

1. COA-074044-2020

PUBLIC HEARING DATE

June 23, 2020

PROPERTY ADDRESS

316 N. 21st Street

DISTRICT

Shockoe Valley

APPLICANT

G. Walker

STAFF CONTACT

C. Jeffries

Commission of Architectural Review

STAFF REPORT

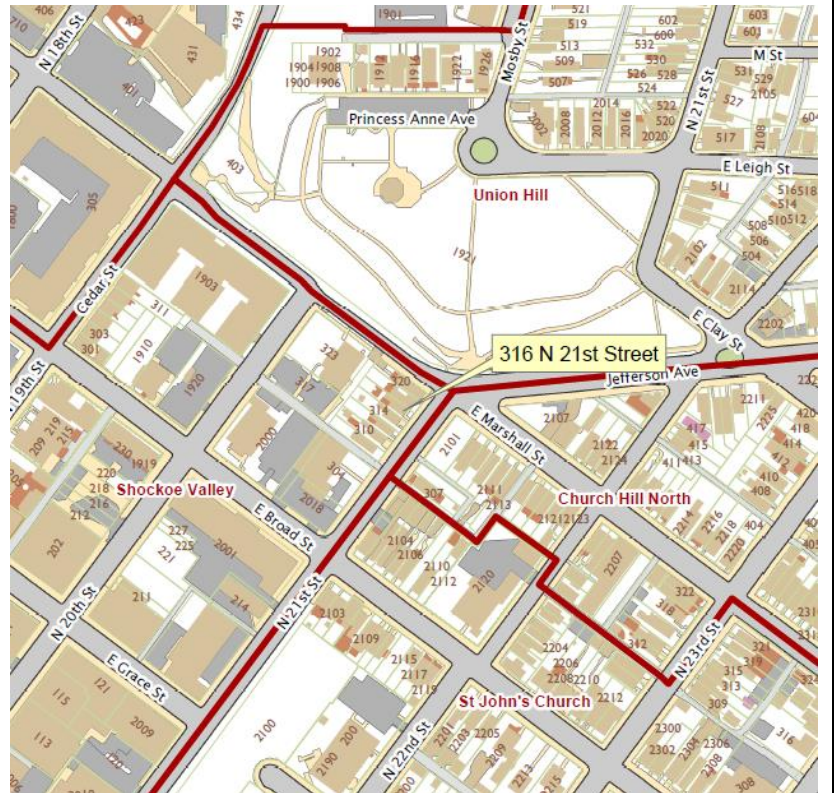


PROJECT DESCRIPTION

Rebuild two-story rear porch, construct roof and screen second story.

PROJECT DETAILS

- The applicant is requesting to replace a 1-story rear deck with a new 2-story rear porch with a roof and screened second story.
- The existing building is a 2-story frame Italianate dwelling constructed ca. 1900.
- The new porch will be constructed in the footprint of the existing rear deck but will have a roof and screening on the second story.
- The porch will be constructed of pressure treated wood with a metal roof which will continue the slope of the main roof.



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STAFF RECOMMENDATION

APPROVE WITH CONDITIONS

PREVIOUS REVIEWS

None.

STAFF RECOMMENDED CONDITIONS

- The roof height or slope be revised to differentiate the historic building and new construction. Staff recommends the redesign be submitted to staff for review and approval.
- The rear porch railing be Richmond rail.
- All materials specifications be submitted to staff for administrative approval prior to the issuance of a building permit.
- The rear porch be painted a neutral color that complements the main building and final colors be submitted to staff for administrative approval.
- The screening on the second story be placed inside the posts and railing.

STAFF ANALYSIS

Porches, Entrances & Doors #5, pg. 71	<i>The entire porch should only be replaced if it is too deteriorated to repair or is completely missing.</i>	The applicant is proposing to replace a non-historic deck with a new 2-story porch. The proposed design is consistent with rear porches found throughout the district. In addition, Sanborn maps indicate that historically there was not a porch in this location. The proposed deck will be consistent with historic patterns while also appearing as new construction.
New Construction, Form #1, pg. 46	<i>New construction should use a building form compatible with that found elsewhere in the historic district. Building form refers to the specific combination of massing, size, symmetry, proportions, projections and roof shapes that lend identity to a building. Form is greatly influenced by the architectural style of a given structure.</i>	Staff finds that the proposed extension of the existing main roof is not consistent with historic patterns. Porch roofs are typically separate from the main roof and do not include an area of siding on the sides. In addition, a separate roof would further differentiate the new porch from the historic construction. <u>Staff recommends the roof height or slope be revised to differentiate the historic building and new construction. Staff recommends the redesign be submitted to staff for review and approval.</u>
Porches and Porch Details, #2, pg. 49	<i>Typical deck railings, consisting of nailed-up stock elements, are not approved as they are not based on a compatible historical model found in Richmond's Old and Historic Districts.</i>	The plans indicate that 2x2 nailed-up pickets will be used for the second story railing. As this design is not compatible with historic buildings, <u>staff recommends the railing be Richmond rail.</u>
Porches and Porch Details, #5, pg. 49	<i>Porch roofs are encouraged to utilize standing- or flat-lock metal seam roofs that are hand-seamed, or closely approximate hand-seaming.</i>	The applicant is proposing a metal roof for the rear porch, which is compatible with historic materials.
Materials & Colors, #2, pg. 53	<i>Materials used in new construction should be visually compatible with original materials used throughout the surrounding neighborhood.</i>	As some materials specifications were not included on the plans, <u>staff recommends all materials specifications be submitted to staff for administrative approval prior to the issuance of a building permit.</u>
Materials & Colors, #3, pg. 53	<i>Paint colors used should be similar to the historically colors already found in the immediate neighborhood and throughout the larger district.</i>	<u>Staff recommends the rear porch be painted a neutral color that complements the main building and final colors be submitted to staff for administrative approval.</u>
Porches, Entrances & Doors #13, pg. 71	<i>Solid materials are not recommended for use in enclosure projects since they can radically alter the historic appearance of a porch.</i>	The guidelines do not specifically address screened porches, however they do recommend that porch enclosures maintain the open appearance of the porch. <u>Staff recommends the screening on the second story be placed inside the posts and railing, so the porch elements remain visible.</u>

