



COMMISSION OF ARCHITECTURAL REVIEW

APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

PROPERTY (location of work)

Address _____

Historic district _____

Date/time rec'd: _____
Rec'd by: _____
Application #: _____
Hearing date: _____

APPLICANT INFORMATION

Check if Billing Contact

Name _____

Phone _____

Company _____

Email _____

Mailing Address _____

Applicant Type: Owner Agent
 Lessee Architect Contractor
 Other (please specify): _____

OWNER INFORMATION (if different from above)

Check if Billing Contact

Name _____

Company _____

Mailing Address _____

Phone _____

Email _____

PROJECT INFORMATION

Project Type:

Alteration

Demolition

New Construction

(Conceptual Review Required)

Project Description: (attach additional sheets if needed)

ACKNOWLEDGEMENT OF RESPONSIBILITY

Compliance: If granted, you agree to comply with all conditions of the certificate of appropriateness (COA). Revisions to approved work require staff review and may require a new application and approval from the Commission of Architectural Review (CAR). Failure to comply with the conditions of the COA may result in project delays or legal action. The COA is valid for one (1) year and may be extended for an additional year, upon written request and payment of associated fee.

Requirements: A complete application includes all applicable information requested on checklists available on the CAR website to provide a complete and accurate description of existing and proposed conditions, as well as payment of the application fee. Applicants proposing major new construction, including additions, should meet with Staff to review the application and requirements prior to submitting an application. Owner contact information and signature is required. Late or incomplete applications will not be considered.

Zoning Requirements: Prior to Commission review, it is the responsibility of the applicant to determine if zoning approval is required and application materials should be prepared in compliance with zoning.

Signature of Owner Arnold Stolberg

Date _____

Arnold L Stolberg 2007 Monument Ave, Unit 1
2/11/2021

We have a very serious health problem in my home and that is at the core of my request. My wife has had very serious back and spine problems for a very long time. In June 2019 her spinal problems required that she have the base of her spine screwed to her pelvis and her spine fused from that spot up to the vertebra that is between her shoulder blades. The problem deteriorated very seriously after Thanksgiving. She was abruptly hospitalized for two months. She has subsequently lost most of her independent locomotion. She is substantially wheelchair-bound.

Needless to say, she has many doctors' appointments and will be having some kidney procedures the first week of March. We are having to use a local transport company at least twice a week to get her in and out of the building at this time. Each round-trip costs \$360. This is not so sustainable. Time is of the essence.

We have explored several strategies to help her negotiate the front and back steps and to give her access to the apartment. There were four possible options:

1. put a ramp up the front of the building or the side of the building
2. install a chair/step lift over the back, interior stairs
3. Install an interior elevator beginning in the garage and going up of the building
4. Replacing this dining room window with a door/transom and installing an exterior lift.

Only replacing the window with a door/transom and installing a lift meets city historic requirements and is financially viable.

1. The ramp up the front or side would be very unsightly
2. The back stairs are too narrow (36" wide) and would be somewhat occluded by the 12" width of the step-lift.
3. The elevator would take up one of the garage spots in this condominium and would be much more expensive.

The window to door/transom and exterior lift meet the City's requirements:

