



# COMMISSION OF ARCHITECTURAL REVIEW

## APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

**PROPERTY** (location of work)

Address **2007 Cedar Street**

Historic district **Union Hill**

Date/time rec'd: _____
Rec'd by: _____
Application #: _____
Hearing date: _____

**APPLICANT INFORMATION**

Name **Zach Kennedy**

Phone **804-980-7377**

Company **Cheneys Creek LLC**

Email **zlkennedy1@gmail.com**

Mailing Address **6700 Stuart Avenue**  
**Richmond, VA 23226**

Applicant Type:  Owner  Agent  
 Lessee  Architect  Contractor  
 Other (please specify):

**OWNER INFORMATION** (if different from above)

Name \_\_\_\_\_

Company \_\_\_\_\_

Mailing Address \_\_\_\_\_

Phone \_\_\_\_\_

Email \_\_\_\_\_

**PROJECT INFORMATION**

Review Type:  Conceptual Review  Final Review

Project Type:  Alteration  Demolition  New Construction  
(Conceptual Review Required)

Project Description: (attach additional sheets if needed)

**Proposed new construction multi-family residential property**

**ACKNOWLEDGEMENT OF RESPONSIBILITY**

**Compliance:** If granted, you agree to comply with all conditions of the COA. Revisions to approved work require staff review and may require a new application and CAR approval. Failure to comply with the COA may result in project delays or legal action. The COA is valid for one (1) year and may be extended for an additional year, upon written request.

**Requirements:** A complete application includes all applicable information requested on checklists to provide a complete and accurate description of existing and proposed conditions. Applicants proposing major new construction, including additions, should meet with Staff to review the application and requirements prior to submitting an application. Owner contact information and signature is required. Late or incomplete applications will not be considered.

**Zoning Requirements:** Prior to Commission review, it is the responsibility of the applicant to determine if zoning approval is required and application materials should be prepared in compliance with zoning.

Signature of Owner 

Date **3/10/19**

2007 Cedar Street 3/10/19

**DETAILED DESCRIPTION OF PROPOSED WORK** The proposed six-unit Multi-Family building shall be located on the vacant lot of 2007 Cedar Street in Richmond's Historic Union Hill Neighborhood. As stated in the handbook, the goal of this design is that it shall be compatible with surrounding structures, while still representing the modern time in which it will be constructed. The City's future planning for this area is high urban density and the proposed function of this property complements their stated goal. This property will share similar massing and design of other new construction projects in the Union Hill District.

**SITTING** According to page 44 of the Old & Historic Districts of Richmond, Virginia: Handbook and Design Review Guidelines, "New residential infill construction should respect the prevailing front and side yard setback patterns of the surrounding block." Due to the nature of the lot's positioning the structure at 2007 Cedar will follow the same sitting as the houses directly across the street. **We have provided a couple additional feet of setback in the front yard per the request of a couple Board members.** The Handbook also suggests that, "New buildings should face the most prominent street bordering the site." The proposed building will face Cedar Street. Further, it has been mentioned that the Commission recognizes the correlation between prominent outdoor porches as influential to the safety and well-being of the community. This design uses the front and rear porches/"bay" to promote outdoor interaction between the residence and the neighbors.

**FORM** The Handbook states that, "New construction should use a building form compatible with that found elsewhere in the historic district." The massing, size, symmetry, proportions, projections and roof shapes follow that of other buildings in the historic neighborhood. The windows, the front door and the covered front porches on the prominent street follow the same pattern and proportion of other buildings in the surrounding neighborhood, as well as, with other approved new construction in the District. The proposed three-story building uses the front porches as "bays" or projections that are seen throughout Church Hill. **We have added a mansard roof on the third level to reduce the perceived additional height for the neighborhood.**

**HEIGHT, WIDTH, PROPORTION + MASSING** According to page 45 of the Handbook, "New residential construction should respect the typical height of surrounding residential buildings." The height of the proposed building will be on a first floor slab keeping the

building height as low as possible. The house adjacent to 2007 Cedar Street sits approximately 2' higher than the sidewalk, while 2007 Cedar Street will be placed much closer to the sidewalk grade. The adjacent home is approximately 29'6" to 30' at its highest point off the sidewalk. **The front facade shall respect the District by displaying a 3<sup>rd</sup> floor mansard roof with standing seam metal. This roof line will sit back from the front of the building in an effort to reduce the impact the third level has on the neighborhood. Per the Commissions request we have redesigned the front entrance to provide a clear front entrance to the property. This new entry will be the primary access for all six units. A secondary entry has been provided for the two first floor units only.**

