



DEPARTMENT OF
**PLANNING AND
DEVELOPMENT
REVIEW**

**BOARD OF
ZONING APPEALS**

January 14, 2026

722-724 Jessamine St LLC
611 North 26th Street
Richmond, Virginia 23223

Baker Development Resources
530 East Main Street, Suite 600
Richmond, VA 23219
Attn: Alessandro Ragazzi

To Whom It May Concern:

RE: BZA 02-2026

You are hereby notified that the Board of Zoning Appeals will hold a public hearing on **Wednesday, February 4, 2026 at 1:00 PM** in the 5th Floor Conference Room, City Hall, 900 E. Broad Street to consider an application for a building permit to construct a new single-family (detached) dwelling at 5300 WAVERLY AVENUE (Tax Parcel Number E010-0137/024), located in an R-5 (Single-Family Residential) District. This meeting will be open to in-person participation with a virtual option. The public will have the option to provide their comments by teleconference/videoconference via Microsoft Teams, or in writing via email as indicated below.

Please be advised that the applicant or applicant's representative is required to participate in the subject public hearing either by teleconference/videoconference or in person. For teleconference participation call 804-316-9457 and entering code **532 657 959#**. For video access by computer, smart phone or tablet visit <https://richmondva.legistar.com/Calendar.aspx>. Select the Board of Zoning Appeals drop-down and 2026 drop-down, click meeting details for February 4, 2026 meeting and then click video access. In the event you have difficulty accessing a public hearing you may contact Mr. William Davidson at 804-396-5350 or by email at Chuck.Davidson@rva.gov for assistance. The Board of Zoning Appeals Rules of Procedure provides that in the case of an application for a variance or a special exception, the applicant, proponents or persons aggrieved under §15.2-2314 of the Code of Virginia, shall be permitted a total of six (6) minutes each to present their case. The Board of Zoning Appeals will withhold questions until the conclusion of the respective presentations. For the purposes of the record it also requested that before addressing the Board you identify yourself and spell your name.

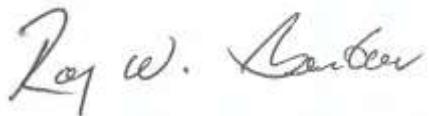
Finally, when you submitted your application to the zoning office you were given an handout entitled, Suggestions for Presenting Your Case to the Board, which indicated that you should discuss your request with your neighbor(s) and neighborhood

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association(s) prior to appearing before the Board of Zoning Appeals. Contact information for civic group(s) can be found by navigating to the Civic Group webpage of the City's website at <https://www.rva.gov/planning-development-review/civic-groups>. Once there, you can search for your property using the interactive map. A dialogue box will provide you with the names of all civic groups within which your property may lie. Once you have those group names, simply scroll down the page to the appropriate group(s) to find the contact information for each. The Board understands that given the current situation it is not practical to conduct face-to-face discussions with either your neighbors or neighborhood association(s) but the Board requests that you make a good faith effort to provide them with relevant information regarding your case.

If you have any questions regarding the Board's procedures or any issue involving presentation of your case, please feel free to contact me.

Very truly yours,



Roy W. Benbow, Secretary
Phone: (804) 240-2124
E-mail: Roy.Benbow@rva.gov

cc: Zoning Administrator

Notice of this meeting is being sent to the persons whom the Board of Zoning Appeals believes to be property owners in the immediate vicinity of the property concerned in this application. This notice is for their information only, and there is no need for them to appear unless they so desire. The Board will, however, welcome such views as any persons care to express during the hearing on this application.

