



COMMISSION OF ARCHITECTURAL REVIEW

APPLICATION / CERTIFICATE OF APPROPRIATENESS

PROPERTY (Location of Work)

Address 2514 East Marshall Street

Historic District Church Hill North



PROPOSED ACTION

- | | | |
|--|--|---------------------------------------|
| <input type="checkbox"/> Alteration (including paint colors) | <input checked="" type="checkbox"/> Rehabilitation | <input type="checkbox"/> Demolition |
| <input type="checkbox"/> Addition | <input type="checkbox"/> New Construction (Conceptual Review required) | |
| | <input type="checkbox"/> Conceptual Review | <input type="checkbox"/> Final Review |

OWNER

Name Heather & Paul Lozito

Company _____

Mailing Address 2514 E. Marshall St

Phone 804-225-0852

Email loz2hi@mac.com

Signature Heather Lozito & Paul V. Lozito

Date 8/25/17

APPLICANT (if other than owner)

Name _____

Company _____

Mailing Address _____

Phone _____

Email _____

Signature _____

Date _____

ACKNOWLEDGEMENT OF RESPONSIBILITY

Requirements: A complete application includes all applicable information requested on checklists to provide a complete and accurate description of existing and proposed conditions. Preliminary review meeting or site visit with staff may be necessary to process the application. Owner contact information and signature is required. Late or incomplete applications will not be considered.

Zoning Requirements: Prior to CAR review, it is the responsibility of the applicant to determine if zoning approval is required and application materials should be prepared in compliance with zoning.

Compliance: If granted, you agree to comply with all conditions of the COA. Revisions to approved work require staff review and may require a new application and CAR approval. Failure to comply with the COA may result in project delays or legal action. The COA is valid for one (1) year and may be extended for an additional year, upon written request.

(Space below for staff use only)

Application received:

Date/Time _____

By _____

Complete Yes No

August 25, 2017

Commission of Architectural Review
900 E Broad Street
Room 510
Richmond VA

RE: 2514 East Marshall Street – Lozito Residence

Scope of Work: Partial Exterior Rehabilitation and Interior Bathroom and Closet Renovation

- **In Kind Repairs to Front porch**
- **Exterior Rehabilitation of side porch to match existing**
- **In kind Repair to cornice gutter**
- **Jack arches repointing at porches**
- **Gutter and Downspout replacement to match existing**
- **Replacement of Window A to match all other windows in home**
- **Replacement of Door B to match existing side porch door**
- **Interior renovation to existing bathrooms and existing closets**

Description of Work:

The owners are requesting permission to do general maintenance on the exterior of their home. The side porch is structural unsound and will need to be replaced to match existing. The front porch needs some general repairs which will match existing. New flashing will be provided at the roof to prevent water damage to front façade. Some bricks in the jack arches are protruding and they need to be reset and tuckpointed on the front façade. Side façade jack arches that require repointing have typical mortar joint. All gutters and downspouts will be replaced to match original gutters and downspouts on the front façade. The gutters and downspouts on the back of the house were installed some time ago and do not match the front of house gutters and downspouts which are original of the house. The cornice gutter will be repaired/relined. All materials will match the existing – refer to general notes in the drawings.

The owners would like to replace the rear kitchen Window A to match the rest of the home. We suspect this window was not original to the house and that it was a replacement (colonialization) since the remainder of the house is 2 over 2 typical worker type row housing with plain Victorian detailing at the cornice.

The owners would like to replace the side porch Door B to match the existing two panel Door C that is original to the home. The replacement door would have glass panels rather than wood panels. The owner would like to replace the upper panel in Door C to be glass.

The owners would like to add a low fence (max 2'-6" ht) at the front yard of the property and replace the privacy fence at the rear yard. They would like to move the back line of the privacy fence to allow for parking at the rear of the house. Refer to Site plan for fence plans.

The interior work consists of gutting existing bathroom fixtures and installing new fixtures and finishes. And, closets are being redesigned for better storage use and removeable closet cabinets are being added to the bedrooms.

Warm Regards,

Melissa Vaughan AIA LEED AP BD+C

804-387-8780

melissa@mvaughanarchitect.com

131 Hanover Ave, Ashland, VA 23005

www.mvaughanarchitect.com

Architect / Engineers Seal



Architect
MVA
 131 HANOVER AVE
 ASHLAND, VA 23005
 804-387-8780
 www.MVAUGHANARCHITECT.com

PROJECT ADDRESS
 2514 EAST MARSHALL STREET
 RICHMOND, VA 23223

Architect / Engineers Seal

Issued / Revised		
No.	Date	Description
1	08/12/17	PRICING SET
2	08/25/17	CAR REVIEW

Project Title
LOZITO RESIDENCE

Scale AS NOTED
 Date 08/03/2017
 Drawn By: MV
 Check By: MV
 Project No. 2017016

IT IS A VIOLATION OF THE LAW FOR ANY PERSON UNLESS HE IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ARCHITECT OR ENGINEER TO ALTER THIS DRAWING IN ANY WAY. ALTERATIONS MUST HAVE THE SEAL AFFIXED ALONG WITH A DESCRIPTION OF THE ALTERATION, THE SIGNATURE AND DATE.

Drawing Title
PROJECT INFORMATION

Drawing No.

T1.1

DRAWING INDEX

T1.1 PROJECT INFORMATION

ARCHITECTURAL

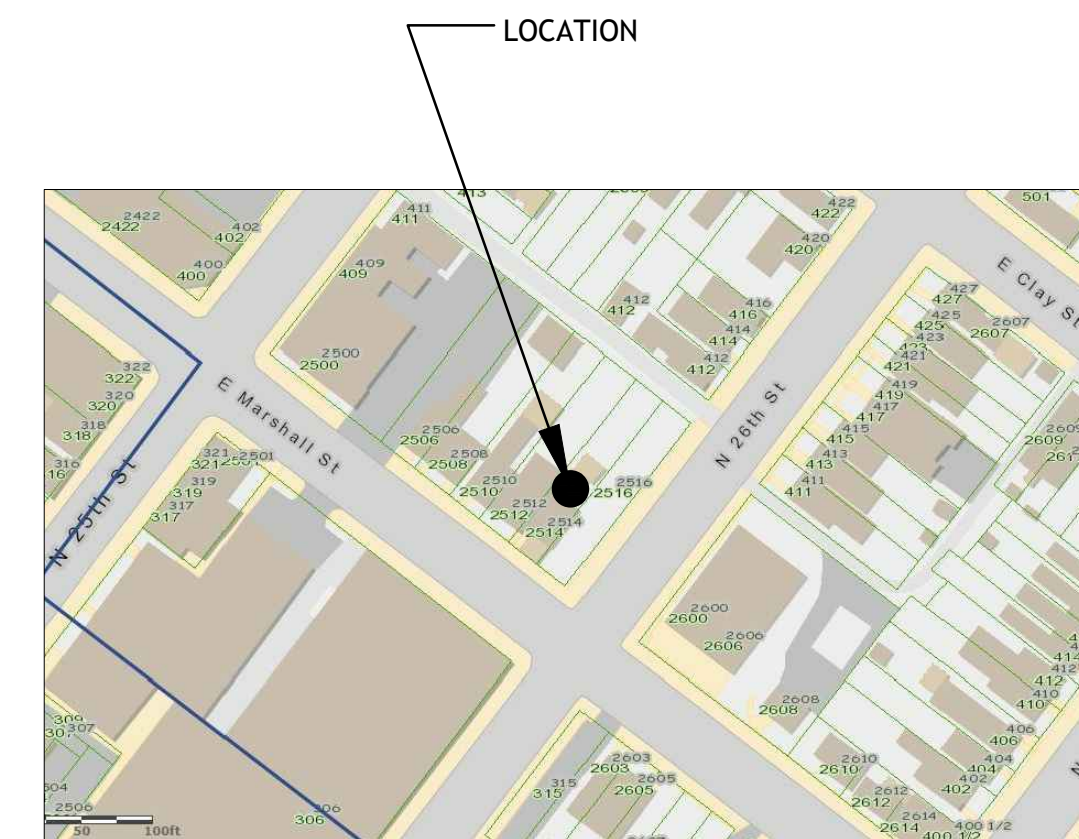
- A1.01 EXISTING FIRST FLOOR PLAN
- A1.02 SECOND FLOOR PLAN
- A1.1 FIRST FLOOR PLAN
- A1.2 SECOND FLOOR PLAN
- A2.1 EXTERIOR ELEVATIONS

GENERAL NOTES:

