



**Property** (location of work)

Property Address: 2316 Burton st and 2318 Burton st Current **Zoning:** R-63  
Historic District: Union Hill

Application is submitted for: (check one)

- Alteration
- Demolition
- New Construction

**Project Description** (attach additional sheets if needed):

Build single family attached townhouse dwelling

**Applicant/Contact Person:** Stanislav Lobkov

Company: \_\_\_\_\_  
Mailing Address: 4501 Patterson  
City: Richmond State: VA Zip Code: 23221  
Telephone: (347) 4469445  
Email: stan.lv1988@gmail.com  
Billing Contact? Yes  Applicant Type (owner, architect, etc.): Owner

**Property Owner:** Stanislav Lobkov

If Business Entity, name and title of authorized signee: \_\_\_\_\_  
Mailing Address: 4501 Patterson ave  
City: Richmond State: VA Zip Code: 23221  
Telephone: (347) 4469445  
Email: stan.lv1988@gmail.com  
Billing Contact? Yes   
**\*\*Owner must sign at the bottom of this page\*\***

**Acknowledgement of Responsibility**

**Compliance:** If granted, you agree to comply with all conditions of the certificate of appropriateness (COA). Revisions to approved work require staff review and may require a new application and approval from the Commission of Architectural Review (CAR). Failure to comply with the conditions of the COA may result in project delays or legal action. The COA is valid for one (1) year and may be extended for an additional year, upon written request and payment of associated fee.

**Requirements:** A complete application includes all applicable information requested on checklists available on the CAR website to provide a complete and accurate description of existing and proposed conditions, as well as payments of the application fee. Applications proposing major new construction, including additions, should meet with staff to review the application and requirements prior to submitting. Owner contact information and signature is required. Late or incomplete applications will not be considered.

**Zoning Requirements:** Prior to Commission review, it is the responsibility of the applicant to determine if zoning approval is required. Application materials should be prepared in compliance with zoning.

Property Owner Signature:  Date: 11/27/2023

# Certificate of Appropriateness Application Instructions

Staff Contact: (804)-646-6569 | [alex.dandridge@rva.gov](mailto:alex.dandridge@rva.gov)

## Before You Submit

In advance of the application deadline, please contact staff to discuss your project, application requirements, and if necessary, to make an appointment to meet with staff for a project consultation. The CAR website has additional project guidance and required checklists: [www.rva.gov/planning-development-review/commission-architectural-review](http://www.rva.gov/planning-development-review/commission-architectural-review).

**Application deadlines are firm.** All materials must be submitted by the deadline to be considered at the following Commission meeting. Designs must be final at the time of application; revisions will not be accepted after the deadline. Incomplete and/or late applications will not be placed on that month's agenda.

## Submission Requirements

Please submit applications to staff via email with the project address in the subject line. Submit the following items via email to staff:

- One (1) signed and completed application (PDF) – property owner signature required.
- Supporting documentation, as indicated on the [checklist](#), which can be found under the 'Application Information' tab on the website.
- Payment of application fee, if required. Payment of the fee must be received before the application will be scheduled. An invoice will be sent via the City's Online Permit Portal. Please see [fee schedule](#) available on the CAR website for additional information.

A complete application includes a signed application form, legible plans, drawings, elevations, material specifications, and payment of the required fee as described in the City Code of Ordinances Sec. 30-930.6(b). The Commission will not accept new materials, revisions, or redesigns at the meeting. Deferral until the following month's meeting may be necessary in such cases to allow for adequate review by staff, Commissioners, and public notice, if required.

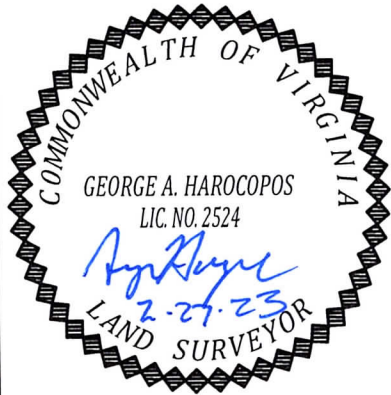
## Meeting Information and Application Due Dates