Capehart Robert S II
9626 Wendhurst Dr
Glen Allen, VA 23060

Gardner Arthur L
Po Box 25073
Richmond, VA 26260

Griffith Brennan M
1407 Winchell St
Richmond, VA 23231

Harris Cheryl L And Shawn
5301 Waverly Ave
Richmond, VA 23231

Hartman Jt Properties LLC
3814 Noble Ave
Richmond, VA 23222

Heap Luoy Va & Mei Hwa & Ee Hwa Yeh
2606 Gay Ave
Richmond, VA 23231

Johnson Wayne L & Cheryl D
5305 Waverly Ave
Richmond, VA 23234

Kelley Natalie And Phillip
1404 Wichell St
Richmond, VA 23231

Kim Won And Chung Ra
10420 Marbury Terrace
Glen Allen, VA 23060

Lalinde Andres
1402 Ashley St
Richmond, VA 23231

Lewis And Lewis LLC
Po Box 35764
Richmond, VA 23235

Majestic Holdings LLC
14003 Summersedge Ter
Chesterfield, VA 23832

Metro One LLC
2317 Horsley Dr
Henrico, VA 23233

Mickelson Emily Morgan
1400 Ashley St
Richmond, VA 23231

Milner Teresa M
1405 Winchell St
Richmond, VA 23231

Ossman Catherine M
1403 Winchell St
Richmond, VA 23231

Peacock Seth A
5214 Waverly Ave
Richmond, VA 23231

Ravan Daniel J And Kimberly Caccia
5306 Waverly Ave
Richmond, VA 23231

Steele Corrie E & Camp Dakota James
5210 Waverly Ave
Richmond, VA 23231

Vp5223 LLC
801 23rd St
Virginia Beach, VA 23451

White 144 LLC
2000 West Club Lane
Richmond, VA 23226

City of Richmond, VA Report

Property Owner

Name: 722 724 JESSAMINE ST LLC**Mailing Address:** 611 N 26TH ST
RICHMOND, VA 23223**Parcel Use:** R Single Family Vacant (R1-R7)**Neighborhood:** 348

Property Information

Property Address: 5300 Waverly Ave**PIN** E0100137024**Size:** 0.089 Acres, 3896.000 Square Feet**Property Description:** POWHATAN HEIGHTS L1 B3

Deed Transfers

Recordation Date	Book	Page	Deed Type	Consideration	Grantee
9/23/2025	ID2025	15587	BS	\$172,000	722 724 JESSAMINE ST LLC

Map



Copyright Text: Source: Esri, Maxar, Earthstar Geographics, and the GIS User Community

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RICHMOND BOARD OF ZONING APPEALS APPLICATION FORM



THE RICHMOND ZONING ADMINISTRATION OFFICE
ROOM 110, CITY HALL, 900 EAST BROAD STREET
RICHMOND, VIRGINIA 23219
(804) 646-6340

TO BE COMPLETED BY THE APPLICANT

PROPERTY OWNER: 722-724 Jessamine St LLC PHONE: (Home) (Mobile) _____
ADDRESS 611 North 26th Street FAX: _____ (Work) _____
Richmond, Virginia 23223 E-mail Address: _____

PROPERTY OWNER'S

REPRESENTATIVE: Baker Development Resources PHONE: (Home) (Mobile) _____
(Name/Address) 530 East Main Street, Suite 600 FAX: _____ (Work) _____
Richmond, Virginia 23219 E-mail Address: _____

TO BE COMPLETED BY THE ZONING ADMINISTRATION OFFICE

PROPERTY ADDRESS(ES) 5300 Waverly Avenue

TYPE OF APPLICATION: VARIANCE SPECIAL EXCEPTION OTHER _____

ZONING ORDINANCE SECTION NUMBERS(S): 30-300, 30-410.5(1) & 30-630.1(a)(1)

APPLICATION REQUIRED FOR: A building permit to construct a single-family detached dwelling.

TAX PARCEL NUMBER(S): E010-0137/024 ZONING DISTRICT: R-5 (Single-Family Residential)

REQUEST DISAPPROVED FOR THE REASON THAT: The front yard (setback) requirement is not met. A nonconforming front yard of 19.39 feet, as established by 1403 Winchell Street is required; 8.87 feet ± is proposed along the Winchell Street frontage for the proposed single-family detached dwelling (#5300).