- PROVIDE ALL WORK TO CONFORM WITH ALL GOVERNING LAWS CODES & ORDINANCES INCLUDING BUT NOT LIMITED TO THE VIRGINIA CONSTRUCTION CODE 2012. IF POTENTIAL CONFLICTS ARISE, THE CONTRACTOR WILL NOTIFY THE ARCHITECT IMMEDIATELY REGARDING THE EFFECTED WORK.
- CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL MEANS AND METHODS OF CONSTRUCTION. THIS INCLUDES ON SITE PROCEDURES AS THEY RELATE TO THE SAFETY OF THE CONSTRUCTION CREW AND THE GENERAL PUBLIC. IN ADDITION, THIS INCLUDES THE PROTECTION OF EXISTING STRUCTURES TO AVOID DAMAGE RELATING TO OR ARISING FROM WORK WITHIN THIS CONTRACT.
- THE CONTRACTOR WILL NOTIFY THE ARCHITECT IMMEDIATELY OF ANY CONFLICTS OR AMBIGUITIES DISCOVERED IN THE CONTRACT DOCUMENTS DURING BIDDING, DEMOLITION OR NEW CONSTRUCTION. THE CONTRACT WILL NOT PROCEED WITH WORK IN THE AREA OF CONFLICT UNTIL THE ISSUE HAS BEEN RESOLVED.
- THE CONTRACTOR WILL PROVIDE CLEAN-UP OF DEBRIS AND TRASH AT INTERVALS REQUIRED TO KEEP THE SITE AND WORK AREAS REASONABLY CLEAN OF UNSAFE AND UNSIGHTLY ACCUMULATION. THE CONTRACTOR WILL PROVIDE A PROFESSIONAL CLEANING AT THE PROJECT COMPLETION.
- WHERE POTENTIAL HAZARDOUS MATERIALS ARE ENCOUNTERED DURING WORK WITHIN THIS CONTRACT, THE CONTRACTOR WILL BE SOLELY RESPONSIBLE FOR USING THE NECESSARY PRECAUTIONS DURING WORK AND/OR DISPOSAL. PROVIDE DOCUMENTATION REPORT OF HAZARDOUS MATERIAL AND ABATEMENT PROCEDURES GOVERNED BY THE STATE LAWS. IF UNFORESEEN MATERIALS ARE UNCOVERED DURING THE WORK WITHIN THIS CONTRACT, THE CONTRACTOR WILL STOP WORK IN THAT AREA AND NOTIFY THE ARCHITECT IMMEDIATELY.
- ALL DIMENSIONS ARE GIVEN TO GRID LINE, FACE OF FRAMING, CENTERLINE OF FRAMING OR STRUCTURE (NOT TO FINISH) UNO.
- COORDINATE ARCHITECTURAL WORK WITH MECHANICAL, ELECTRICAL, PLUMBING, & OTHER TRADES AND NOTIFY THE ARCHITECT IN THE EVENT OF DISCREPANCIES.
- WHERE PATCH WORK IS NECESSARY, PATCH ALL WORK TO MATCH EXISTING FINISHES. REROUTE ANY PIPING AS NECESSARY FOR WORK, REPLACE ALL OUTLETS AND SWITCHES TO COORDINATE WITH NEW WORK & REPLACE INSULATION WHERE REMOVED FOR WORK, PAINT AS REQUIRED AS PART OF REPAIR TO MATCH EXISTING
- ALL WORK TO MATCH EXISTING IN DESIGN, COLOR, MATERIAL, TEXTURE AND OTHER VISUAL QUALITIES

THERMAL PROTECTION NOTES:

- PROVIDE WALL INSULATION TO MEET R-20 AND ROOF INSULATION TO MEET R-38. SEAL ALL CRACKS AND TAPE ALL WEATHER BARRIER MATERIAL.



PROJECT TITLE

LOZITO RESIDENCE

2514 EAST MARSHALL STREET RICHMOND VA 23223

EXTERIOR REHABILITATION & INTERIOR BATHROOM AND CLOSET RENOVATION

PROJECT DATA

OWNER/APPLICANT

OWNER:
 PAUL AND HEATHER LOZITO
 GC: TBD

APPLICABLE CODES

2012 VUSBC
 2012 VIRGINIA RESIDENTIAL CODE
 2012 INTERNATIONAL FUEL GAS CODE
 2012 INTERNATIONAL MECHANICAL CODE
 2012 INTERNATIONAL PLUMBING CODE
 INTERNATIONAL ENERGY CONSERVATION CODE

USE GROUP

CHAMBERLAYNE HILLS SUBDIVISION
 R-2

BUILDING AREA

NO INCREASE IN SQFT AS PART OF THIS SCOPE

BUILDING HEIGHT

2 STORY : APPROX HEIGHT 24'-0"

DESIGN LOAD CRITERIA

LIVE LOADS-UNIFORM
 SLAB ON GRADE 100 PSF
 DWELLING 40 PSF
 WIND LOADS:
 BASIC SPEED: 90 MPH
 EXPOSURE CATEGORY: B
 SEISMIC LOADS:
 SEISMIC DESIGN CATEGORY: B
 SNOW LOADS:
 GROUND SNOW LOAD: 20 PSF

HISTORIC DISTRICTS

PROPERTY IS LOCATED WITHIN:
 CITY OLD AND HISTORIC DISTRICT-CHURCH HILL NORTH
 NATIONAL REGISTER OF HISTORIC DISTRICTS

ABBREVIATION LIST

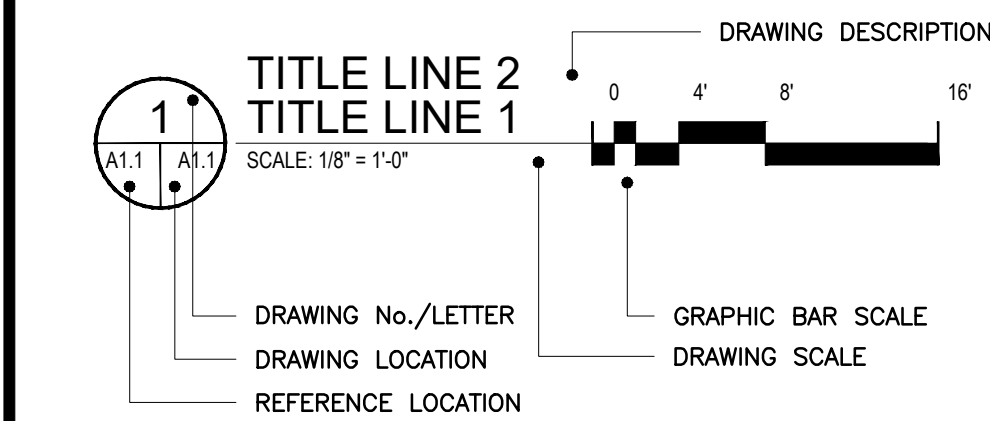
A A/C AIR CONDITIONING	D DD DECK DRAIN	G GA GAUGE	M MAS MASONRY	PT POINT	T T&G TONGUE & GROOVE
APC ACOUSTICAL PANEL CEILING	DIA DIAMETER	GALV GALVANIZED	MATL MATERIAL	PTN PARTITION	TBD TO BE DECIDED
ATC ACOUSTICAL TILE CEILING	DIAG DIAGONAL	GC GENERAL CONTRACTOR	MAX MAXIMUM	PVC POLYVINYL CHLORIDE	TEL TELEPHONE
ADJ ADJACENT, ADJUSTABLE	DM DIMENSION	GYP GYPSUM	MECH MECHANICAL		TERR TERRAZZO
AFF ABOVE FINISH FLOOR	DN DOWN	GWB GYPSUM WALL BOARD	MED MEDIUM	R RAD RADIUS	THK THICKNESS
ALT ALTERNATE	DS DOWN SPOUT		MFR MANUFACTURER	RB RUBBER BASE	TOM TOP OF MASONRY
ALUM ALUMINUM	DWG(S) DRAWING(S)	H HC HOLLOW CORE	MIN MINIMUM	RD ROOF DRAIN	TOS TOP OF STEEL
APPROX APPROXIMATE		HDW HARDWARE	MIR MIRROR	RE REFER TO	TOW TOP OF WALL
AR AREA OF REFUGE	E E EAST	HDWD HARDWOOD	MISC MISCELLANEOUS	REF REFRIGERANT, (TOR)	TV TELEVISION
ARCH ARCHITECTURAL	EA EACH	HM HOLLOW METAL	MLDG MOLDING	REINF REINFORCE(E), (ED), (ING)	TYP TYPICAL
AWC ACOUSTICAL WALLCOVERING	EJ EXPANSION JOINT	HOR HORIZONTAL	MO MASONRY OPENING	REQD REQUIRED	
AWP ACOUSTICAL WALL PANEL	EL ELEVATION	HT HORIZONTAL	MTL METAL	RES RESILIENT	U UNO UNLESS NOTED OTHERWISE
	ELEC ELECTRIC(AL)	HTG HEATING		REV REVISION	
	ELEV ELEVATOR	HTVC HEATING/VENTILATING/ AIR CONDITIONING		RL RAIN LEADER	V VCT VINYL COMPOSITION TILE
	EMER EMERGENCY		N N NORTH	RM ROOM	VERT VERTICAL
	EPDM ETHYLENE PROPYLENE		NC NOT IN CONTRACT	RO ROOM	VIF VERIFY IN FIELD
			No. # NUMBER	RT RUBBER TILE	VIN VINYL
			NOM NOMINAL	R RIDGE	V VALLEY
			NTS NOT TO SCALE		
B BD BOARD	EQ EQUIP	I ID INSIDE DIAMETER	O OC ON CENTER	S S SOUTH	W W WEST, WIDE, WIDTH
BLDG BUILDING	EXP EXPOSED	INCL INCLUDE(E), (ED), (ING)	OD OUTSIDE DIAMETER	SCHED SCHEDULE(E), (ED)	WI WITH
BLKG BLOCKING	EXIST EXISTING	INSUL INSULATE(E), (ED), (ING), (ION)	OPNG OPENING	SD STORM DRAIN	W/O WITHOUT
BRK BRICK	EXT EXTERIOR	INT INTERIOR	OPP OPPOSITE	SHT SHEET	WC WALLCOVERING, WATER-
BOT BOTTOM	F FA FIRE ALARM			SIM SIMILAR	W/ WITH
	FAB FABRIC			SS SQUARE	WC CLOSET
	FD FLOOR DRAIN, FIRE DAMPER			SS STAINLESS STEEL, SOLID	WD WOOD
	FE FIRE EXTINGUISHER			SURF SURFACE	WT WEIGHT
	FEC FIRE EXTINGUISHER CABINET	L L LENGTH	P PERF PERFORATE(E), (ED), (ION)	STD STANDARD	
	FHC FIRE HOSE CABINET	LAB LABORATORY	PLATE PLATE	STL STEEL	
	FIN FINISH	LAM LAMINATE(E), (ED), (ION)	PLAS PLASTER	STN STAIN(ED)	
	FLR FLOOR	LAV LAVATORY	PLYWD PLYWOOD	SUSP SUSPEND(ED)	
	FRT FIRE RETARDANT TREATED	LINO LINOLEUM	PNL PANEL		
	FT FOOT, FEET	LT LIGHT	AFF ABOVE FINISH FLOOR		
	FTG FOOTING		PNT PAINT(ED)		
			PSF POUNDS PER SQUARE FOOT		
			PSI POUNDS PER SQUARE INCH		

