



DEPARTMENT OF  
**PLANNING AND  
DEVELOPMENT  
REVIEW**

**BOARD OF  
ZONING APPEALS**

September 9, 2024

SHIPLOCK LLC  
269 Finial Avenue  
Richmond, VA 23226

Baker Development Resources  
530 East Main Street, Suite 730  
Richmond, VA 23219  
Attn: Mark Baker

To Whom It May Concern:

**RE: BZA 33-2024**

You are hereby notified that the Board of Zoning Appeals will hold a public hearing on **Wednesday, October 2, 2024 at 1:00 PM** in the 5<sup>th</sup> Floor Conference Room, City Hall, 900 E. Broad Street to consider an application for building permits to construct five new single-family (attached) dwellings at 2719, 2721, 2723, 2725 & 2727 EAST CARY STREET (Tax Parcel Numbers E000-0443/003, E000-0443/004, E000-0443/005, E000-0443/006 & E000-0443/007), located in a B-5 (Central Business) District. This meeting will be open to in-person participation with a virtual option. The public will have the option to provide their comments by teleconference/videoconference via Microsoft Teams, or in writing via email as indicated below.

Please be advised that the applicant or applicant's representative is required to participate in the subject public hearing either by teleconference/videoconference or in person. For teleconference participation call 804-316-9457 and entering code **445 955 539#**. For video access by computer, smart phone or tablet visit <https://richmondva.legistar.com/Calendar.aspx>. Select the Board of Zoning Appeals drop-down and 2024 drop-down, click meeting details for October 2, 2024 meeting and then click video access. In the event you have difficulty accessing a public hearing you may contact Mr. William Davidson at 804-396-5350 or by email at [Chuck.Davidson@rva.gov](mailto:Chuck.Davidson@rva.gov) for assistance. The Board of Zoning Appeals Rules of Procedure provides that in the case of an application for a variance or a special exception, the applicant, proponents or persons aggrieved under §15.2-2314 of the Code of Virginia, shall be permitted a total of six (6) minutes each to present their case. The Board of Zoning Appeals will withhold questions until the conclusion of the respective presentations. For the purposes of the record it also requested that before addressing the Board you identify yourself and spell your name.

Finally, when you submitted your application to the zoning office you were given an handout entitled, Suggestions for Presenting Your Case to the Board, which indicated that you should discuss your request with your neighbor(s) and neighborhood

BZA 33-2024  
Page 2  
September 9, 2024

association(s) prior to appearing before the Board of Zoning Appeals. Contact information for civic group(s) can be found by navigating to the Civic Group webpage of the City's website at <https://www.rva.gov/planning-development-review/civic-groups>. Once there, you can search for your property using the interactive map. A dialogue box will provide you with the names of all civic groups within which your property may lie. Once you have those group names, simply scroll down the page to the appropriate group(s) to find the contact information for each. The Board understands that given the current situation it is not practical to conduct face-to-face discussions with either your neighbors or neighborhood association(s) but the Board requests that you make a good faith effort to provide them with relevant information regarding your case.

If you have any questions regarding the Board's procedures or any issue involving presentation of your case, please feel free to contact me.

Very truly yours,

A handwritten signature in cursive script that reads "Roy W. Benbow".

Roy W. Benbow, Secretary  
Phone: (804) 240-2124  
E-mail: [Roy.Benbow@rva.gov](mailto:Roy.Benbow@rva.gov)

cc: Zoning Administrator

Notice of this meeting is being sent to the persons whom the Board of Zoning Appeals believes to be property owners in the immediate vicinity of the property concerned in this application. This notice is for their information only, and there is no need for them to appear unless they so desire. The Board will, however, welcome such views as any persons care to express during the hearing on this application.

Fc Lucky Strike Lessor Llc C/o Forest  
City Tax Dept Shared  
127 Public Square Ste 3150  
Cleveland, OH 44114

Norfolk Southern Railway Co  
110 Franklin Rd  
Roanoke, VA 24042

Power Plant At Lucky Strike Llc  
1812 E Grace St  
Richmond, VA 23223

Shiplock 2 Llc  
407 S Cherry St #302  
Richmond, VA 23220

**Property:** 2719 E Cary St **Parcel ID:** E0000443003

**Parcel**

**Street Address:** 2719 E Cary St Richmond, VA 23223-  
**Owner:** SHIPLOCK LLC  
**Mailing Address:** 269 FINAL AVE, RICHMOND, VA 23226  
**Subdivision Name :** NONE  
**Parent Parcel ID:** E0000443001  
**Assessment Area:** 334 - Tobacco Row/Undertakers Row  
**Property Class:** 101 - R Single Family Vacant (R1-R7)  
**Zoning District:** B-5 - Business (Central Business)  
**Exemption Code:** -

**Current Assessment**

**Effective Date:**  
**Land Value:**  
**Improvement Value:**  
**Total Value:**  
**Area Tax:**  
**Special Assessment District:**

**Land Description**

**Parcel Square Feet:** 1924  
**Acreage:** 0.0441  
**Property Description 1:** SHIPLOCK TOWNHOMES S1 L1  
**Property Description 2:** 0109.99X0116.50 IRG0000.310 AC  
**State Plane Coords( ?):** X= 11796027.439574 Y= 3717169.780935  
**Latitude:** 37.52688638 , **Longitude:** -77.42017783

**Description**

**Land Type:** Residential Lot A  
**Topology:**  
**Front Size:** 22  
**Rear Size:** 90  
**Parcel Square Feet:** 1924  
**Acreage:** 0.0441  
**Property Description 1:** SHIPLOCK TOWNHOMES S1 L1  
**Property Description 2:** 0109.99X0116.50 IRG0000.310 AC  
**Subdivision Name :** NONE  
**State Plane Coords( ?):** X= 11796027.439574 Y= 3717169.780935  
**Latitude:** 37.52688638 , **Longitude:** -77.42017783

**Other**

**Street improvement:**  
**Sidewalk:**

**Assessments**

Assessment Year	Land Value	Improvement Value	Total Value	Reason
-----------------	------------	-------------------	-------------	--------

**Transfers**

Transfer Date	Consideration Amount	Grantor Name	Deed Reference	Verified Market Sale Description
07/10/2024	\$0	SHIPLOCK LLC	ID2024-11542	2 - INVALID SALE-Relation Between Buyer/Seller

**Planning**

**Master Plan Future Land Use:** C-MU  
**Zoning District:** B-5 - Business (Central Business)  
**Planning District:** East  
**Traffic Zone:** 1109  
**City Neighborhood Code:** SHKB  
**City Neighborhood Name:** Shockoe Bottom  
**Civic Code:** 4016  
**Civic Association Name:** Shockoe Partnership  
**Subdivision Name:** NONE  
**City Old and Historic District:**  
**National historic District:** Shockoe Valley and Tobacco Row  
**Neighborhoods in Bloom:**  
**Redevelopment Conservation Area:**

**Economic Development**

**Care Area:** -  
**Enterprise Zone:** III

**Environment**

**100 YEAR Flood Plain Flag:** Contact the Water Resources Division at 646-7586.  
**500 YEAR Flood Plain Flag:** Y  
**Resource Protection Flag:** Contact the Water Resources Division at 646-7586.  
**Wetland Flag:** N

**Census**

Census Year	Block	Block Group	Tract
2000	2055	0205002	020500
1990	403	0205004	020500

**Schools**

**Elementary School:** Bellevue  
**Middle School:** Martin Luther King Jr  
**High School:** Armstrong

**Public Safety**

**Police Precinct:** 1  
**Police Sector:** 112  
**Fire District:** 1  
**Dispatch Zone:** 125A

**Public Works Schedules**

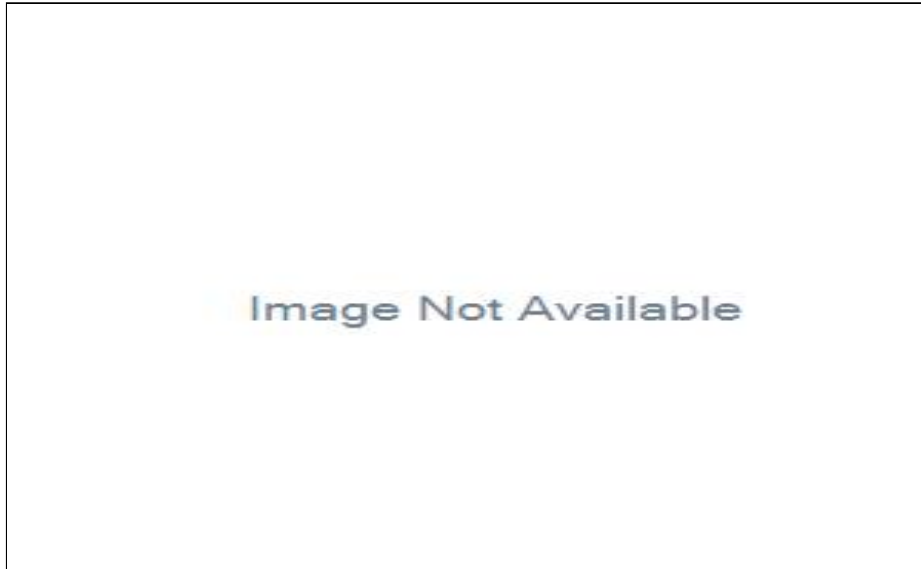
**Street Sweep:** TBD  
**Leaf Collection:** TBD  
**Refuse Collection:** Thursday  
**Bulk Collection:** TBD

**Government Districts**

**Council District:** 7  
**Voter Precinct:** 709  
**State House District:** 79  
**State Senate District:** 14  
**Congressional District:** 4

**Property Images**

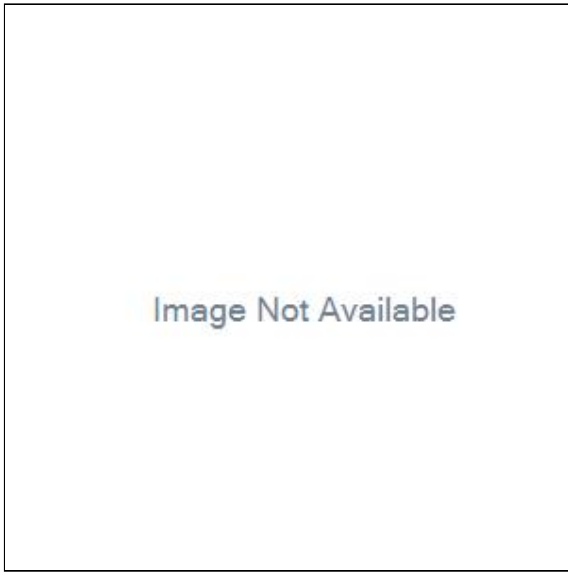
Name: Desc:



[Click here for Larger Image](#)

**Sketch Images**

Name: Desc:



**Property:** 2721 E Cary St **Parcel ID:** E0000443004**Parcel**

**Street Address:** 2721 E Cary St Richmond, VA 23223-  
**Owner:** SHIPLOCK LLC  
**Mailing Address:** 269 FINAL AVE, RICHMOND, VA 23226  
**Subdivision Name :** NONE  
**Parent Parcel ID:** E0000443001  
**Assessment Area:** 334 - Tobacco Row/Undertakers Row  
**Property Class:** 101 - R Single Family Vacant (R1-R7)  
**Zoning District:** B-5 - Business (Central Business)  
**Exemption Code:** -

**Current Assessment**

**Effective Date:**  
**Land Value:**  
**Improvement Value:**  
**Total Value:**  
**Area Tax:**  
**Special Assessment District:**

**Land Description**

**Parcel Square Feet:** 1902  
**Acreage:** 0.437  
**Property Description 1:** SHIPLOCK TOWNHOMES S1 L2  
**Property Description 2:** 0109.99X0116.50 IRG0000.310 AC  
**State Plane Coords( ?):** X= 11796044.801744 Y= 3717157.701891  
**Latitude:** 37.52685106 , **Longitude:** -77.42012929

**Description**

**Land Type:** Residential Lot A  
**Topology:**  
**Front Size:** 21  
**Rear Size:** 90  
**Parcel Square Feet:** 1902  
**Acreage:** 0.437  
**Property Description 1:** SHIPLOCK TOWNHOMES S1 L2  
**Property Description 2:** 0109.99X0116.50 IRG0000.310 AC  
**Subdivision Name :** NONE  
**State Plane Coords( ?):** X= 11796044.801744 Y= 3717157.701891  
**Latitude:** 37.52685106 , **Longitude:** -77.42012929

**Other**

**Street improvement:**  
**Sidewalk:**



**Assessments**

Assessment Year	Land Value	Improvement Value	Total Value	Reason
-----------------	------------	-------------------	-------------	--------

**Transfers**

Transfer Date	Consideration Amount	Grantor Name	Deed Reference	Verified Market Sale Description
07/10/2024	\$0	SHIPLOCK LLC	ID2024-11542	2 - INVALID SALE-Relation Between Buyer/Seller

**Planning**

**Master Plan Future Land Use:** C-MU  
**Zoning District:** B-5 - Business (Central Business)  
**Planning District:** East  
**Traffic Zone:** 1109  
**City Neighborhood Code:** SHKB  
**City Neighborhood Name:** Shockoe Bottom  
**Civic Code:** 4016  
**Civic Association Name:** Shockoe Partnership  
**Subdivision Name:** NONE  
**City Old and Historic District:**  
**National historic District:** Shockoe Valley and Tobacco Row  
**Neighborhoods in Bloom:**  
**Redevelopment Conservation Area:**

**Economic Development**

**Care Area:** -  
**Enterprise Zone:** III

**Environment**

**100 YEAR Flood Plain Flag:** Contact the Water Resources Division at 646-7586.  
**500 YEAR Flood Plain Flag:** Y  
**Resource Protection Flag:** Contact the Water Resources Division at 646-7586.  
**Wetland Flag:** N

**Census**

Census Year	Block	Block Group	Tract
2000	2055	0205002	020500
1990	403	0205004	020500

**Schools**

**Elementary School:** Bellevue  
**Middle School:** Martin Luther King Jr  
**High School:** Armstrong

**Public Safety**

**Police Precinct:** 1  
**Police Sector:** 112  
**Fire District:** 1  
**Dispatch Zone:** 125A

**Public Works Schedules**

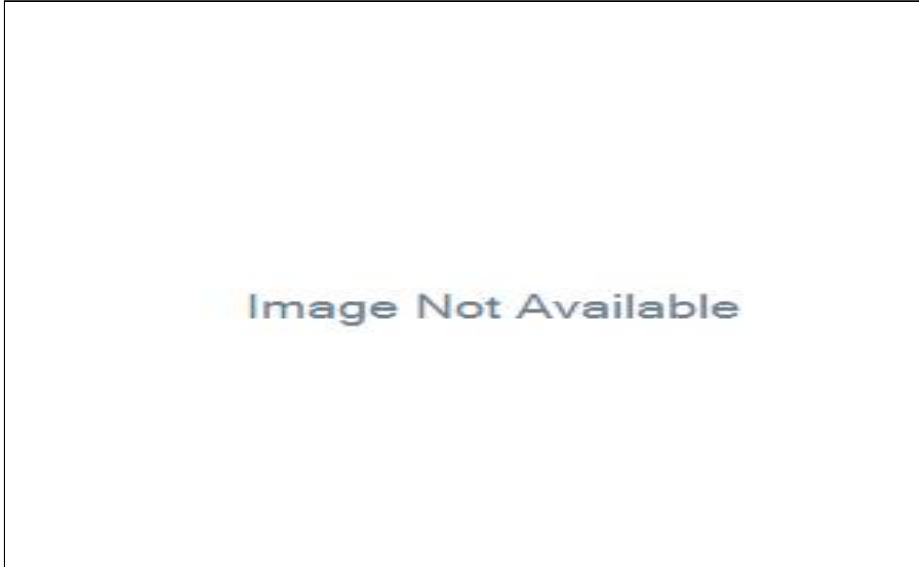
**Street Sweep:** TBD  
**Leaf Collection:** TBD  
**Refuse Collection:** Thursday  
**Bulk Collection:** TBD

**Government Districts**

**Council District:** 7  
**Voter Precinct:** 709  
**State House District:** 79  
**State Senate District:** 14  
**Congressional District:** 4

**Property Images**

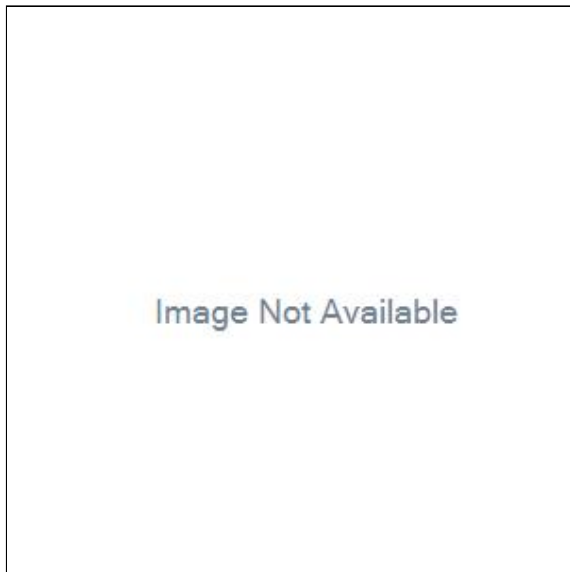
Name: Desc:



[Click here for Larger Image](#)

**Sketch Images**

Name: Desc:



**Property:** 2723 E Cary St **Parcel ID:** E0000443005

**Parcel**

**Street Address:** 2723 E Cary St Richmond, VA 23223-  
**Owner:** SHIPLOCK LLC  
**Mailing Address:** 269 FINAL AVE, RICHMOND, VA 23226  
**Subdivision Name :** NONE  
**Parent Parcel ID:** E0000443001  
**Assessment Area:** 334 - Tobacco Row/Undertakers Row  
**Property Class:** 101 - R Single Family Vacant (R1-R7)  
**Zoning District:** B-5 - Business (Central Business)  
**Exemption Code:** -