- The Commission meets on the fourth Tuesday of each month, except for December when it meets on the third Tuesday.
- Application hearings start at 4:00pm. Meetings are held in person at City Hall in the 5<sup>th</sup> floor conference room. Participation via Microsoft Teams is available. It is strongly recommended that at least one person, either the owner or applicant, attend the meeting in person.
- All applications are due at 12 noon the Friday after the monthly CAR meeting, except in December, when applications are due the following Monday. For a list of meeting dates and submission deadline dates for each meeting please visit [www.rva.gov/planning-development-review/commission-architectural-review](http://www.rva.gov/planning-development-review/commission-architectural-review) or contact staff.
- Revisions to applications that have been deferred or conceptually reviewed at a CAR meeting can be submitted nine (9) business days after that meeting in order to be reviewed at the following meeting. Please contact staff to confirm this date.
- New construction will be required to go through a conceptual review. The conceptual review is non-binding.
- Applicants are encouraged to reach out to any relevant civic associations and immediate neighbors for new construction or large-scale projects prior to submitting to the Commission of Architectural Review.

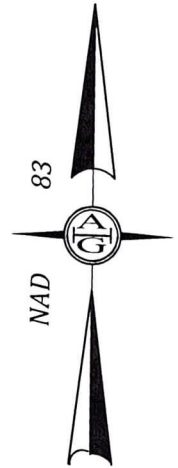
This is to certify that on 2/27/23  
 I made an accurate field survey of the known premises shown hereon; that all improvements known or visible are shown hereon; that there are no encroachments by improvements either from adjoining premises, or from subject premises upon adjoining premises, other than shown hereon.

NOTE: THIS LOT APPEARS TO BE IN FEMA FLOOD ZONE X AS SHOWN ON HUD COMMUNITY PANEL NUMBERS 5101290041E

NOTE: This survey has been prepared without the benefit of a title report and does not therefore necessarily indicate all encumbrances on the property.



LINE	BEARING	DISTANCE
L1	S 87°57'55" W	16.18'
L2	S 87°57'55" W	16.18'
L3	N 01°45'30" W	40.42'
L4	N 87°57'55" E	16.16'
L5	N 87°57'55" E	16.16'
L6	S 01°48'27" E	40.42'
L7	N 01°46'58" W	40.42'



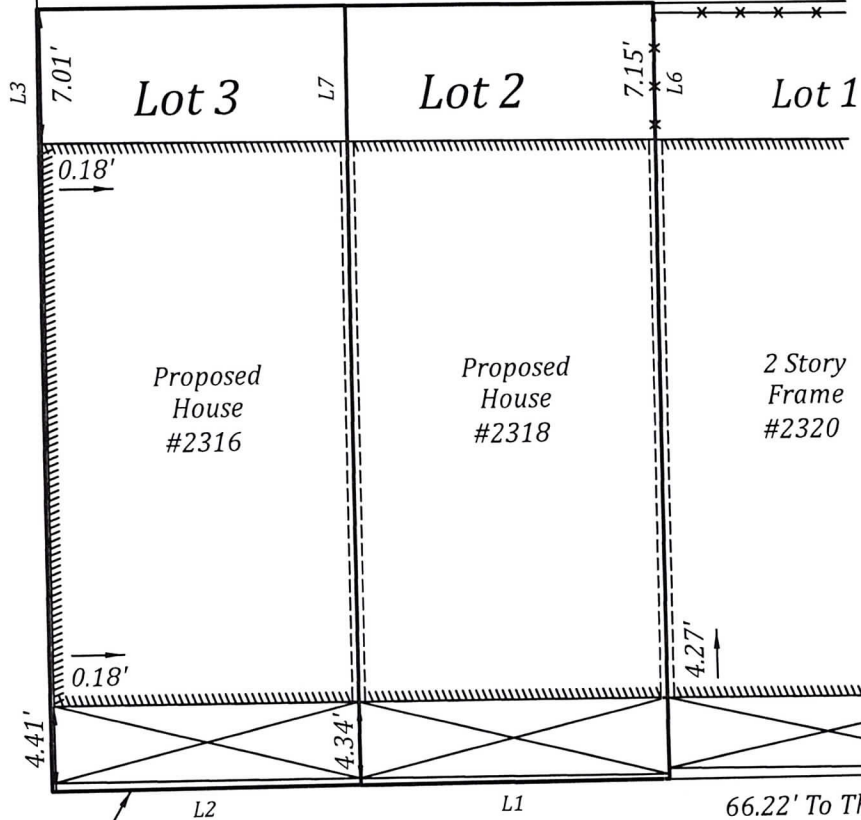
10' Public Alley

E0000427009  
 Lucas Mallory  
 ID 2020-14378  
 Zoned R-63  
 #2317  
 Venable St