MATERIALS

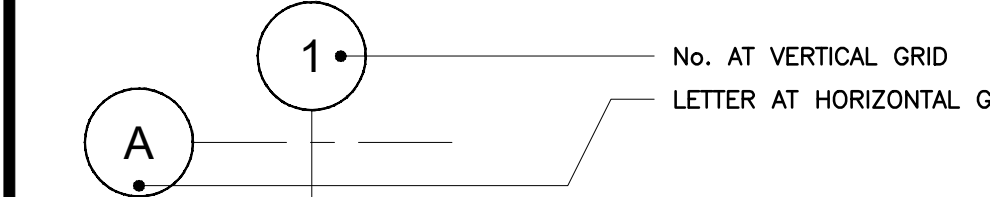
EARTH	GRAVEL	CONCRETE	STEEL	ALUMINUM	BRASS/BRONZE	BLOCKING	RIGID INSULATION	BATT INSULATION
CONCRETE MASONRY	BRICK	STONE	SAND/MORTAR/GYP	WOOD	PLYWOOD	GLASS (LARGE SCALE)	CERAMIC TILE (LG)	ACOUSTICAL TILE

SYMBOLS

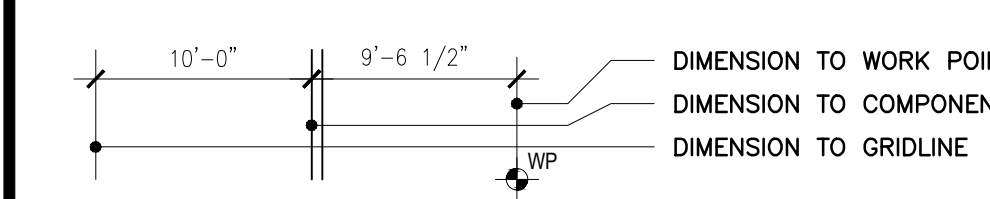
DRAWING TITLE



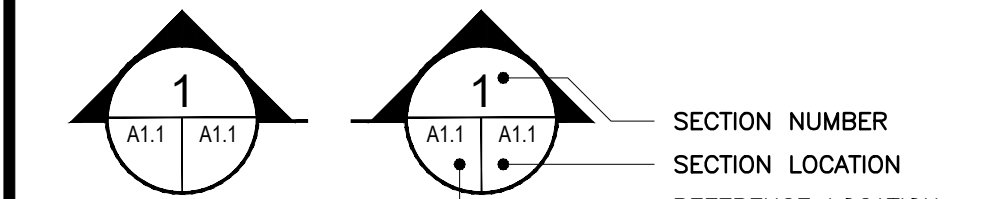
COLUMN GRID



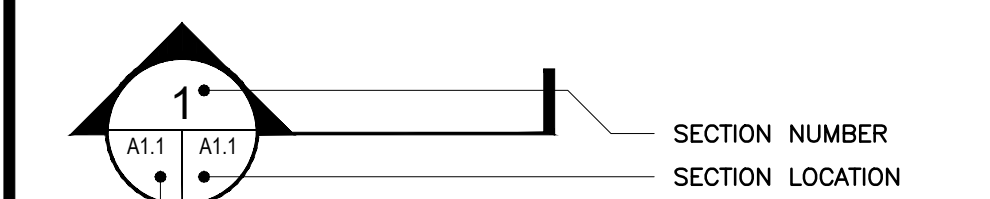
DIMENSIONS



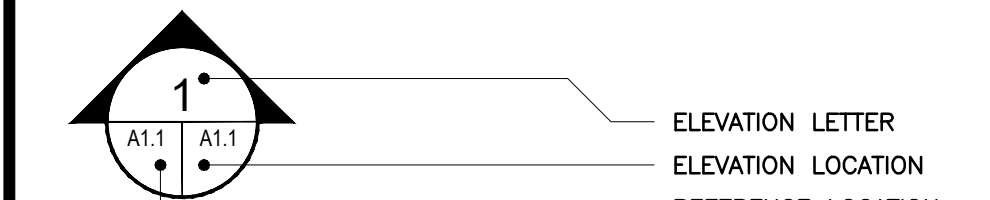
BUILDING SECTION



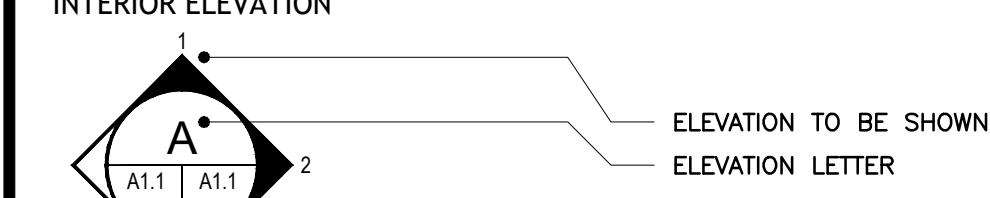
WALL SECTION



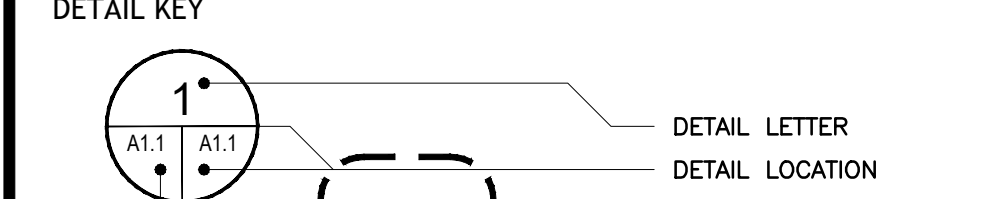
EXTERIOR ELEVATION



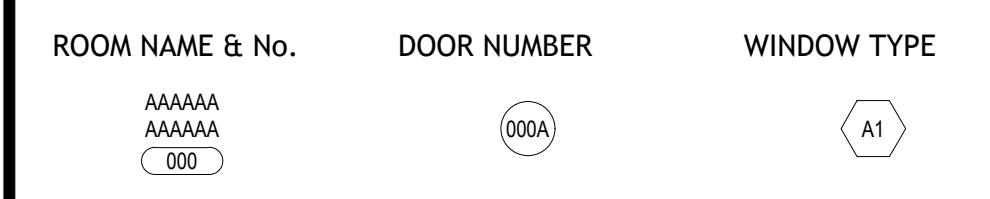
INTERIOR ELEVATION



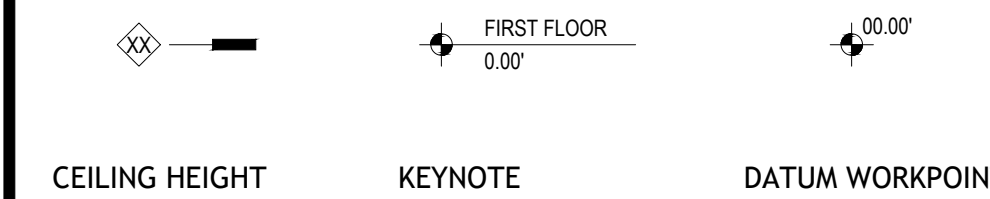
DETAIL KEY



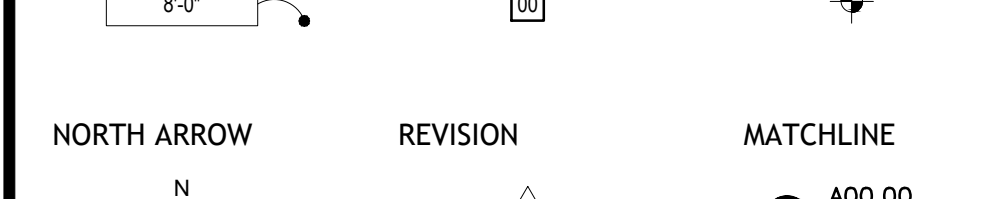
ROOM NAME & No. DOOR NUMBER WINDOW TYPE



PARTITION TYPE ELEVATION DATUM PLAN DATUM



CEILING HEIGHT KEYNOTE DATUM WORKPOINT



NORTH ARROW REVISION MATCHLINE



MISC. SYMBOLS



Architect

MVA

131 HANOVER AVE
ASHLAND, VA 23005
804-387-8780
www.MVAUGHANARCHITECT.com

PROJECT ADDRESS

2514 EAST MARSHALL STREET
RICHMOND, VA 23223

Architect / Engineers Seal

Issued / Revised

No.	Date	Description
1	08/12/17	PRICING SET
2	08/25/17	CAR REVIEW

Project Title

**LOZITO
RESIDENCE**

Scale AS NOTED

Date 08/03/2017

Drawn By: MV

Check By: MV

Project No. 2017016

IT IS A VIOLATION OF THE LAW FOR ANY PERSON UNLESS HE IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ARCHITECT / ENGINEER TO ALTER THIS DRAWING IN ANY WAY. ALTERATIONS MUST HAVE THE SEAL AFFIXED ALONG WITH A DESCRIPTION OF THE ALTERATION, THE SIGNATURE AND DATE.