**Current Assessment**

**Effective Date:**  
**Land Value:**  
**Improvement Value:**  
**Total Value:**  
**Area Tax:**  
**Special Assessment District:**

**Land Description**

**Parcel Square Feet:** 1902  
**Acreage:** 0.437  
**Property Description 1:** SHIPLOCK TOWNHOMES S1 L3  
**Property Description 2:** 0109.99X0116.50 IRG0000.310 AC  
**State Plane Coords( ?):** X= 11796063.361090 Y= 3717145.272126  
**Latitude:** 37.52682232 , **Longitude:** -77.42009395

**Description**

**Land Type:** Residential Lot A  
**Topology:**  
**Front Size:** 21  
**Rear Size:** 90  
**Parcel Square Feet:** 1902  
**Acreage:** 0.437  
**Property Description 1:** SHIPLOCK TOWNHOMES S1 L3  
**Property Description 2:** 0109.99X0116.50 IRG0000.310 AC  
**Subdivision Name :** NONE  
**State Plane Coords( ?):** X= 11796063.361090 Y= 3717145.272126  
**Latitude:** 37.52682232 , **Longitude:** -77.42009395

**Other**

**Street improvement:**  
**Sidewalk:**

**Assessments**

Assessment Year	Land Value	Improvement Value	Total Value	Reason
-----------------	------------	-------------------	-------------	--------

**Transfers**

Transfer Date	Consideration Amount	Grantor Name	Deed Reference	Verified Market Sale Description
07/10/2024	\$0	SHIPLOCK LLC	ID2024-11542	2 - INVALID SALE-Relation Between Buyer/Seller

**Planning**

**Master Plan Future Land Use:** C-MU  
**Zoning District:** B-5 - Business (Central Business)  
**Planning District:** East  
**Traffic Zone:** 1109  
**City Neighborhood Code:** SHKB  
**City Neighborhood Name:** Shockoe Bottom  
**Civic Code:** 4016  
**Civic Association Name:** Shockoe Partnership  
**Subdivision Name:** NONE  
**City Old and Historic District:**  
**National historic District:** Shockoe Valley and Tobacco Row  
**Neighborhoods in Bloom:**  
**Redevelopment Conservation Area:**

**Economic Development**

**Care Area:** -  
**Enterprise Zone:** III

**Environment**

**100 YEAR Flood Plain Flag:** Contact the Water Resources Division at 646-7586.  
**500 YEAR Flood Plain Flag:** Y  
**Resource Protection Flag:** Contact the Water Resources Division at 646-7586.  
**Wetland Flag:** N

**Census**

Census Year	Block	Block Group	Tract
2000	2055	0205002	020500
1990	403	0205004	020500

**Schools**

**Elementary School:** Bellevue  
**Middle School:** Martin Luther King Jr  
**High School:** Armstrong

**Public Safety**

**Police Precinct:** 1  
**Police Sector:** 112  
**Fire District:** 1  
**Dispatch Zone:** 125A

**Public Works Schedules**

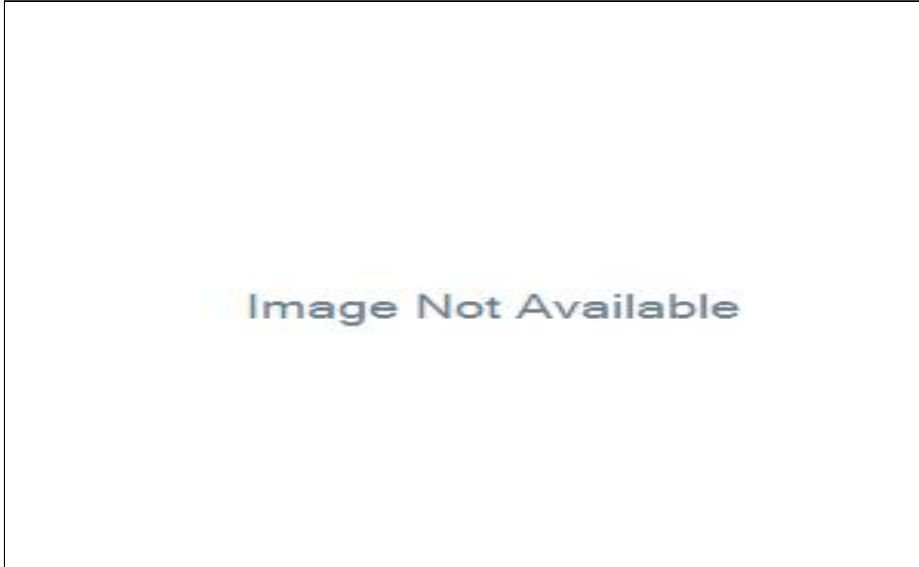
**Street Sweep:** TBD  
**Leaf Collection:** TBD  
**Refuse Collection:** Thursday  
**Bulk Collection:** TBD

**Government Districts**

**Council District:** 7  
**Voter Precinct:** 709  
**State House District:** 79  
**State Senate District:** 14  
**Congressional District:** 4

**Property Images**

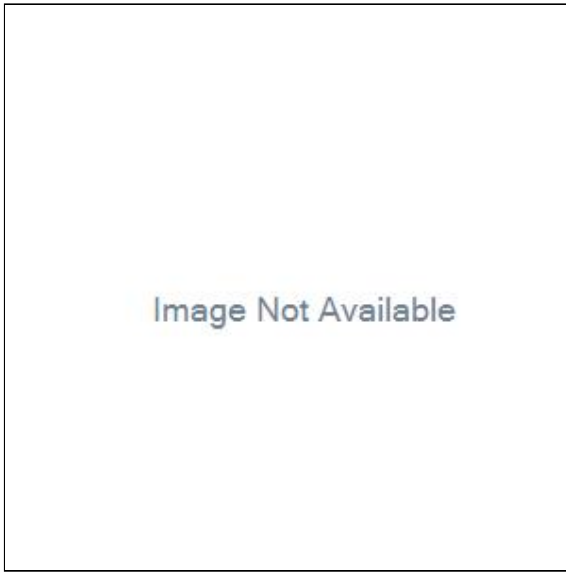
Name: Desc:



[Click here for Larger Image](#)

**Sketch Images**

Name: Desc:



**Property:** 2725 E Cary St **Parcel ID:** E0000443006**Parcel**

**Street Address:** 2725 E Cary St Richmond, VA 23223-  
**Owner:** SHIPLOCK LLC  
**Mailing Address:** 269 FINAL AVE, RICHMOND, VA 23226  
**Subdivision Name :** NONE  
**Parent Parcel ID:** E0000443001  
**Assessment Area:** 334 - Tobacco Row/Undertakers Row  
**Property Class:** 101 - R Single Family Vacant (R1-R7)  
**Zoning District:** B-5 - Business (Central Business)  
**Exemption Code:** -

**Current Assessment**

**Effective Date:**  
**Land Value:**  
**Improvement Value:**  
**Total Value:**  
**Area Tax:**  
**Special Assessment District:**

**Land Description**

**Parcel Square Feet:** 1902  
**Acreage:** 0.0451  
**Property Description 1:** SHIPLOCK TOWNHOMES S1 L4  
**Property Description 2:** 0109.99X0116.50 IRG0000.310 AC  
**State Plane Coords( ?):** X= 11796082.006065 Y= 3717133.817424  
**Latitude:** 37.52679018 , **Longitude:** -77.42003207

**Description**

**Land Type:** Residential Lot A  
**Topology:**  
**Front Size:** 21  
**Rear Size:** 90  
**Parcel Square Feet:** 1902  
**Acreage:** 0.0451  
**Property Description 1:** SHIPLOCK TOWNHOMES S1 L4  
**Property Description 2:** 0109.99X0116.50 IRG0000.310 AC  
**Subdivision Name :** NONE  
**State Plane Coords( ?):** X= 11796082.006065 Y= 3717133.817424  
**Latitude:** 37.52679018 , **Longitude:** -77.42003207

**Other**

**Street improvement:**  
**Sidewalk:**



**Assessments**

Assessment Year	Land Value	Improvement Value	Total Value	Reason
-----------------	------------	-------------------	-------------	--------

**Transfers**

Transfer Date	Consideration Amount	Grantor Name	Deed Reference	Verified Market Sale Description
07/10/2024	\$0	SHIPLOCK LLC	ID2024-11542	2 - INVALID SALE-Relation Between Buyer/Seller

**Planning**

**Master Plan Future Land Use:** C-MU  
**Zoning District:** B-5 - Business (Central Business)  
**Planning District:** East  
**Traffic Zone:** 1109  
**City Neighborhood Code:** SHKB  
**City Neighborhood Name:** Shockoe Bottom  
**Civic Code:** 4016  
**Civic Association Name:** Shockoe Partnership  
**Subdivision Name:** NONE  
**City Old and Historic District:**  
**National historic District:** Shockoe Valley and Tobacco Row  
**Neighborhoods in Bloom:**  
**Redevelopment Conservation Area:**

**Economic Development**

**Care Area:** -  
**Enterprise Zone:** III

**Environment**

**100 YEAR Flood Plain Flag:** Contact the Water Resources Division at 646-7586.  
**500 YEAR Flood Plain Flag:** Y  
**Resource Protection Flag:** Contact the Water Resources Division at 646-7586.  
**Wetland Flag:** N

**Census**

Census Year	Block	Block Group	Tract
2000	2055	0205002	020500
1990	403	0205004	020500

**Schools**

**Elementary School:** Bellevue  
**Middle School:** Martin Luther King Jr  
**High School:** Armstrong

**Public Safety**

**Police Precinct:** 1  
**Police Sector:** 112  
**Fire District:** 1  
**Dispatch Zone:** 125A

**Public Works Schedules**

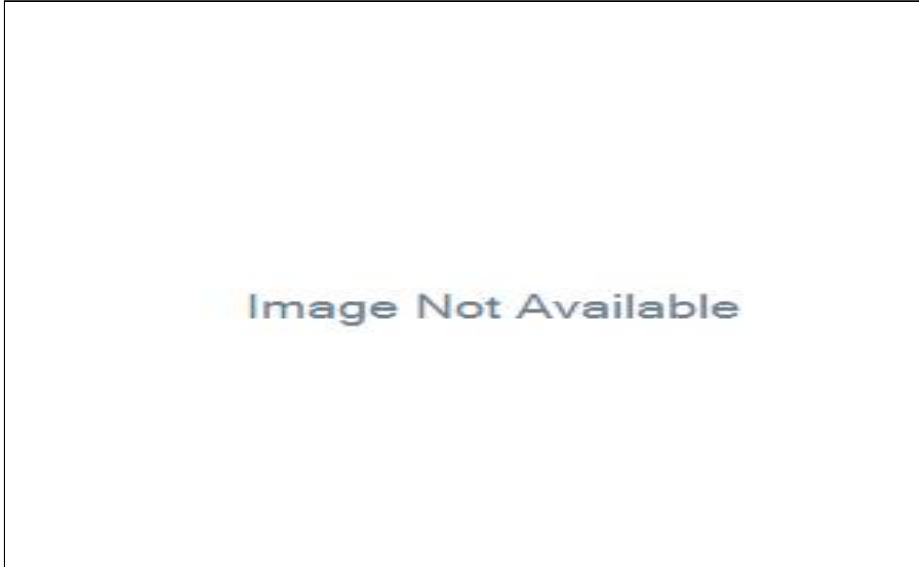
**Street Sweep:** TBD  
**Leaf Collection:** TBD  
**Refuse Collection:** Thursday  
**Bulk Collection:** TBD

**Government Districts**

**Council District:** 7  
**Voter Precinct:** 709  
**State House District:** 79  
**State Senate District:** 14  
**Congressional District:** 4

**Property Images**

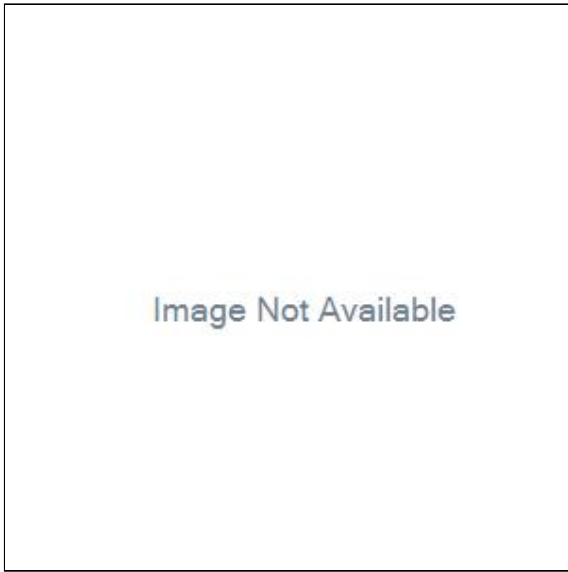
Name: Desc:



[Click here for Larger Image](#)

**Sketch Images**

Name: Desc:



**Property:** 2727 E Cary St **Parcel ID:** E0000443007**Parcel**

**Street Address:** 2727 E Cary St Richmond, VA 23223-  
**Owner:** SHIPLOCK LLC  
**Mailing Address:** 269 FINAL AVE, RICHMOND, VA 23226  
**Subdivision Name :** NONE  
**Parent Parcel ID:** E0000443001  
**Assessment Area:** 334 - Tobacco Row/Undertakers Row  
**Property Class:** 101 - R Single Family Vacant (R1-R7)  
**Zoning District:** B-5 - Business (Central Business)  
**Exemption Code:** -

**Current Assessment**

**Effective Date:**  
**Land Value:**  
**Improvement Value:**  
**Total Value:**  
**Area Tax:**  
**Special Assessment District:**

**Land Description**

**Parcel Square Feet:** 1966  
**Acreage:** 0.0451  
**Property Description 1:** SHIPLOCK TOWNHOMES S1 L7  
**Property Description 2:** 0109.99X0116.50 IRG0000.310 AC  
**State Plane Coords( ?):** X= 11796101.010293 Y= 3717120.857805  
**Latitude:** 37.52675203 , **Longitude:** -77.41997919

**Description**

**Land Type:** Residential Lot A  
**Topology:**  
**Front Size:** 22  
**Rear Size:** 90  
**Parcel Square Feet:** 1966  
**Acreage:** 0.0451  
**Property Description 1:** SHIPLOCK TOWNHOMES S1 L7  
**Property Description 2:** 0109.99X0116.50 IRG0000.310 AC  
**Subdivision Name :** NONE  
**State Plane Coords( ?):** X= 11796101.010293 Y= 3717120.857805  
**Latitude:** 37.52675203 , **Longitude:** -77.41997919

**Other**

**Street improvement:**  
**Sidewalk:**

**Assessments**

Assessment Year	Land Value	Improvement Value	Total Value	Reason
-----------------	------------	-------------------	-------------	--------

**Transfers**

Transfer Date	Consideration Amount	Grantor Name	Deed Reference	Verified Market Sale Description
07/10/2024	\$0	SHIPLOCK LLC	ID2024-11542	2 - INVALID SALE-Relation Between Buyer/Seller

**Planning**

**Master Plan Future Land Use:** C-MU  
**Zoning District:** B-5 - Business (Central Business)  
**Planning District:** East  
**Traffic Zone:** 1109  
**City Neighborhood Code:** SHKB  
**City Neighborhood Name:** Shockoe Bottom  
**Civic Code:** 4016  
**Civic Association Name:** Shockoe Partnership  
**Subdivision Name:** NONE  
**City Old and Historic District:**  
**National historic District:** Shockoe Valley and Tobacco Row  
**Neighborhoods in Bloom:**  
**Redevelopment Conservation Area:**

**Economic Development**

**Care Area:** -  
**Enterprise Zone:** III

**Environment**

**100 YEAR Flood Plain Flag:** Contact the Water Resources Division at 646-7586.  
**500 YEAR Flood Plain Flag:** Y  
**Resource Protection Flag:** Contact the Water Resources Division at 646-7586.  
**Wetland Flag:** N

**Census**

Census Year	Block	Block Group	Tract
2000	2055	0205002	020500
1990	403	0205004	020500

**Schools**

**Elementary School:** Bellevue  
**Middle School:** Martin Luther King Jr  
**High School:** Armstrong

**Public Safety**

**Police Precinct:** 1  
**Police Sector:** 112  
**Fire District:** 1  
**Dispatch Zone:** 125A

**Public Works Schedules**

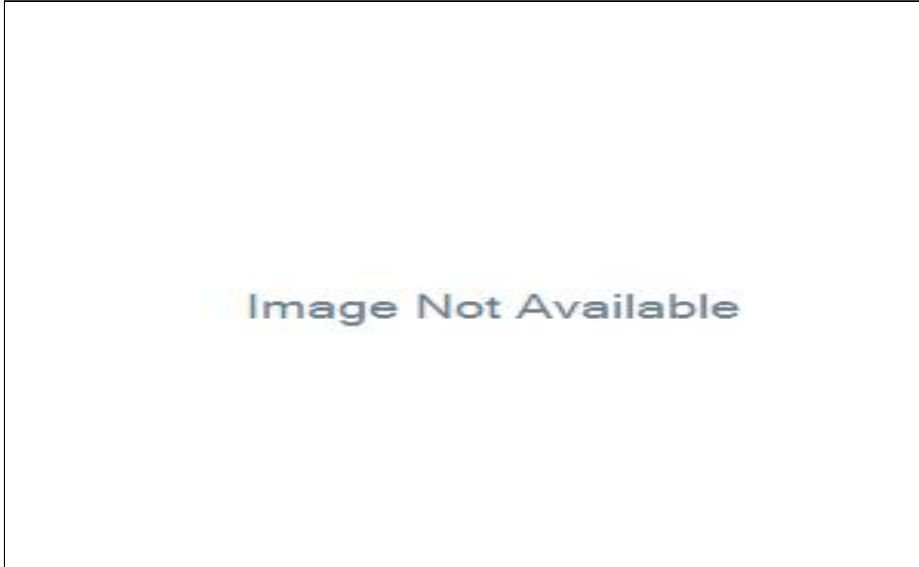
**Street Sweep:** TBD  
**Leaf Collection:** TBD  
**Refuse Collection:** Thursday  
**Bulk Collection:** TBD

