

INTRODUCED: September 8, 2025

AN ORDINANCE No. 2025-220

To authorize the special use of the property known as 1924 Wood Street for the purpose of up to six single-family attached dwellings, upon certain terms and conditions.

Patron – Mayor Avula (By Request)

Approved as to form and legality
by the City Attorney

PUBLIC HEARING: OCT 14 2025 AT 6 P.M.

WHEREAS, the owner of the property known as 1924 Wood Street, which is situated in a R-5 Single-Family Residential District, desires to use such property for the purpose of up to six single-family attached dwellings, which use, among other things, is not currently allowed by section 30-410.1 of the Code of the City of Richmond (2020), as amended; and

WHEREAS, in accordance with section 17.11 of the Charter of the City of Richmond (2020), as amended, it has been made to appear that, if granted subject to the terms and conditions set forth in this ordinance, the special use granted by this ordinance will not be detrimental to the safety, health, morals and general welfare of the community involved, will not tend to create congestion in streets, roads, alleys and other public ways and places in the area involved, will not

AYES: 9 NOES: 0 ABSTAIN: _____

ADOPTED: OCT 14 2025 REJECTED: _____ STRICKEN: _____

create hazards from fire, panic or other dangers, will not tend to overcrowding of land and cause an undue concentration of population, will not adversely affect or interfere with public or private schools, parks, playgrounds, water supplies, sewage disposal, transportation or other public requirements, conveniences and improvements, and will not interfere with adequate light and air; and

WHEREAS, (i) the City Planning Commission has conducted a public hearing to investigate the circumstances and conditions upon which the Council is empowered to authorize such use, (ii) the City Planning Commission has reported to the Council the results of such public hearing and investigation and its recommendations with respect thereto, and (iii) the Council has conducted a public hearing on this ordinance at which the person in interest and all other persons have had an opportunity to be heard;

NOW, THEREFORE,

THE CITY OF RICHMOND HEREBY ORDAINS:

§ 1. **Finding.** Pursuant to section 30-1050.1 of the Code of the City of Richmond (2020), as amended, the Council hereby finds that the special use set forth in and subject to the terms and conditions of this ordinance will not (i) be detrimental to the safety, health, morals and general welfare of the community involved, (ii) tend to create congestion in streets, roads, alleys and other public ways and places in the area involved, (iii) create hazards from fire, panic or other dangers, (iv) tend to overcrowding of land and cause an undue concentration of population, (v) adversely affect or interfere with public or private schools, parks, playgrounds, water supplies, sewage disposal, transportation or other public requirements, conveniences and improvements, or (vi) interfere with adequate light and air.

§ 2. **Grant of Special Use Permit.**

(a) Subject to the terms and conditions set forth in this ordinance, the property known as 1924 Wood Street and identified as Tax Parcel No. E000-0910/022 in the 2025 records of the City Assessor, being more particularly shown on a survey entitled “Survey of 1924 Wood Street,” prepared by Long Surveying, LLC, and dated March 12, 2025, a copy of which is attached to and made a part of this ordinance, hereinafter referred to as “the Property,” is hereby permitted to be used for the purpose of up to six single-family attached dwellings, hereinafter referred to as “the Special Use,” substantially as shown on the plans entitled “1924 Wood St.,” prepared by River Mill Development, and dated March 26, 2025, and “POD Exhibit 1918-1928 Wood Street,” prepared by Brian M. Long, and dated May 16, 2025, hereinafter referred to, collectively, as “the Plans,” copies of which are attached to and made a part of this ordinance.

(b) The adoption of this ordinance shall constitute the issuance of a special use permit for the Property. The special use permit shall inure to the benefit of the owner or owners of the fee simple title to the Property as of the date on which this ordinance is adopted and their successors in fee simple title, all of which are hereinafter referred to as “the Owner.” The conditions contained in this ordinance shall be binding on the Owner.

§ 3. **Special Terms and Conditions.** This special use permit is conditioned on the following special terms and conditions:

(a) The Special Use of the Property shall be as up to six single-family attached dwellings, substantially as shown on the Plans.

(b) The height of the Special Use shall not exceed the height as shown on the Plans.

(c) All building materials, elevations, and site improvements, including landscaping, shall be substantially as shown on the Plans.

(d) All mechanical equipment serving the Property shall be located or screened so as

not to be visible from any public right-of-way.

(e) Prior to the issuance of any building permit for the Special Use, the establishment of up to six residential lots, and one public alley, substantially as shown on the Plans, shall be accomplished by obtaining the necessary approvals from the City and recording the appropriate plats and deeds among the land records of the Clerk of the Circuit Court of the City of Richmond.

§ 4. **Supplemental Terms and Conditions.** This special use permit is conditioned on the following supplemental terms and conditions:

(a) All required final grading and drainage plans, together with all easements made necessary by such plans, must be approved by the Director of Public Utilities prior to the issuance of the building permit.

(b) Storm or surface water shall not be allowed to accumulate on the land. The Owner, at its sole cost and expense, shall provide and maintain at all times adequate facilities for the drainage of storm or surface water from the Property so as not to adversely affect or damage any other property or public streets and the use thereof.

(c) Facilities for the collection of refuse shall be provided in accordance with the requirements of the Director of Public Works. Such facilities shall be located or screened so as not to be visible from adjacent properties and public streets.

(d) Any encroachments existing, proposed on the Plans or contemplated in the future shall require separate authorization and shall be subject to the applicable provisions of the Code of the City of Richmond (2020), as amended, and all future amendments to such laws.

(e) The Owner shall make improvements within the right-of-way, including the installation of three street trees along Wood Street, substantially as shown on the Plans, which improvements may be completed in one or more phases as approved by the Director of Public

Works. All improvements and work within the public right-of-way shall be (i) completed in accordance with the requirements of the Director of Public Works, (ii) considered completed only upon written confirmation by the Director of Public Works or the designee thereof that such improvements and work are in accordance with such requirements, and (iii) transferred to the City, following the written confirmation by the Director of Public Works or the designee thereof, pursuant to a transfer of interest document approved as to form by the City Attorney and accepted by the Chief Administrative Officer or the designee thereof on behalf of the City. The Chief Administrative Officer or the designee thereof, for and on behalf of the City, is hereby authorized to accept, in the manner for which this subsection provides, all improvements and work required by and meeting the requirements of this subsection. The final certificate of occupancy shall not be issued for the Property until all requirements of this subsection are fully satisfied.

(f) In all other respects, the use of the Property shall be in accordance with the applicable underlying zoning regulations.

§ 5. **General Terms and Conditions.** This special use permit is conditioned on the following general terms and conditions:

(a) No permit implementing this special use permit shall be approved until satisfactory evidence has been presented to the Zoning Administrator that any delinquent real estate taxes applicable to the Property have been paid.

(b) The Owner shall be bound by, shall observe and shall comply with all other laws, ordinances, rules and regulations applicable to the Property, except as otherwise expressly provided in this ordinance.

(c) Words and phrases used in this ordinance shall be interpreted to have the meanings ascribed to them by section 30-1220 of the Code of the City of Richmond (2020), as amended, unless the context clearly indicates that a different meaning is intended.

(d) Notwithstanding any other provision of law, this special use permit is being approved due, in part, to the mitigating effects of each and every condition attached hereto; consequently, if any portion of this ordinance is determined to be invalid for any reason by a final, non-appealable order of any Virginia or federal court of competent jurisdiction, the invalidity shall cause the entire ordinance to be void and of no further effect from the effective date of such order.

(e) The privileges granted by this ordinance may be revoked pursuant to the provisions of sections 30-1050.7 through 30-1050.11 of the Code of the City of Richmond (2020), as amended, and all future amendments to such laws. Failure to comply with the terms and conditions of this ordinance shall constitute a violation of section 30-1080 of the Code of the City of Richmond (2020), as amended, and all future amendments to such law, or any other applicable laws or regulations.

(f) When the privileges granted by this ordinance terminate and the special use permit granted hereby becomes null and void, whether as a result of the Owner relinquishing this special use permit in a writing addressed to the Director of Planning and Development Review or otherwise, use of the Property shall be governed thereafter by the zoning regulations prescribed for the district in which the Property is then situated.