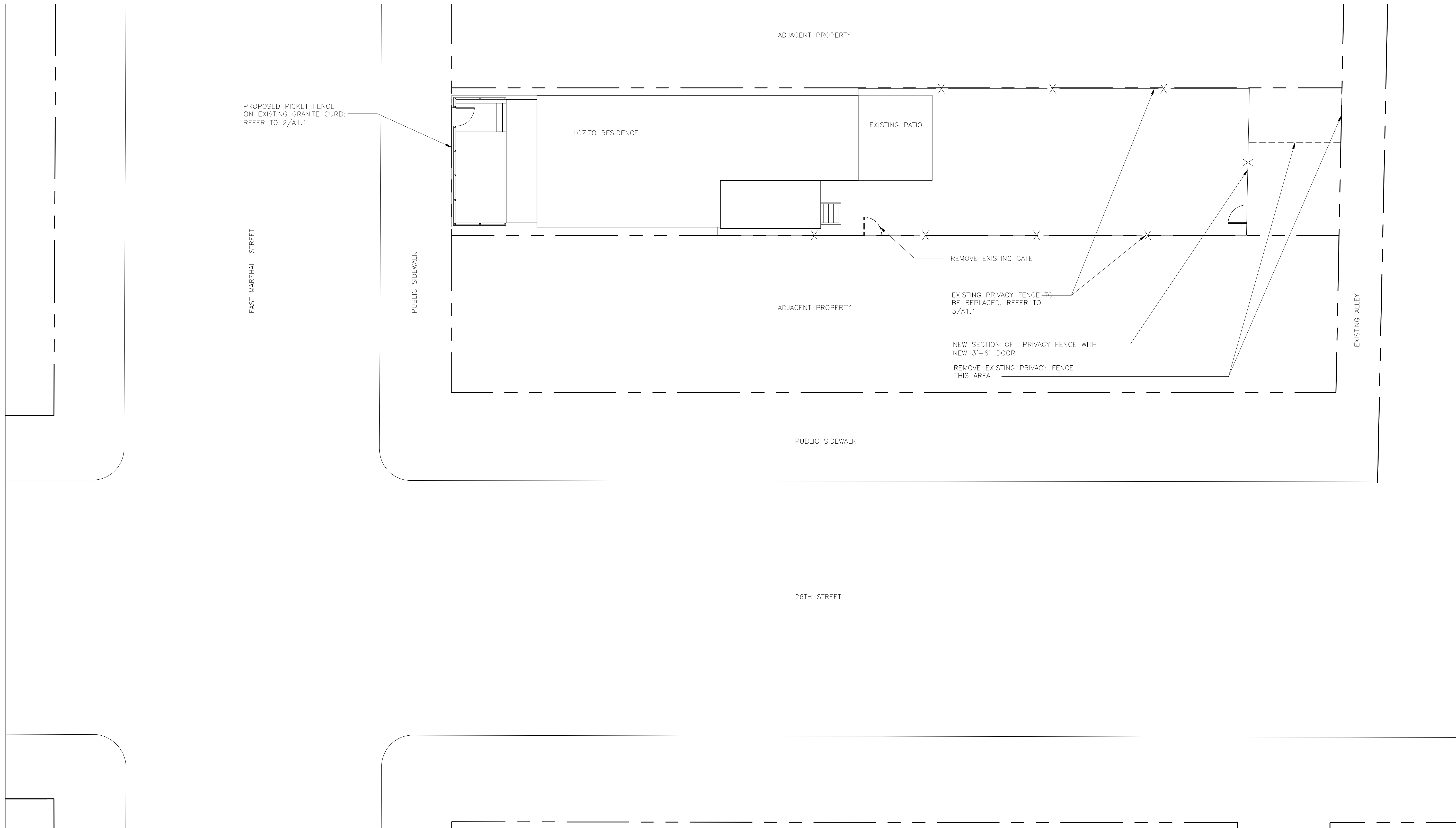
© 2017 MVA Design herein is covered by copyright. Use of this work in whole or part is forbidden without the expressed written consent of MVA.

Drawing Title

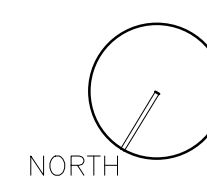
SITE PLAN

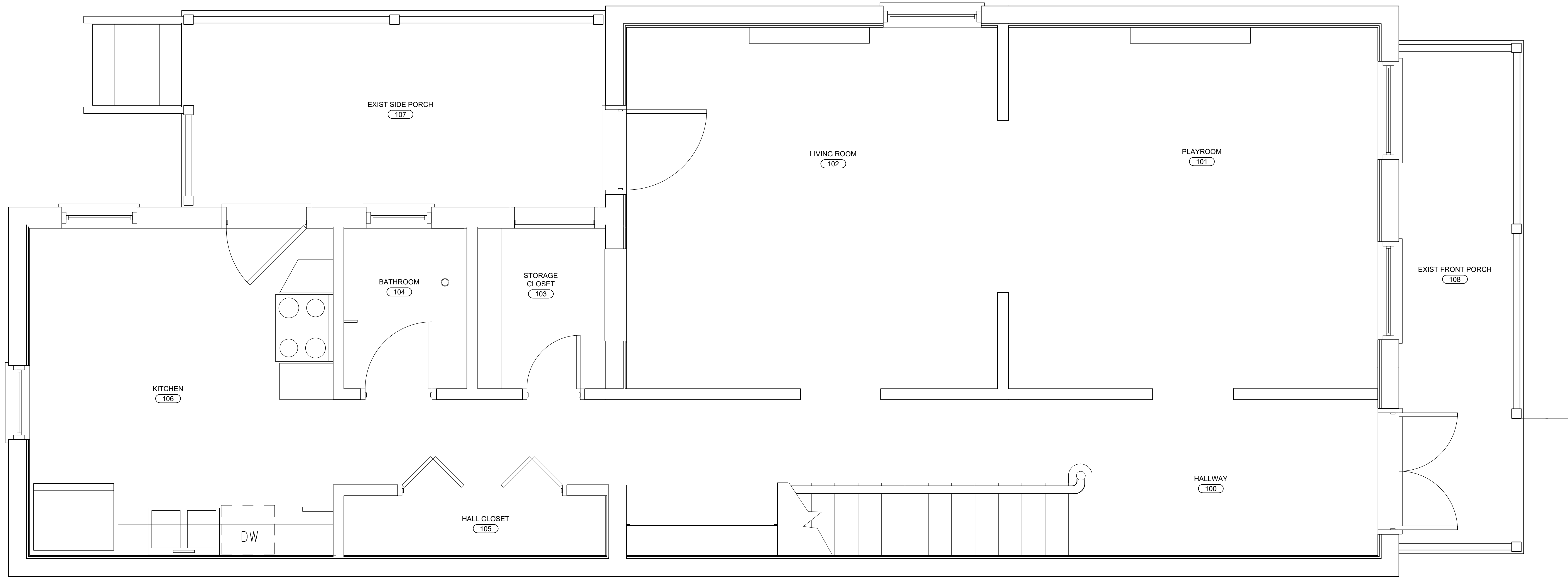
Drawing No.

A1.0



1 SITE PLAN
SCALE: 1/18" = 1'-0"





1
EXISTING FIRST FLOOR PLAN
 SCALE: 1/2" = 1'-0"
 NORTH

MVA

Architect
MVA
 131 HANOVER AVE
 ASHLAND, VA 23005
 804-387-8780
 www.MVAUGHANARCHITECT.com

PROJECT ADDRESS
 2514 EAST MARSHALL STREET
 RICHMOND, VA 23223

Architect / Engineers Seal

Issued / Revised		
No.	Date	Description
1	08/12/17	PRICING SET
2	08/25/17	CAR REVIEW

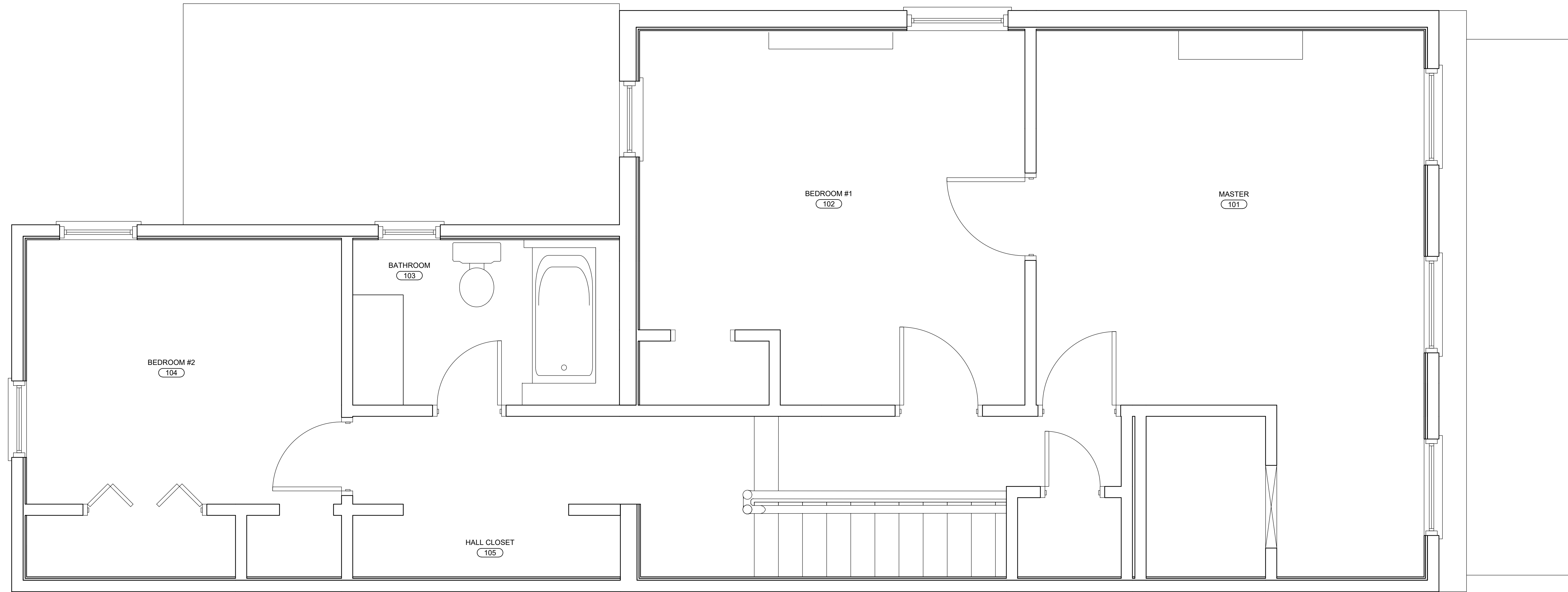
Project Title
LOZITO RESIDENCE

Scale	AS NOTED
Date	08/03/2017
Drawn By:	MV
Check By:	MV
Project No.	2017016

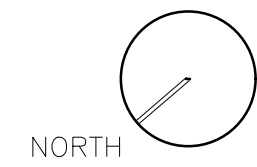
IT IS A VIOLATION OF THE LAW FOR ANY PERSON UNLESS HE IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ARCHITECT / ENGINEER TO ALTER THIS DRAWING IN ANY WAY. ALTERATIONS MUST HAVE THE SEAL AFFIXED ALONG WITH A DESCRIPTION OF THE ALTERATION, THE SIGNATURE AND DATE.