**MATERIALS + COLORS** The Handbook states that, "Materials used in new residential construction should be visually compatible with original materials used throughout the district." The materials proposed include a white membrane roof (not visible), as well a, smooth cement lap board siding with an accent color at certain groups of windows. The proposed colors are irongray and white, The exterior doors will be black with full lite glass, mimicking full height windows. **All three levels will have 7" smooth Hardie lap siding (Iron Gray). The front elevation will have a black standing seam metal mansard roof. All metal trim will be black. The front and rear balconies will be black metal with concrete platforms.**

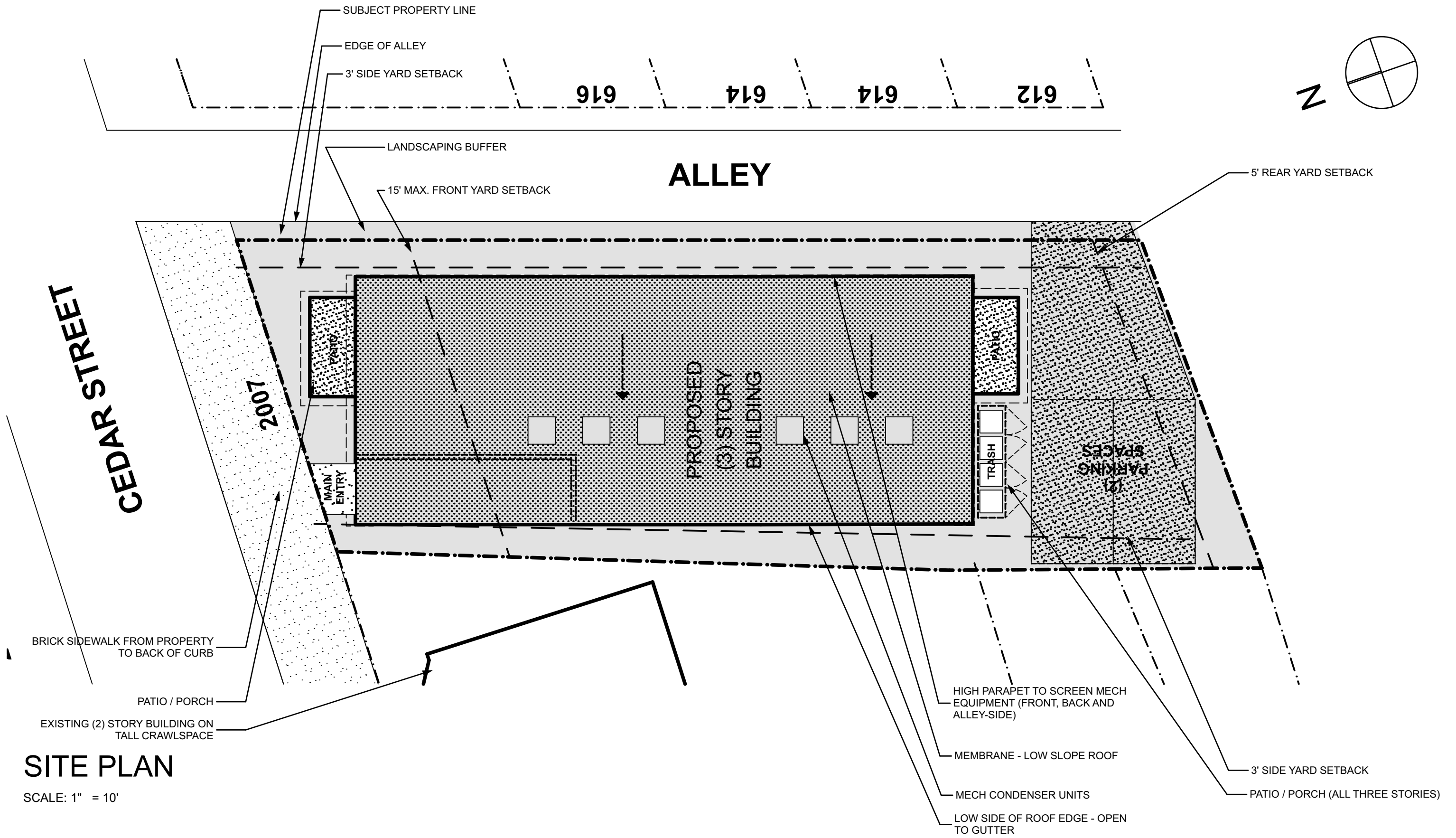
**DOORS + WINDOWS** The Handbook states that, "The size, proportion, and spacing patterns of doors and window openings on free standing, new construction should be compatible with patterns established within the district." The windows and doors of the proposed home are compatible with those of the other homes in the District. The exterior doors will be full height and will be complemented by additional full height glass panels to mimic a bay window. All exterior doors will be painted black to match the trim around each window (which is also black). The window and door headers will be aligned.