DATE REQUEST DISAPPROVED: December 22, 2025 FEE WAIVER: YES NO:

DATE FILED: December 18, 2025 TIME FILED: 3:56 p.m. PREPARED BY: DD RECEIPT NO. BZAR-177652-2025

AS CERTIFIED BY: Willie T. (ZONING ADMINISTRATOR)

I BASE MY APPLICATION ON:
SECTION 17.20 PARAGRAPH(S) _____ OF THE CHARTER OF THE CITY OF RICHMOND
SECTION 15.2 -2309.2 OF THE CODE OF VIRGINIA [OR]
SECTION 1040.3 PARAGRAPH(S) (1) OF THE ZONING ORDINANCE OF THE CITY OF RICHMOND

TO BE COMPLETED BY APPLICANT

I have received the handouts, *Suggestions for Presenting Your Case to the Board & Excerpts from the City Charter*

I have been notified that I, or my representative, must be present at the hearing at which my request will be considered.

SIGNATURE OF OWNER OR AUTHORIZED AGENT: Aliee DATE: _____

*** TO BE COMPLETED BY THE SECRETARY TO THE BOARD OF ZONING APPEALS ***

CASE NUMBER: BZA 02-2026 HEARING DATE: February 4, 2026 AT 1:00 P.M.

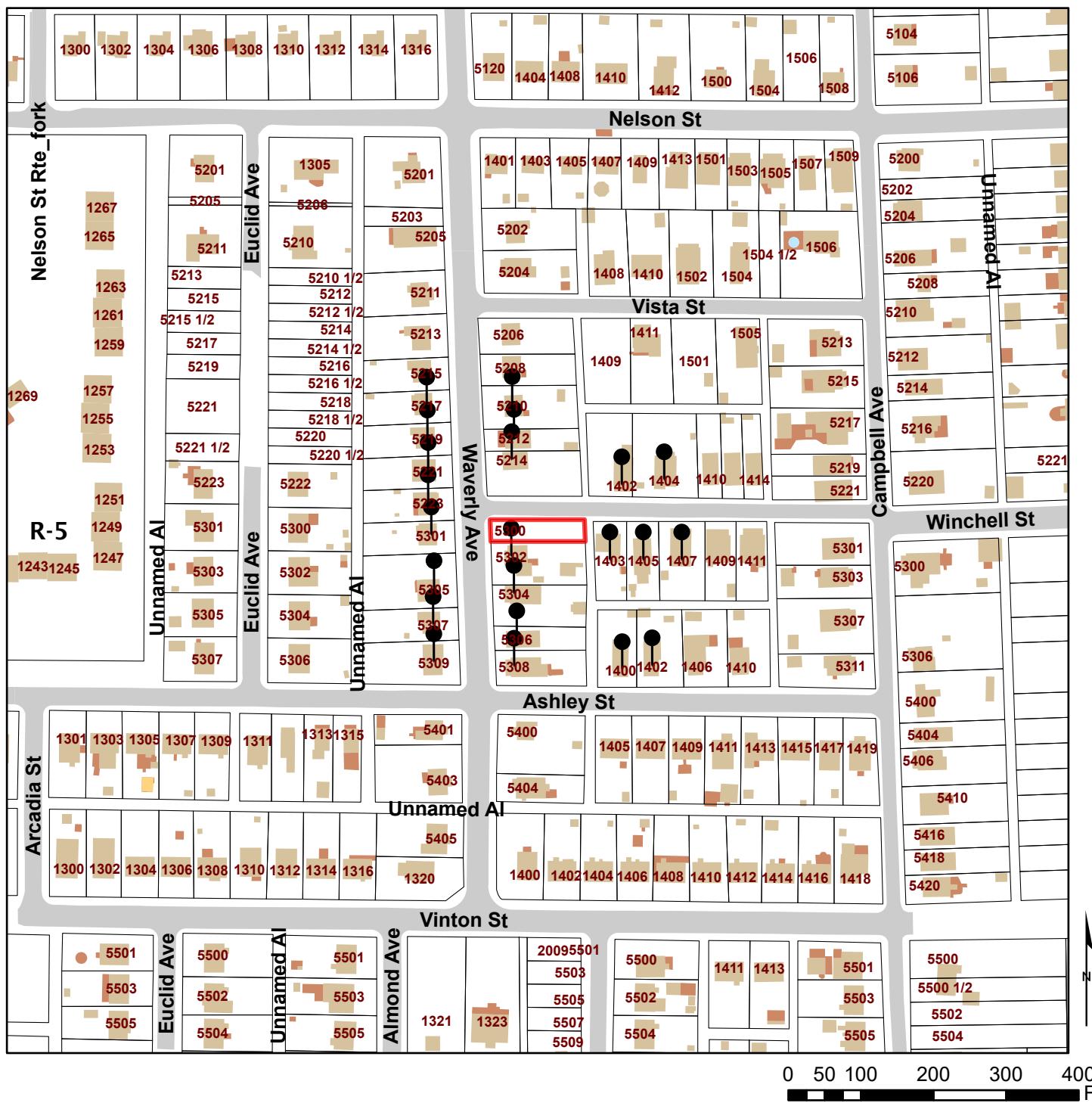
BOARD OF ZONING APPEALS CASE BZA 02-2026
150' Buffer