E0000427028  
 Colby Casolaro  
 ID 2019-12528  
 Zoned R-63  
 #2319  
 Venable St

L4 3.0' Private Alley L5

E0000427020  
 Nest Builders LLC  
 ID 2019-11536  
 Zoned R-63  
 #2314 Burton St



66.22' To The W/L Of Pink Street

Limits Of Silt Fence And Area Of Disturbance To Be The Limits Of Lots 2 And 3 Containing 1308 Sq. Feet 0.030 Acres

# BURTON STREET

32' +/- PUBLIC RIGHT OF WAY

SURVEY OF LOTS 2 AND 3

JN 50262

#2320 BURTON STREET SUBDIVISION  
 RICHMOND, VIRGINIA

A. G. HAROCOPOS & ASSOCIATES, P.C.

CERTIFIED LAND SURVEYOR AND CONSULTANT

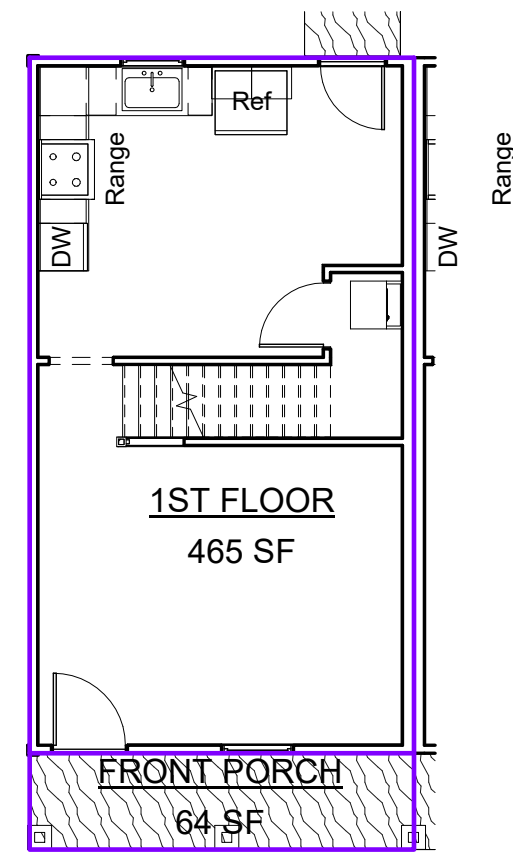
4920 E. MILLRIDGE PKWY. SUITE 200 MIDLOTHIAN VA. 23112  
 Office 804 744 2630 FAX 804 744 2632  
 E-MAIL AGHAROCOPOS72@GMAIL.COM