**PORCHES + PORCH DETAILS** According to page 46 of the Handbook, "New porch railing designs, compatible with the overall design of the building, will also be considered," and, "Porch roofs are encouraged to utilize standing-or flat-lock metal seam roofs that are hand-seamed, or closely approximate hand-seaming." The front and rear porches will be constructed of black painted steel and will have concrete floors. The porches will be surrounded by black posts and top cap and chrome cable rails. The

roof of each porch will be a flat membrane roof with black coping and a gutter with round downspout.

MISCELLANEOUS: The proposed building will provide a screened trash enclosure on the rear of the property with access at the adjacent alley. The parapet wall surrounding the roof will act as a screen for the mechanical units. The roof will drain west into a gutter with round downspouts.

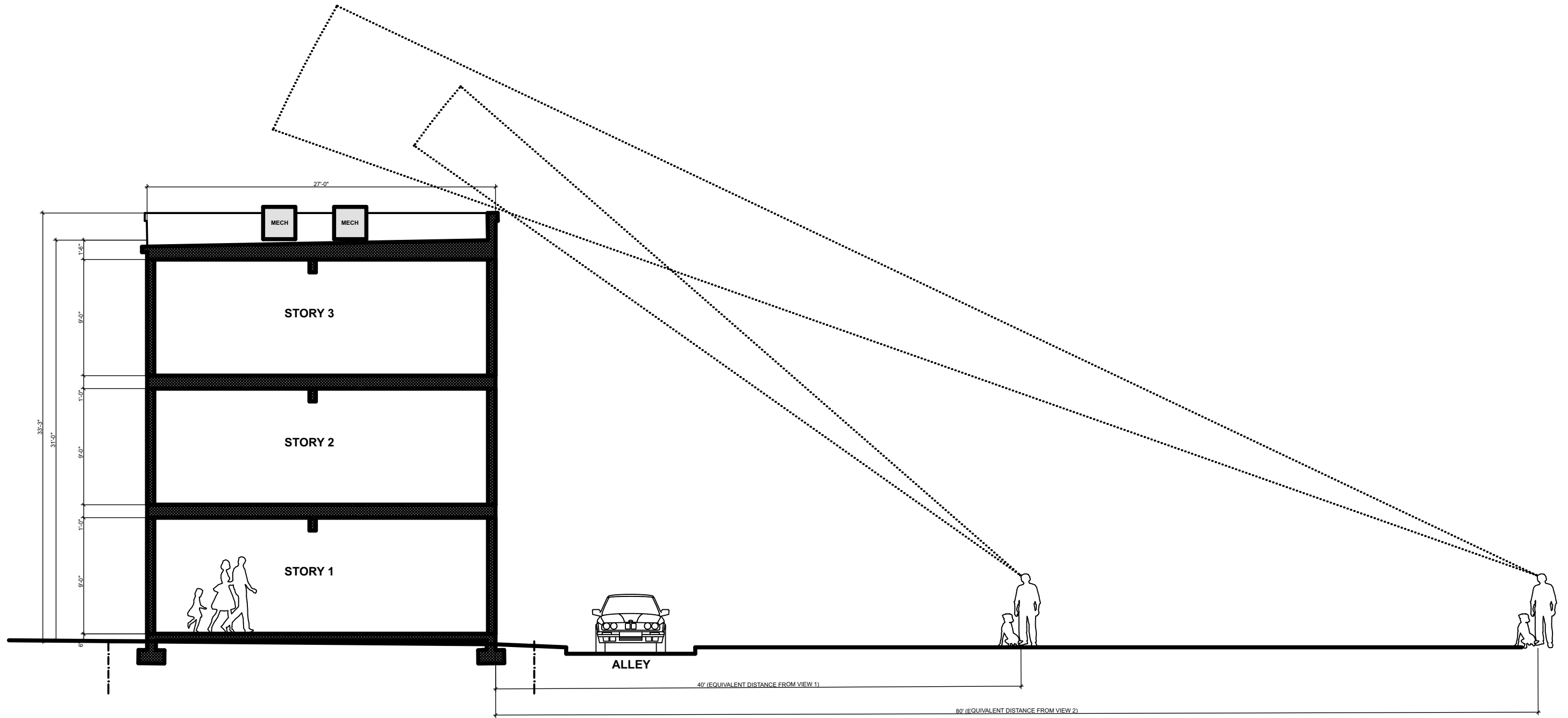
Other modifications per the Commissions request, we have reduced the length and width of the property. This has allowed us a larger front yard, parking in the rear, and better access to the trash cans in the alley. We now show the lighting for the units in the alley, and hope this shows the minimal impact it has on the neighbors privacy.