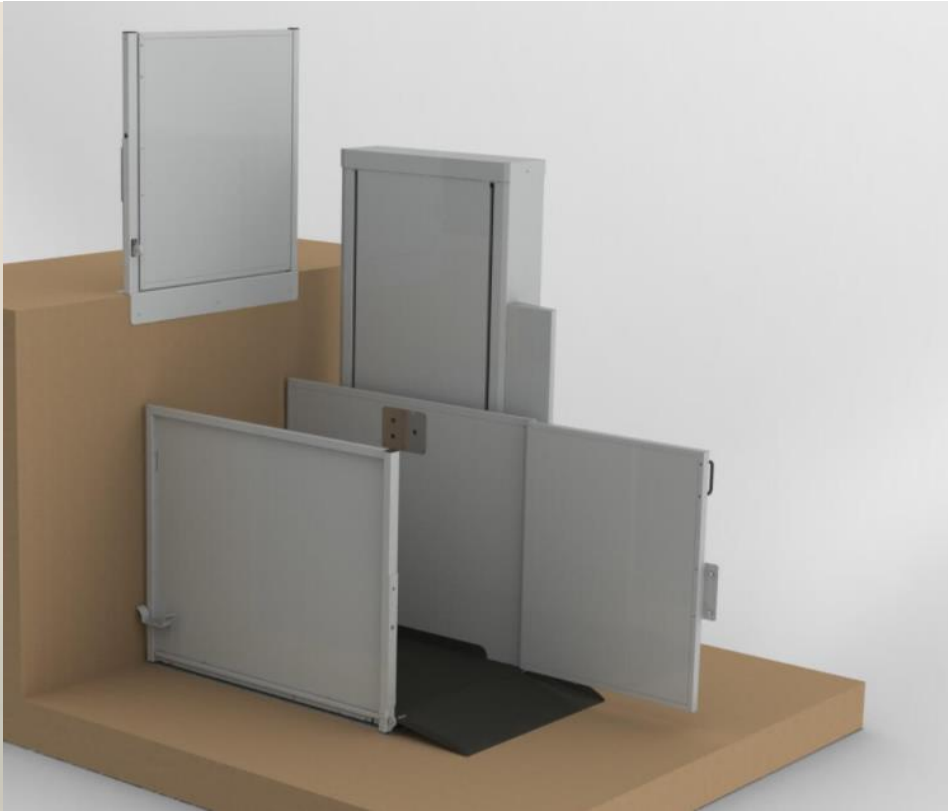
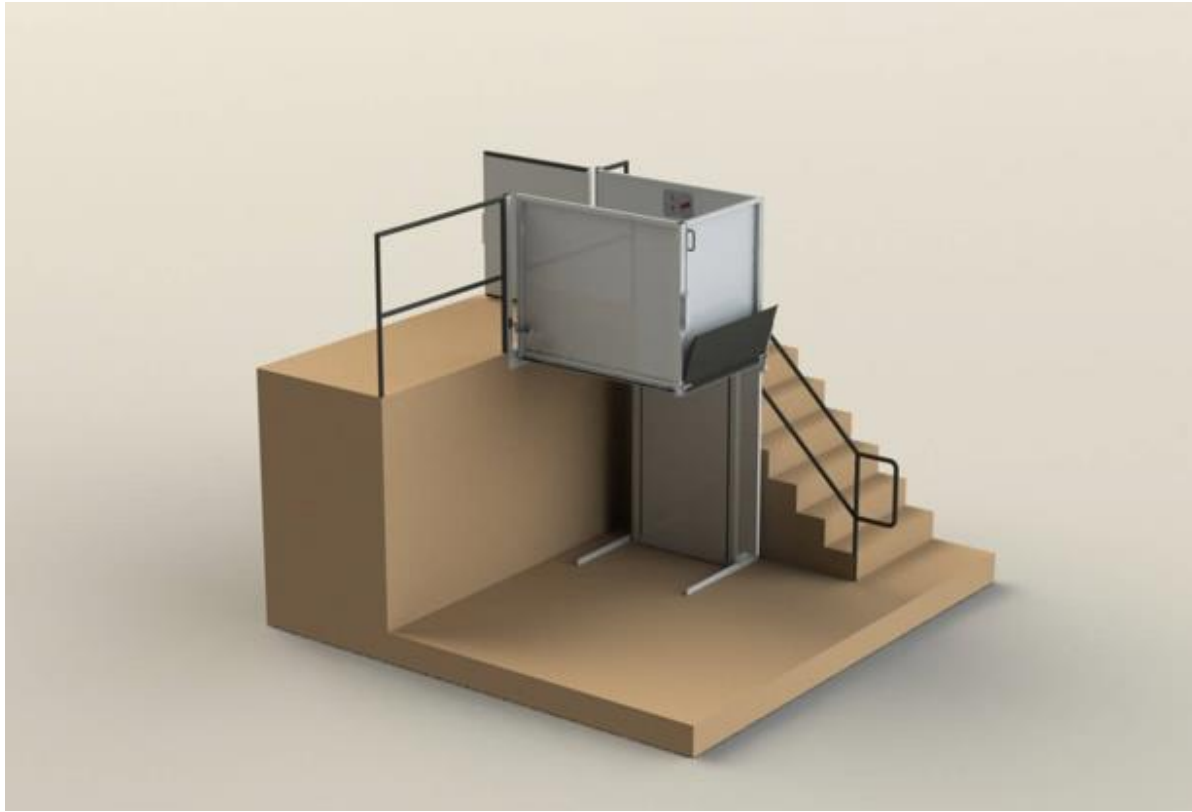
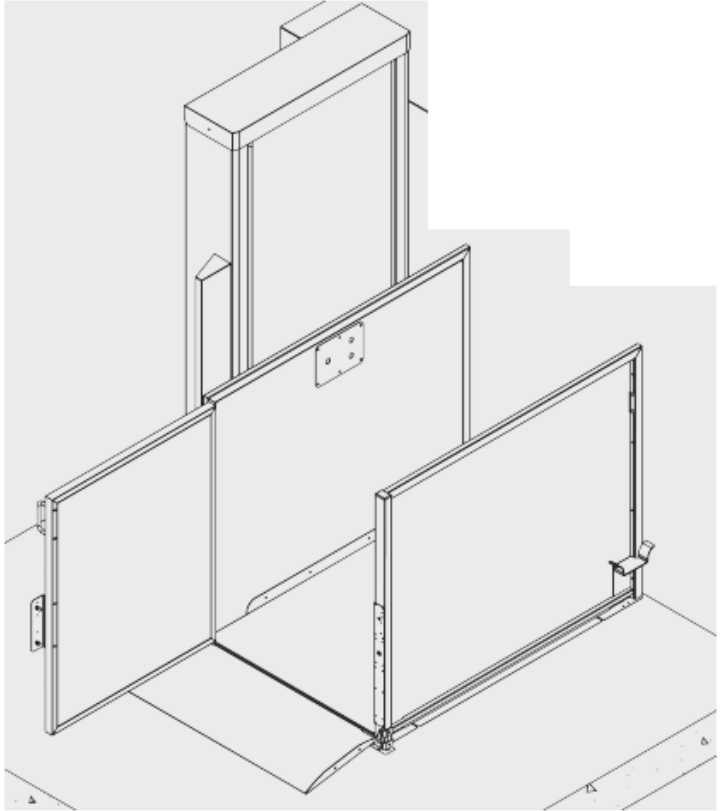
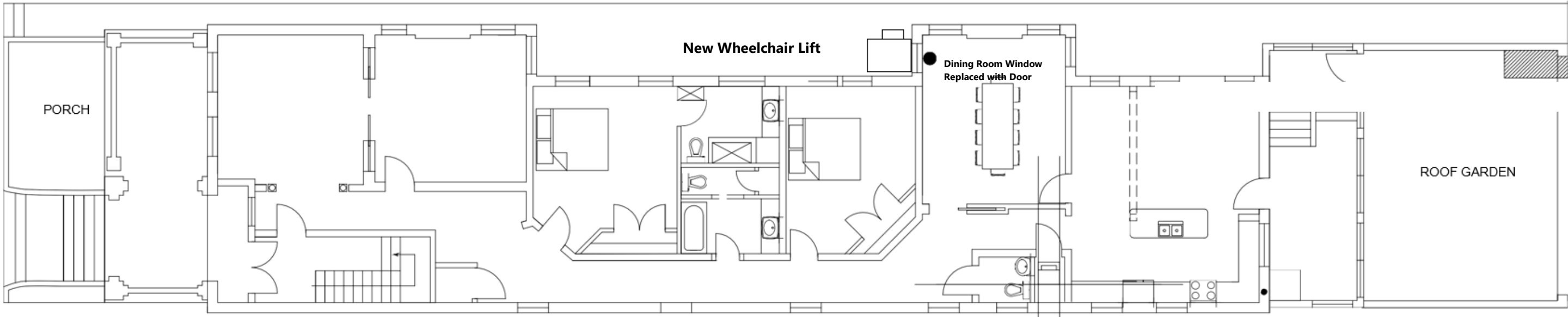
1. Allows for accessibility
2. Is located on a non-primary elevation, on an internal wall between two buildings
3. No historic fabric or materials are removed. The new door will be the same width as the existing window. The existing trim will remain and will be matched on the lower sides of the door.
4. The lift can easily be removed and the window and brick can be replaced when no longer needed.
5. It serves to retrofit a door on a non-primary elevation
6. No grading changes are to be made.