NOTE: PLAT PREPARED FOR THE EXCLUSIVE USE OF JEFFREY JAMALEDINE

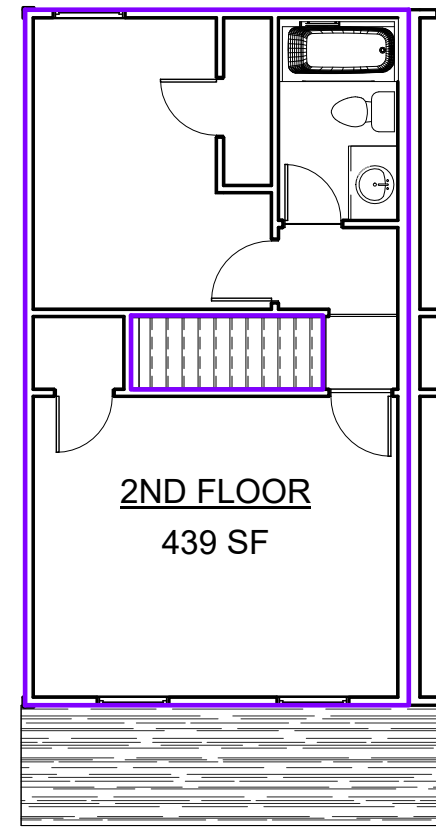
Scale 1"=10' Date 2/27/23 Drawn by GAH

Sheet List	
Sheet Number	Sheet Name
A1	COVER AND ELEVATIONS
A2	FOUNDATION AND FRAMING
A3	FIRST FLOOR AND FRAMING
A4	SECOND FLOOR AND FRAMING
A5	SECTIONS AND ROOF PLAN
A6	DETAILS
A7	GENERAL FIREWALL DETAILS
A8	WIND BRACING DIAGRAM

SQUARE FOOTAGE-1 UNIT	
Name	Area
1ST FLOOR	465 SF
2ND FLOOR	439 SF
FRONT PORCH	64 SF



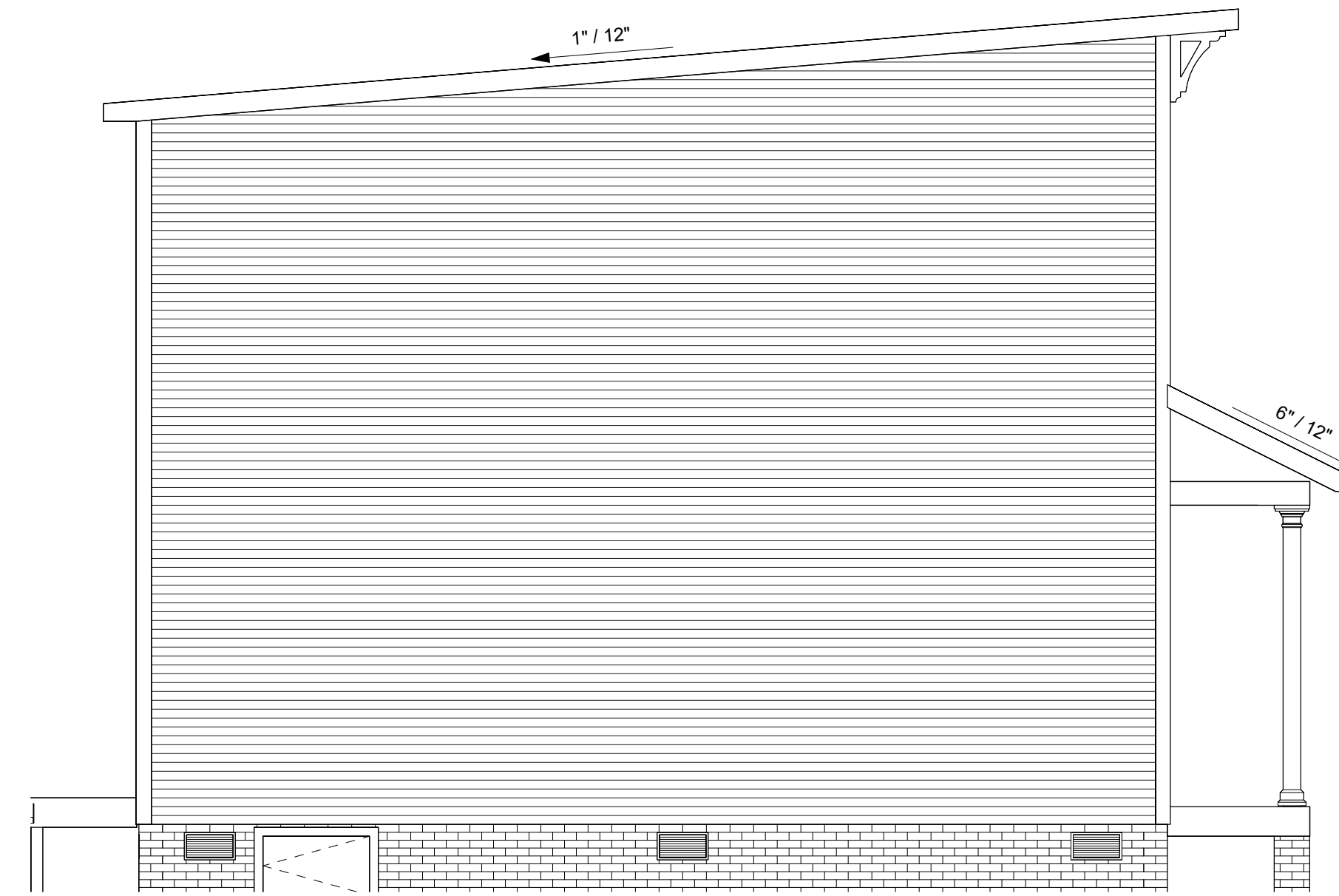
④ 1ST FLOOR  
1/8" = 1'-0"