**Government Districts**

**Council District:** 7  
**Voter Precinct:** 709  
**State House District:** 79  
**State Senate District:** 14  
**Congressional District:** 4

**Property Images**

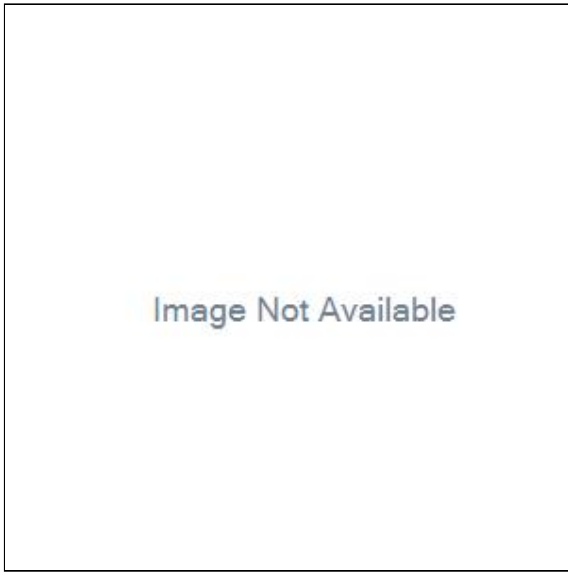
Name: Desc:



[Click here for Larger Image](#)

**Sketch Images**

Name: Desc:



**RICHMOND BOARD OF ZONING APPEALS APPLICATION FORM**



**THE RICHMOND ZONING ADMINISTRATION OFFICE  
ROOM 110, CITY HALL, 900 EAST BROAD STREET  
RICHMOND, VIRGINIA 23219  
(804) 646-6340**

**TO BE COMPLETED BY THE APPLICANT**

PROPERTY SHIPLOCK LLC PHONE: (Home) ( ) (Mobile) ( )  
OWNER: 269 FINAL AVE FAX: ( ) (Work) ( )  
(Name/Address) RICHMOND, VA 23226 E-mail Address: \_\_\_\_\_

**OWNER'S REPRESENTATIVE:**

(Name/Address) Mark Baker PHONE: (Home) ( ) (Mobile) (804) 874-6275  
Baker Development Resources FAX: ( ) (Work) ( )  
530 East Main Street E-mail Address: markbaker@bakerdevelopmentresources.com  
Richmond, VA 23219

**TO BE COMPLETED BY THE ZONING ADMINISTRATION OFFICE**

PROPERTY ADDRESS(ES): 2719-2727 East Cary Street

TYPE OF APPLICATION:  VARIANCE  SPECIAL EXCEPTION  OTHER \_\_\_\_\_

ZONING ORDINANCE SECTION NUMBER(S): 30-300 & 30-442.4

APPLICATION REQUIRED FOR: Building permits to construct five new single-family attached dwellings.

TAX PARCEL NUMBER(S): E000-0443/003 - 007 ZONING DISTRICT: B-5 (Central Business District)

**REQUEST DISAPPROVED FOR THE REASON THAT: The front yard requirement is not met. A front yard of not greater than 10' for no more than 10% of each building frontage is required; 63% of each building frontage proposed is greater than 10' from the street line.**

DATE REQUEST DISAPPROVED: August 7, 2024 FEE WAIVER: YES  NO:

DATE FILED: August 21, 2023 TIME FILED: 1:21 p.m. PREPARED BY: Matthew West RECEIPT NO. BZAR-153095-2024

AS CERTIFIED BY: [Signature] (ZONING ADMINISTRATOR)

**I BASE MY APPLICATION ON:**

SECTION 17.20 PARAGRAPH(S) \_\_\_\_\_ OF THE CHARTER OF THE CITY OF RICHMOND

SECTION 15.2 -2309.2  OF THE CODE OF VIRGINIA [OR]

SECTION 1040.3 PARAGRAPH(S) (1) OF THE ZONING ORDINANCE OF THE CITY OF RICHMOND

**TO BE COMPLETED BY APPLICANT**

I have received the handouts, *Suggestions for Presenting Your Case to the Board & Excerpts from the City Charter*

I have been notified that I, or my representative, must be present at the hearing at which my request will be considered.

SIGNATURE OF OWNER OR AUTHORIZED AGENT: [Signature] DATE: 09/06/2024

**\*\*\* TO BE COMPLETED BY THE SECRETARY TO THE BOARD OF ZONING APPEALS \*\*\***

CASE NUMBER: BZA 33-2024 HEARING DATE: October 2, 2024 AT 1:00 P.M.



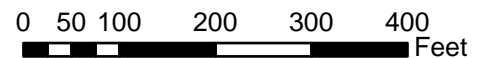
BOARD OF ZONING APPEALS CASE BZA 33-2024  
150' Buffer

APPLICANT(S): SHIPLOCK LLC

PREMISES: 2719, 2721, 2723, 2725 & 2727 East Cary Street  
(Tax Parcel Number E000-0443/003, 004, 005, 006 & 007)

SUBJECT: Building permits to construct five new single-family (attached) dwellings.

REASON FOR THE REQUEST: Based on Sections 30-300 & 30-442.4(1)a  
of the Zoning Ordinance for the reason that:  
The front yard (setback) requirement is not met.





# BOARD OF ZONING APPEALS PRESENTATION SUGGESTIONS

CITY OF RICHMOND, VIRGINIA

When presenting your request for a variance or exception to the Board of Zoning Appeals, it is important that you consider the points outlined below. The City Charter requires that every decision of the Board must be based upon a finding of fact that the Board must determine from sworn testimony, together with pertinent evidence, presented at its public hearing. It is essential that the Board receive thorough and complete information in order for it to adequately consider your case and make an informed decision.

1. The powers and duties of the Board of Zoning Appeals (BZA) are specified in Section 17.20 of the City Charter and Article X, Division 5, of the Zoning Ordinance. The Zoning Office will assist you in identifying how your case should be filed. If you have questions regarding your case filing, please contact the Zoning Administration Office (804-646-6340) or at [PDRZoningAdministration@Richmondgov.com](mailto:PDRZoningAdministration@Richmondgov.com). Please review the applicable provisions of the City Charter or the Zoning Ordinance thoroughly and address them when presenting your case to the Board to show that the applicable requirements have been satisfied.
2. [The Board of Zoning Appeals is a quasi-judicial board whose decisions are controlled by statutory law and also take into consideration applicable case law that has been handed down by the Richmond Circuit Court and the Virginia Supreme Court. The Board suggests that if you have any legal questions regarding statutory or case law as it may apply to your application, that those legal issues should be discussed with an attorney before you make your final decision to submit an application to the Board.](#)
3. The Board considers it essential that you discuss your case with nearby residents (notification letters are sent to all property owners within a 150-foot radius of your property) and any nearby civic association(s). Information regarding your neighborhood association(s) and/or contact person(s) may be obtained [here](#). Once on the page, you can search for your property using the interactive map. A dialogue box will provide you with the names of all civic groups within which your property may lie. Once you have those group names, scroll down the page to the appropriate group(s) to find the contact information for each.

**Be advised that if you fail to discuss your request with your neighbors and neighborhood association(s), you should anticipate that your case will be continued until the Board's next regularly scheduled meeting. It is highly recommended that you contact your neighborhood association as soon as possible to determine their meeting schedule in order to be sure you allow yourself enough time to talk to all concerned parties prior to the hearing before the Board. The Board's Rules of Procedure require payment of a one-hundred fifty dollar (\$150) continuance fee if the applicant must request a continuance for the reason that the applicant failed to discuss their case with their neighbor(s) or neighborhood association(s).**

4. **You are also strongly encouraged to discuss your pending case with the Secretary of the Board, Roy Benbow at (804) 240-2124 well before the hearing.** The BZA Secretary can be helpful by explaining the BZA public hearing requirements and process.
5. Utilizing photographs, plans, maps, diagrams and such other written or graphic evidence as needed to fully explain your request can be a great help to the Board in understanding your request and thereby improve your chances for success. Remember . . . a picture is worth a thousand words.
6. Note that, although the Board is not authorized to grant a waiver from the zoning regulations based on financial circumstances alone, it may be a factor to be taken into consideration along with other facts in a case. If your case involves such a factor, please provide the Board with complete and relevant financial information for its review.
7. The Board's hearings are informal, although all testimony is taken under oath. You are not required to be represented by an attorney in presenting your case. However, if you choose, you may have legal representation and/or may utilize such technical experts or other persons to testify on your behalf as you feel are needed to adequately explain your request to the Board.

Acknowledgement of Receipt by Applicant or Authorized Agent: \_\_\_\_\_



mario di marco ARCHITECTS

4020 CLINTON AVENUE RICHMOND, VIRGINIA 23227 TELEPHONE: 804.564.6307

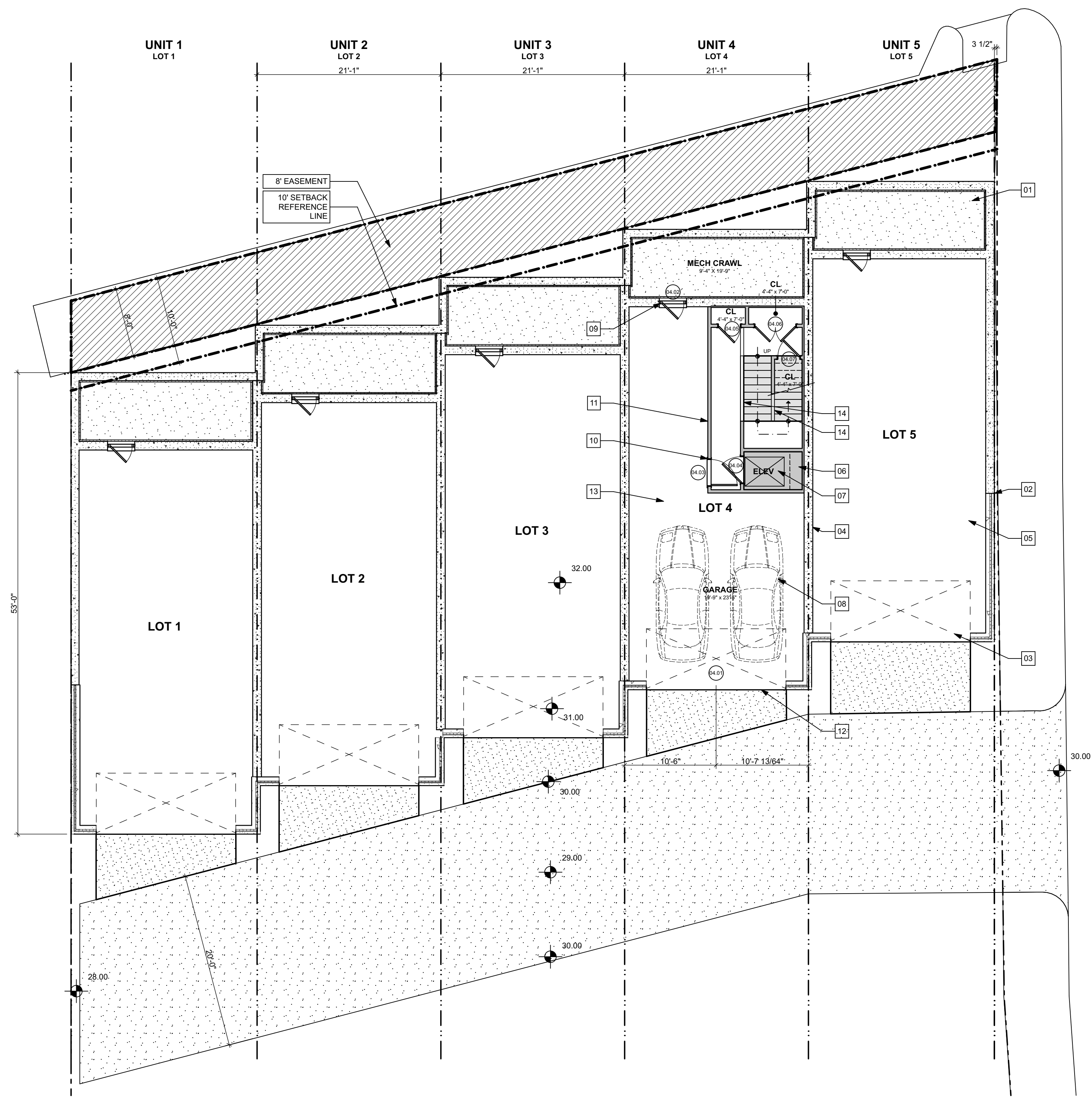
CONSULTANTS

PLAN GENERAL NOTES

- 1. ALL FURNITURE AND OWNER SUPPLIED EQUIPMENT IS SHOWN FOR COORDINATION PURPOSES ONLY AND IS NOT IN THE CONTRACT U.N.O.
2. ALL BATHROOM FIXTURES ARE TO BE ADA COMPLIANT, INSTALLED ACCORDING TO ADA MINIMUM STANDARDS TO MEET THE FAIR HOUSING ACT.
3. GENERAL CONTRACTOR TO PROVIDE ALL BLOCKING FOR UPPER AND LOWER CABINETS, ACCESSORIES- WHICH INCLUDE BUT ARE NOT LIMITED TO- HAND RAIL, GRAB BARS, AND TELEVISION LOCATIONS.
4. ALL CLOSETS TO GET (1) ROD & (1) 9" PLAM SHELF.
5. ALL AREAS BEHIND TILE, INCLUDING SHOWER & TUB AREAS SHALL RECEIVE DURROCK OR EQUAL WATER RESISTANT CONCRETE BOARD PRODUCT.
6. TYPICAL INTERIOR PARTITION IS WD 2X4 AND TYPICAL EXTERIOR WALL IS WD 2X6. ROOF PENTHOUSE TO BE 2X4 WOOD STD EXTERIOR WALL...
7. GARAGE SHALL HAVE 5/8" GWB ON ALL WALLS SEPARATING GARAGE FROM OCCUPIED AREAS AND CEILING.
8. EXTERIOR SIDE WALLS (ZERO LOT LINE) SHALL BE 1 HOUR FIRE-RATED ASSEMBLY. (UL# U348).
9. FIRE BARRIERS BETWEEN DWELLING UNITS SHALL BE 2 HR FIRE-RATED ASSEMBLY (UL# U336).
10. EACH DWELLING UNITS SHALL HAVE SMOKE / CO2 ALARM THAT MEETS UL 217 NFPA 72. IT SHALL BE HARDWIRED AND THE UNITS INTERCONNECTED. THEY SHALL BE IN EACH SLEEPING ROOM, OUTSIDE SLEEPING ROOMS, AND AT THE BASE OF EACH STAIR LANDING.
11. ELEVATOR SHALL BE RESIDENTIAL TYPE AND COMPLY WITH ASME A17.1 CSA B44.
12. NO PLUMBING OR DUCTS CAN PASS INSIDE RATED DEMISING WALLS. PROVIDE 3 1/2" 2X4 FURRING w/ 1/2" GWB OR CONC BOARD (AS REQUIRED) IN AREAS THAT HAVE IN-LINE PLUMBING ALONG DEMISING WALLS.

PLAN KEY NOTES

- 1. CRAWLSPACE W/ CONCRETE SLAB. (DEDICATED AREA FOR HVAC AIR HANDLER FOR FIRST FLOOR).
2. TRANSITION FROM REIN. CONCRETE FOUNDATION WALL TO WOOD FRAMED MASONRY VENEER WALL - COOR. HIGHT IN FIELD. MAINTAIN 8" BETWEEN FT. WOOD BTM PLATE & GRADE.
3. POWDER COATED ALUMINUM FRAME / GLASS PANEL GARAGE OVERHEAD DOOR W/ OPERATOR. DOOR TO HAVE APPROPRIATELY SIZED FLOOD VENTS. GARAGE F.F. IS WITHIN THE FLOOD PLAIN.
4. DEMISING WALL UL# XXX - 2HR. FIRE RATED ASSEMBLY. (FINISH TBD)
5. GARAGE SPACE NOT CONDITIONED. INSULATION AT CEILING FLOOR ASSEMBLY ABOVE AND CONDITIONED INTERIOR SPACE PERIMETER WALL ONLY.
6. DEDICATED AREA FOR CHASE DUCTING- VERTICAL SPACE TO ROOF.
7. WHEELCHAIR ACCESSIBLE RESIDENTIAL ELEVATOR. SPEC TBD.
8. EPOXY PAINT GARAGE FLOOR.
9. 1/2" HR FIRE-RATED CRAWLSPACE ACCESS DOOR. (THIS CRAWLSPACE AREA IS ABOVE THE FLOOD PLAIN).
10. 1/2" HR FIRE-RATED ENTRY DOOR TO CONDITIONED AREA.
11. 5/8" GWB PERIMETER WALL W/ R-19 INSULATION.
12. 2" DROPPED LIP FROM DRIVE APRON WITH INTERLOCK SHELF FOR DOOR SEAL FOR GARAGE DOOR TO PREVENT WIND DRIVEN RAIN FROM ENTERING GARAGE.
13. SLOPED CONCRETE SLAB 1/4" PER FT. - TOWARD GARAGE DOOR.
14. GWB SOLID GUARDRAIL W/ WOOD CAP TO MATCH SPECIES AND FINISH OF WOOD FLOOR.
15. CONCRETE STOOP 2" BELOW INTERIOR FINISHED FLOOR. ADJUST HIEGHT OF RISERS ON STEPS TO BE ALL EQUAL BASED ON FINISHED BRICK PAVER GRADE.
16. POWDER-COATED STEEL FRAMED HAND RAIL.
17. ROD & 9" P-LAM SHELF.
18. 12" P-LAM SHELF OM ADJUSTABLE STANDARDS.
19. DEMISING WALL U-# XXX - 2 HR FIRE-RATED.
20. UPGRADED CLOSET STORAGE SYSTEM. SPEC TBD.
21. CUSTOM TILED SHOWER TILE CURB. GLASS ENCLOSURE - SPEC TBD.
22. 3/4" RECESSED BRICK PANEL W/ BRICK SILLO TO MATCH SIZE OF TYPICAL WINDOW ON FLOOR LEVEL. SEE EXTERIOR ELEV.
23. MODERN GAS FIREPLACE - VENTLESS. SPEC TBD.
24. DEDICATED AREA FOR TV AND MULT-MEDIA CENTER ABOVE FLOATING HEARTH.
25. BUILT-IN SHELVING AND CABINETS OVER FLOATING HEARTH SLAB.
26. PAINTED STEEL SUSPENDED BALCONY SYSTEM. SPEC TBD.
27. DRY BAR - UCR & ICE MAKER W/CABINETS ABOVE.
28. EXTERIOR GRADE SIDE MOUNTING POWDER COATED STEEL SAFETY RAILING.
29. 2'X2' CONCRETE PAVER SYSTEM.
30. LINE OF ROOF ABOVE.