Drawing Title
FIRST FLOOR EXISTING PLAN

Drawing No.
A1.01



1
 EXISTING SECOND FLOOR PLAN
 SCALE: 1/2" = 1'-0"



MVA

Architect

MVA

131 HANOVER AVE
 ASHLAND, VA 23005
 804-387-8780
 www.MVAUGHANARCHITECT.com

PROJECT ADDRESS
 2514 EAST MARSHALL STREET
 RICHMOND, VA 23223

Architect / Engineers Seal

Issued / Revised

No.	Date	Description
1	08/12/17	PRICING SET
2	08/25/17	CAR REVIEW

Project Title

**LOZITO
RESIDENCE**

Scale AS NOTED

Date 08/03/2017

Drawn By: MV

Check By: MV

Project No. 2017016

IT IS A VIOLATION OF THE LAW FOR ANY PERSON UNLESS HE IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ARCHITECT / ENGINEER TO ALTER THIS DRAWING IN ANY WAY. ALTERATIONS MUST HAVE THE SEAL AFFIXED ALONG WITH A DESCRIPTION OF THE ALTERATION, THE SIGNATURE AND DATE.

Drawing Title

**SECOND FLOOR
PLAN**

Drawing No.

A1.02

Architect
MVA
 131 HANOVER AVE
 ASHLAND, VA 23005
 804-387-8780
 www.MVAUGHANARCHITECT.com

PROJECT ADDRESS
 2514 EAST MARSHALL STREET
 RICHMOND, VA 23223

Architect / Engineers Seal

Issued / Revised		
No.	Date	Description
1	08/12/17	PRICING SET
2	08/25/17	CAR REVIEW

Project Title

LOZITO RESIDENCE

Scale	AS NOTED
Date	08/03/2017
Drawn By:	MV
Check By:	MV
Project No.	2017016

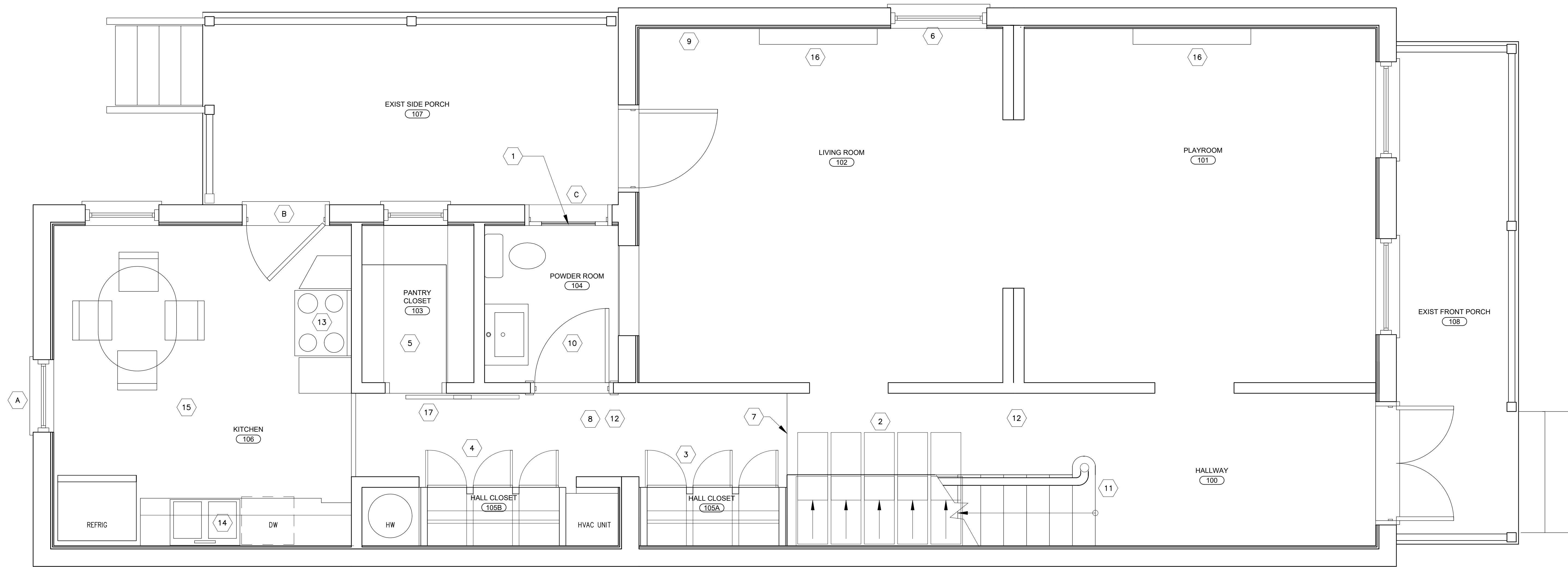
IT IS A VIOLATION OF THE LAW FOR ANY PERSON UNLESS HE IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ARCHITECT / ENGINEER TO ALTER THIS DRAWING IN ANY WAY. ALTERATIONS MUST HAVE THE SEAL AFFIXED ALONG WITH A DESCRIPTION OF THE ALTERATION, THE SIGNATURE AND DATE.

Drawing Title

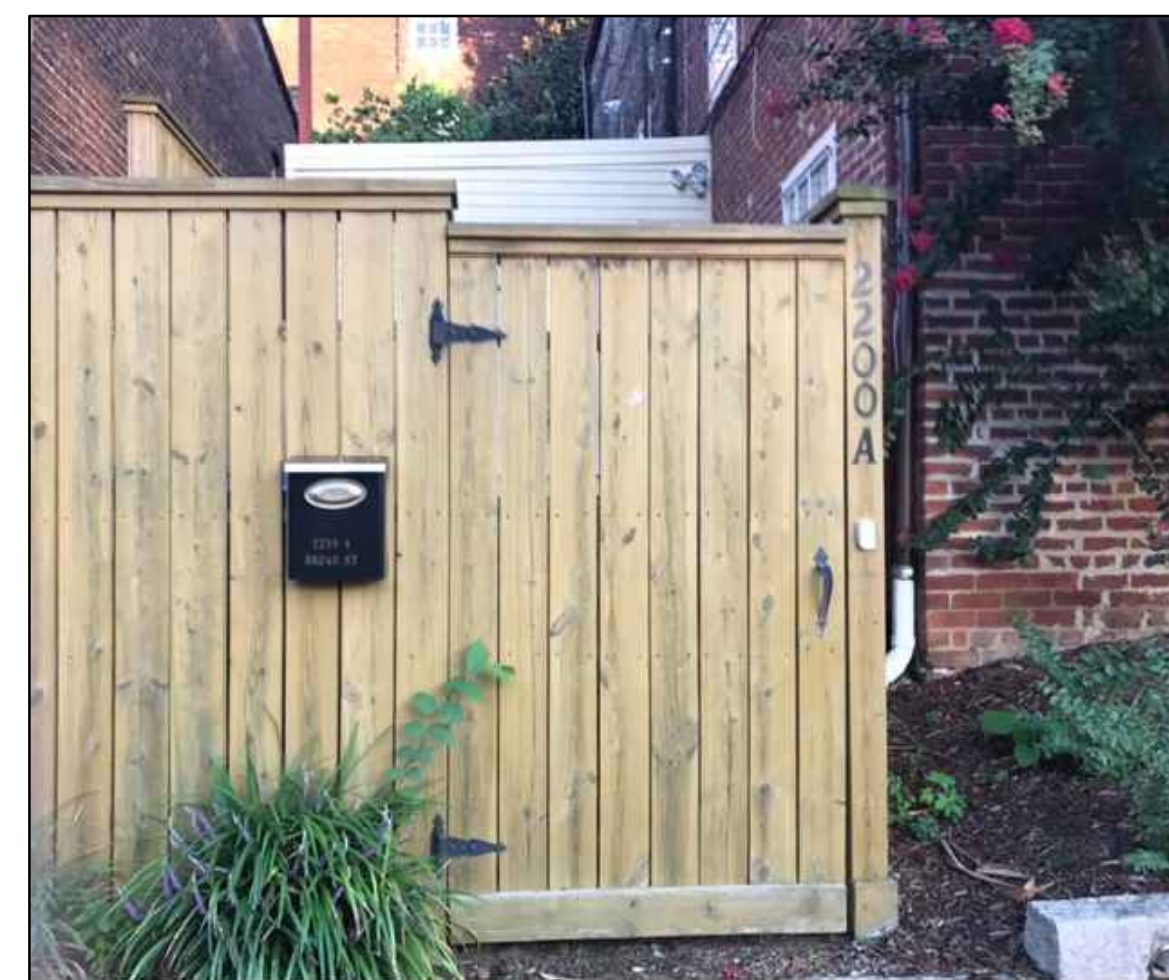
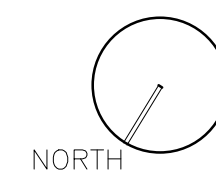
FIRST FLOOR PLAN

Drawing No.