⑤ 2ND FLOOR  
1/8" = 1'-0"



① FRONT ELEVATION  
1/4" = 1'-0"

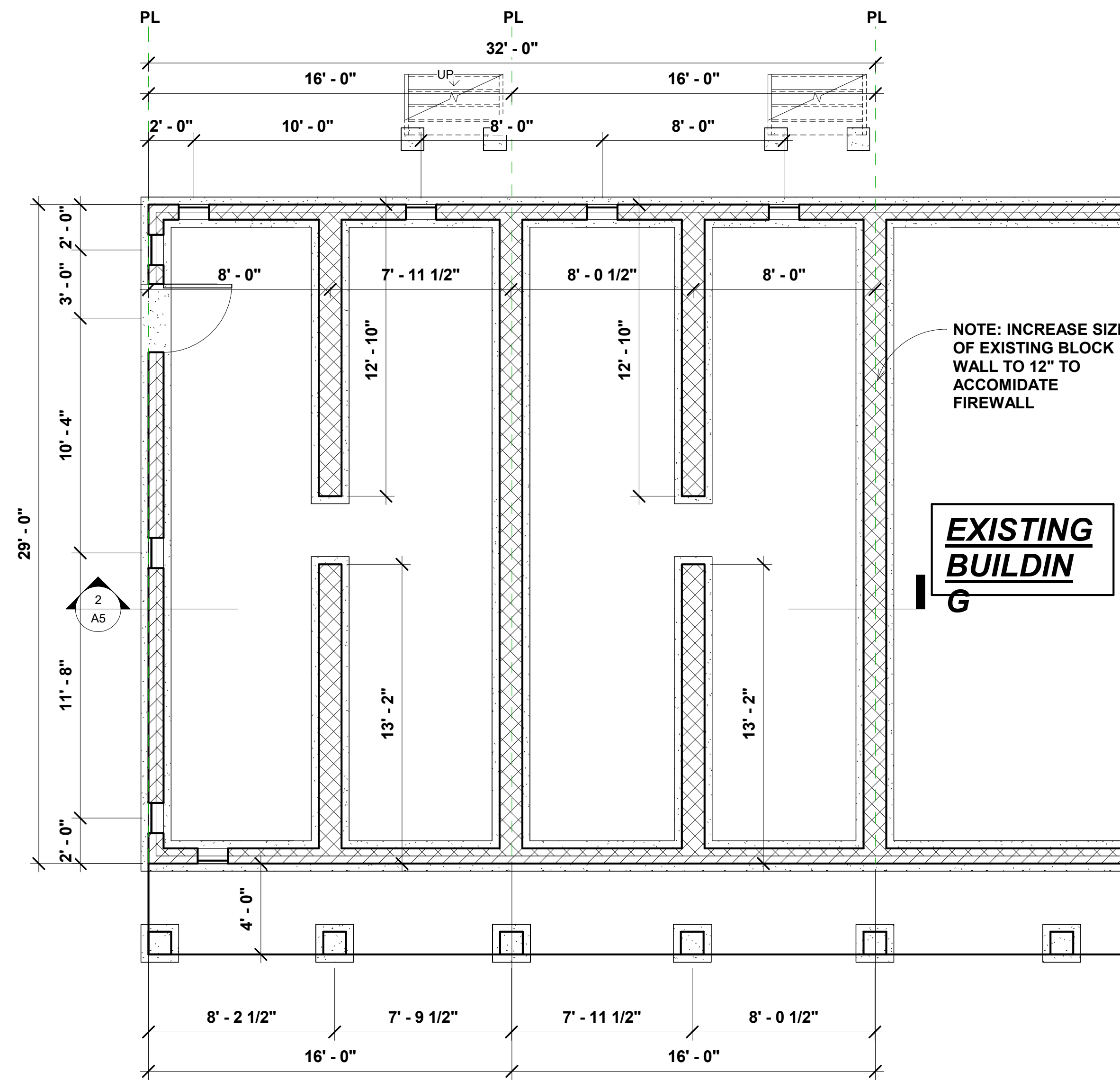