Area Access, a local firm that specializes in these modifications will be handling the job. Arthur McGurn is the sub-contractor.

All work necessary is of urgent matter to allow disabled homeowner wheelchair access into the home. Addition of Vertical Platform Lift to side of building for accessible entryway to 1st floor condo. Lift will provide access to the private residence while in a wheelchair through an existing window. New door will be added in place of existing window. Existing header will remain. Cuts around window frame will be necessary to remove it. New door frame will fit in existing opening. Brick below the window frame will have to be removed to allow for the door.

**STOLBERG COTHRAN
2007 MONUMENT AVE
APARTMENT 1**

**Installation of Full Lite Door with transom above to match
Door will fit existing window cutout and header. Brick beneath window removed to allow door**



Replace window with full lite door and transom
Built to match existing window opening
Reroute gutter above double window
Window to basement will be covered by PVC trim
Cut to size to fit in arched window
This is to create a smooth surface, removing any pinch points
This will be easily removable



Street View

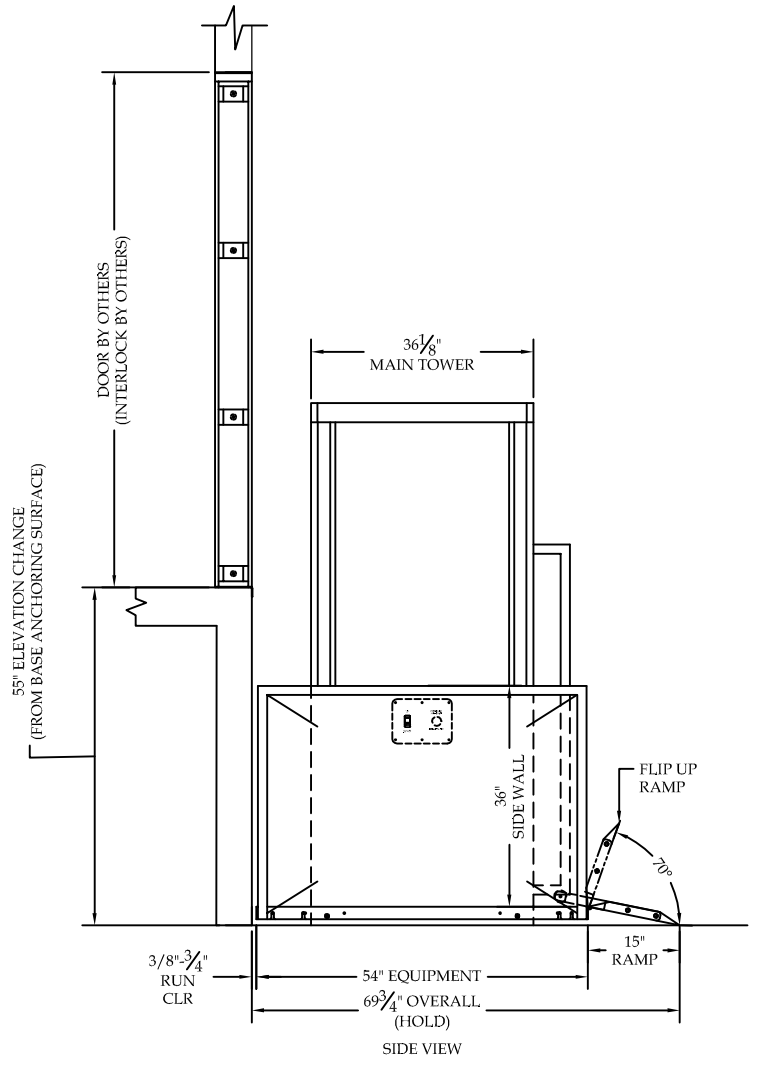
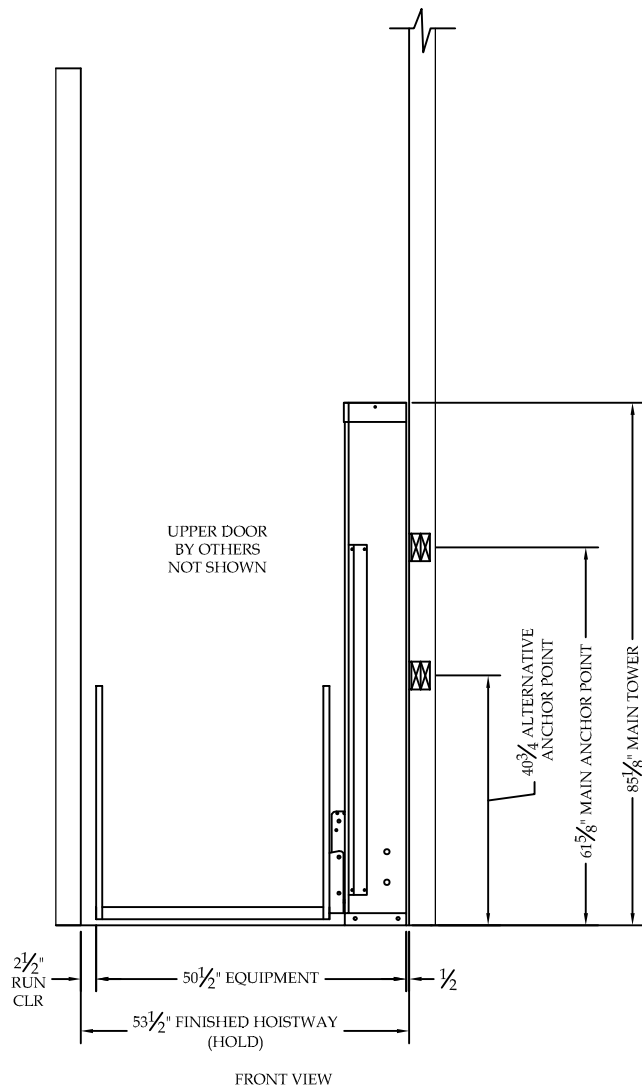