A1.1



1 FIRST FLOOR PLAN
 SCALE: 1/2" = 1'-0"



2 PROPOSED FENCE TYPE FOR FRONT YARD
 SCALE: 1/4" = 1'-0"

3 PROPOSED REPLACEMENT FOR EXIST PRIVACY FENCE
 SCALE: 1/4" = 1'-0"

FIRST FLOOR GENERAL PLAN NOTES

- REFER TO OWNER SCOPE OF WORK SUMMARY FOR EXTERIOR FENCE, GATE & SHED
- GO TO DISCUSS WITH OWNER AT ROUGH IN LOCATIONS OF OUTLETS AND LIGHT FIXTURES
- ALL TRIMS AND FINISHES TO MATCH EXISTING

PLAN NOTES

- DOOR WILL REMAIN INOPERABLE; MAINTAIN DOOR AS AN EXTERIOR FACADE ELEMENT; PROVIDE AN INSULATED PANEL AT DOOR; PROVIDE INS WINDOW PANEL AT DOOR
- BUILT IN CABINERY UNDER STAIR USING EXISTING TRIM DETAILS TO CREATE STORAGE BAYS— REFER TO OWNER PHOTOGRAPHS FOR DETAIL; PROVIDE SPACE AT KICK FOR AIR EXCHANGE TO REDUCE PRESSURE OF EXISTING UNIT NOISE; MECHANICAL CONTRACTOR TO DESIGN SPECIFIC SOLUTION ON SITE WITH GC
- BUILT IN CLOSET CABINERY WITH DRAWERS BELOW HANDING SPACE AND OPEN CUBBIES ABOVE
- BUILT IN CABINERY WITH REMOVEABLE PANELS TO PROVIDE FULL ACCESS TO HVAC UNIT/ HOT WATER HEATER INCLUDING REPLACEMENT OF UNIT IN FUTURE
- PANTRY WITH COUNTER AND LOWER DRAWERS AND OPEN UPPER SHELVEING; PROVIDE ELECTRICAL AT COUNTER HEIGHT
- REPAIR LIVING ROOM WINDOW TO MATCH EXISTING GLAZING
- REPAIR GWB AT DUCTWORK OPENING/ CEILING
- REPLACE POPCORN CEILING IN HALLWAY WITH GWB
- ADD STUD WALL AND SPRAY FOAM INSULATION (R=7/INCH) TO EXISTING MASONRY WALL TO BRING WALL TO ALIGN WITH FACE OF EXISTING INTERIOR WALL OPPOSITE OF FIREPLACE; CAULK AND SEAL
- INSTALL POWDER ROOM WITH PEDESTAL SINK, DELTA FAUCET, DUAL FLUSH TOTO TOILET, MOSAIC TILE FLOOR AND WAINSCOTING TO 3'-6" HEIGHT; INSTALL NEW LIGHTING AND PAINT
- REPAIR STAIR AND BANISTER
- ADD LIGHTING AT STAIR AND HALLWAY
- KITCHEN ALT A PRICING; REPLACE GAS STOVE IN KITCHEN;
- KITCHEN ALT A PRICING; REPLACE COUNTERTOP, TILE BACKSPLASH, SINK AND FAUCET
- KITCHEN ALT A PRICING; INSTALL CAN LIGHTING IN KITCHEN FOR GENERAL LIGHTING AND REPLACE CEILING FAN WITH NEW LIGHT FIXTURE
- SEAL BRICK MANTELS TO STOP BRICK SHEDDING AND MORTAR DUST FALLING FROM CHIMNEYS
- RECLAIMED WOOD SLIDING BARN DOOR WITH OIL RUBBED BRONZE BARN DOOR HARDWARE