② LEFT ELEVATION  
1/4" = 1'-0"

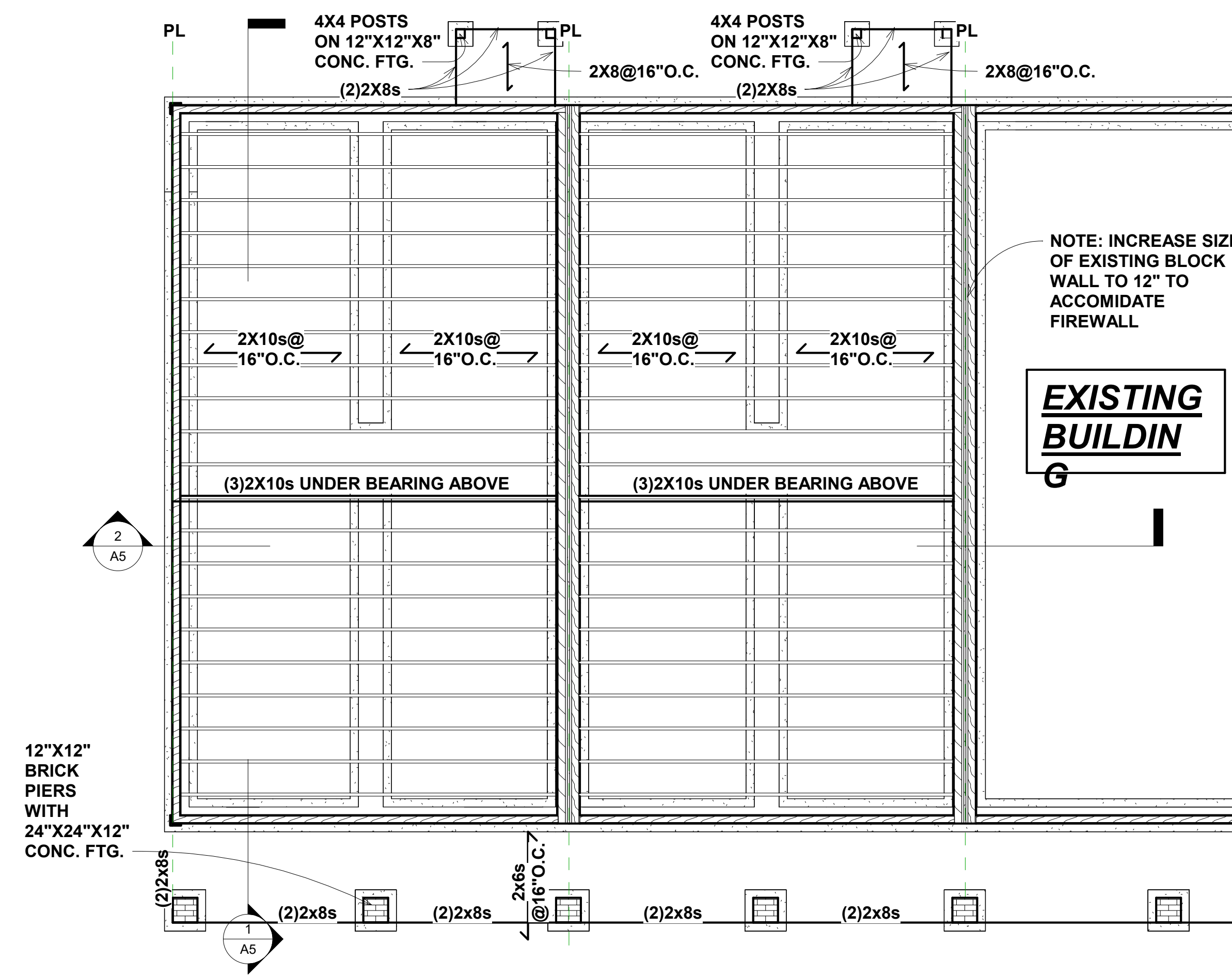


③ REAR ELEVATION  
1/4" = 1'-0"