APPLICANT(S): 722-724 Jessamine St LLC

PREMISES: 5300 Waverly Avenue
(Tax Parcel Number E010-0137/024)

SUBJECT: A building permit to construct a new single-family (detached) dwelling.

REASON FOR THE REQUEST: Based on Sections 30-300, 30-410.5(1) & 30-630.1(a)(1) of the Zoning Ordinance for the reason that:
The front yard (setback) requirement is not met.





BOARD OF ZONING APPEALS PRESENTATION SUGGESTIONS

CITY OF RICHMOND, VIRGINIA

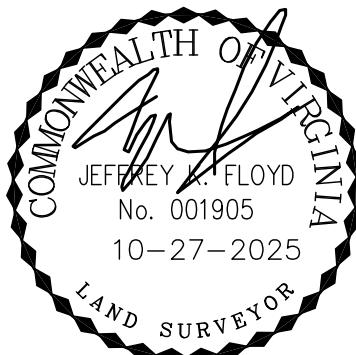
When presenting your request for a variance or exception to the Board of Zoning Appeals, it is important that you consider the points outlined below. The City Charter requires that every decision of the Board must be based upon a finding of fact that the Board must determine from sworn testimony, together with pertinent evidence, presented at its public hearing. It is essential that the Board receive thorough and complete information in order for it to adequately consider your case and make an informed decision.

1. The powers and duties of the Board of Zoning Appeals (BZA) are specified in Section 17.20 of the City Charter and Article X, Division 5, of the Zoning Ordinance. The Zoning Office will assist you in identifying how your case should be filed. If you have questions regarding your case filing, please contact the Zoning Administration Office (804-646-6340) or at PDRZoningAdministration@Richmondgov.com. Please review the applicable provisions of the City Charter or the Zoning Ordinance thoroughly and address them when presenting your case to the Board to show that the applicable requirements have been satisfied.
2. The Board of Zoning Appeals is a quasi-judicial board whose decisions are controlled by statutory law and also take into consideration applicable case law that has been handed down by the Richmond Circuit Court and the Virginia Supreme Court. The Board suggests that if you have any legal questions regarding statutory or case law as it may apply to your application, that those legal issues should be discussed with an attorney before you make your final decision to submit an application to the Board.
3. The Board considers it essential that you discuss your case with nearby residents (notification letters are sent to all property owners within a 150-foot radius of your property) and any nearby civic association(s). Information regarding your neighborhood association(s) and/or contact person(s) may be obtained [here](#). Once on the page, you can search for your property using the interactive map. A dialogue box will provide you with the names of all civic groups within which your property may lie. Once you have those group names, scroll down the page to the appropriate group(s) to find the contact information for each.

Be advised that if you fail to discuss your request with your neighbors and neighborhood association(s), you should anticipate that your case will be continued until the Board's next regularly scheduled meeting. It is highly recommended that you contact your neighborhood association as soon as possible to determine their meeting schedule in order to be sure you allow yourself enough time to talk to all concerned parties prior to the hearing before the Board. The Board's Rules of Procedure require payment of a one-hundred fifty dollar (\$150) continuance fee if the applicant must request a continuance for the reason that the applicant failed to discuss their case with their neighbor(s) or neighborhood association(s).