SK-02  
 3/10/19  
 PROJECT NO.: 18008

PROPOSED SITE PLAN  
 2007 CEDAR STREET  
 RICHMOND, VIRGINIA





# SIGHT LINES / SECTION ELEVATION

SCALE: 1/8" = 1'-0"

SK-03  
3/10/19  
PROJECT NO.: 18008

SIGHT LINES / SECTION ELEVATION  
2007 CEDAR STREET  
RICHMOND, VIRGINIA





PROPOSED STREETSCAPE ELEVATION (FLATTENED FOR CLARITY)

SCALE: 1:160

SK-04  
3/10/19  
PROJECT NO.: 18008

PROPOSED STREETSCAPE  
2007 CEDAR STREET  
RICHMOND, VIRGINIA

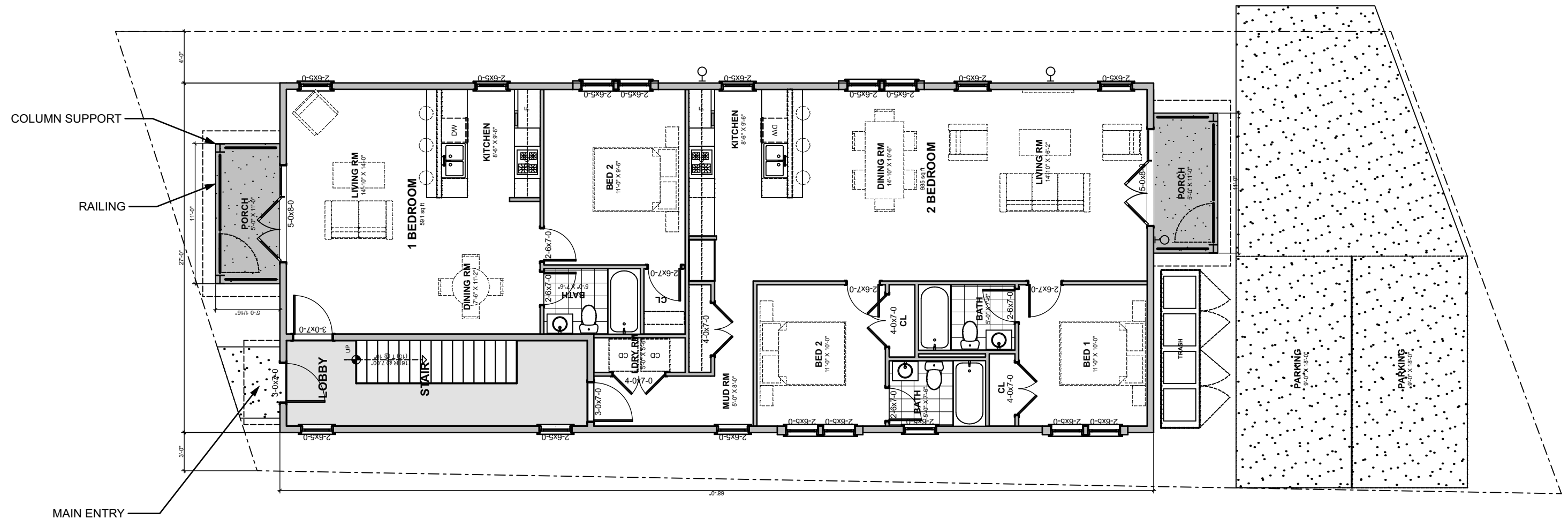


**BUILDING DATA:**

BUILDING TYPE: R-2  
 CONSTRUCTION TYPE: VB  
 STORIES ALLOWED: 2  
 STORIES ALLOWED WITH SPRINKLER: 3  
 EGRESS PER FLOOR REQUIRED: 2  
 EGRESS PER FLOOR W/ SPRINKLER: 1