SEAL

NOT FOR CONSTRUCTION

SHIPLOCK TOWNHOUSES
PEAR STREET
RICHMOND, 23223 VA

Table with 3 columns: MARK, DATE, DESCRIPTION. It contains a revision record for the drawing.

PROJECT NO: 22008
START DATE: 08/19/22
DRAWN BY: MAD
CHECKED BY: MAD

BASEMENT FLOOR PLAN

A-101



mario di marco ARCHITECTS

4020 CLINTON AVENUE RICHMOND, VIRGINIA 23227 TELEPHONE: 804.564.6307

CONSULTANTS

SEAL

NOT FOR CONSTRUCTION

SHIPLOCK TOWNHOUSES

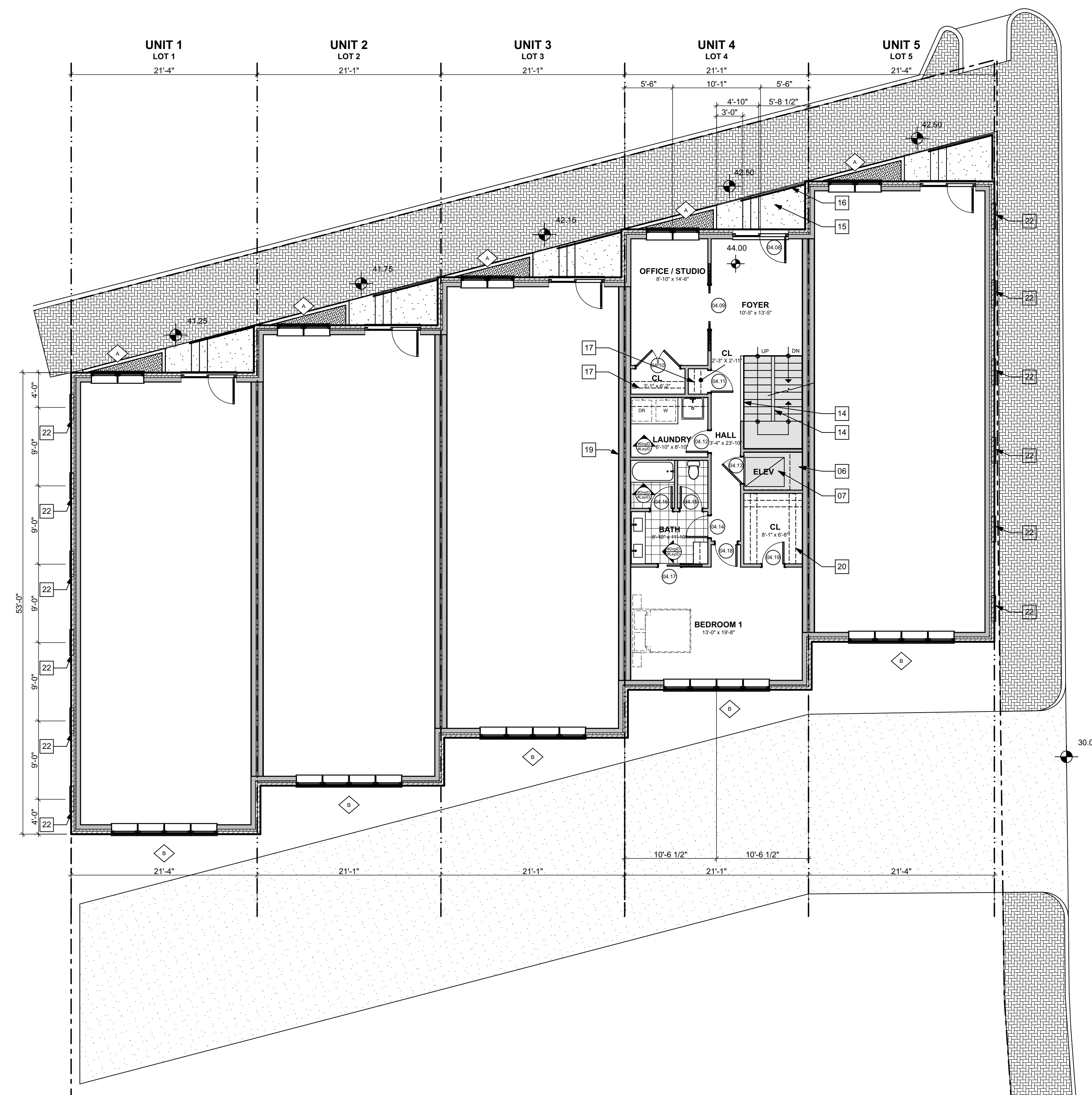
PEAR STREET RICHMOND, 23223 VA

PLAN GENERAL NOTES

- 1. ALL FURNITURE AND OWNER SUPPLIED EQUIPMENT IS SHOWN FOR COORDINATION PURPOSES ONLY AND IS NOT IN THE CONTRACT U.N.O.
2. ALL BATHROOM FIXTURES ARE TO BE ADA COMPLIANT, INSTALLED ACCORDING TO ADA MINIMUM STANDARDS TO MEET THE FAIR HOUSING ACT.
3. GENERAL CONTRACTOR TO PROVIDE ALL BLOCKING FOR UPPER AND LOWER CABINETS, ACCESSORIES- WHICH INCLUDE BUT ARE NOT LIMITED TO- HAND RAIL, GRAB BARS, AND TELEVISION LOCATIONS.
4. ALL CLOSETS TO GET (1) ROD & (1) 9" PLAM SHELF.
5. ALL AREAS BEHIND TILE, INCLUDING SHOWER & TUB AREAS SHALL RECEIVE DURROCK OR EQUAL WATER RESISTANT CONCRETE BOARD PRODUCT.
6. TYPICAL INTERIOR PARTITION IS WD 2X4 AND TYPICAL EXTERIOR WALL IS WD 2X6. ROOF PENTHOUSE TO BE 2X4 WOOD STD EXTERIOR WALL...
7. GARAGE SHALL HAVE 5/8" GWB ON ALL WALLS SEPARATING GARAGE FROM OCCUPIED AREAS AND CEILING.
8. EXTERIOR SIDE WALLS (ZERO LOT LINE) SHALL BE 1 HOUR FIRE-RATED ASSEMBLY (UL# U348).
9. FIRE BARRIERS BETWEEN DWELLING UNITS SHALL BE 2 HR FIRE-RATED ASSEMBLY (UL# U336).
10. EACH DWELLING UNITS SHALL HAVE SMOKE / CO2 ALARM THAT MEETS UL 217 NFPA 72. IT SHALL BE HARDWIRED AND THE UNITS INTERCONNECTED. THEY SHALL BE IN EACH SLEEPING ROOM, OUTSIDE SLEEPING ROOMS, AND AT THE BASE OF EACH STAIR LANDING.
11. ELEVATOR SHALL BE RESIDENTIAL TYPE AND COMPLY WITH ASME A17.1 CSA B44.
12. NO PLUMBING OR DUCTS CAN PASS INSIDE RATED DEMISING WALLS. PROVIDE 3 1/2" 2X4 FURRING w/ 1/2" GWB OR CONC BOARD (AS REQUIRED) IN AREAS THAT HAVE IN-LINE PLUMBING ALONG DEMISING WALLS.

PLAN KEY NOTES

- 1. CRAWLSPACE W/ CONCRETE SLAB. (DEDICATED AREA FOR HVAC AIR HANDLER FOR FIRST FLOOR).
2. TRANSITION FROM REIN. CONCRETE FOUNDATION WALL TO WOOD FRAMED MASONRY VENEER WALL - COOR. HEIGHT IN FIELD. MAINTAIN 8" BETWEEN P.T. WOOD BTM PLATE & GRADE.
3. POWDER COATED ALUMINUM FRAME / GLASS PANEL GARAGE OVERHEAD DOOR W/ OPERATOR. DOOR TO HAVE APPROPRIATELY SIZED FLOOD VENTS. GARAGE F.F. IS WITHIN THE FLOOD PLAIN.
4. DEMISING WALL UL# XXX - 2HR. FIRE RATED ASSEMBLY. (FINISH TBD)
5. GARAGE SPACE NOT CONDITIONED. INSULATION AT CEILING FLOOR ASSEMBLY ABOVE AND CONDITIONED INTERIOR SPACE PERIMETER WALL ONLY.
6. DEDICATED AREA FOR CHASE DUCTING- VERTICAL SPACE TO ROOF.
7. WHEELCHAIR ACCESSIBLE RESIDENTIAL ELEVATOR. SPEC TBD.
8. EPOXY PAINT GARAGE FLOOR.
9. 1/2" HR FIRE-RATED CRAWLSPACE ACCESS DOOR. (THIS CRAWLSPACE AREA IS ABOVE THE FLOOD PLAIN).
10. 1/2" HR FIRE-RATED ENTRY DOOR TO CONDITIONED AREA.
11. 5/8" GWB PERIMETER WALL W/ R-19 INSULATION.
12. 2" DROPPED LIP FROM DRIVE APRON WITH INTERLOCK SHELF FOR DOOR SEAL FOR GARAGE DOOR TO PREVENT WIND DRIVEN RAIN FROM ENTERING GARAGE.
13. SLOPED CONCRETE SLAB 1/4" PER FT. - TOWARD GARAGE DOOR.
14. GWB SOLID GUARDRAIL W/ WOOD CAP TO MATCH SPECIES AND FINISH OF WOOD FLOOR.
15. CONCRETE STOOP 2" BELOW INTERIOR FINISHED FLOOR. ADJUST HIEGHT OF RISERS ON STEPS TO BE ALL EQUAL BASED ON FINISHED BRICK PAVER GRADE.
16. POWDER-COATED STEEL FRAMED HAND RAIL.
17. ROD & 9" P-LAM SHELF.
18. 12" P-LAM SHELF OM ADJUSTABLE STANDARDS.
19. DEMISING WALL U# XXX - 2 HR FIRE-RATED.
20. UPGRADED CLOSET STORAGE SYSTEM. SPEC TBD.
21. CUSTOM TILED SHOWER TILE CURB. GLASS ENCLOSURE - SPEC TBD.
22. 3/4" RECESSED BRICK PANEL W/ BRICK SILTO MATCH SIZE OF TYPICAL WINDOW ON FLOOR LEVEL. SEE EXTERIOR ELEV.
23. MODERN GAS FIREPLACE - VENTLESS. SPEC TBD.
24. DEDICATED AREA FOR TV AND MULT-MEDIA CENTER ABOVE FLOATING HEARTH.
25. BUILT-IN SHELVING AND CABINETS OVER FLOATING HEARTH SLAB.
26. PAINTED STEEL SUSPENDED BALCONY SYSTEM. SPEC TBD.
27. DRY BAR - UCR & ICE MAKER W/CABINETS ABOVE.
28. EXTERIOR GRADE SIDE MOUNTING POWDER COATED STEEL SAFETY RAILING.
29. 2'X2' CONCRETE PAVER SYSTEM.
30. LINE OF ROOF ABOVE.



21 FIRST FLOOR PLAN SCALE: 1/8" = 1'-0"

Table with 3 columns: MARK, DATE, DESCRIPTION. Row 1: 09-04-24, BZA EDITS, (blank)

PROJECT NO: 22008 START DATE: 08/19/22 DRAWN BY: MAD CHECKED BY: MAD

FIRST FLOOR PLAN

A-102



mario di marco  
ARCHITECTS

4020 CLINTON AVENUE  
RICHMOND, VIRGINIA 23227  
TELEPHONE: 804.564.6307

CONSULTANTS

### PLAN GENERAL NOTES

1. ALL FURNITURE AND OWNER SUPPLIED EQUIPMENT IS SHOWN FOR COORDINATION PURPOSES ONLY AND IS NOT IN THE CONTRACT U.N.O.
2. ALL BATHROOM FIXTURES ARE TO BE ADA COMPLIANT, INSTALLED ACCORDING TO ADA MINIMUM STANDARDS TO MEET THE FAIR HOUSING ACT.
3. GENERAL CONTRACTOR TO PROVIDE ALL BLOCKING FOR UPPER AND LOWER CABINETS, ACCESSORIES- WHICH INCLUDE BUT ARE NOT LIMITED TO- HAND RAIL, GRAB BARS, AND TELEVISION LOCATIONS.
4. ALL CLOSETS TO GET (1) ROD & (1) 9" PLAM SHELF.
5. ALL AREAS BEHIND TILE, INCLUDING SHOWER & TUB AREAS SHALL RECEIVE DURROCK OR EQUAL WATER RESISTANT CONCRETE BOARD PRODUCT.
6. TYPICAL INTERIOR PARTITION IS WD 2X4 AND TYPICAL EXTERIOR WALL IS WD 2X6. ROOF PENTHOUSE TO BE 2X4 WOOD STD EXTERIOR WALL...
7. GARAGE SHALL HAVE 5/8" GWB ON ALL WALLS SEPARATING GARAGE FROM OCCUPIED AREAS AND CEILING.
8. EXTERIOR SIDE WALLS (ZERO LOT LINE) SHALL BE 1 HOUR FIRE-RATED ASSEMBLY (UL# U348).
9. FIRE BARRIERS BETWEEN DWELLING UNITS SHALL BE 2 HR FIRE-RATED ASSEMBLY (UL# U336).
10. EACH DWELLING UNITS SHALL HAVE SMOKE / CO2 ALARM THAT MEETS UL 217 NFPA 72. IT SHALL BE HARDWIRED AND THE UNITS INTERCONNECTED. THEY SHALL BE IN EACH SLEEPING ROOM, OUTSIDE SLEEPING ROOMS, AND AT THE BASE OF EACH STAIR LANDING.
11. ELEVATOR SHALL BE RESIDENTIAL TYPE AND COMPLY WITH ASME A17.1 CSA B44.
12. NO PLUMBING OR DUCTS CAN PASS INSIDE RATED DEMISING WALLS. PROVIDE 3 1/2" 2X4 FURRING w/ 1/2" GWB OR CONC BOARD (AS REQUIRED) IN AREAS THAT HAVE IN-LINE PLUMBING ALONG DEMISING WALLS.