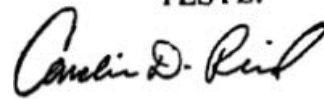
§ 6. **Implementation.** The Commissioner of Buildings is authorized to issue a building permit substantially in accordance with the Plans for the Special Use subject to the terms and conditions set forth in this ordinance. An application for the building permit shall be made within 1,096 calendar days following the date on which this ordinance becomes effective. If either the

application for the building permit is not made within the time period stated in the previous sentence or the building permit terminates under any provision of the Virginia Statewide Building Code, this ordinance and the special use permit granted hereby shall terminate and become null and void.

§ 7. **Effective Date.** This ordinance shall be in force and effect upon adoption.

A TRUE COPY:

TESTE:

A handwritten signature in cursive script, appearing to read "Camille D. Reed".

City Clerk

City of Richmond

Intracity Correspondence

O&R Transmittal

DATE: May 21, 2025

TO: The Honorable Members of City Council

THROUGH: The Honorable Dr. Danny Avula, Mayor (by request)
(This in no way reflects a recommendation on behalf of the Mayor)

THROUGH: Mr. Odie Donald II, Chief Administrative Officer

THROUGH: Sharon L. Ebert, DCAO for Planning & Economic Development

FROM: Kevin J. Vonck, Director of Planning & Development Review

RE: To authorize the special use of the property known as 1924 Wood Street for the purpose of up to six single-family attached dwellings, upon certain terms and conditions.

ORD. OR RES. No. _____

PURPOSE: The applicant is requesting a Special Use Permit to authorize six single-family attached dwellings within an R-5 Single-Family Residential District. Single-family attached dwellings are not permitted within the R-5 District. A Special Use Permit is therefore required.

BACKGROUND: The property is located in the Whitcomb neighborhood on Wood Street Lebanon and Mecklenburg Streets. The property is currently a 18,810 sq. ft. (.4 acre) parcel of land, improved with a vacant, 2155 sq. ft., two-story dwelling, constructed, according to City records, in 1900. The City's Richmond 300 Master Plan designates a future land use for the subject property as Neighborhood Mixed-Use, which is defined as a "Existing or new highly walkable urban neighborhoods that are predominantly residential with a small, but critical, percentage of parcels providing retail, office, personal service, and institutional uses." (p. 82)

Intensity: Building heights are generally two to four stories. Buildings taller than four stories may be found along major streets. Parcels are generally between 1,500 and 5,000 sq. ft.

Primary Uses: Single-family houses, accessory dwelling units, duplexes, small multi-family buildings (typically 3-10 units), and open space. Secondary Uses: Large multi-family buildings (10+units), retail/office/personal service, institutional, cultural, and government.

Adjacent properties are located within the same R-5 zone. The area is generally single-family residential, with a multifamily development just north of the property. The density of the proposed is six units upon .40 acres or 15 units per acre.

COMMUNITY ENGAGEMENT: The Eastview Civic League was notified of the application; additional community notification will take place after introduction.

STRATEGIC INITIATIVES AND OTHER GOVERNMENTAL: Richmond 300 Master Plan
FISCAL IMPACT: \$800 application fee.

DESIRED EFFECTIVE DATE: Upon adoption

REQUESTED INTRODUCTION DATE: July 28, 2025

CITY COUNCIL PUBLIC HEARING DATE: September 8, 2025

REQUESTED AGENDA: Consent

RECOMMENDED COUNCIL COMMITTEE: Planning Commission, September 2, 2025

AFFECTED AGENCIES: Office of Chief Administrative Officer; Law Department (for review of draft ordinance)

RELATIONSHIP TO EXISTING ORD. OR RES.: None

ATTACHMENTS: Draft Ordinance, Application Form, Applicant's Report, Plans, Survey, Map

STAFF: Jonathan Brown, Senior Planner, Land Use Administration (Room 511) 646-5734



CITY OF RICHMOND, VA
Department of Planning and Development Review
Land Use Administration Division
900 East Broad Street, City Hall - Room 511, Richmond, Virginia 23219

AUTHORIZATION FROM PROPERTY OWNER

TO BE COMPLETED BY THE APPLICANT
Applicant must complete ALL items

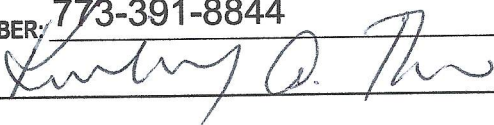
HOME/SITE ADDRESS: 530 E Main Street APARTMENT NO/SUITE Suite 600
APPLICANT'S NAME: Will Gillette/Alessandro Ragazzi EMAIL ADDRESS: alessandro@bakerdevelopmentresources.com
BUSINESS NAME (IF APPLICABLE): Baker Development Resources
SUBJECT PROPERTY OR PROPERTIES: 1924 Wood Street

APPLICATION REQUESTED

- ☐ Plan of Development (New or Amendment)
- ☐ Wireless Plan of Development (New or Amendment)
- ☒ Special Use Permit (New or Amendment)
- ☐ Rezoning or Conditional Rezoning
- ☐ Certificate of Appropriateness (Conceptual, Administrative Approval, Final)
- ☐ Community Unit Plan (Final, Preliminary, and/or Amendment)
- ☐ Subdivision (Preliminary or Final Plat Correction or Extension)

TO BE COMPLETED BY THE AUTHORIZED OWNER
Owner must complete ALL items

Signing this affidavit acknowledges that you, as the owner or lessee of the property, authorize the above applicant to submit the above selected application/s on your behalf.

PROPERTY OWNER: KIMBERLEY A BOBO
PROPERTY OWNER ADDRESS: 1723 W Chase Ave, Chicago IL 60626
PROPERTY OWNER EMAIL ADDRESS: KimABobo@comcast.net
PROPERTY OWNER PHONE NUMBER: 773-391-8844
Property Owner Signature: 

The names, addresses, telephone numbers and signatures of all owners of the property are required. Please attach additional sheets as needed. If a legal representative signs for a property owner, please attach an executed power of attorney.



Application for **SPECIAL USE PERMIT**

Department of Planning and Development Review

Land Use Administration Division

900 E. Broad Street, Room 511

Richmond, Virginia 23219

(804) 646-6304

<http://www.richmondgov.com/>

Application is hereby submitted for: (check one)

- ☐ **special use permit, new**
☐ **special use permit, plan amendment**
☐ **special use permit, text only amendment**

Project Name/Location

Property Address: _____ Date: _____

Tax Map #: _____ Fee: _____

Total area of affected site in acres: _____

(See **page 6** for fee schedule, please make check payable to the "**City of Richmond**")

Zoning

Current Zoning: _____

Existing Use: _____

Proposed Use

(Please include a detailed description of the proposed use in the required applicant's report)

Existing Use: _____

Is this property subject to any previous land use cases?

Yes

No

☐☐

If Yes, please list the Ordinance Number: _____

Applicant/Contact Person: _____

Company: _____

Mailing Address: _____

City: _____ State: _____ Zip Code: _____

Telephone: _(_____) _____ Fax: _(_____) _____

Email: _____

Property Owner: _____

If Business Entity, name and title of authorized signee: _____

(The person or persons executing or attesting the execution of this Application on behalf of the Company certifies that he or she has or have been duly authorized and empowered to so execute or attest.)