4. You are also strongly encouraged to discuss your pending case with the Secretary of the Board, Roy Benbow at (804) 240-2124 well before the hearing. The BZA Secretary can be helpful by explaining the BZA public hearing requirements and process.
5. Utilizing photographs, plans, maps, diagrams and such other written or graphic evidence as needed to fully explain your request can be a great help to the Board in understanding your request and thereby improve your chances for success. Remember . . . a picture is worth a thousand words.
6. Note that, although the Board is not authorized to grant a waiver from the zoning regulations based on financial circumstances alone, it may be a factor to be taken into consideration along with other facts in a case. If your case involves such a factor, please provide the Board with complete and relevant financial information for its review.
7. The Board's hearings are informal, although all testimony is taken under oath. You are not required to be represented by an attorney in presenting your case. However, if you choose, you may have legal representation and/or may utilize such technical experts or other persons to testify on your behalf as you feel are needed to adequately explain your request to the Board.

Acknowledgement of Receipt by Applicant or Authorized Agent: Alia.



Virginia Surveys

P.O. BOX 118
CHESTERFIELD, VA 23832
(804) 748-9481
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*SKETCH SHOWING THE PROPOSED
DIVISION AND IMPROVEMENTS
ON LOTS 1, 2, AND 3, BLOCK 3,
"POWHATAN HEIGHTS"
IN RICHMOND, VA.*

