 FOR ADDITIONAL INFORMATION.
2. FRONT PORCH FLOORING AND TRIM: TONGUE AND GROOVE DECKING
3. RAILING: RICHMOND RAIL, PAINTED
4. FRONT COLUMNS: FIBERGLASS DORIC COLUMNS PAINTED, 4X4 INTERIOR POST
5. PORCH ROOFING: MEMBRANE, BLACK FINISH
6. WINDOWS: WHITE VINYL- DOUBLE PANE- SEE WINDOW SCHEDULE
7. DOORS: PAINTED FIBERGLASS-SEE DOOR SCHEDULE
8. SIDING AND TRIM: FIBER-CEMENT ('HARDIPANEL' MATERIAL OR EQUAL)
9. FASCIA BOARDS: FIBER-CEMENT ('HARDIPANEL' MATERIAL OR EQUAL)
10. WOOD STEPS & RAILING: RICHMOND STYLE
11. ROOF FLASHING: METAL, COLOR TO MATCH FASCIA BOARD
12. UPPER ROOF: MEMBRANE ROOF OVER 2" OSB
13. REAR PORCH STRUCTURE: PRESSURE TREATED STAINED, VERTICAL 6X6 POSTS
14. PORCH PIER: 12"X12" BRICK PIER, 24X24X12 CONCRETE FOOTING. (3) # 4 REBAR HORIZONTAL, (2) #4 REBAR VERTICAL, GROUT SOLID.
15. WOOD LATTICE PANEL
16. UPPER ROOF: MEMBRANE ROOF OVER 1HR FIRE RATED PLYWOOD, 4'-0" FROM SEPARATION WALL - EACH SIDE
17. UNIT SEPARATION WALL - SEE DETAIL ON A-1
18. CRAWL SPACE ACCESS PANEL
19. 12" x 12" BRICK COLUMN
20. 18" x 24" ATTIC VENT
21. 8" x 16" FOUNDATION VENT
22. SIMPSON HDU8 HOLD DOWN



WEST ELEVATION

SCALE: 1/4"=1'-0"



SOUTH ELEVATION

SCALE: 1/4"=1'-0"

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A-2

ARCHITECTURAL KEY NOTES: 1

NOTE: 2' CONTINUOUS SHEATHING FOR ALL WALL BRACING, INCLUDING CORNERS BY DOORS AND WINDOWS

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3. RAILING: RICHMOND RAIL, PAINTED
4. FRONT COLUMNS: FIBERGLASS DORIC COLUMNS PAINTED, 4X4 INTERIOR POST
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6. WINDOWS: WHITE VINYL- DOUBLE PANE- SEE WINDOW SCHEDULE
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8. SIDING AND TRIM: FIBER-CEMENT ('HARDIPANEL' MATERIAL OR EQUAL)
9. FASCIA BOARDS: FIBER-CEMENT ('HARDIPANEL' MATERIAL OR EQUAL)
10. WOOD STEPS & RAILING: RICHMOND STYLE
11. ROOF FLASHING: METAL, COLOR TO MATCH FASCIA BOARD
12. UPPER ROOF: MEMBRANE ROOF OVER # 055
13. REAR PORCH STRUCTURE: PRESSURE TREATED STAINED, VERTICAL 6X6 POSTS
14. PORCH PIER: 12"x12" BRICK PIER. 24X24X12 CONCRETE FOOTING. (3) # 4 REBAR HORIZONTAL. (2) #4 REBAR VERTICAL, GROUT SOLID.
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EAST ELEVATION

SCALE: 1/4"=1'-0"



NORTH ELEVATION

SCALE: 1/4"=1'-0"

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