### PLAN KEY NOTES

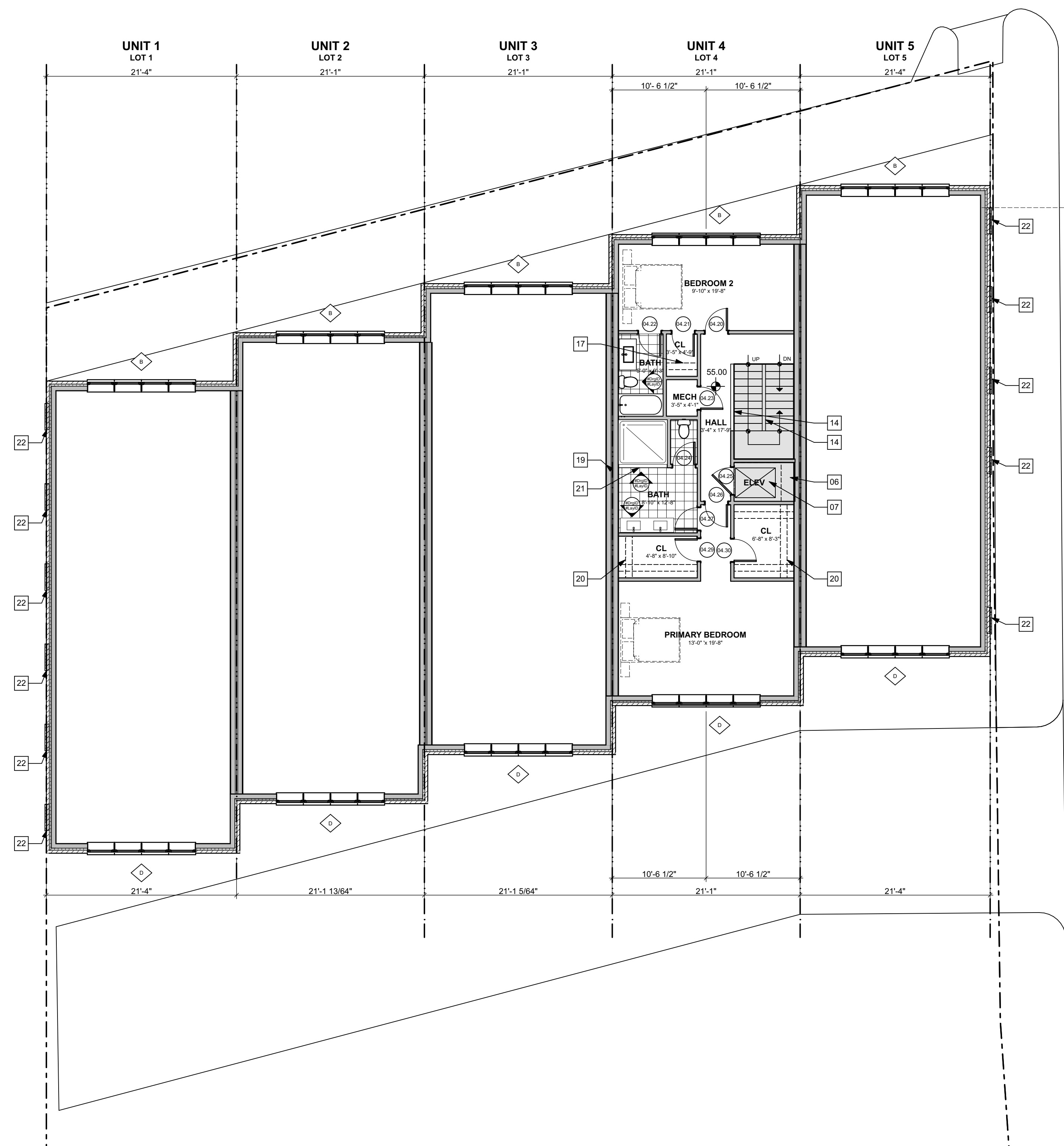
1. CRAWLSPACE W/ CONCRETE SLAB. (DEDICATED AREA FOR HVAC AIR HANDLER FOR FIRST FLOOR).
2. TRANSITION FROM REIN. CONCRETE FOUNDATION WALL TO WOOD FRAMED MASONRY VENEER WALL - DOOR, HEIGHT IN FIELD. MAINTAIN 8" BETWEEN FT. WOOD BTM PLATE & GRADE.
3. POWDER COATED ALUMINUM FRAME / GLASS PANEL GARAGE OVERHEAD DOOR W/ OPERATOR. DOOR TO HAVE APPROPRIATELY SIZED FLOOD VENTS. GARAGE F.F. IS WITHIN THE FLOOD PLAIN.
4. DEMISING WALL UL# XXX - 2HR. FIRE RATED ASSEMBLY. (FINISH TBD)
5. GARAGE SPACE NOT CONDITIONED. INSULATION AT CEILING FLOOR ASSEMBLY ABOVE AND CONDITIONED INTERIOR SPACE PERIMETER WALL ONLY.
6. DEDICATED AREA FOR CHASE DUCTING- VERTICAL SPACE TO ROOF.
7. WHEELCHAIR ACCESSIBLE RESIDENTIAL ELEVATOR. SPEC TBD.
8. EPOXY PAINT GARAGE FLOOR.
9. 1/2" HR FIRE-RATED CRAWLSPACE ACCESS DOOR. (THIS CRAWLSPACE AREA IS ABOVE THE FLOOD PLAIN).
10. 1/2" HR FIRE-RATED ENTRY DOOR TO CONDITIONED AREA.
11. 5/8" GWB PERIMETER WALL W/ R-19 INSULATION.
12. 2" DROPPED LIP FROM DRIVE APRON WITH INTERLOCK SHELF FOR DOOR SEAL FOR GARAGE DOOR TO PREVENT WIND DRIVEN RAIN FROM ENTERING GARAGE.
13. SLOPED CONCRETE SLAB 1/4" PER FT. - TOWARD GARAGE DOOR.
14. GWB SOLID GUARDRAIL W/ WOOD CAP TO MATCH SPECIES AND FINISH OF WOOD FLOOR.
15. CONCRETE STOOP 2" BELOW INTERIOR FINISHED FLOOR. ADJUST HIEGHT OF RISERS ON STEPS TO BE ALL EQUAL BASED ON FINISHED BRICK PAVER GRADE.
16. POWDER-COATED STEEL FRAMED HAND RAIL.
17. ROD & 9" P-LAM SHELF.
18. 12" P-LAM SHELF OM ADJUSTABLE STANDARDS.
19. DEMISING WALL U-# XXX - 2 HR FIRE-RATED.
20. UPGRADED CLOSET STORAGE SYSTEM. SPEC TBD.
21. CUSTOM TILED SHOWER TILE CURB. GLASS ENCLOSURE - SPEC TBD.
22. 3/4" RECESSED BRICK PANEL W/ BRICK SILLO TO MATCH SIZE OF TYPICAL WINDOW ON FLOOR LEVEL. SEE EXTERIOR ELEV.
23. MODERN GAS FIREPLACE - VENTLESS. SPEC TBD.
24. DEDICATED AREA FOR TV AND MULT-MEDIA CENTER ABOVE FLOATING HEARTH.
25. BUILT-IN SHELVING AND CABINETS OVER FLOATING HEARTH SLAB.
26. PAINTED STEEL SUSPENDED BALCONY SYSTEM. SPEC TBD.
27. DRY BAR - UCR & ICE MAKER W/CABINETS ABOVE.
28. EXTERIOR GRADE SIDE MOUNTING POWDER COATED STEEL SAFETY RAILING.
29. 2'X2' CONCRETE PAVER SYSTEM.
30. LINE OF ROOF ABOVE.

SEAL

NOT FOR CONSTRUCTION

SHIPLOCK  
TOWNHOUSES

PEAR STREET  
RICHMOND, 23223 VA



21  
A-103  
SCALE: 1/8" = 1'-0"  
SECOND FLOOR PLAN

MARK	DATE	DESCRIPTION
	09-04-24	BZA EDITS

PROJECT NO: 22008  
START DATE: 08/19/22  
DRAWN BY: MAD  
CHECKED BY: MAD

SECOND FLOOR PLAN

A-103



**mario di marco**  
ARCHITECTS

4020 CLINTON AVENUE  
RICHMOND, VIRGINIA 23227  
TELEPHONE: 804.564.6307

CONSULTANTS

SEAL

**NOT FOR  
CONSTRUCTION**

**SHIPLOCK  
TOWNHOUSES**

PEAR STREET  
RICHMOND, 23223 VA

MARK	DATE	DESCRIPTION
	09-04-24	BZA EDITS

PROJECT NO: 22008  
START DATE: 08/19/22  
DRAWN BY: MAD  
CHECKED BY: MAD

THIRD FLOOR PLAN

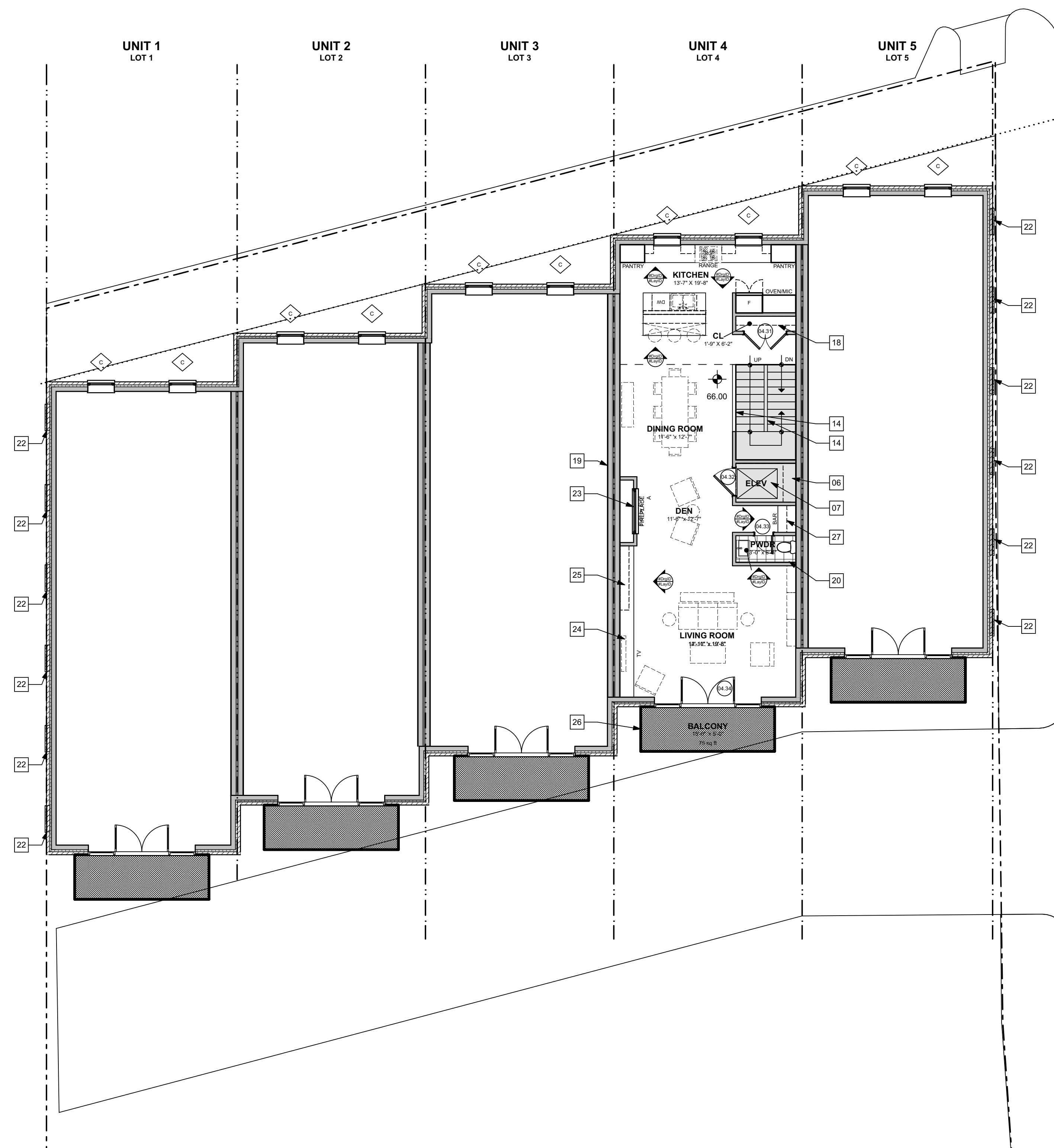
**A-104**

**PLAN GENERAL NOTES**

1. ALL FURNITURE AND OWNER SUPPLIED EQUIPMENT IS SHOWN FOR COORDINATION PURPOSES ONLY AND IS NOT IN THE CONTRACT U.N.O.
2. ALL BATHROOM FIXTURES ARE TO BE ADA COMPLIANT, INSTALLED ACCORDING TO ADA MINIMUM STANDARDS TO MEET THE FAIR HOUSING ACT.
3. GENERAL CONTRACTOR TO PROVIDE ALL BLOCKING FOR UPPER AND LOWER CABINETS, ACCESSORIES- WHICH INCLUDE BUT ARE NOT LIMITED TO- HAND RAIL, GRAB BARS, AND TELEVISION LOCATIONS.
4. ALL CLOSETS TO GET (1) ROD & (1) 9" PLAM SHELF.
5. ALL AREAS BEHIND TILE, INCLUDING SHOWER & TUB AREAS SHALL RECEIVE DURROCK OR EQUAL WATER RESISTANT CONCRETE BOARD PRODUCT.
6. TYPICAL INTERIOR PARTITION IS WD 2X4 AND TYPICAL EXTERIOR WALL IS WD 2X6. ROOF PENTHOUSE TO BE 2X4 WOOD STD EXTERIOR WALL.
7. GARAGE SHALL HAVE 5/8" GWB ON ALL WALLS SEPARATING GARAGE FROM OCCUPIED AREAS AND CEILING.
8. EXTERIOR SIDE WALLS (ZERO LOT LINE) SHALL BE 1 HOUR FIRE-RATED ASSEMBLY (UL# U348).
9. FIRE BARRIERS BETWEEN DWELLING UNITS SHALL BE 2 HR FIRE-RATED ASSEMBLY (UL# U336).
10. EACH DWELLING UNITS SHALL HAVE SMOKE / CO2 ALARM THAT MEETS UL 217 NFPA 72. IT SHALL BE HARDWIRED AND THE UNITS INTERCONNECTED. THEY SHALL BE IN EACH SLEEPING ROOM, OUTSIDE SLEEPING ROOMS, AND AT THE BASE OF EACH STAIR LANDING.
11. ELEVATOR SHALL BE RESIDENTIAL TYPE AND COMPLY WITH ASME A17.1 CSA B44.
12. NO PLUMBING OR DUCTS CAN PASS INSIDE RATED DEMISING WALLS. PROVIDE 3 1/2" 2X4 FURRING w/ 1/2" GWB OR CONC BOARD (AS REQUIRED) IN AREAS THAT HAVE IN-LINE PLUMBING ALONG DEMISING WALLS.

**PLAN KEY NOTES**

1. CRAWLSPACE W/ CONCRETE SLAB. (DEDICATED AREA FOR HVAC AIR HANDLER FOR FIRST FLOOR).
2. TRANSITION FROM REIN. CONCRETE FOUNDATION WALL TO WOOD FRAMED MASONRY VENEER WALL - COOR. HEIGHT IN FIELD. MAINTAIN 8" BETWEEN PT. WOOD BTM PLATE & GRADE.
3. POWDER COATED ALUMINUM FRAME / GLASS PANEL GARAGE OVERHEAD DOOR W/ OPERATOR. DOOR TO HAVE APPROPRIATELY SIZED FLOOD VENTS. GARAGE F.F. IS WITHIN THE FLOOD PLAIN.
4. DEMISING WALL UL# XXX - 2HR. FIRE RATED ASSEMBLY. (FINISH TBD)
5. GARAGE SPACE NOT CONDITIONED. INSULATION AT CEILING FLOOR ASSEMBLY ABOVE AND CONDITIONED INTERIOR SPACE PERIMETER WALL ONLY.
6. DEDICATED AREA FOR CHASE DUCTING- VERTICAL SPACE TO ROOF.
7. WHEELCHAIR ACCESSIBLE RESIDENTIAL ELEVATOR. SPEC TBD.
8. EPOXY PAINT GARAGE FLOOR.
9. 1/2" HR FIRE-RATED CRAWLSPACE ACCESS DOOR. (THIS CRAWLSPACE AREA IS ABOVE THE FLOOD PLAIN).
10. 1/2" HR FIRE-RATED ENTRY DOOR TO CONDITIONED AREA.
11. 5/8" GWB PERIMETER WALL W/ R-19 INSULATION.
12. 2" DROPPED LIP FROM DRIVE APRON WITH INTERLOCK SHELF FOR DOOR SEAL FOR GARAGE DOOR TO PREVENT WIND DRIVEN RAIN FROM ENTERING GARAGE.
13. SLOPED CONCRETE SLAB 1/4" PER FT. - TOWARD GARAGE DOOR.
14. GWB SOLID GUARDRAIL W/ WOOD CAP TO MATCH SPECIES AND FINISH OF WOOD FLOOR.
15. CONCRETE STOOP 2" BELOW INTERIOR FINISHED FLOOR. ADJUST HIEGHT OF RISERS ON STEPS TO BE ALL EQUAL BASED ON FINISHED BRICK PAVER GRADE.
16. POWDER-COATED STEEL FRAMED HAND RAIL.
17. ROD & 9" P-LAM SHELF.
18. 12" P-LAM SHELF OM ADJUSTABLE STANDARDS.
19. DEMISING WALL U# XXX - 2 HR FIRE-RATED.
20. UPGRADED CLOSET STORAGE SYSTEM. SPEC TBD.
21. CUSTOM TILED SHOWER TILE CURB. GLASS ENCLOSURE - SPEC TBD.
22. 3/4" RECESSED BRICK PANEL W/ BRICK SILTO MATCH SIZE OF TYPICAL WINDOW ON FLOOR LEVEL. SEE EXTERIOR ELEV.
23. MODERN GAS FIREPLACE - VENTLESS. SPEC TBD.
24. DEDICATED AREA FOR TV AND MULT-MEDIA CENTER ABOVE FLOATING HEARTH.
25. BUILT-IN SHELVING AND CABINETS OVER FLOATING HEARTH SLAB.
26. PAINTED STEEL SUSPENDED BALCONY SYSTEM. SPEC TBD.
27. DRY BAR - UCR & ICE MAKER W/CABINETS ABOVE.
28. EXTERIOR GRADE SIDE MOUNTING POWDER COATED STEEL SAFETY RAILING.
29. 2'X2' CONCRETE PAVER SYSTEM.
30. LINE OF ROOF ABOVE.