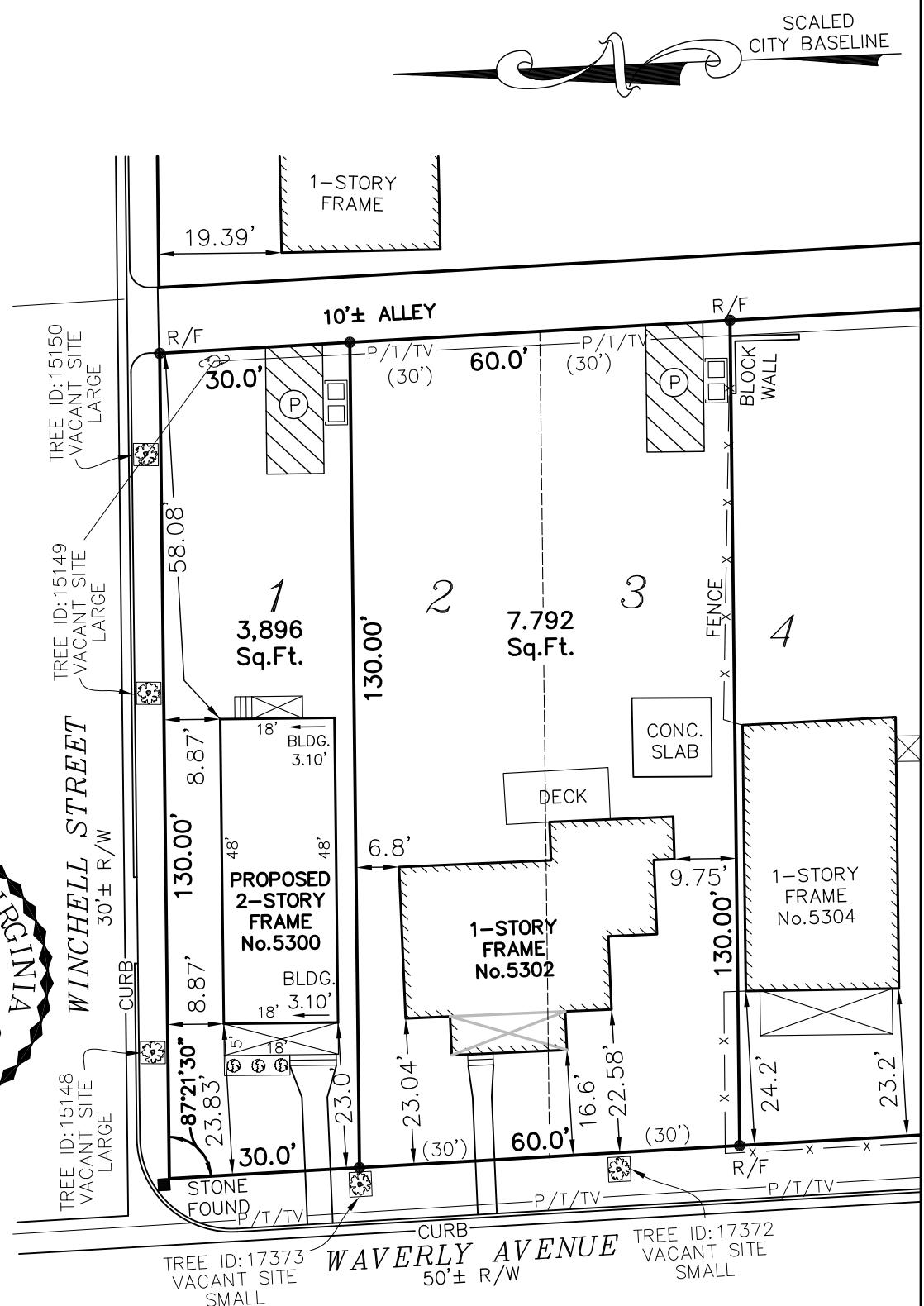
DATE: 10-27-2025

CERTIFIED BY JEFFREY K. FLOYD

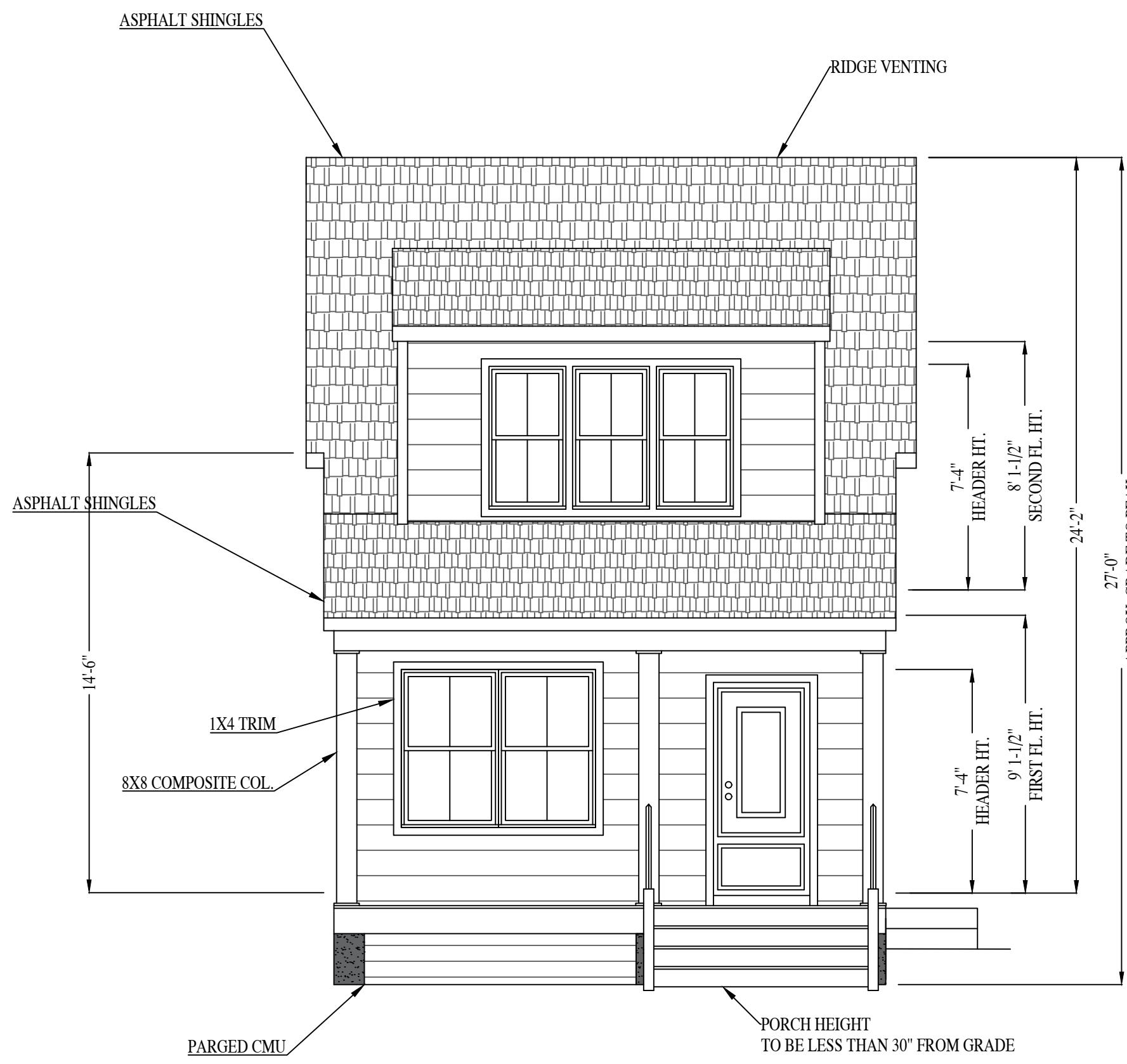
SCALE: 1"=25'