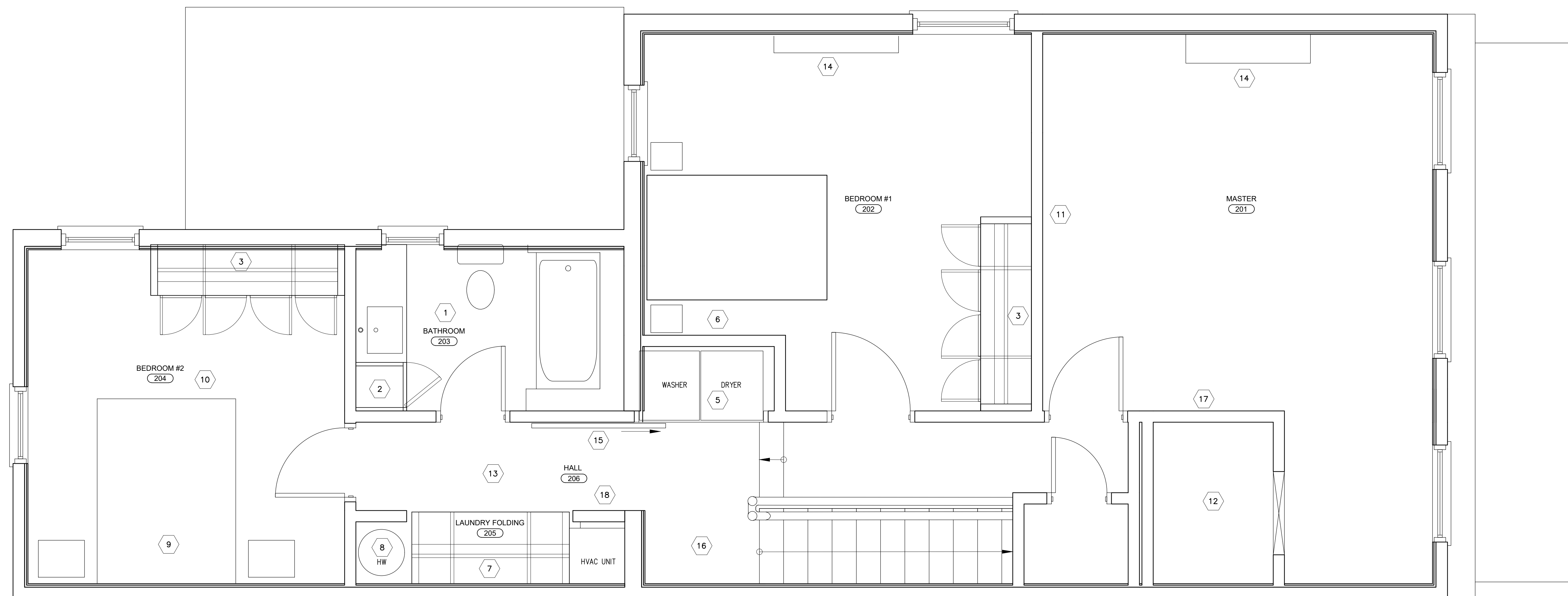
Architect

MVA

131 HANOVER AVE
ASHLAND, VA 23005
804-387-8780
www.MVAUGHANARCHITECT.com

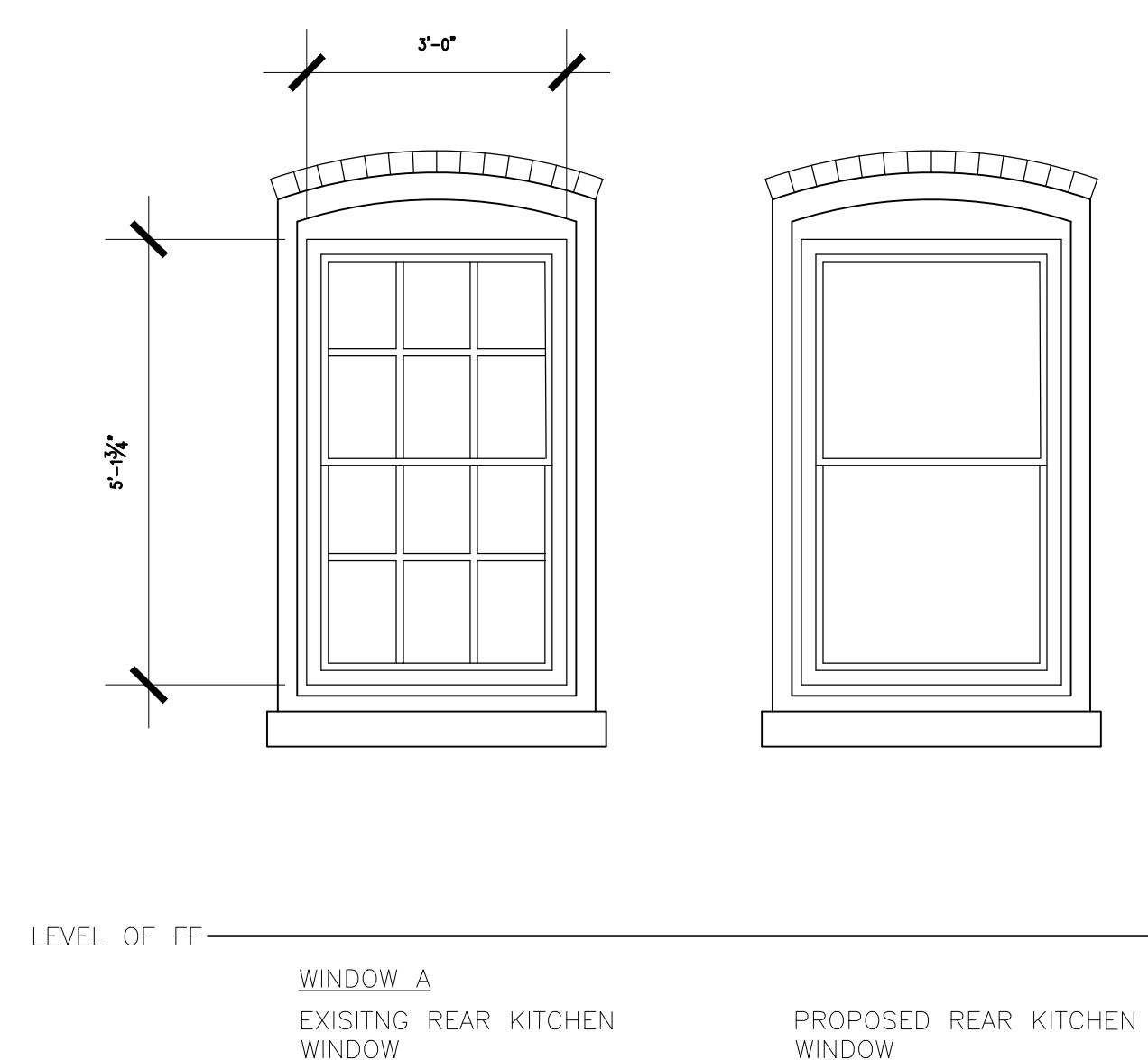
PROJECT ADDRESS
2514 EAST MARSHALL STREET
RICHMOND, VA 23223

Architect / Engineers Seal

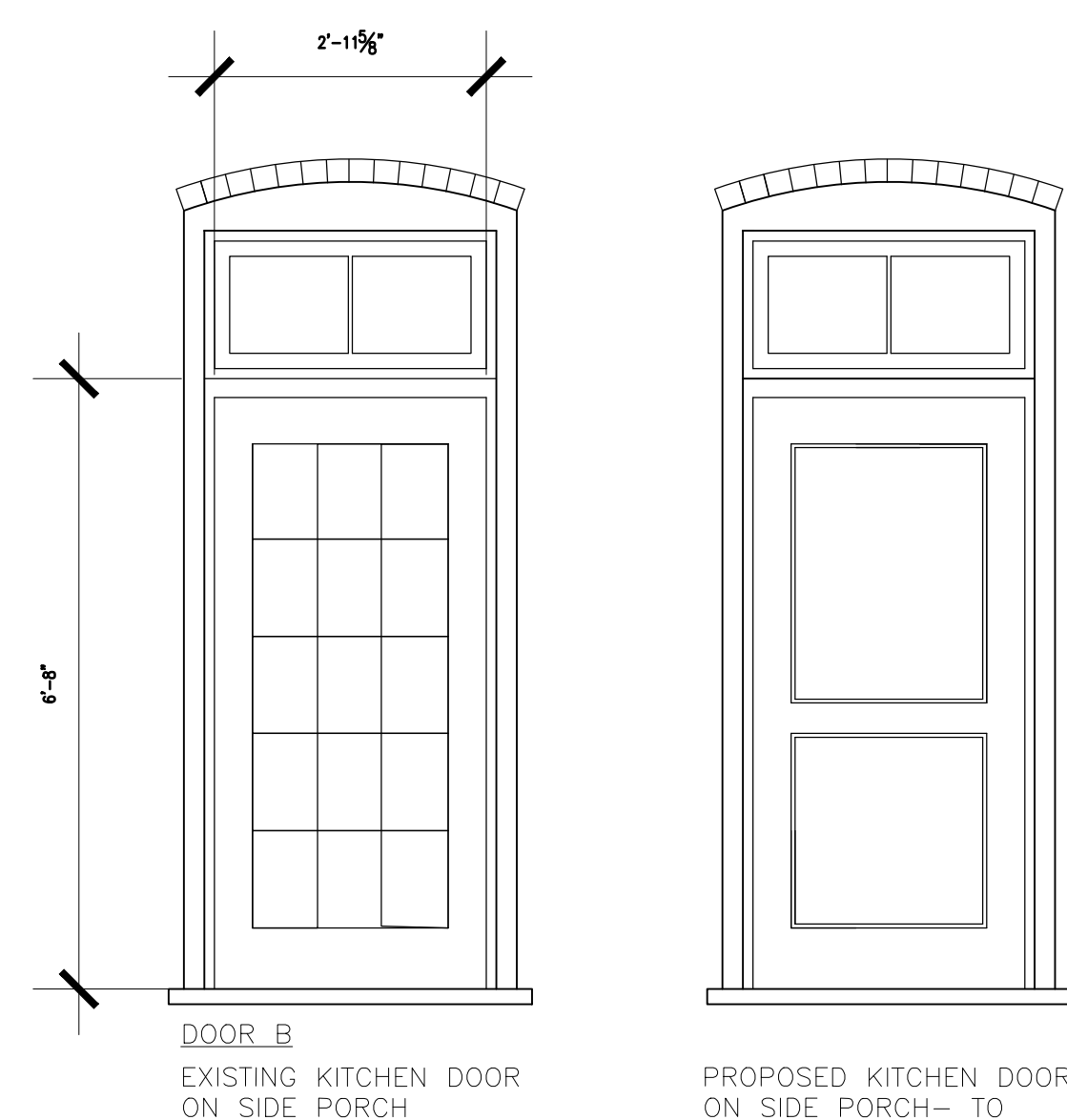


1 SECOND FLOOR PLAN

SCALE: 1/2" = 1'-0"



NOTE: ALL EXISTING WINDOWS IN THE HOUSE MATCH THE PROPOSED



NOTE: ORIGINAL FRONT AND SIDE DOOR MATCH PROPOSED

2 EXIST AND PROPOSED WDW AND DOOR REPLACEMENT

SCALE: 1/2" = 1'-0"

SECOND FLOOR GENERAL PLAN NOTES

- ALL TRIMS AND FINISHES TO MATCH EXISTING
- GC TO DISCUSS WITH OWNER AT ROUGH IN LOCATIONS OF OUTLETS AND LIGHT FIXTURES

PLAN NOTES

- DEMO AND REPLACE FULL BATH; PROVIDE KOHLER UNDERMOUNT 22" SQUARE SINK, KOHLER FAUCET, TOTO DUAL FLUSH TOILET, KOHLER CAST IRON TUB WITH GROHE HAND HELD SHOWER HEAD AND KOHLER TUB DIVERTER, MOSAIC TILE FLOOR AND TILE BACKSPASH; QUARTZ COUNTER, CABINETRY WITH AND DRAWERS BELOW COUNTER HEIGHT, COUNTER HEIGHT OUTLETS, NEW LIGHTING; PAINT SEMI GLOSS
- LINEN CLOSET WITH ADJUSTABLE SHELVING ABOVE COUNTER HEIGHT AND DRAWERS BELOW COUNTER HEIGHT
- BUILT IN WOOD CLOSET WITH DRAWERS BELOW; HANGING SPACE AND SHELVING ABOVE, PNT FINISH
- NOT USED
- PROVIDE A CASED OPENING IN EXISTING WALL; INSTALL WASHER AND DRYER IN EXISTING CLOSET; PROVIDE BULLNOSE AT EDGE OF FLOOR AND NEW LIGHTING IN THE CLOSET; PROVIDE AN ACOUSTICAL WALL TO THE BEDROOM; IF ENOUGH SPACE STACK STUDS ALTERNATELY AND SPRAY FOAM AT WALL ADJACENT TO BEDROOM LEAVING AN AIRSPACE; IF NOT ENOUGH ROOM PROVIDE SPRAY FOAM AT WALL; SEAL AND CALK AT BOTTOM AND TOP OF WALL; PROVIDE FLOOR ISOLATION TO PREVENT VIBRATION MIGRATION
- PATCH EXIST CASED OPENING
- PROVIDE REMOVEABLE LAUNDRY FOLDING AND STORAGE CASEWORK TO ALLOW ACCESS TO EXIST HVAC UNIT; PROVIDE SHELVING BELOW, COUNTER AT 3'-0" HEIGHT, HANGING AND SHELVING ABOVE
- REPLACE EXIST TANK WATER HEATER WITH ON DEMAND TANKLESS WATER HEATER
- PATCH GWB WHERE EXISTING CLOSET WALLS WERE REMOVED; PNT
- GENERAL BEDROOM REFURBISHMENT: REMOVE HEARTH SLAB, FIX OUTLETS, REPLACE CEILING FAN AND PAINT
- PATCH WHERE EXISTING DOOR WAS REMOVED, PNT
- ADD LIGHTING IN MASTER CLOSET PER OWNER SELECTION
- REMOVE POPCORN CEILING AND PATCH TO MATCH GWB/ PLASTER
- SEAL BRICK MANTELS TO STOP BRICK SHEDDING AND MORTAR DUST FALLING FROM CHIMNEYS
- RECLAIMED WOOD SLIDING BARN DOOR WITH OIL RUBBED BRONZE BARN DOOR HARDWARE
- ADD LIGHTING IN HALLWAY AND ABOVE STAIRS
- PROVIDE OUTLET
- HVAC NOISE ISSUE- REFER TO A1.1 NOTE #2

Issued / Revised

No.	Date	Description
1	08/12/17	PRICING SET
2	08/25/17	CAR REVIEW

Project Title

LOZITO RESIDENCE

Scale AS NOTED

Date 08/03/2017

Drawn By: MV

Check By: MV

Project No. 2017016

IT IS A VIOLATION OF THE LAW FOR ANY PERSON UNLESS HE IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ARCHITECT / ENGINEER TO ALTER THIS DRAWING IN ANY WAY. ALTERATIONS MUST HAVE THE SEAL AFFIXED ALONG WITH A DESCRIPTION OF THE ALTERATION, THE SIGNATURE AND DATE.

© 2017 MVA. Design herein is covered by copyright. Use of this work in whole or part is forbidden without the expressed written consent of MVA.

Drawing Title

SECOND FLOOR PLAN

Drawing No.