**21** THIRD FLOOR PLAN  
SCALE: 1/8" = 1'-0"



mario di marco  
ARCHITECTS

4020 CLINTON AVENUE  
RICHMOND, VIRGINIA 23227  
TELEPHONE: 804.564.6307

CONSULTANTS

SEAL

NOT FOR  
CONSTRUCTION

SHIPLOCK  
TOWNHOUSES

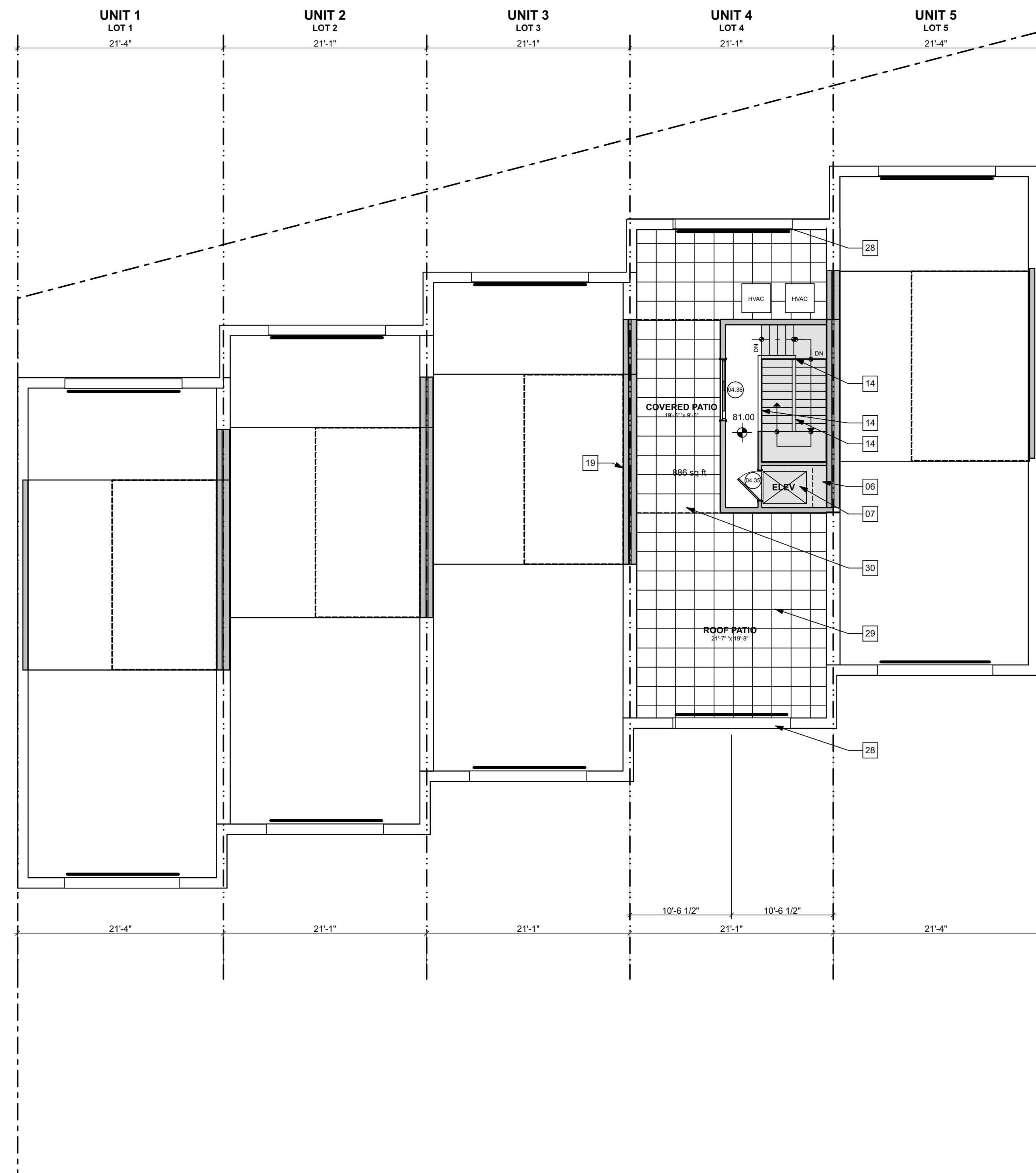
PEAR STREET  
RICHMOND, 23223 VA

### PLAN GENERAL NOTES

1. ALL FURNITURE AND OWNER SUPPLIED EQUIPMENT IS SHOWN FOR COORDINATION PURPOSES ONLY AND IS NOT IN THE CONTRACT U.N.O.
2. ALL BATHROOM FIXTURES ARE TO BE ADA COMPLIANT, INSTALLED ACCORDING TO ADA MINIMUM STANDARDS TO MEET THE FAIR HOUSING ACT.
3. GENERAL CONTRACTOR TO PROVIDE ALL BLOCKING FOR UPPER AND LOWER CABINETS, ACCESSORIES- WHICH INCLUDE BUT ARE NOT LIMITED TO- HAND RAIL, GRAB BARS, AND TELEVISION LOCATIONS.
4. ALL CLOSETS TO GET (1) ROD & (1) 9" PLAM SHELF.
5. ALL AREAS BEHIND TILE, INCLUDING SHOWER & TUB AREAS SHALL RECEIVE DURROCK OR EQUAL WATER RESISTANT CONCRETE BOARD PRODUCT.
6. TYPICAL INTERIOR PARTITION IS WD 2X4 AND TYPICAL EXTERIOR WALL IS WD 2X6. ROOF PENTHOUSE TO BE 2X4 WOOD STD EXTERIOR WALL.
7. GARAGE SHALL HAVE 5/8" GWB ON ALL WALLS SEPARATING GARAGE FROM OCCUPIED AREAS AND CEILING.
8. EXTERIOR SIDE WALLS (ZERO LOT LINE) SHALL BE 1 HOUR FIRE-RATED ASSEMBLY (UL# U348).
9. FIRE BARRIERS BETWEEN DWELLING UNITS SHALL BE 2 HR FIRE-RATED ASSEMBLY (UL# U336).
10. EACH DWELLING UNITS SHALL HAVE SMOKE / CO2 ALARM THAT MEETS UL 217 NFPA 72. IT SHALL BE HARDWIRED AND THE UNITS INTERCONNECTED. THEY SHALL BE IN EACH SLEEPING ROOM, OUTSIDE SLEEPING ROOMS, AND AT THE BASE OF EACH STAIR LANDING.
11. ELEVATOR SHALL BE RESIDENTIAL TYPE AND COMPLY WITH ASME A17.1 CSA B44.
12. NO PLUMBING OR DUCTS CAN PASS INSIDE RATED DEMISING WALLS. PROVIDE 3 1/2" 2X4 FURRING w/ 1/2" GWB OR CONC BOARD (AS REQUIRED) IN AREAS THAT HAVE IN-LINE PLUMBING ALONG DEMISING WALLS.

### PLAN KEY NOTES

1. CRAWLSPACE W/ CONCRETE SLAB. (DEDICATED AREA FOR HVAC AIR HANDLER FOR FIRST FLOOR).
2. TRANSITION FROM REIN. CONCRETE FOUNDATION WALL TO WOOD FRAMED MASONRY VENEER WALL - COOR. HEIGHT IN FIELD. MAINTAIN 8" BETWEEN FT. WOOD BTM PLATE & GRADE.
3. POWDER COATED ALUMINUM FRAME / GLASS PANEL GARAGE OVERHEAD DOOR W/ OPERATOR. DOOR TO HAVE APPROPRIATELY SIZED FLOOD VENTS. GARAGE F.F. IS WITHIN THE FLOOD PLAIN.
4. DEMISING WALL UL# XXX - 2HR. FIRE RATED ASSEMBLY. (FINISH TBD)
5. GARAGE SPACE NOT CONDITIONED. INSULATION AT CEILING FLOOR ASSEMBLY ABOVE AND CONDITIONED INTERIOR SPACE PERIMETER WALL ONLY.
6. DEDICATED AREA FOR CHASE DUCTING- VERTICAL SPACE TO ROOF.
7. WHEELCHAIR ACCESSIBLE RESIDENTIAL ELEVATOR. SPEC TBD.
8. EPOXY PAINT GARAGE FLOOR.
9. 1/2" HR FIRE-RATED CRAWLSPACE ACCESS DOOR. (THIS CRAWLSPACE AREA IS ABOVE THE FLOOD PLAIN).
10. 1/2" HR FIRE-RATED ENTRY DOOR TO CONDITIONED AREA.
11. 5/8" GWB PERIMETER WALL W/ R-19 INSULATION.
12. 2" DROPPED LIP FROM DRIVE APRON WITH INTERLOCK SHELF FOR DOOR SEAL FOR GARAGE DOOR TO PREVENT WIND DRIVEN RAIN FROM ENTERING GARAGE.
13. SLOPED CONCRETE SLAB 1/4" PER FT. - TOWARD GARAGE DOOR.
14. GWB SOLID GUARDRAIL W/ WOOD CAP TO MATCH SPECIES AND FINISH OF WOOD FLOOR.
15. CONCRETE STOOP 2" BELOW INTERIOR FINISHED FLOOR. ADJUST HIEGHT OF RISERS ON STEPS TO BE ALL EQUAL BASED ON FINISHED BRICK PAVR GRADE.
16. POWDER-COATED STEEL FRAMED HAND RAIL.
17. ROD & 9" P-LAM SHELF.
18. 12" P-LAM SHELF OM ADJUSTABLE STANDARDS.
19. DEMISING WALL U# XXX - 2 HR FIRE-RATED.
20. UPGRADED CLOSET STORAGE SYSTEM. SPEC TBD.
21. CUSTOM TILED SHOWER TILE CURB. GLASS ENCLOSURE - SPEC TBD.
22. 3/4" RECESSED BRICK PANEL W/ BRICK SILLTO MATCH SIZE OF TYPICAL WINDOW ON FLOOR LEVEL. SEE EXTERIOR ELEV.
23. MODERN GAS FIREPLACE - VENTLESS. SPEC TBD.
24. DEDICATED AREA FOR TV AND MULT-MEDIA CENTER ABOVE FLOATING HEARTH.
25. BUILT-IN SHELVING AND CABINETS OVER FLOATING HEARTH SLAB.
26. PAINTED STEEL SUSPENDED BALCONY SYSTEM. SPEC TBD.
27. DRY BAR - UCR & ICE MAKER W/CABINETS ABOVE.
28. EXTERIOR GRADE SIDE MOUNTING POWDER COATED STEEL SAFETY RAILING.
29. 2'X2' CONCRETE PAVR SYSTEM.
30. LINE OF ROOF ABOVE.



21  
A-105 ROOF DECK PLAN  
SCALE: 1/8" = 1'-0"

MARK	DATE	DESCRIPTION
	09-04-24	BZA EDITS

PROJECT NO: 22008  
START DATE: 08/19/22  
DRAWN BY: MAD  
CHECKED BY: MAD

### ROOF DECK PLAN

A-105



**mario di marco**  
ARCHITECTS

4020 CLINTON AVENUE  
RICHMOND, VIRGINIA 23227  
TELEPHONE: 804.564.6307

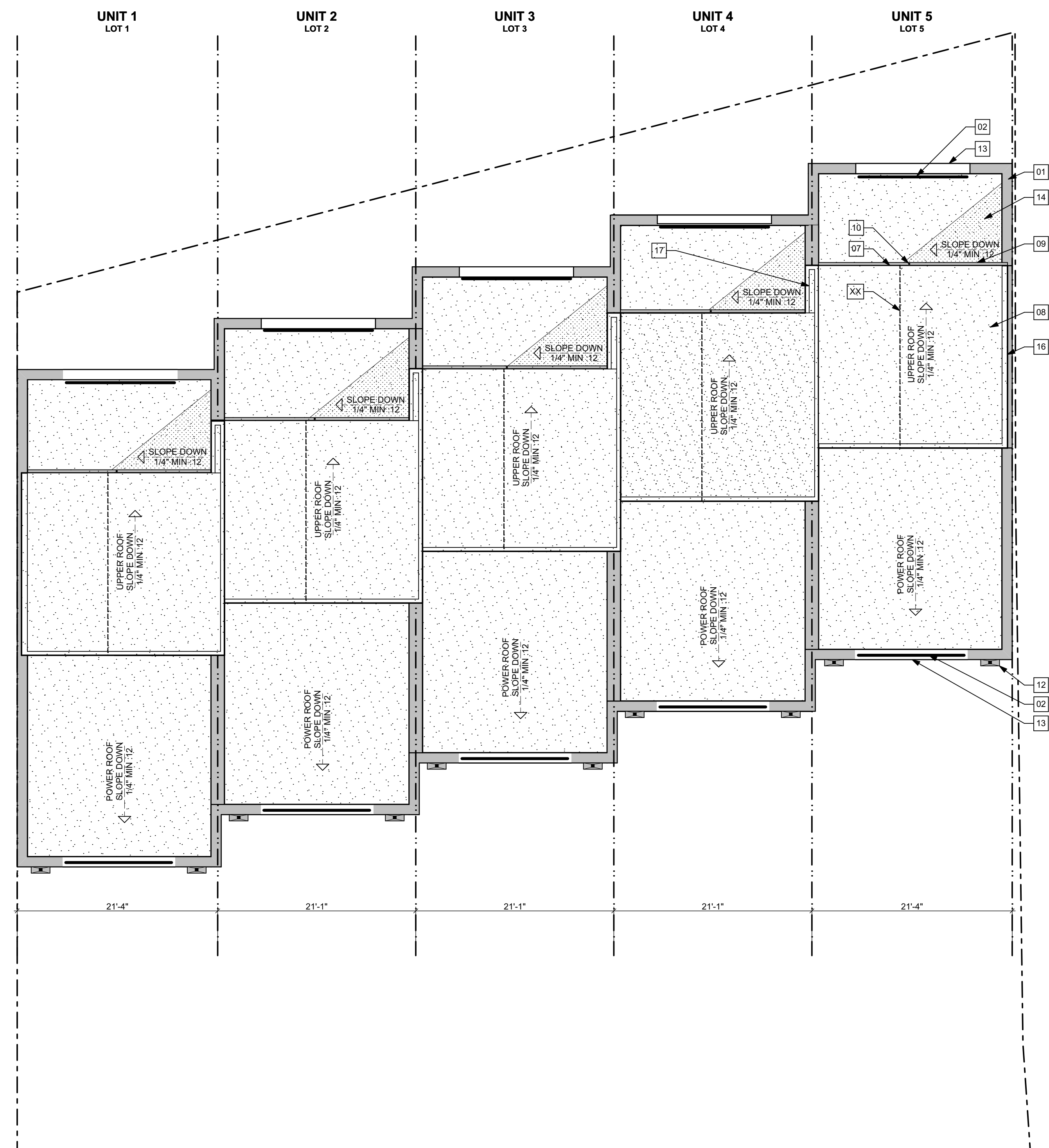
CONSULTANTS

**ROOF GENERAL NOTES**

1. CONTRACTOR TO PROTECT ROOF MEMBRANE AT ALL TIMES DURING CONSTRUCTION ESPECIALLY DURING THE FABRICATION AND INSTALLATION OF THE ROOF SCREEN.
2. KEEP ROOF CLEAR OF ALL DEBRIS AT ALL TIMES.
3. THE GENERAL CONTRACTOR IS RESPONSIBLE TO INSTALL ALL ROOF COMPONENTS TO SLOPE ALL SURFACES TO THE ROOF SCUPPERS.
4. THE ROOF CONTRACTOR IS RESPONSIBLE FOR SEALING AND FLASHING ALL PENETRATIONS, WHETHER INDICATED ON DRAWINGS OR NOT, ACCORDING TO THE ROOF MANUFACTURER WRITTEN INSTALLATION INSTRUCTIONS. (CONVENTIONALLY NOT ALL MISCELLANEOUS DEVICES/ PENETRATIONS ARE INDICATED ON PLANS)
5. THE GENERAL CONTRACTOR SHALL SCHEDULE AND ATTEND A PRE-INSTALLATION CONFERENCE, ON SITE, WITH THE OWNER, ARCHITECT, AND ROOFING SUB-CONTRACTOR PRIOR TO THE START OF THE ROOFING INSTALLATION.
6. ROOF R-VALUE TO BE NO LESS THAN R-38 AVERAGE ACROSS AREA COVERED BY NEW INSULATION.
7. ALL NEW ROOF COVERINGS SHALL BE APPROVED OR LISTED BY A NATIONALLY RECOGNIZED TESTING LAB FOR COMPLIANCE WITH UL STANDARD 780 AND SHALL BE CLASS B MINIMUM. ROOF DECK ASSEMBLIES SHALL BE FM CLASS I APPROVED, OR SHALL BE UL LISTED AS FIRE-CLASSIFIED (1-HR).
8. LOW ROOF SLOPE 1/4" PER FOOT MINIMUM TYPICAL.

**ROOF PLAN KEY NOTES**

1. 3'-8" - 46" HIGH (ABOVE PAVERS) PERIMETER PARAPET W/ 4" PRE-FINISHED MTL COPING @ TOP OF VENER CLADDING. INTERIOR FACE CEMENTITIOUS REVERSE BOARD & BATTEN SIDING.
2. 3'-8" - 46" HIGH (ABOVE PAVERS) POWDER COATED STEEL RAILING SYSTEM. INTERIOR PARAPET MOUNTING. (ACTUAL HEIGHT OF RAILING IS 2'-8")
3. AREA OF DECK W/ 2'X2' CONCRETE PAVERS ON STANDS SYSTEM FOR DRAINAGE. PAVERS SHALL NOT CONFORM TO ROOF SLOPE AND BE LEVELLED.
4. ROOF ACCESSORIES BUYER OPTIONS - TBD
5. 1'-5" WIDE PARAPET W/ 4" PRE-FINISHED MTL COPING @ TOP OF CLADDING. (CLADDED W/ REVERSE BOARD & BATTEN SIDING BOTH SIDES)
6. 2 HR. FIRE WALL ASSEMBLY. UL # XXX.
7. SLOPED ROOF ABOVE.
8. 4" PRE-FINISHED MTL ROOF FASCIA TOP TERMINATES EPDM LOW SLOPE ROOF MEMBRANE AT PERIMETER.
9. PRE-FINISHED METAL GUTTER.
10. PRE-FINISHED METAL DOWNSPOUT.
11. LOW SLOPE ROOF AREA OF EPDM LOW SLOPE ROOF. SLOPE TOWARD MOTOR COURT - PROVIDE SCUPPER, GUTTER AND RAIN LEADER TO SPLASH BLOCK TO GRADE.
12. PRE-FINISHED METAL SCUPPER W/ OVERFLOW OPENING.
13. PRE-FINISHED METAL COPING BELOW GUARDRAIL (12" ABOVE PAVER SYSTEM).
14. 1/4" PER FT MEMBRANE CRICKET.
15. LOCATION OF MECH CONDENSER EQUIPMENT & CUTOFF. LINE SET TO PENETRATE SIDE WALL - NOT THROUGH ROOF AND FITCH ROCKETS.