It is the assessment of staff that, with the conditions above, the application is consistent with the Standards for Rehabilitation and New Construction outlined in Section 30-930.7 (b) and (c) of the City Code, as well as with the Richmond Old and Historic Districts Handbook and Design Review Guidelines, specifically the pages cited above,

adopted by the Commission for review of Certificates of Appropriateness under the same section of the code.

FIGURES

MARSHALL

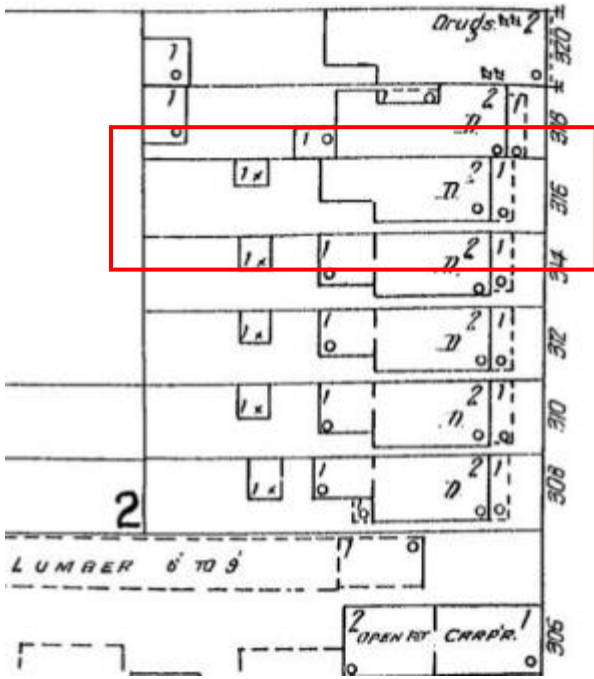


Figure 1. 1905 Sanborn map

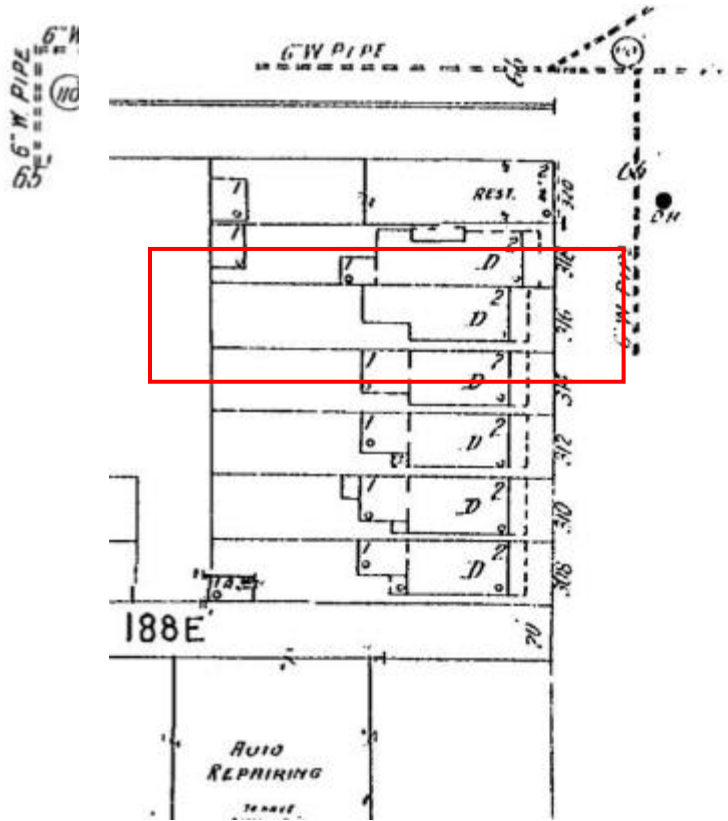


Figure 2. 1952 Sanborn map



Figure 3. 316 North 21st St, façade



Figure 4. Rear deck, viewed from alley