Mailing Address: _____

City: _____ State: _____ Zip Code: _____

Telephone: _(_____) _____ Fax: _(_____) _____

Email: _____

Property Owner Signature: _____

The names, addresses, telephone numbers and signatures of all owners of the property are required. Please attach additional sheets as needed. If a legal representative signs for a property owner, please attach an executed power of attorney. **Faxed or photocopied signatures will not be accepted.**

NOTE: Please attach the required plans, checklist, and a check for the application fee (see Filing Procedures for special use permits)

APPLICANT'S REPORT

April 11, 2025

*Special Use Permit Request
1924 Wood Street, Richmond, Virginia
Map Reference Number: E0000910/022*

Submitted to:	City of Richmond Department of Planning and Development Review Land Use Administration 900 East Broad Street, Suite 511 Richmond, Virginia 23219
Submitted by:	Baker Development Resources 530 East Main Street, Suite 600 Richmond, VA 23219

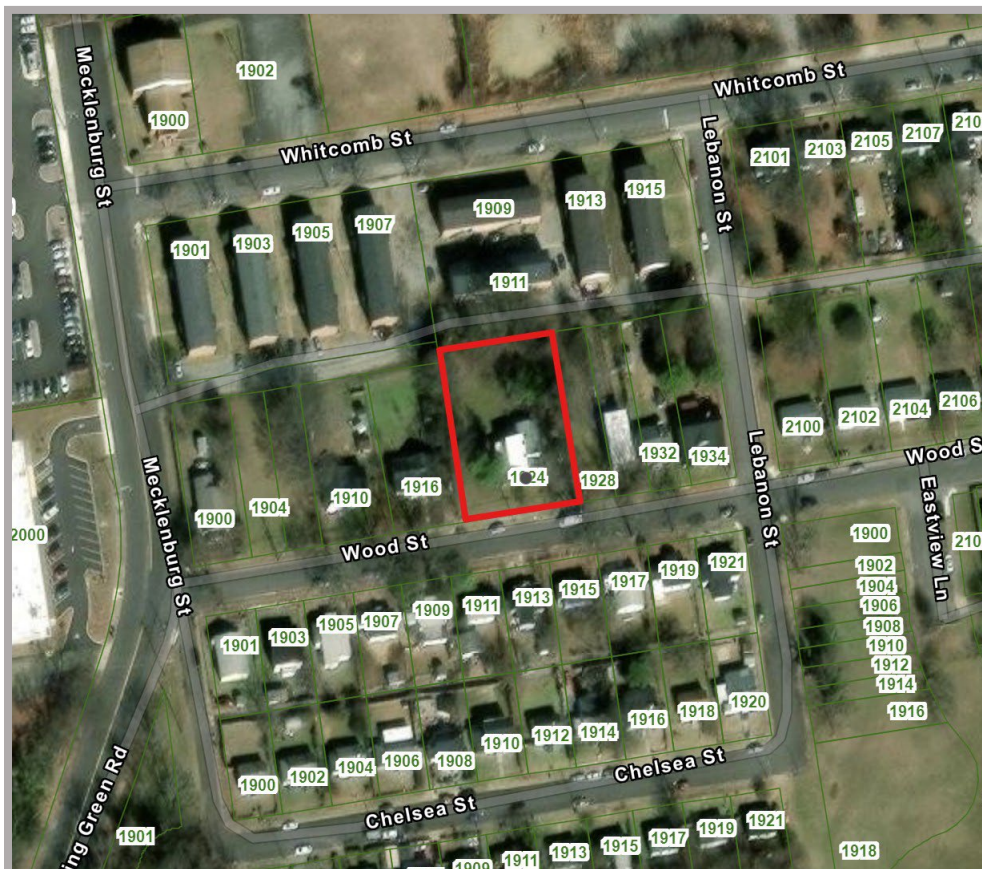
Introduction

The applicant is requesting a special use permit (the “SUP”) for the property known as 1924 Wood Street (the “Property”). The SUP would authorize the division of the parcel and the construction of six single-family attached dwellings, configured as attached pairs. While the single-family use is permitted by the underlying R-5 Single-Family Residential District, the attached use is not and, therefore, a SUP is required to permit the proposed development.

Existing Conditions

SITE DESCRIPTION AND EXISTING LAND USE

The Property is located on the northern line of Wood Street between Lebanon and Mecklenburg Streets. The Property is referenced by the City Assessor as tax parcel E0000910/022 and is currently improved by a single-family detached dwelling located centrally on the parcel. The Property is approximately 114 feet in width, 165 feet in length, and roughly 18,810 square feet of lot area. Access is provided to the rear of the Property by means of an east-west alley.



The properties in the immediate vicinity are developed primarily with residential uses and include a range of building forms and lot sizes. Single-family dwellings are the most common uses found in the area with higher density apartments permitted directly behind the Property. Additionally, beyond the block, a range of other uses can also be found nearby including properties managed by

the Richmond Redevelopment and Housing Authority, Department of Public Works, and Behavioral Health Authority.

EXISTING ZONING

The Property as well as surrounding properties to the east are zoned R-5 Single-Family Residential. Additionally, properties to the north and south are zoned R-53 Multifamily Residential and moving west are properties zoned M-2 Heavy Industrial.

MASTER PLAN DESIGNATION

The Richmond 300 Master Plan (the “Master Plan”) suggests “Neighborhood Mixed-Use” for the Property. The Master Plan describes this land use designation as “existing or new highly-walkable urban neighborhoods that are predominantly residential with a small, but critical, percentage of parcels providing retail, office, personal service, and institutional uses.” Recommended development styles are described as featuring “a variety of building types that are close to one another and create a unified street wall. The building size, density, and zoning districts for these areas vary depending on historical densities and neighborhood characteristics. Single-family, two-family, and small multi-family buildings are contemplated as the primary uses in these areas.”

In addition to the Property-specific guidance offered by the Vision and Core Concepts chapter, there are a number of other goals elsewhere within the Master Plan that support this request:

- Page 109 (Equitable Transportation Chapter), Objective 6.1 to “Increase the number of residents and jobs at Nodes and along enhanced transit corridors in a land development pattern that prioritizes multi-modal transportation options.”
 - b. Develop housing at all income levels in and near Nodes and along major corridors (see strategies Goal 14).
- Page 136 (Diverse Economy Chapter), Objective 11.1 to “Increase the areas of appropriately zoned land near various transportation modes and housing to retain, create, and attract employers.”
 - d. Encourage the development of a variety of quality housing types to house employees across the economic spectrum (see Goal 14).
- Page 150 (Inclusive Housing Chapter), Objective 14.1 to “Increase city-wide awareness of the importance of integrating housing at all income levels into every residential neighborhood so every household has housing choice throughout the city.”
- Page 152 (Inclusive Housing Chapter) (see map on p. 153), Objective 14.5 to “Encourage more housing types throughout the city and greater density along enhanced transit corridors and at Nodes (shown in Figure 38 [p.153]) by amending the Zoning Ordinance.”
- Page 155 (Inclusive Housing Chapter), Objective 14.8 to “Develop inclusionary and equitable housing options for our gentrifying neighborhoods to prevent involuntary displacement.”
- Page 159 (Thriving Environment Chapter) Objective 15.1 to “Reduce air pollution related to transportation.”
 - a. Increase the number of Richmonders living in a development pattern that encourages density and reduces dependency on single-occupancy vehicles (see Goal 1, Goal 8, Goal 14).

- Page 86 (High-Quality Places Chapter), Objective 1.4, to “maintain and improve primarily residential areas by increasing their linkages to...corridors...and maintaining high-quality design standards.”
- Page 100 (High Quality Places Chapter), Objective 4.1, to “create and preserve high-quality, distinctive, and well-designed neighborhoods and nodes throughout the City,” as the request introduces thoughtfully designed new construction in a manner not otherwise assured by-right.

TRANSPORTATION

The Property is located near the Mecklenburg & Wood GRTC bus stop which is serviced by the 5 bus line and provides connection to the west toward Downtown and on toward Carytown.

Proposal

PROJECT SUMMARY

The SUP would permit the division of the Property into six lots and the construction of six new single-family attached dwellings, configured as attached pairs.

PURPOSE OF REQUEST

The Property is approximately 114 feet in width, 165 feet in length, and contains roughly 18,810 square feet of lot area. The owner is proposing to split the lot into six lots and construct six new single-family attached dwellings on the Property, configured as attached pairs. The existing single-family detached dwelling would be demolished and the new dwellings would be constructed on new lots approximately 19 feet in width and approximately 3,135 square feet of lot area. While the new dwellings are consistent with the goals of the Richmond 300 Master Plan, single-family attached dwellings are not permitted by the underlying R-5 zoning and, therefore, a SUP is required to permit the proposed development.