SEAL

NOT FOR CONSTRUCTION

**SHIPLOCK  
TOWNHOUSES**  
PEAR STREET  
RICHMOND, 23223 VA

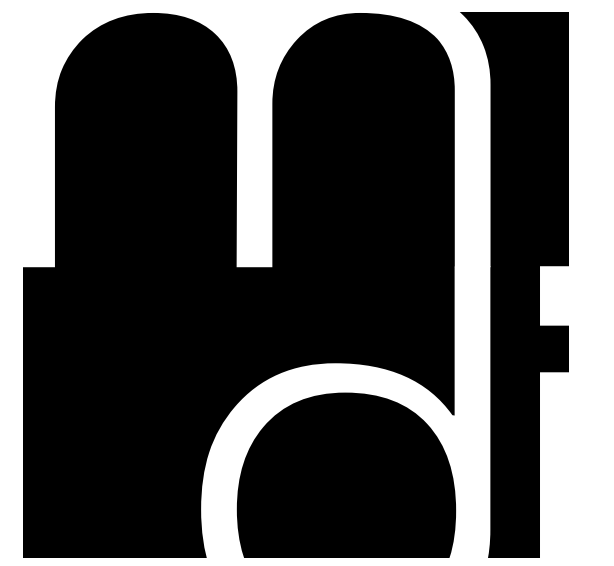

	09-04-24	BZA EDITS
MARK	DATE	DESCRIPTION

PROJECT NO: 22008  
START DATE: 08/19/22  
DRAWN BY: MAD  
CHECKED BY: MAD

**ROOF PLAN**

**A-106**





**mario di marco**  
ARCHITECTS

4020 CLINTON AVENUE  
RICHMOND, VIRGINIA 23227  
TELEPHONE: 804.564.6307

CONSULTANTS

SEAL

**NOT FOR  
CONSTRUCTION**

**ELEVATION KEY NOTES**

1. MODULAR FACE BRICK VENEER W/ MATCHING COLORED MORTAR.
2. BRICK SOLDIER COURSE OPENING HEADER
3. BRICK ROWLOCK WINDOW SILL
4. 4" PRE-FINISHED METAL COPING
5. POWDER COATED ALUMINUM VERTICAL PICKET GUARDRAIL (TOP OF RAIL 38" / FACE MOUNTED TO INSIDE OF PARAPET WALL.
6. CASEMENT WINDOW W/ DEEP LEG SUPPORT CLIP.
7. 12" X 24" ARCHITECTURAL MASONRY BLOCK W/ MATCHING COLOR MORTAR.
8. EDGE OF EXISTING PAVER SIDEWALK.
9. NEW PAVER SIDEWALK TO MATCH COLOR, SIZE AND PATTERN OF EXISTING SIDEWALK.
10. POWDER COATED ALUMINUM VERTICAL PICKET GUARDRAIL.
11. COLORED CONCRETE CAST IN PLACE STOOP. (ADJUST RISER HEIGHT TO GRADE).
12. PRE-FINISHED METAL CANOPY (SUSPENSION WALL BRACKET SUPPORTED).
13. PRE-FINISHED MTL. CLAD MEMBER TO MATCH WINDOW SYSTEM.
14. PRE-FINISHED METAL WALL PANEL SYSTEM.
15. 4" PRE-FINISHED METAL GUTTER.
16. 4" PRE-FINISHED METAL FASCIA INTEGRATED INTO MEMBRANE ROOF.
17. PRE-FINISHED METAL SCUPPER WITH OVERFLOW.
18. PRE-FINISHED METAL DOWNSPOUT RIAN LEADER TO SPLASH BLOCK.
19. PRE-FINISHED METAL CLAD FASCIA TO MATCH WINDOW FRAME COLOR.
20. WALL BRACKET SUSPENSION SUPPORT FOR PATIO.
21. PRE-FINISHED METAL SUSPENDED PATIO SYSTEM W/ 42" POWDER COATED VERTICAL PICKET GUARDRAIL.
22. WALL BRACKET SUSPENSION SUPPORT FOR GARAGE DOOR CANOPY.
23. 8' X 16' PRE-FINISHED METAL FRAME W/ TRANSLUCENT PANEL GARAGE DOOR. THE BOTTOM PANEL IS SOLID W/ FLOOD GATE DOORS.
24. GARAGE DOOR BOTTOM PANEL IS SOLID W/ (B) FLOOD GATE DOORS. (FLOOD GATE DOORS SHOULD SERVE FLOOR AREA OF GARAGE LEVEL).
25. CONCRETE LIP AT GARAGE DOOR SWEEP TO PREVENT WIND DRIVEN RAIN FORM ENTERING GARAGE.



23  
A-201

**MOTOR COURT ELEVATION (DOCK STREET FACING)**

SCALE: 1/8" = 1'-0"



21  
A-201

**CARY STREET ELEVATION**

SCALE: 1/8" = 1'-0"

**SHIPLOCK  
TOWNHOUSES**  
  
PEAR STREET  
RICHMOND, 23223 VA

MARK	DATE	DESCRIPTION
	09-04-24	BZA EDITS

PROJECT NO: 22008  
START DATE: 08/19/22  
DRAWN BY: MAD  
CHECKED BY: MAD

**EXTERIOR ELEVATIONS -  
FRONT AND REAR**

**A-201**



**mario di marco**  
ARCHITECTS

4020 CLINTON AVENUE  
RICHMOND, VIRGINIA 23227  
TELEPHONE: 804.564.6307

CONSULTANTS

SEAL

**NOT FOR  
CONSTRUCTION**

**SHIPLOCK  
TOWNHOUSES**

PEAR STREET  
RICHMOND, 23223 VA

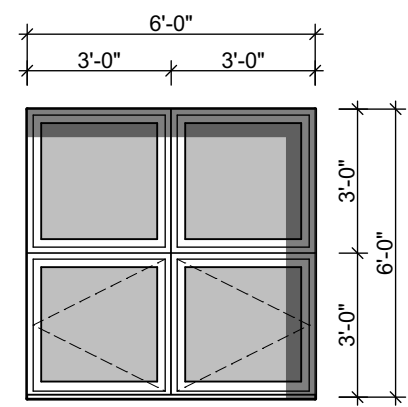
MARK	DATE	DESCRIPTION
	09-04-24	BZA EDITS

PROJECT NO: 22008  
START DATE: 08/19/22  
DRAWN BY: MAD  
CHECKED BY: MAD

**EXTERIOR ELEVATIONS -  
SIDES**

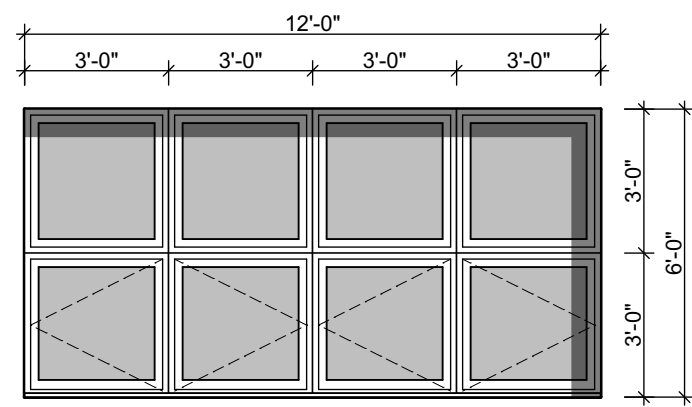
**A-202**

- ### ELEVATION KEY NOTES
- MODULAR FACE BRICK VENEER W/ MATCHING COLORED MORTAR.
  - BRICK SOLDIER COURSE OPENING HEADER
  - BRICK ROWLOCK WINDOW SILL
  - 4" PRE-FINISHED METAL COPING
  - POWDER COATED ALUMINUM VERTICAL PICKET GUARDRAIL (TOP OF RAIL 38" / FACE MOUNTED TO INSIDE OF PARAPET WALL.
  - CASEMENT WINDOW W/ DEEP LEG SUPPORT CLIP.
  - 12" X 24" ARCHITECTURAL MASONRY BLOCK W/ MATCHING COLOR MORTAR.
  - EDGE OF EXISTING PAVER SIDEWALK.
  - NEW PAVER SIDEWALK TO MATCH COLOR, SIZE AND PATTERN OF EXISTING SIDEWALK.
  - POWDER COATED ALUMINUM VERTICAL PICKET GUARDRAIL.
  - COLOR ED CONCRETE CAST IN PLACE STOOP (ADJUST RISER HEIGHT TO GRADE).
  - PRE-FINISHED METAL CANOPY (SUSPENSION WALL BRACKET SUPPORTED).
  - PRE-FINISHED MTL. CLAD MEMBER TO MATCH WINDOW SYSTEM.
  - PRE-FINISHED METAL WALL PANEL SYSTEM.
  - 4" PRE-FINISHED METAL GUTTER.
  - 4" PRE-FINISHED METAL FASCIA INTEGRATED INTO MEMBRANE ROOF.
  - PRE-FINISHED METAL SCUPPER WITH OVERFLOW.
  - PRE-FINISHED METAL DOWNSPOUT RIAN LEADER TO SPLASH BLOCK.
  - PRE-FINISHED METAL CLAD FASCIA TO MATCH WINDOW FRAME COLOR.
  - WALL BRACKET SUSPENSION SUPPORT FOR PATIO.
  - PRE-FINISHED METAL SUSPENDED PATIO SYSTEM W/ 42" POWDER COATED VERTICAL PICKET GUARDRAIL.
  - WALL BRACKET SUSPENSION SUPPORT FOR GARAGE DOOR CANOPY.
  - 8' X 16' PRE-FINISHED METAL FRAME W/ TRANSLUCENT PANEL GARAGE DOOR. THE BOTTOM PANEL IS SOLID W/ FLOOD GATE DOORS.
  - GARAGE DOOR BOTTOM PANEL IS SOLID W/ (6) FLOOD GATE DOORS. (FLOOD GATE DOORS SHOULD SERVE FLOOR AREA OF GARAGE LEVEL).
  - CONCRETE LIP AT GARAGE DOOR SWEEP TO PREVENT WIND DRIVEN RAIN FORM ENTERING GARAGE.



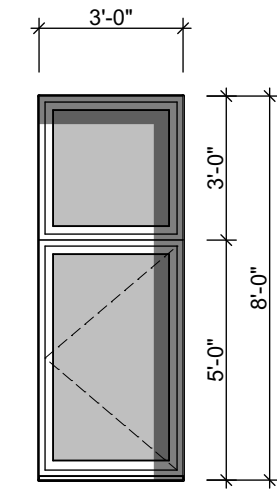
**A**

CASEMENT  
(2) OPERABLE / (2) FIXED  
(4) MULLED UNITS



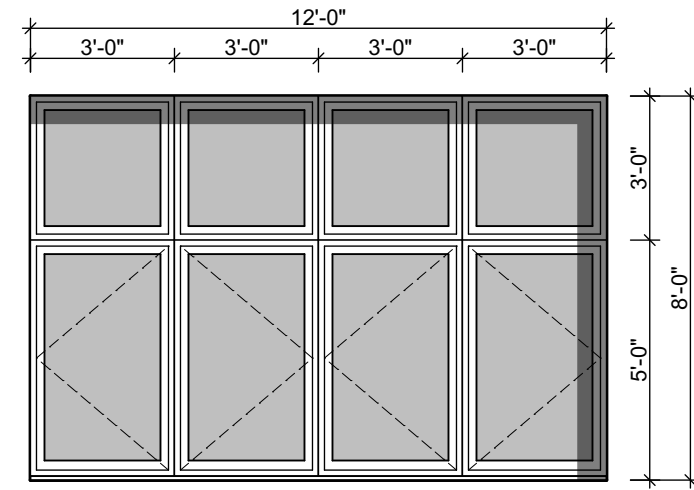
**B**

CASEMENT  
(4) OPERABLE / (4) FIXED  
(8) MULLED UNITS



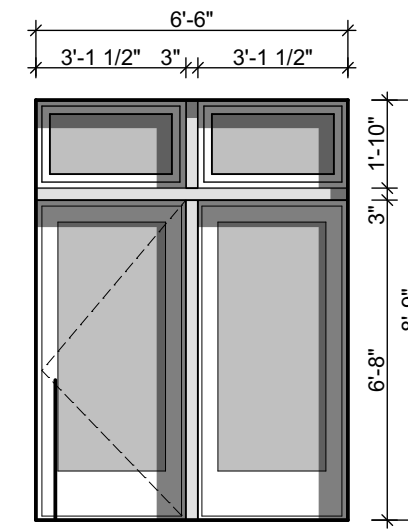
**C**

CASEMENT  
(1) OPERABLE / (1) FIXED  
(2) MULLED UNITS



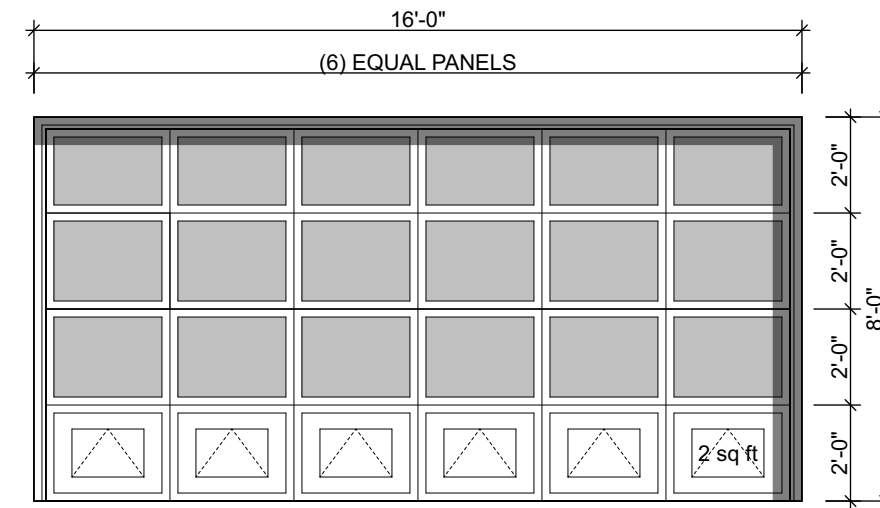
**D**

CASEMENT  
(4) OPERABLE / (4) FIXED  
(8) MULLED UNITS



**E**

CASEMENT  
(0) OPERABLE / (2) FIXED  
(2) MULLED UNITS



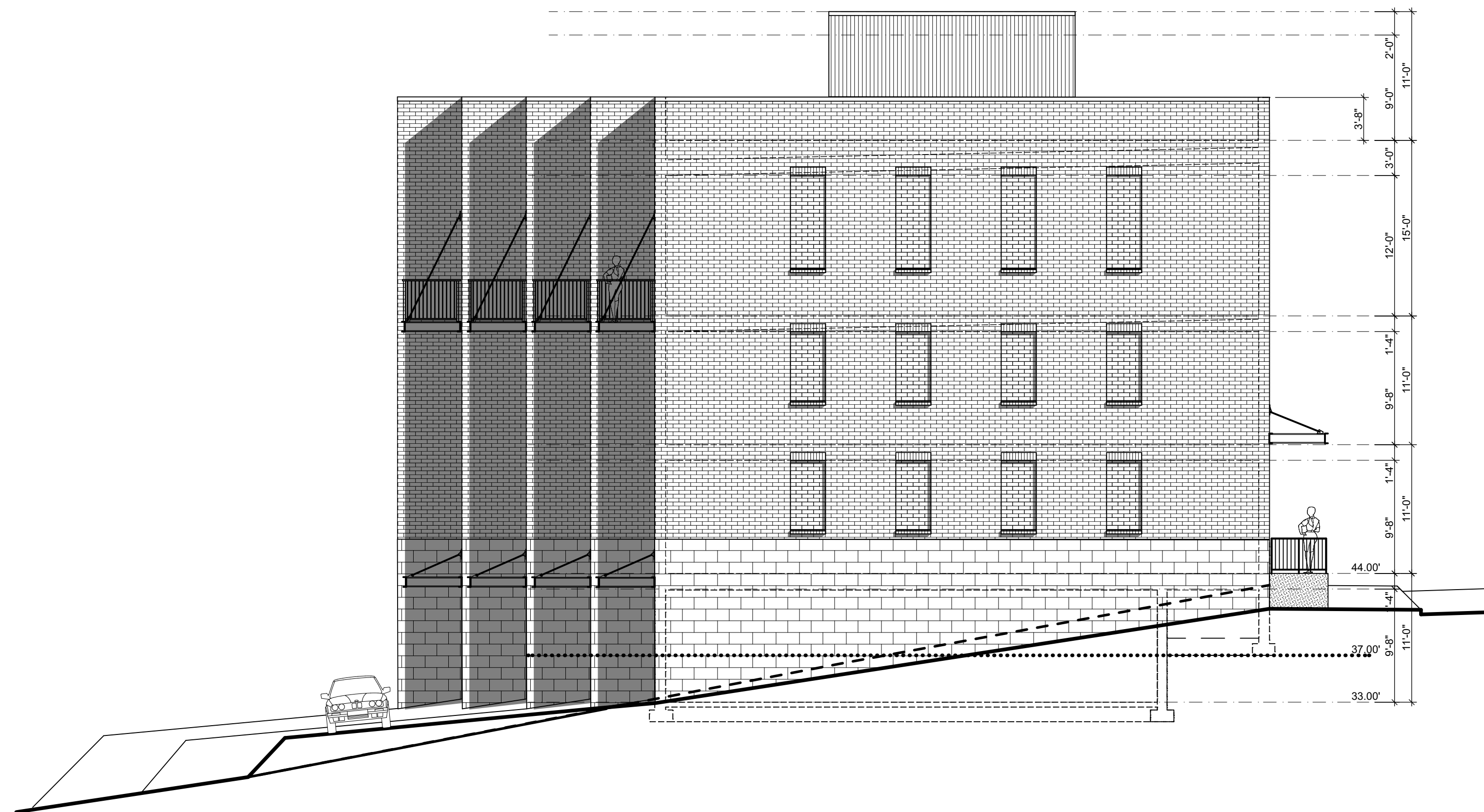
**F**

GARAGE PANEL - FROSTED GLASS  
(6) FLOOD / (16) FIXED  
(4) PANELS

29  
A-202

**WINDOW TYPES**

SCALE: 1/4" = 1'-0"



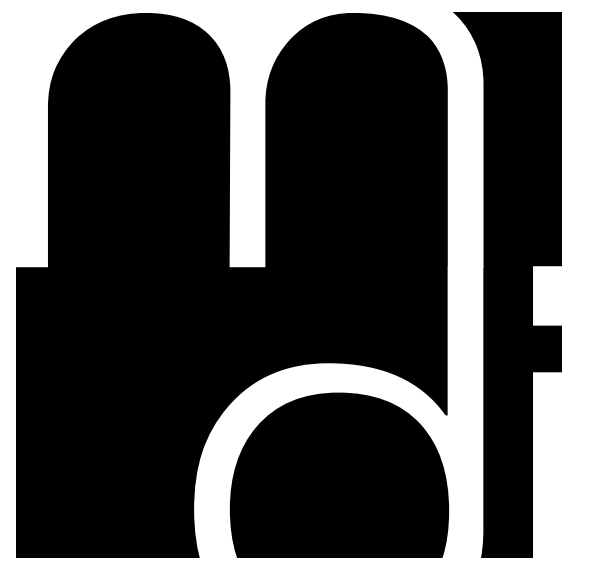
21  
A-202

**PEAR STREET ELEVATION (LEFT SIDE)**

SCALE: 1/8" = 1'-0"

**WALL SECTION GEN. NOTES**

- THE GENERAL CONTRACTOR, AND ESPECIALLY THE G. C.'S SUPERINTENDENT IS RESPONSIBLE FOR MAINTAINING THE FOLLOWING CONDITIONS THROUGH OUT THE WALL CONSTRUCTION PROCESS TO INSURE THE CREATION OF AN "OPEN RAINSCREEN" DESIGN:
1. THE CONTINUITY OF THE THERMAL BARRIER.
  2. THE CONTINUITY OF THE VAPOR BARRIER.
  3. A CLEAN AND OPEN 1" AIR SPACE OR INSTALL A "MORTAR NET" OR A SIMILAR PRODUCT DESIGNED TO KEEP THE WEEP HOLES CLEAR.
  4. WEEP HOLES CLEAR AND FREE FROM MORTAR AT 24" O. C. MAX.
  5. THE CONTINUITY OF ALL FLASHING THROUGH WALL FLASHING, HEAD, JAMB, SILL AND BASE FLASHING.
  6. THE BASE, SILL, JAMB, HEAD, THROUGH WALL FLASHING AND ALL OTHER FLASHING SHALL BE EITHER ONE OF THE FOLLOWING:
    - A. 40 MIL. MINIMUM, EPDM SELF-STICKING/SEALING RUBBER FLASHING
    - B. COPPER, 5 OZ. PER S.F.
    - C. GALVANIZED METAL, THE FOLLOWING MANUFACTURERS WILL BE ACCEPTABLE - FIRESTONE, NEVASTRAL, OR YORK
  7. EXTEND THE FLASHING THROUGH THE WALL AND LEAVE EXPOSED. DO NOT TRIM UNTIL DIRECTED TO DO SO BY THE ARCHITECT.
  8. THE PROPER PREPARATION AND INSTALLATION OF ALL BACKER RODS AND JOINT SEALANTS.
  9. MAINTAIN THE WATER TIGHT INTEGRITY OF THE BUILDING'S EXTERIOR WATER VAPOR AND MOISTURE BARRIERS.
  10. BRICK TIES TO BE TRIANGULAR WIRE ANCHORS 3/16" DIA. HOT DIPPED & B DW OR EQUAL @ 16" O.C. MAXIMUM. CORRUGATED TIES ARE NOT ALLOWED.