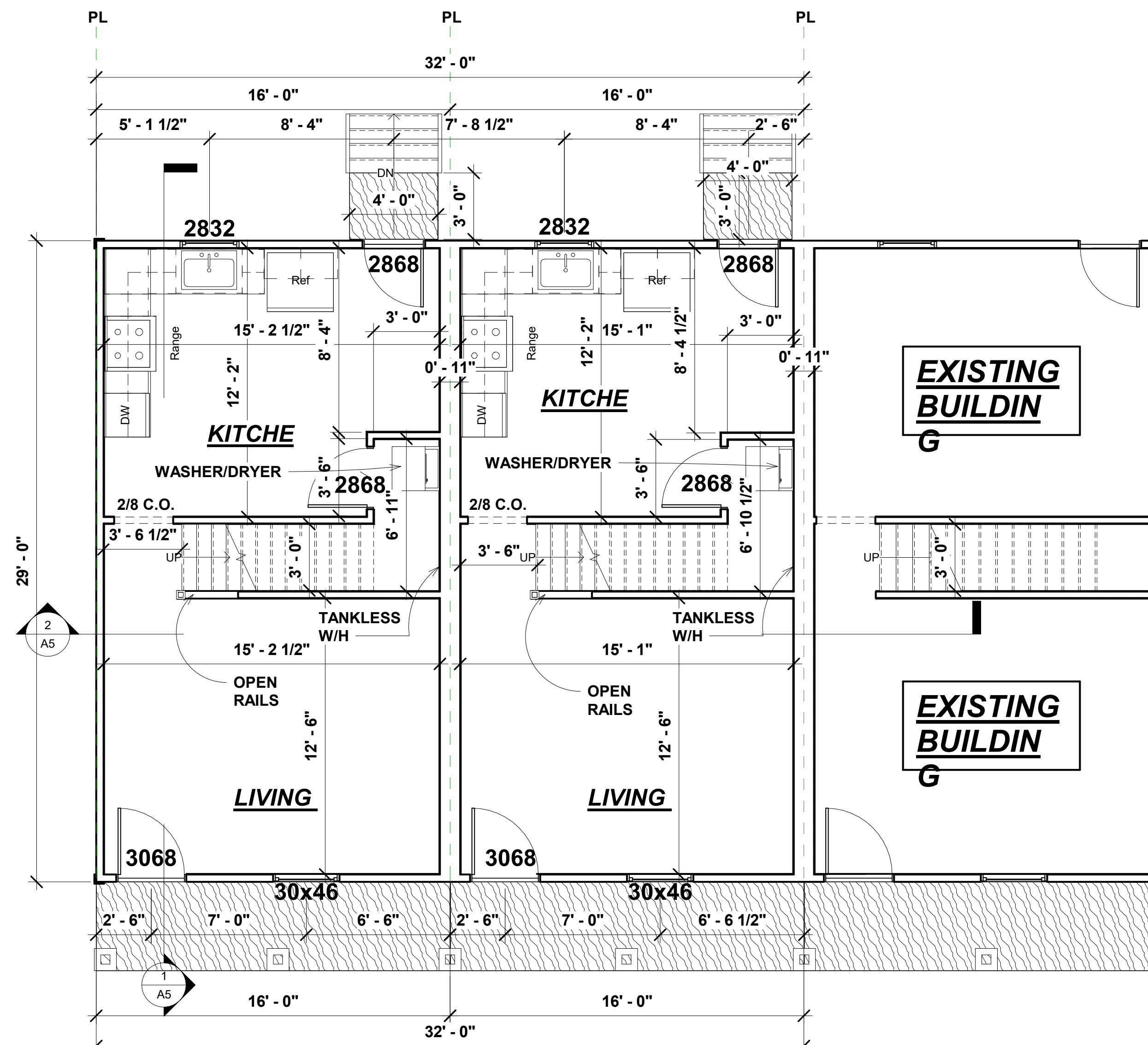




① FOUNDATION  
 1/4" = 1'-0"