ONE BEDROOM UNITS: 3 @ 594 SF  
 TWO BEDROOM UNITS: 3 @ 934 SF

TOTAL SITE AREA: 3,310 SF  
 TOTAL BUILDING AREA (FOOTPRINT): 1,821 GSF  
 TOTAL BUILDING AREAS (ALL FLOORS): 5,463 GSF



# FIRST FLOOR PLAN

SCALE: 1/8" = 1'-0"

SK-05

3/10/19

PROJECT NO.: 18008

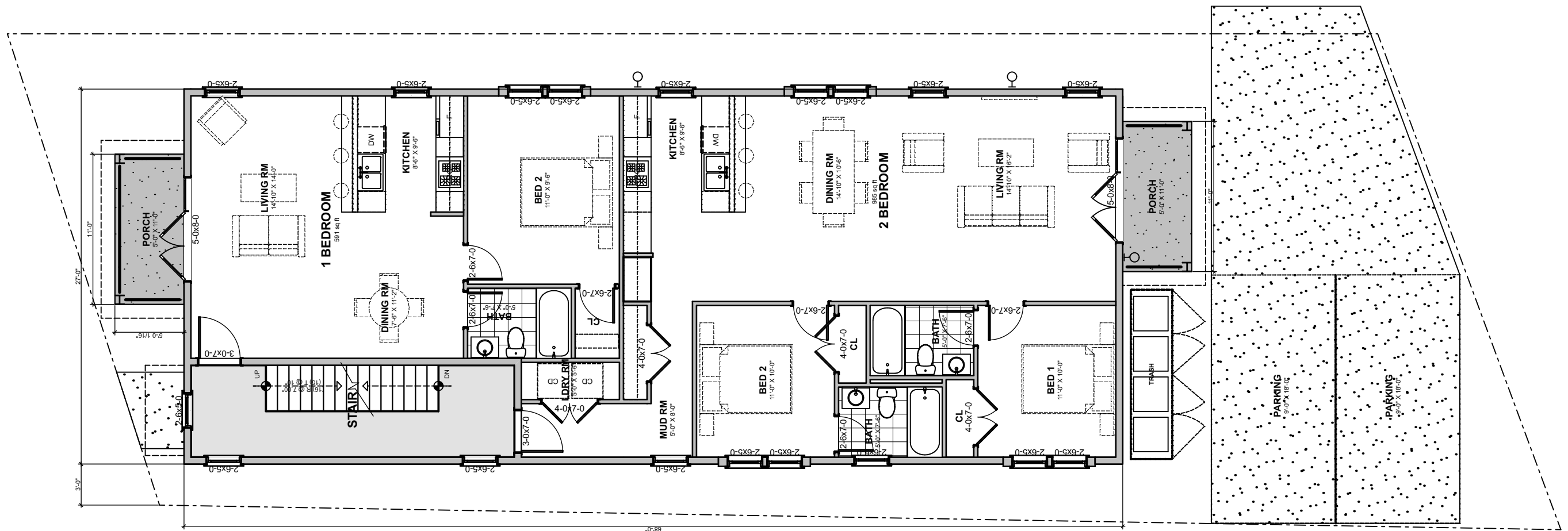
## PROPOSED FIRST FLOOR PLAN

2007 CEDAR STREET

RICHMOND, VIRGINIA







# SECOND & THIRD FLOOR PLAN

SCALE: 1/8" = 1'-0"