A1.2

Architect

MVA

131 HANOVER AVE
ASHLAND, VA 23005
804-387-8780

www.MVAUGHANARCHITECT.com

PROJECT ADDRESS

2514 EAST MARSHALL STREET
RICHMOND, VA 23223

Architect / Engineers Seal

Issued / Revised

No.	Date	Description
1	08/12/17	PRICING SET
2	08/25/17	CAR REVIEW

Project Title

**LOZITO
RESIDENCE**

Scale AS NOTED
Date 08/03/2017
Drawn By: MV
Check By: MV
Project No. 2017016

IT IS A VIOLATION OF THE LAW FOR ANY PERSON UNLESS HE IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ARCHITECT / ENGINEER TO ALTER THIS DRAWING IN ANY WAY. ALTERATIONS MUST HAVE THE SEAL AFFIXED ALONG WITH A DESCRIPTION OF THE ALTERATION, THE SIGNATURE AND DATE.

Drawing Title

**EXTERIOR
ELEVATIONS**

Drawing No.

A2.1

GENERAL NOTES

1. REFER TO T1.1 FOR GENERAL NOTES
2. WHEN REPAIRING MASONRY, PROVIDE TUCKPOINTING TO MORTAR JOINTS TO MATCH EXISTING
3. PROVIDE MORTAR TO MATCH EXISTING IN COLOR, TEXTURE AND PROPORTION- SEE NOTE #1
4. IF REPAIRING MASONRY IS REQUIRED MATCH EXISTING MASONRY IN COLOR, TEXTURE AND SIZE
5. PROVIDE ALL NEW WORK TO MATCH EXISTING DETAILS
6. REPAIR ALL STRUCTURAL PORCH COMPONENTS SHOWING ROT OR DAMAGE; MATCH EXISTING STRUCTURAL ELEMENTS
7. MATCH ALL EXISTING PAINT COLORS

EXTERIOR ELEVATION REHABILITATION AND REPAIR NOTES

- 1 REPAIR EXIST JACK ARCHES WHERE BRICKS ARE PROTRUDING AWAY FROM FACE OF EXISTING MASONRY EXTERIOR WALL; REPAIR CRACKS AND SOFFITS TO MATCH EXIST
- 2 REPAIR EXIST WOOD GUTTERS, CORNICE AND SOFFITS TO MATCH EXIST
- 3 REPLACE EXIST PAINTED MTL DOWNSPOUTS TO MATCH EXIST IN SIZE, COLOR AND LOCATION
- 4 INSTALL INTERIOR WD STORM WINDOWS TO MATCH EXISTIN SASH DIMENSIONS SO THAT NO INTERIOR STORM WINDOW FRAME IS VISIBLE FROM THE EXTERIOR GLASS
- 5 REPLACE EXIST EXTERIOR DOORS; MATCH EXISTING IN DETAIL, PROPORTIONS, MATERIAL AND COLOR; PROVIDE INS WINDOW UNIT AT UPPER DOOR PANEL
- 6 REPLACE EXIST PORCH SOFFITS, COLUMNS AND FLOORING TO MATCH EXIST; REPLACE EXISTING FLASHING AS REQUIRED AND PAINT EXISTING ROOF TO MATCH EXISTING
- 7 REPLACE ROOF VENTILATION SCREENS, MATCH EXISTING
- 8 REPLACE 30" HT PICKET FENCE ON EXISTING CURB WALL AT PERIMETER OF FRONT YARD WITH 3'-0" GATE WITH LATCH- REFER TO DETAIL 2/ A1.1
- 9 PROVIDE RAIL AT PORCH WHERE RAIL IS MISSING; MATCH EXISTING
- 10 PROVIDE LATTICE AT BASE OF PORCH
- 11 REPLACE EXIST 6"-0" HT PRIVACY FENCE-PROVIDE 8"-0" HT PRIVACY FENCE; REFER TO 3/A1.1; PROVIDE 3'-6" GATE AT REAR PARKING ENTRANCE; REMOVE GATE FACING 26TH ST
- 12 EXIST GAS METER LOCATION
- 13 EXIST ELEC PANEL
- 14 NOT USED
- 15 REPLACE EXIST ORIGINAL 6 OVER 6 DIVIDED LITE WDW TO MATCH EXISTING; ALT A PRICING; REPLACE EXISTING WDW TO MATCH EXISTING 6 OVER 6 DIVIDED LITE WDW
- 16 REPLACE DOOR TO MATCH ORIGINAL FRONT DOORS IN DESIGN AND DETAIL
- 17 INSTALL (2) CHIMNEY CAPS TO MATCH EXISTING
- 18 INSULATE ATTIC SPACE WITH BLOWN IN CELLULOSE INS TO CREATE CONTINUOUS R=38; SEAL ALL CRACKS
- 19 INSTALL THREE EXTERIOR OUTLETS NOT VISIBLE FROM STREET (1) FRONT PORCH AND (2) SIDE PORCH
- 20 INSTALL WATER SPIGOT NEAR FRONT YARD, NOT VISIBLE FROM STREET & RAIN BARRELS AT BACKYARD GUTTERS
- 21 INSTALL LIGHTING AT PARKING AREA WITH LIGHT AND MOTION SENSOR
- 22 INSTALL WATER SPIGOT

5 NORTH 26TH STREET ELEVATION-SE
SCALE: 1/4" = 1'-0"

4 MARSHALL STREET ELEVATION - SW
SCALE: 1/4" = 1'-0"

2 NORTH 26TH STREET ELEVATION-SE
SCALE: 1/4" = 1'-0"
NOTE: PORCH INDICATED BY DOTTED; FOR PORCH ELEVATION SEE 4/A2.1

1 MARSHALL STREET ELEVATION - SW
SCALE: 1/4" = 1'-0"
NOTE: PORCH INDICATED BY DOTTED LINE; FOR PORCH ELEVATION SEE 3/A2.1

3 ALLEY ELEVATION - SW
SCALE: 1/4" = 1'-0"



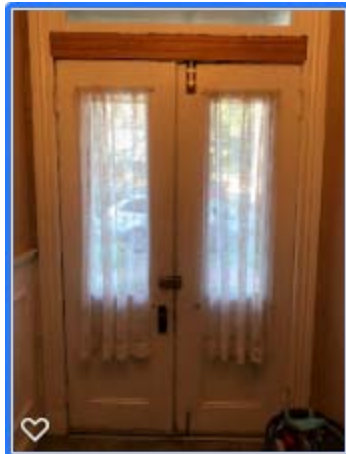
From: [Heather Lozito](#)
To: [Jeffries, Chelsea R. - PDR](#)
Cc: [Pitts, Marianne G. - PDR](#); [Melissa Vaughan](#)
Subject: Re: 2514 East Marshall Street - CAR application
Date: Thursday, August 31, 2017 10:14:55 AM
Attachments: [PastedImage-9.png](#)
[PastedImage-8.png](#)
[PastedImage-7.png](#)
[PastedImage-6.png](#)
[PastedImage-5.png](#)
[PastedImage-4.png](#)
[PastedImage-2.png](#)
[PastedImage-1.png](#)

Chelsea,

We have attached the photos you requested earlier this week. We tried our best to capture the warped front door. Please note that the side window toward the front has a broken top pane of glass. If that window pane can be repaired without replacing the entire window that is our plan. Please let us know if you require any further detail.

Regards,

Heather & Paul Lozito





On Aug 30, 2017, at 05:12 PM, Melissa Vaughan
<melissa@mvaughanarchitect.com> wrote:

Oh, yes note 15 needs to be revised to say match the existing. At first, we thought that window was original and the more we looked we think the original is the one over one with no divided lite is original. I would strike Note #15 if you allow matching the existing windows. (I think I incorrectly said two over two in my last email- it has been a long day...)

Yes, the door will be fabricated to match the existing.



Virus-free. www.avast.com

Melissa Vaughan AIA CDT LEED AP BD+C

MVA
Architecture, Planning & Interiors
131 Hanover Ave
Ashland, VA 23005

NCARB licensed in Virginia and the District of Columbia

www.mvaughanarchitect.com
melissa@mvaughanarchitect.com
cell 804-387-8780

On Wed, Aug 30, 2017 at 4:29 PM, Jeffries, Chelsea R. - PDR
<Chelsea.Jeffries@richmondgov.com> wrote:

Melissa,

Thank you for your reply. Looking at the plans the new front door will match the existing design exactly. If this is the case, and if Heather sends me photographs that show the warping, I may be able to approve the replacement administratively.

The note I saw was number 15 on A2.1, it looks like it indicates an alternative would be to install six-over-six. So the new window will not have any muntins dividing the sashes? Is the existing window wood?

I also wanted to make you aware that an 8ft privacy fence will require zoning approval as I believe the max height allowed is 6.5 feet.

Thank you,

Chelsea Jeffries, AICP

Planning and Preservation | Department of Planning and Development Review

City of Richmond | 900 E Broad Street, Room 510 | Richmond, VA 23219

Chelsea.Jeffries@Richmondgov.com | 804-646-3709

From: Melissa Vaughan [mailto:melissa@mvaughanarchitect.com]

Sent: Wednesday, August 30, 2017 3:13 PM

To: Jeffries, Chelsea R. - PDR
Cc: Heather Lozito
Subject: 2514 East Marshall Street - CAR application

Hi Chelsea,

The front doors have warped outside of the frame and no longer latch properly. We had a contractor look at it to install a new lock and it was infeasible with the existing status of the doors.

The window replacements will be wood to match the existing. On Sheet A1.2 Dwg #2 shows the existing window and the proposed window. The proposed window is the two over two panes. I am not sure where you saw the 6 over 6 indicated as proposed (can you give me a sheet and dwg number reference for where you saw this proposed) Does this answer your question?

Heather will be sending photos to you as requested.

Let me know if you have any other questions.

Warm Regards,

Melissa Vaughan AIA CDT LEED AP BD+C

MVA

Architecture, Planning & Interiors

131 Hanover Ave

Ashland, VA 23005

NCARB licensed in Virginia and the District of Columbia

www.mvaughanarchitect.com
melissa@mvaughanarchitect.com

cell 804-387-8780