In exchange for the SUP, the intent of this request is to ensure the development of high-quality infill dwellings. Importantly, these dwellings are designed as homeownership opportunities for low-income, typically first-time home buyers with an AMI level of 80% or below. The overall project will be appropriately dense and efficient as contemplated by the Richmond 300 Master Plan. It will also be compatible with the existing uses thereby remaining consistent with the predominant character of the area. Finally, the quality assurances conditioned through the SUP will guarantee a higher quality development and better neighborhood compatibility than might otherwise be guaranteed with a by-right development.

PROJECT DETAILS/DESIGN

When complete, the proposed dwellings would be two stories in height, contain three bedrooms and two-and-one-half bathrooms, and include approximately 1,528 square feet of finished floor area. The proposed floor plans are modern and efficient, with an open kitchen and living area on the first floor and a primary bedroom and walk-in closet on the second floor. The buildings would be of frame construction and clad in cementitious siding to ensure durability. A covered front porch would provide usable outdoor space for future owners and address the street. Additionally, this

request would condition native/non-invasive landscaping and small deciduous trees in front of the homes to support biodiversity and address the urban heat island effect. Importantly, the proposed dwellings massing and architectural styles are designed to be compatible with nearby dwellings and consistent with the historical homes found in the neighborhood.

Findings of Fact

The following are factors included in Section 17.11 of the Charter and Section 30-1050.1 of the Zoning Ordinance relative to the approval of special use permits by City Council. The proposed special use permit will not:

- ***Be detrimental to the safety, health, morals and general welfare of the community involved.***

The proposed SUP will not impact the safety, health, morals and general welfare of the nearby neighborhoods. The improvement of the Property in conjunction with the high quality/benefits provided by the SUP will provide positive impacts in terms of health, welfare, etc., and furthermore will add to the vibrancy of the neighborhood.

- ***Tend to create congestion in streets, roads, alleys and other public ways and places in the area involved.***

The proposed SUP will not result in significant traffic impacts to nearby residential neighborhoods. As such, the SUP will not create congestion on streets, roads, alleys or any other public right of way.

- ***Create hazards from fire, panic or other dangers.***

The Property will be developed in a manner consistent with the requirements of the building code and in accordance with the requirements of Fire and Emergency Services. The City's codes applicable to this development are designed to eliminate such hazards.

- ***Tend to overcrowding of land and cause an undue concentration of population.***

The SUP will not tend to overcrowd the land or create an undue concentration of population.

- ***Adversely affect or interfere with public or private schools, parks, playgrounds, water supplies, sewage disposal, transportation or other public requirements, conveniences and improvements.***

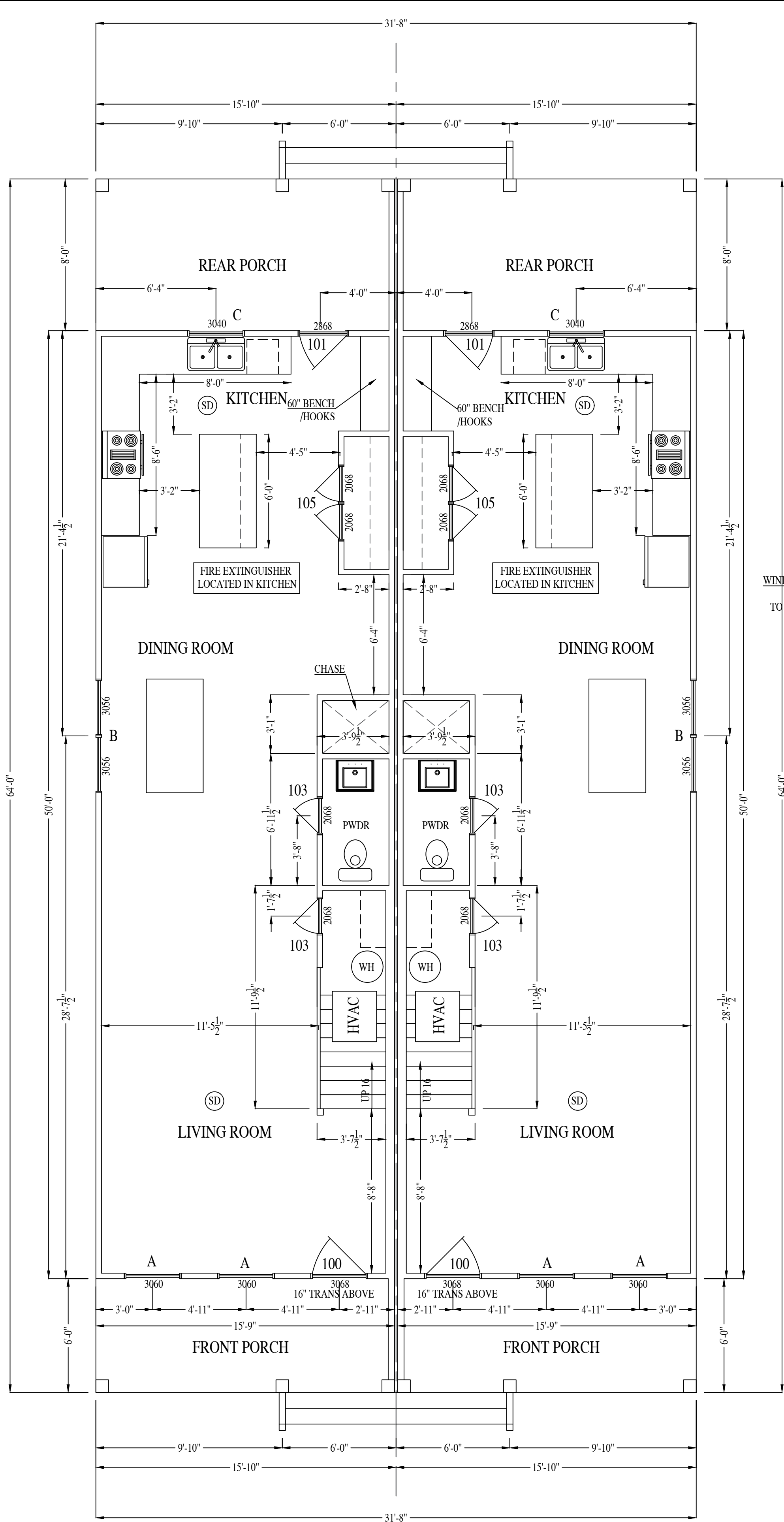
The SUP would not adversely affect the above referenced City services. To the contrary, the proposal would provide positive fiscal (tax) benefits that would enhance the City's ability to provide these services to the proposed development.