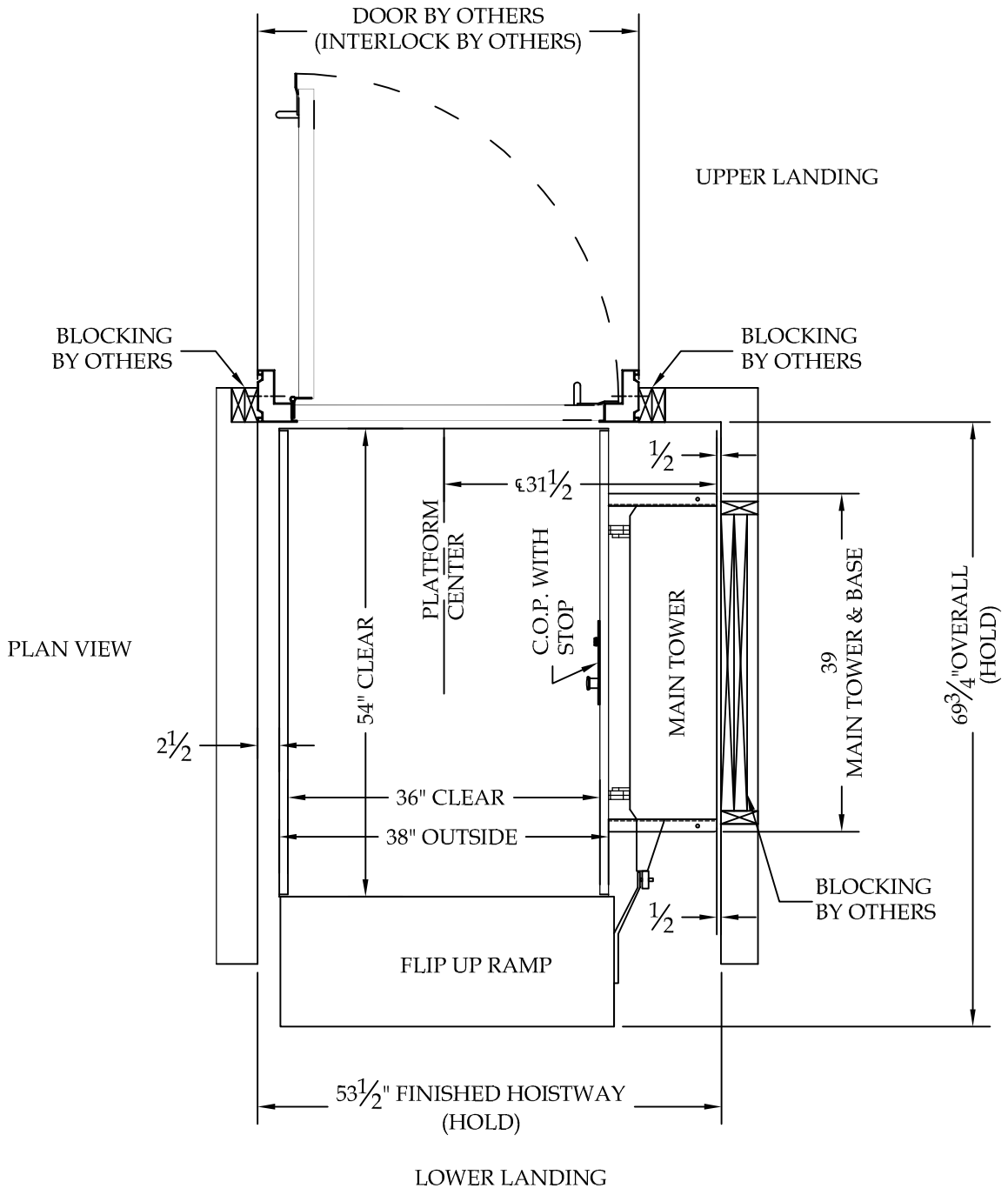
VERTICAL PLATFORM LIFT, MODEL: VPC RL-60			SCALE: N/A
DRAWN BY: RF	DATE: 11/3/20	DRAWING NUMBER: 102820-V04	REV.: 1
JOB INFORMATION: PATERLINE RESIDENCE			

CONSTRUCTION NOTES:

- FLOOR TO BE SMOOTH AND LEVEL, CONSTRUCTED OF 4" CONCRETE MINIMUM WITH 3200 PSI MINIMUM LOAD.
- IF THE CONVEYANCE IS INSTALLED WITHIN A PIT AND IS IN AN OUTDOOR APPLICATION, THE PIT MUST BE PROVIDED WITH AN ADEQUATE DRAIN.
- HOISTWAY WALLS MUST BE PLUMB, SQUARE, AND TURNOVER FINISHED BEFORE UNIT INSTALLATION.
- UPPER AND LOWER DOORS OR GATES MUST BE INSTALLED FLUSH TO THE INTERIOR OF THE HOISTWAY.
- 80 INCH MINIMUM HEAD CLEARANCE IS REQUIRED THROUGHOUT TRAVEL.
- HOISTWAY LIGHTING IS PROVIDED BY OTHERS. 5FTC REQUIRED ON THE PLATFORM SURFACE THROUGHOUT TRAVEL. AN AUXILIARY LIGHT CONSISTING OF NO FEWER THAN 2 LAMPS PRODUCING .2FTC ON THE FLOOR AND CONTROLS FOR NOT LESS THAN 4 HOURS, AND ACTIVATED AUTOMATICALLY IN THE EVENT OF A POWER OUTAGE.
- MAIN TOWER MUST BE FASTENED TO THE WALL AND FLOOR WITH ANCHORS SUITABLE TO THE SITE CONDITIONS, AND CAPABLE TO WITHSTAND THE FORCES PLACED UPON THEM.
- ALL BLOCKING IS PROVIDED BY OTHERS.
- THE DISCONNECT (PROVIDED BY OTHERS) SHALL BE A LISTED DEVICE CONFORMING TO NFPA 70 / NEC 620.51 AND SHALL BE INSTALLED WITHIN SIGHT OF THE MOTOR CONTROLLER. THE DISCONNECTING MEANS SHALL BE EXTERNALLY OPERABLE, HAVE PERMANENT MEANS OF LOCKING THE DEVICE IN THE OPEN POSITION, AND BE LABELED WITH THE LOCATION OF THE SUPPLY SIDE OVERCURRENT PROTECTION MEANS.

FINAL DRAWING
SERIAL NUMBER 28111-V






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symmetry		AREA ACCESS <small>2307 TAZEWELL ST, RICHMOND, VA 23222</small>	
VERTICAL PLATFORM LIFT, MODEL: VPC-RL-60			SCALE: N/A
DRAWN BY: RF	DATE: 11/3/20	DRAWING NUMBER: 102820-V04	REV.: 1
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STANDARD FEATURES				
CAPACITY: 750 LBS.				
SPEED: 20 FPM				
ILLUMINATED EMERGENCY STOP		LED DIAGNOSTICS		
TOP MOUNTED MOTOR AND CONTROLLER		ETL LISTED CONTROLLER		
TOP CAP SWITCH		PLATFORM WITH NON-SLIP SURFACE		
ELECTRICAL DATA				
POWER SUPPLY	VOLTAGE	AMPERAGE	PHASE	
	115	20 AMP	1 PHASE	
DESIGN SPECIFICATIONS				
DRIVE: ACME SCREW, ACCELERATED		LANDINGS SERVICED: 2		
EXIT CONFIGURATION: STRAIGHT THROUGH		TOWER LOCATION: RIGHT HAND		
PIT 0"	TRAVEL: 55"	TOTAL ELEVATION CHANGE: 55"		
UPPER ENTRY: LEFT HAND DOOR BY OTHERS		LOWER ENTRY: N/A		
MID ENTRY: N/A				
INTERLOCKS:	UPPER: B/O	MID: N/A	LOWER: N/A	
CALLS:	UPPER: FLUSH MOUNT	MID: N/A	LOWER: SURFACE MOUNT	
CLEAR FLOOR SIZE: 36" X 54"		WITH NON-SLIP SURFACE		
INDOOR/OUTDOOR: INDOOR				
COLOR: GREY				
OTHER OPTIONAL EQUIPMENT:				
FLIP UP RAMP, SAFETY PAN, CALL/SEND LANDING CONTROLS,				
UPPER: DOOR & INTERLOCK BY OTHERS,				
MAIN STATION & LOWER CALL STATION: TO BE PAINTED GREY, UPPER: VINTAGE BRONZE				
		 symmetry		
		AREA ACCESS <small>2207 TAZEWELL ST, RICHMOND, VA 23222</small>		
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