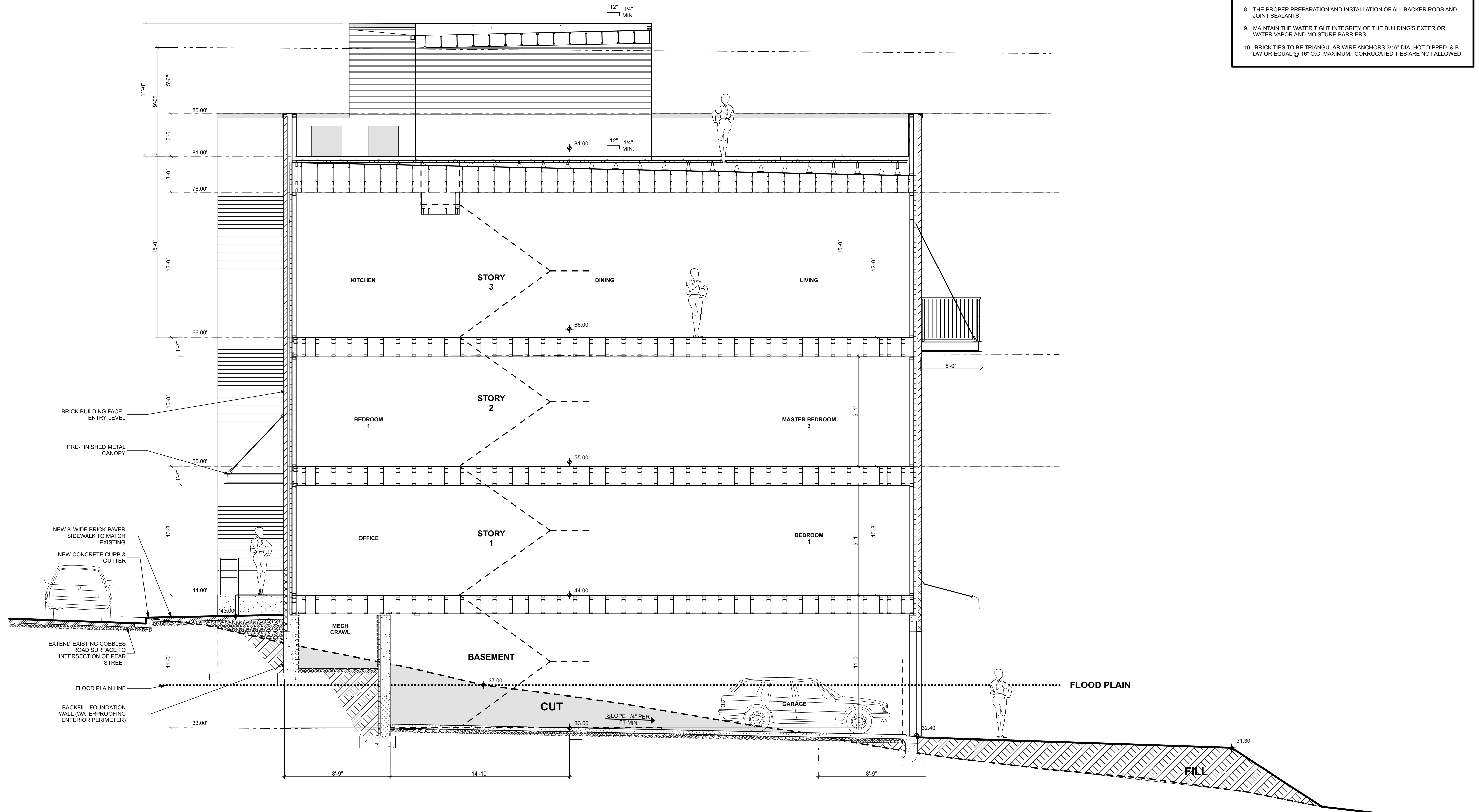


**mario di marco**  
ARCHITECTS  
4020 CLINTON AVENUE  
RICHMOND, VIRGINIA 23227  
TELEPHONE: 804.564.6307

CONSULTANTS

SEAL

**NOT FOR CONSTRUCTION**



**SHIPLOCK TOWNHOUSES**  
PEAR STREET  
RICHMOND, 23223 VA

MARK	DATE	DESCRIPTION
	09-04-24	BZA EDITS

PROJECT NO: 22008  
START DATE: 08/19/22  
DRAWN BY: MAD  
CHECKED BY: MAD

**BUILDING SECTIONS**

**A-301**



**mario di marco**  
ARCHITECTS  
4020 CLINTON AVENUE  
RICHMOND, VIRGINIA 23227  
TELEPHONE: 804.564.6307  
CONSULTANTS

SEAL

NOT FOR CONSTRUCTION

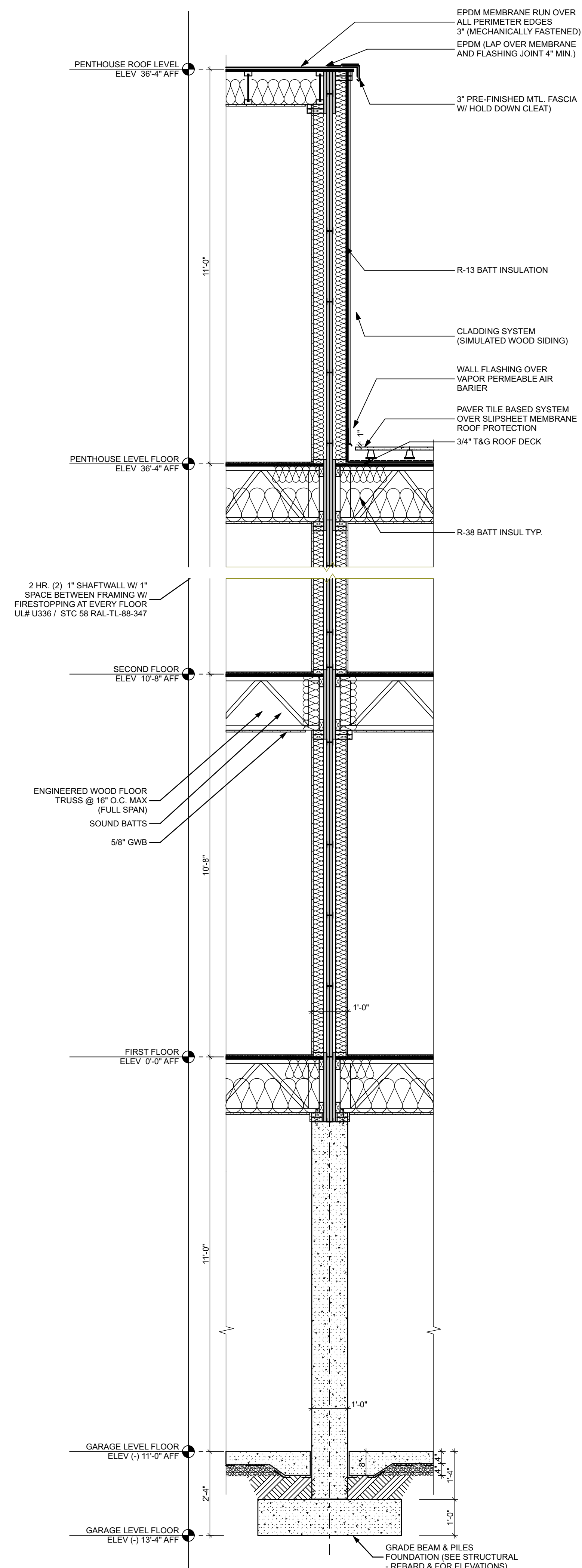
**SHIPLOCK TOWNHOUSES**  
PEAR STREET  
RICHMOND, 23223 VA

MARK	DATE	DESCRIPTION
	09-04-24	BZA EDITS

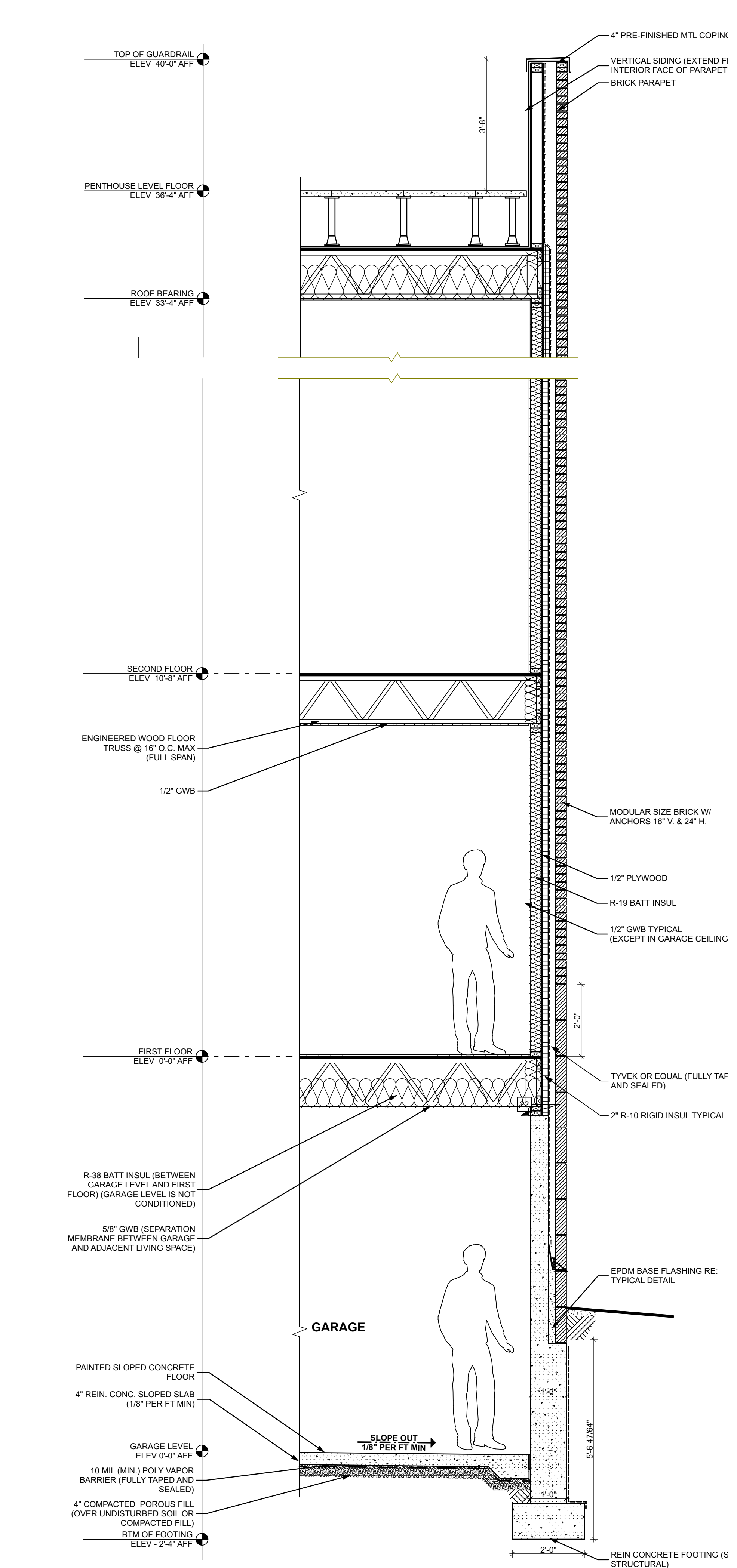
PROJECT NO: 22008  
START DATE: 08/19/22  
DRAWN BY: MAD  
CHECKED BY: MAD

WALL SECTIONS

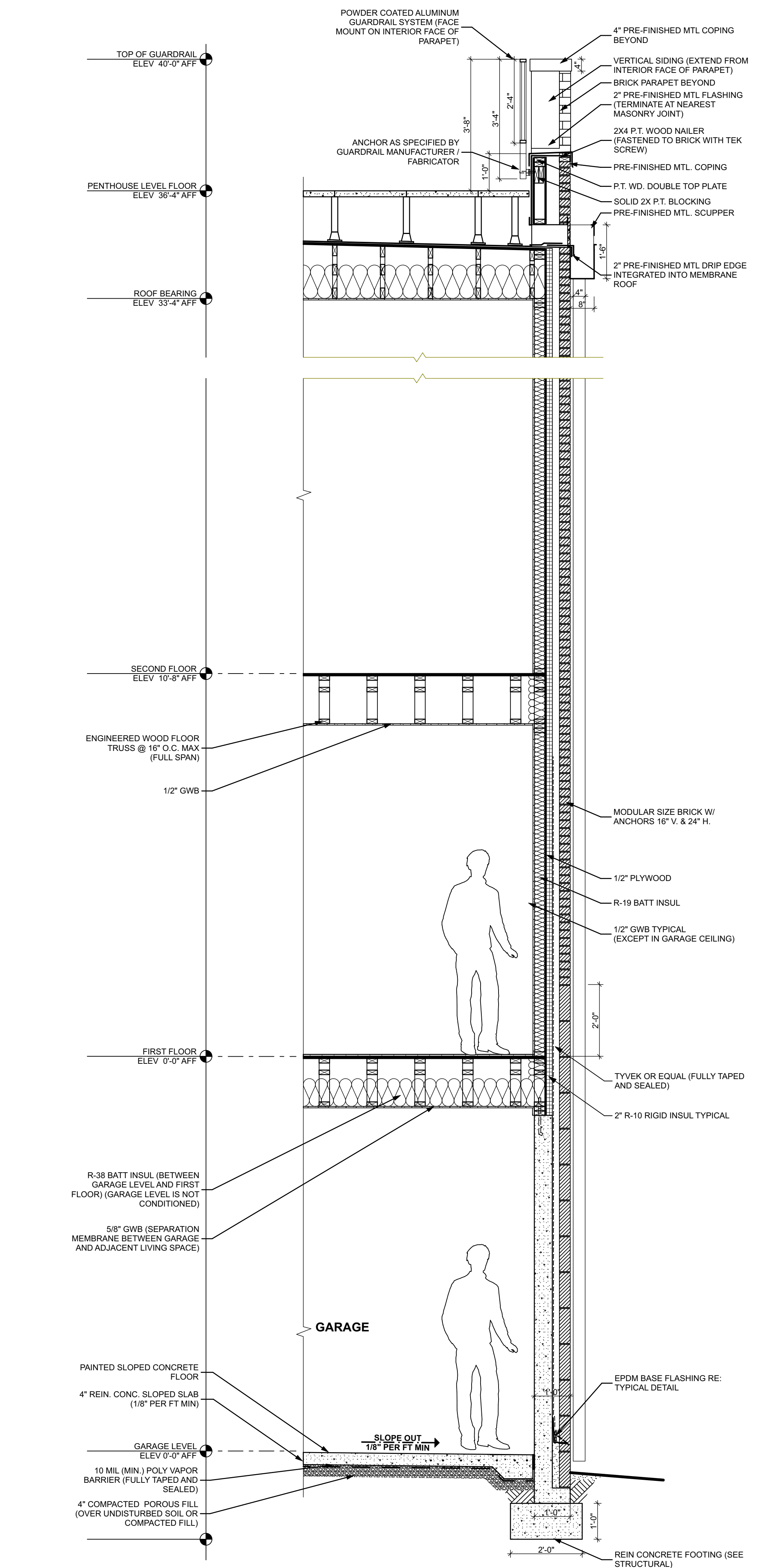
**A-302**



**26**  
**A-302**  
TYPICAL UNIT DEMISING WALL  
SCALE: 1/2" = 1'-0"



**21**  
**A-302**  
TYPICAL WALL SECTION (PEAR ST SIDE)  
SCALE: 1/2" = 1'-0"



**11**  
**A-302**  
TYPICAL WALL SECTION (REAR)  
SCALE: 1/2" = 1'-0"