- ***Interfere with adequate light and air.***

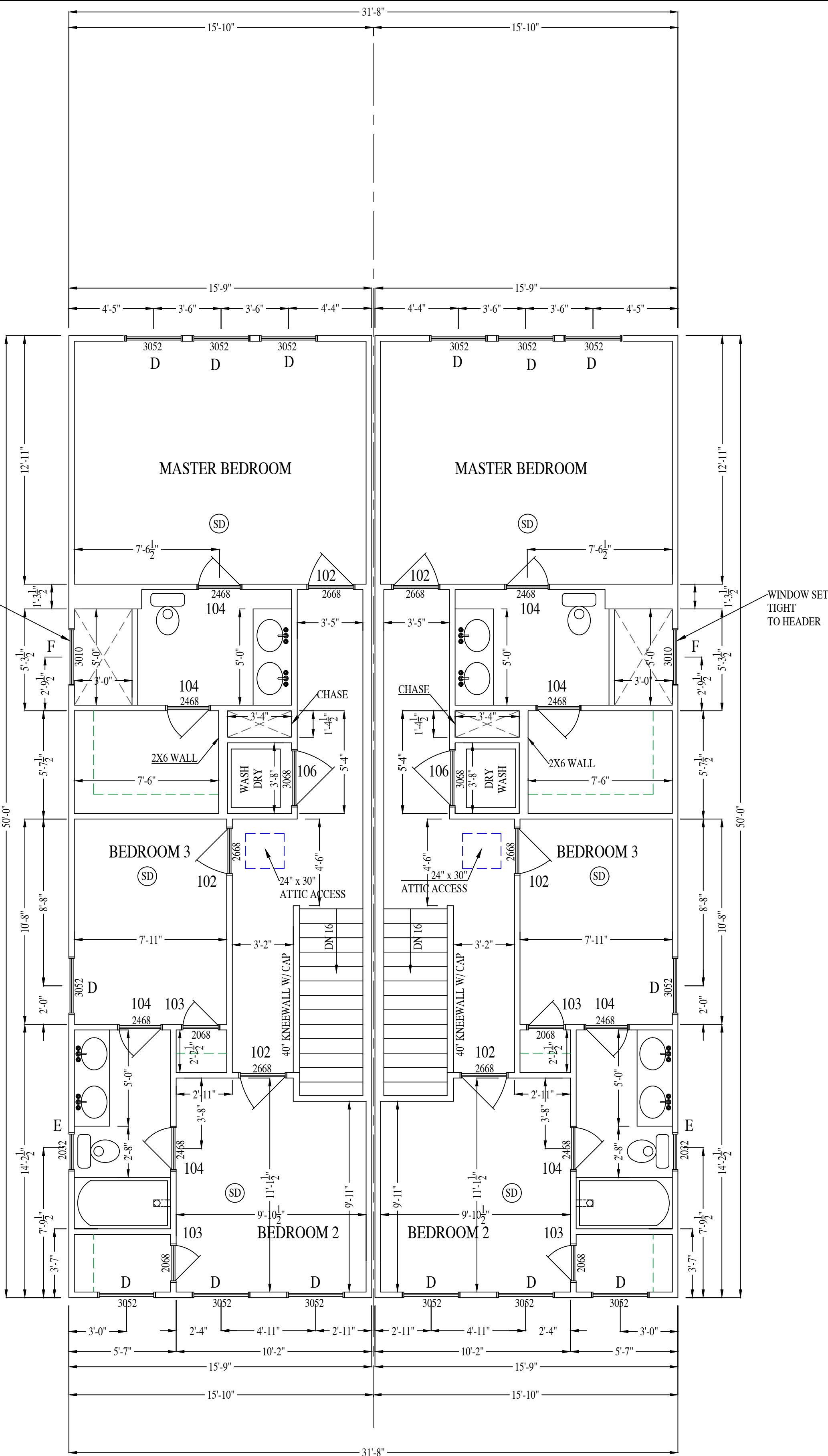
The light and air available to the subject and adjacent properties will not be affected. The massing of the proposed structures is similar to what the underlying zoning district and feature regulations applicable to single-family dwellings allow for by-right. As it relates to adjacent properties, the side yard setbacks would be met.

Summary

In summary we are enthusiastically seeking approval for the proposed single-family attached dwellings. The buildings have been thoughtfully designed in order to provide appropriate, high-quality, infill residential development. In exchange for the SUP, the quality assurances conditioned therein would guarantee the construction of a quality home ownership opportunity for low-income, typically first-time homebuyers consistent with Master Plan guidance. This would contribute to the overall vibrancy of the block through the provision of an appropriate urban form and use that is consistent with the development pattern while maintaining a desirable variation in housing style and density in the vicinity. Finally, the quality assurances conditioned through the SUP would guarantee a higher quality development than might otherwise be developed by right.



FIRST FLOOR PLAN



SECOND FLOOR PLAN

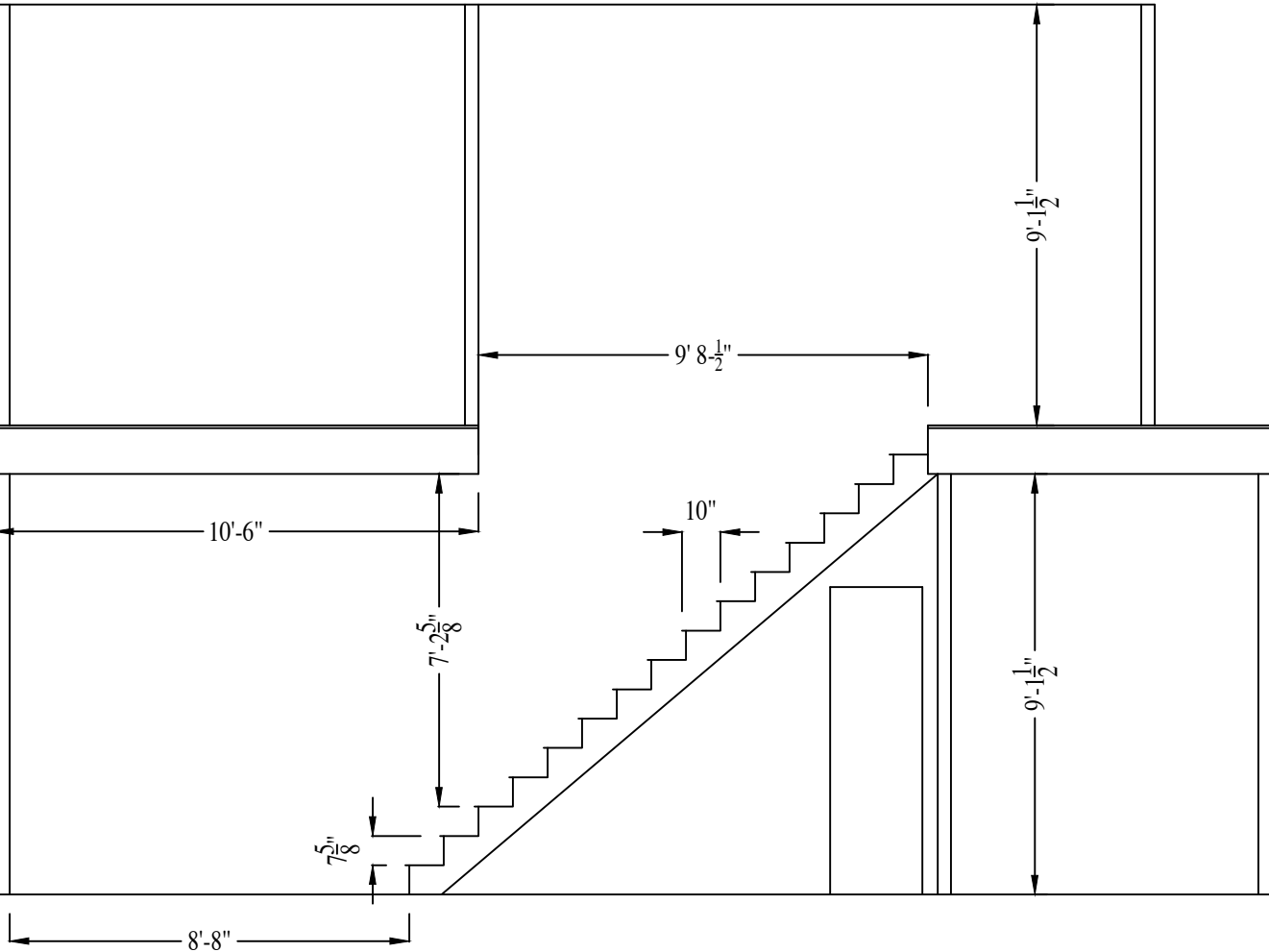
WINDOW SCHEDULE						
ID	WIDTH	HEIGHT	TYPE	TOP SASH	BOT. SASH	QTY.
A	3'-0"	6'-0"	SINGLE D.H.	CLEAR	CLEAR	2
B	3'-0"	5'-6"	TWIN D.H.	CLEAR	CLEAR	1
C	3'-0"	4'-0"	SINGLE D.H.	CLEAR	CLEAR	1
D	3'-0"	5'-2"	SINGLE D.H.	CLEAR	CLEAR	7
E	2'-0"	3'-2"	SINGLE D.H.	CLEAR	CLEAR	1
F	3'-0"	1'-0"	FIXED	CLEAR		1

DOOR SCHEDULE				
ID	WIDTH	HEIGHT	TYPE	DESCRIPTION
100	3'-0"	8'-0"	EXTERIOR	HALF-LITE FIBERGLASS + 16" TRANS
101	2'-8"	6'-8"	EXTERIOR	FULL-LITE FIBERGLASS
102	2'-6"	6'-8"	INTERIOR TWIN	WOOD
103	2'-0"	6'-8"	INTERIOR	WOOD
104	2'-4"	6'-8"	INTERIOR	WOOD
105	2'-0"	6'-8"	INTERIOR TWIN	WOOD
106	3'-0"	6'-8"	LOUV. INTERIOR	WOOD

NOTE: DOOR & WINDOW GLAZING SHALL HAVE A MAX U-FACTOR OF 0.32
NOTE: DOOR & WINDOW GLAZING SHALL HAVE A MAX SOLAR HEAT GAIN COEFFICIENT (SHGC) OF 0.4

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DO NOT COPY OR REPLICATE IN ANY WAY.