VIRGINIA CERTIFICATE NO. 001905

JOB NO. 250816941



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FRONT ELEVATION



LEFT ELEVATION

FENESTRATION CALCULATION
OPENING SF = 45.4 (4.6%)
TOTAL SF = 981

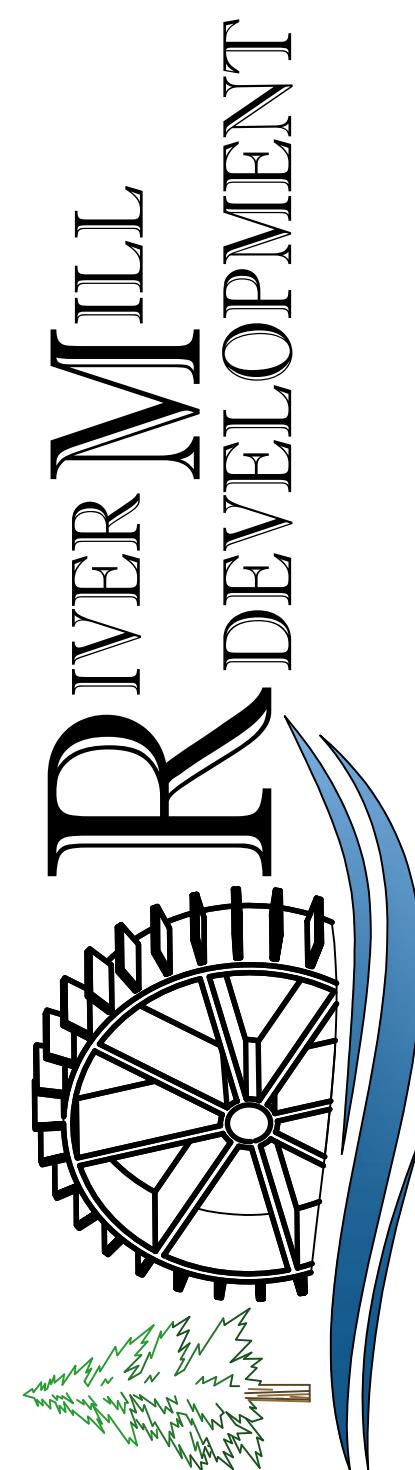


RIGHT ELEVATION

FENESTRATION CALCULATION
OPENING SF = 64.1 (6.5%)
TOTAL SF = 981



REAR ELEVATION



SCALE:
1/4" = 1'-0"

DATE:
5-20-2024

SHEET:
A2.1

EUCLID MODEL 4
RIVER MILL DEVELOPMENT

PHONE: (434) 774-4535