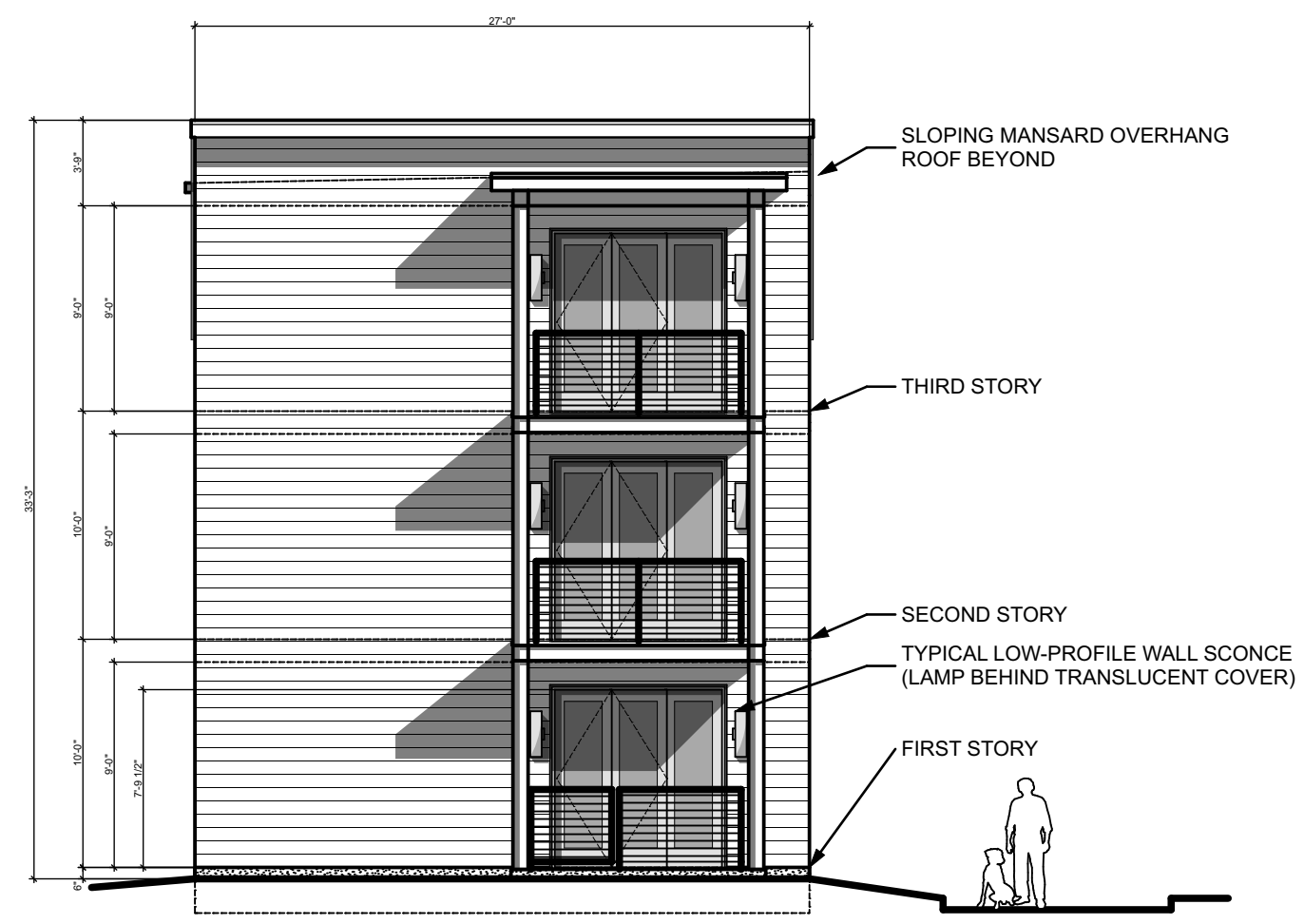
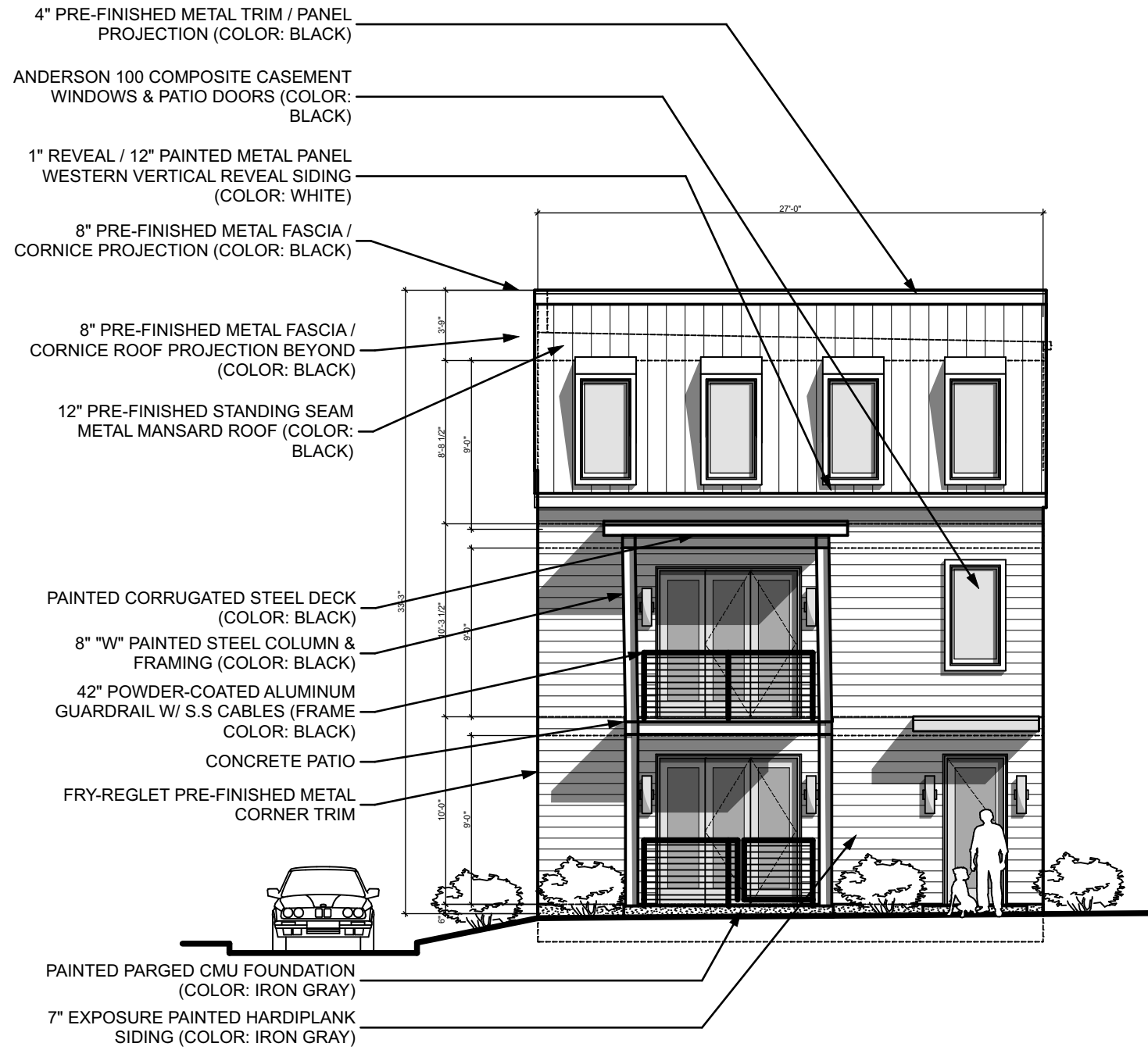
SK-06  
3/10/19

PROJECT NO.: 18008

PROPOSED SECOND FLOOR PLAN  
2007 CEDAR STREET  
RICHMOND, VIRGINIA



mario di marco  
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# PROPOSED FRONT & REAR ELEVATION

SCALE: 1/8" = 1'-0"

SK-07  
3/10/19  
PROJECT NO.: 18008

PROPOSED FRONT (CEDAR ST) & REAR ELEVATION  
2007 CEDAR STREET  
RICHMOND, VIRGINIA





## PROPOSED LEFT SIDE ELEVATION

SCALE: 1/8" = 1'-0"

SK-08

3/10/19

PROJECT NO.: 18008

PROPOSED LEFT SIDE ELEVATION (ALLEY)

2007 CEDAR STREET

RICHMOND, VIRGINIA



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4" PRE-FINISHED METAL GUTTER  
(COLOR: BLACK)



## PROPOSED RIGHT SIDE ELEVATION

SCALE: 1/8" = 1'-0"

SK-09

3/10/19

PROJECT NO.: 18008

PROPOSED RIGHT SIDE ELEVATION

2007 CEDAR STREET

RICHMOND, VIRGINIA



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CEDAR MOSBY

105-7107

105-729