1ST FLOOR HEATED SQ. FOOTAGE: 792 S.F.
2ND FLOOR HEATED SQ. FOOTAGE: 792 S.F.



1924 WOOD ST.

RIVER MILL DEVELOPMENT

RIVERMILLDEVELOPMENT@GMAIL.COM
PHONE: (434) 774-4535

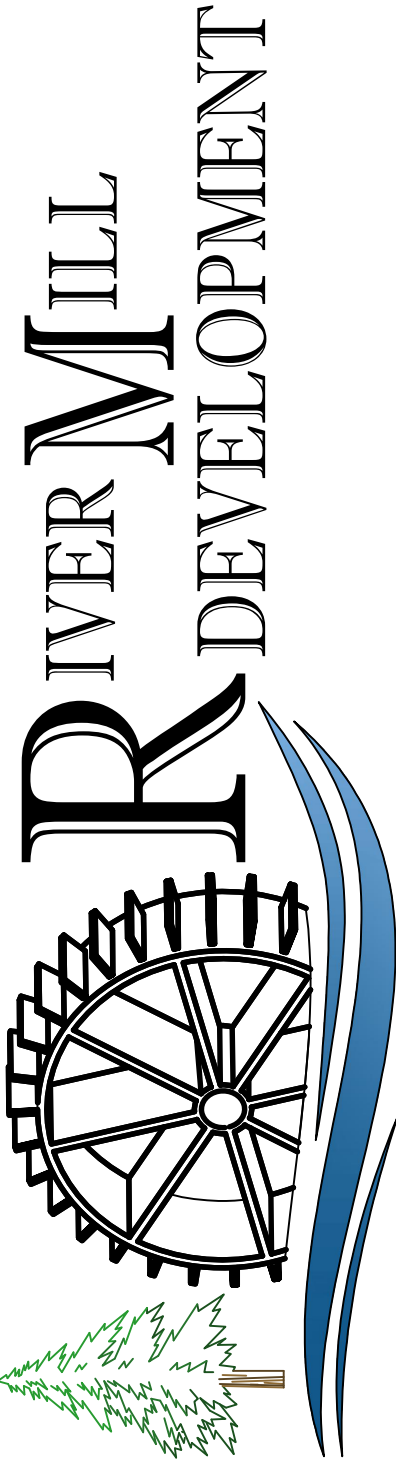
REVISION NOTES

DATE	START

SCALE:
1/4" = 1'-0"

DATE:
3-26-2025

SHEET:
A1.1





1924 WOOD ST.

RIVER MILL DEVELOPMENT
RIVERMILLDEVELOPMENT@GMAIL.COM

PHONE: (434) 774-4535

REVISION NOTES

[illegible]

SCALE:

$$1/4'' = 1'-0''$$

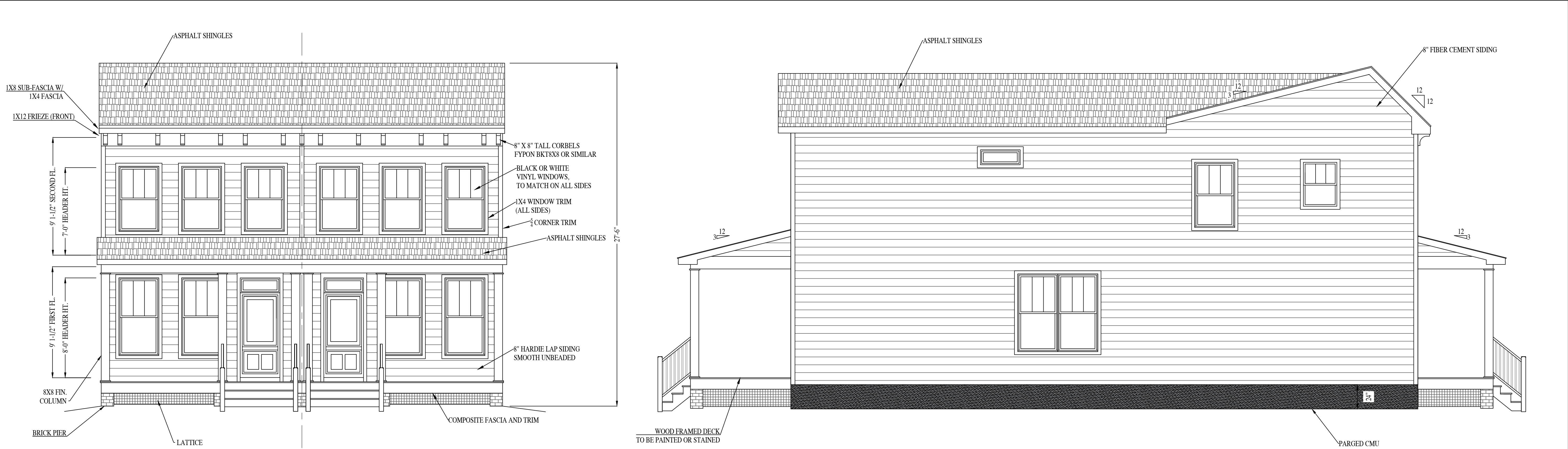
DATE:

3-26-2025

SHEET:

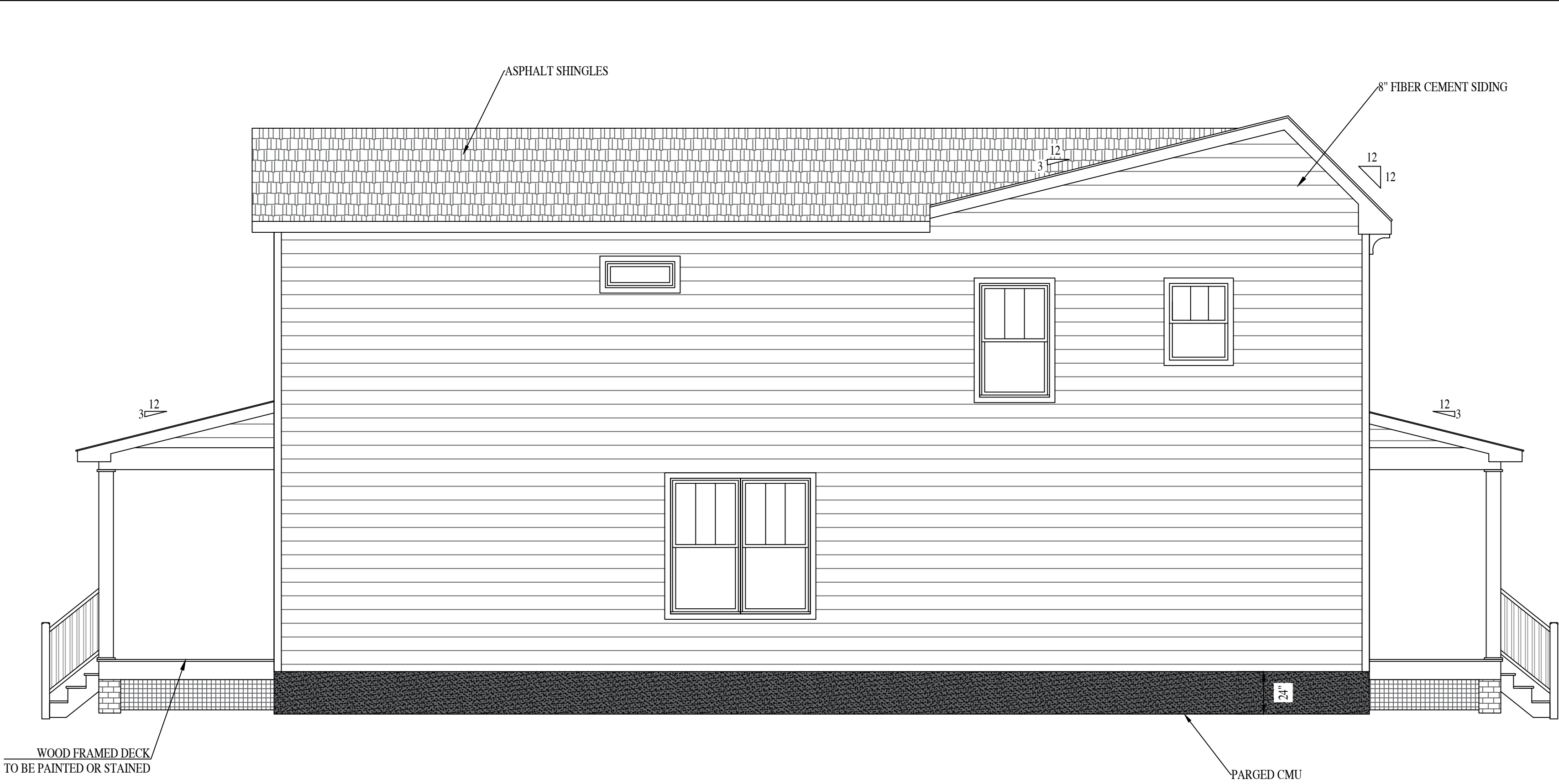
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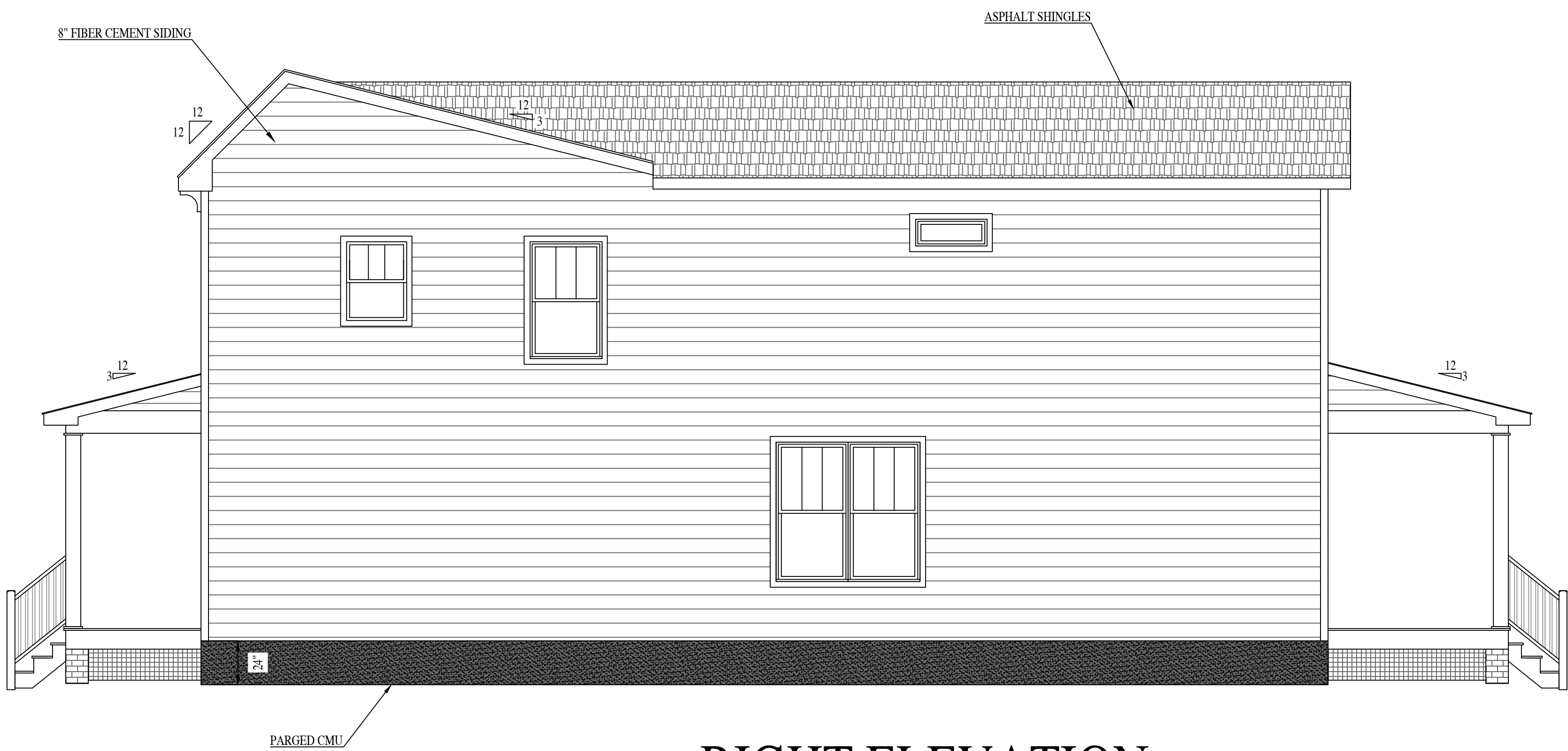


FRONT ELEVATION

(ELEV A - OUTER LOTS)



LEFT ELEVATION



RIGHT ELEVATION



REAR ELEVATION

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1924 WOOD ST.

RIVER MILL DEVELOPMENT
RIVERMILLDEVELOPMENT@GMAIL.COM
PHONE: (434) 774-4535

REVISION NOTES

DATE	START

SCALE:

1/4" = 1'-0"

DATE:

3-26-2025

SHEET:

A2.1



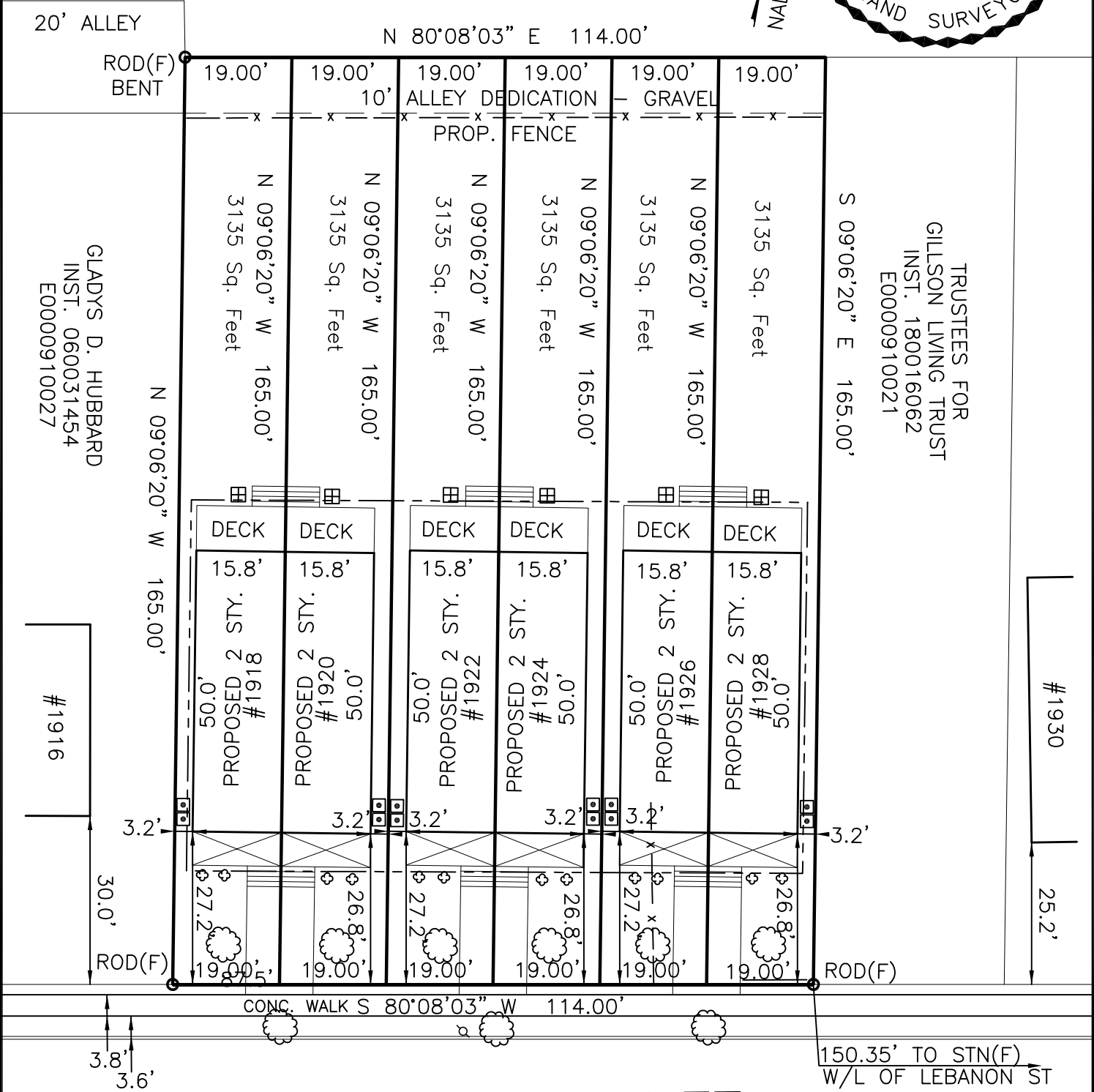
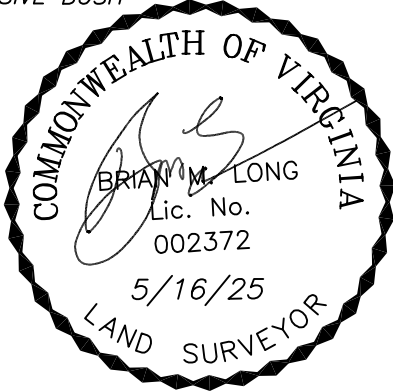
ADDRESS: 1924 WOOD
PARCEL: E0000910022
ZONED R-5

LOT SIZE: 18808 SQ. FT.
AREA OF DISTURBANCE: 7238 Sq. Feet
ONCE CONSTRUCTION IS COMPLETE SITE
IS TO BE PERMANENTLY SEEDED WITH GRASS.

--- LIMITS OF DISTURBANCE

- ⊕ PROPOSED NATIVE / NON-INVASIVE BUSH
- ⊠ PROPOSED TRASH/ RECYCLE W/SCREENING
- ⊞ PROPOSED AC W/SCREENING
- ☼ PROPOSED DICIDUOUS TREE PER APPROVED URBAN FORESTRY LIST

1903 WHITCOMB LLC
INST. 210030810
E0000910014



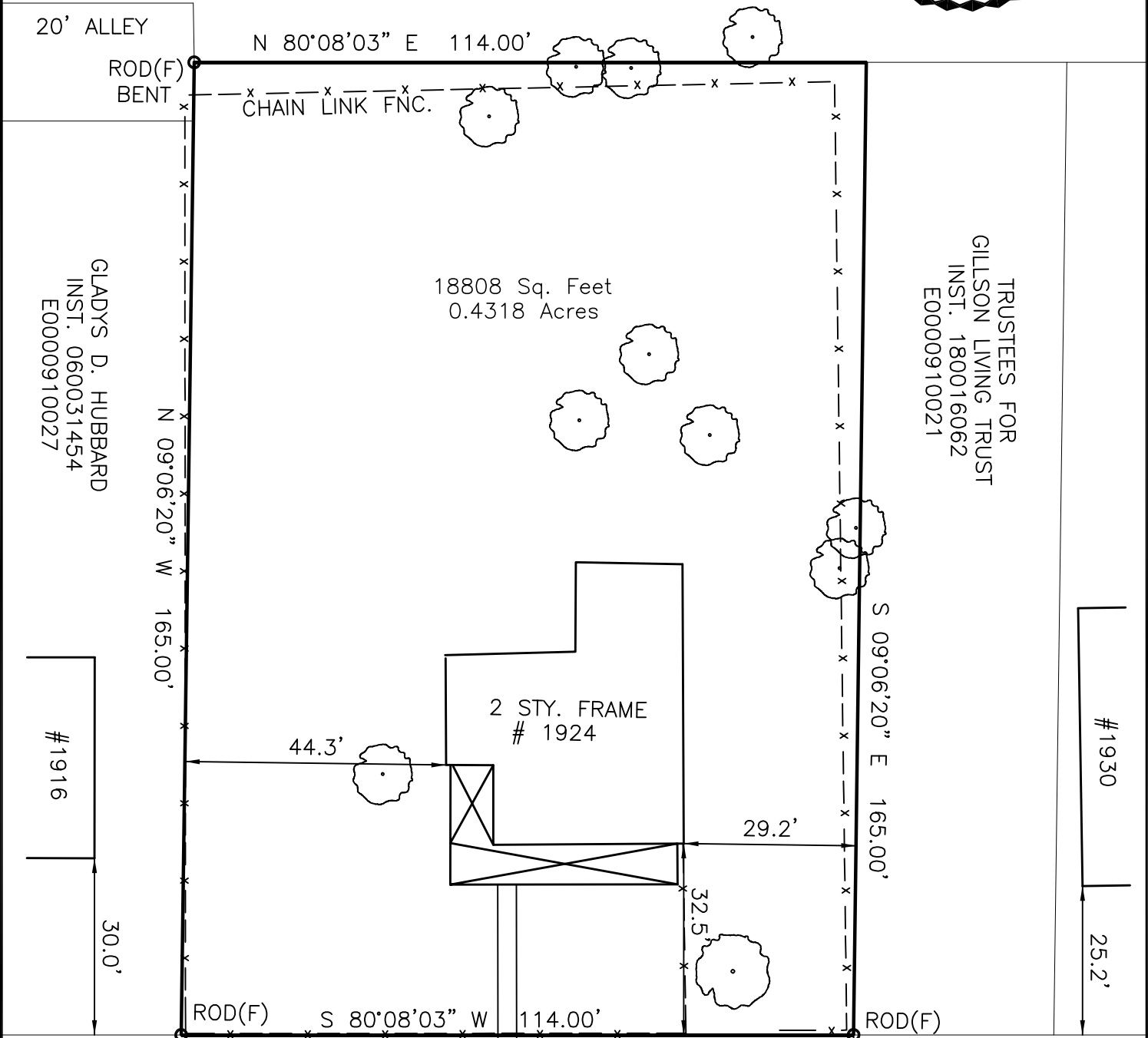
WOOD STREET
50' PUBLIC R/W

POD EXHIBIT
1918-1928 WOOD STREET

- 1) THIS PARCEL IS NOT IN A FEMA DEFINED FLOOD ZONE
2) THIS SURVEY IS BASED ON CURRENT FIELD WORK
3) THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT. ALL ENCUMBERANCE MAY NOT BE SHOWN.



1903 WHITCOMB LLC
INST. 210030810
E0000910014



WOOD STREET

50' PUBLIC R/W

SURVEY OF
1924 WOOD STREET

LONG SURVEYING, LLC
4650 FACTORY MILL ROAD
MAIDENS, VA 23012
804-314-5620

CITY OF RICHMOND
VIRGINIA

MARCH 12, 2025
SCALE: 1"=25'



**City of Richmond
Department of Planning
& Development Review**

Special Use Permit

LOCATION: 1924 Wood Street

APPLICANT: Baker Development Resources

COUNCIL DISTRICT: 6

PROPOSAL: To authorize the special use of the property known as 1924 Wood Street for the purpose of up to six single-family attached dwellings, upon certain terms and conditions.

*For questions, please contact Alyson Oliver
at 804-646-5789 or alyson.oliver@rva.gov*