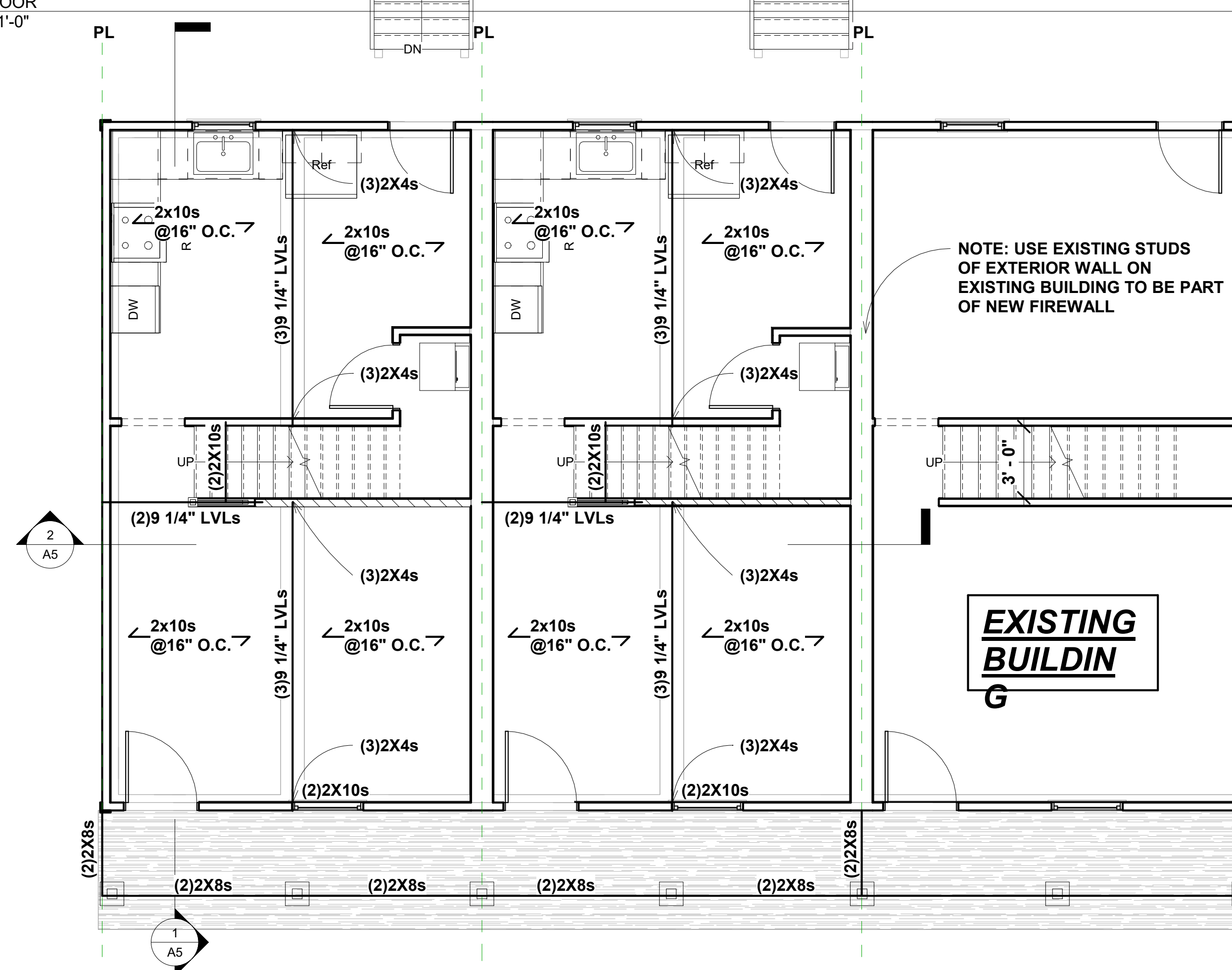


② FOUNDATION FRAMING  
 1/4" = 1'-0"

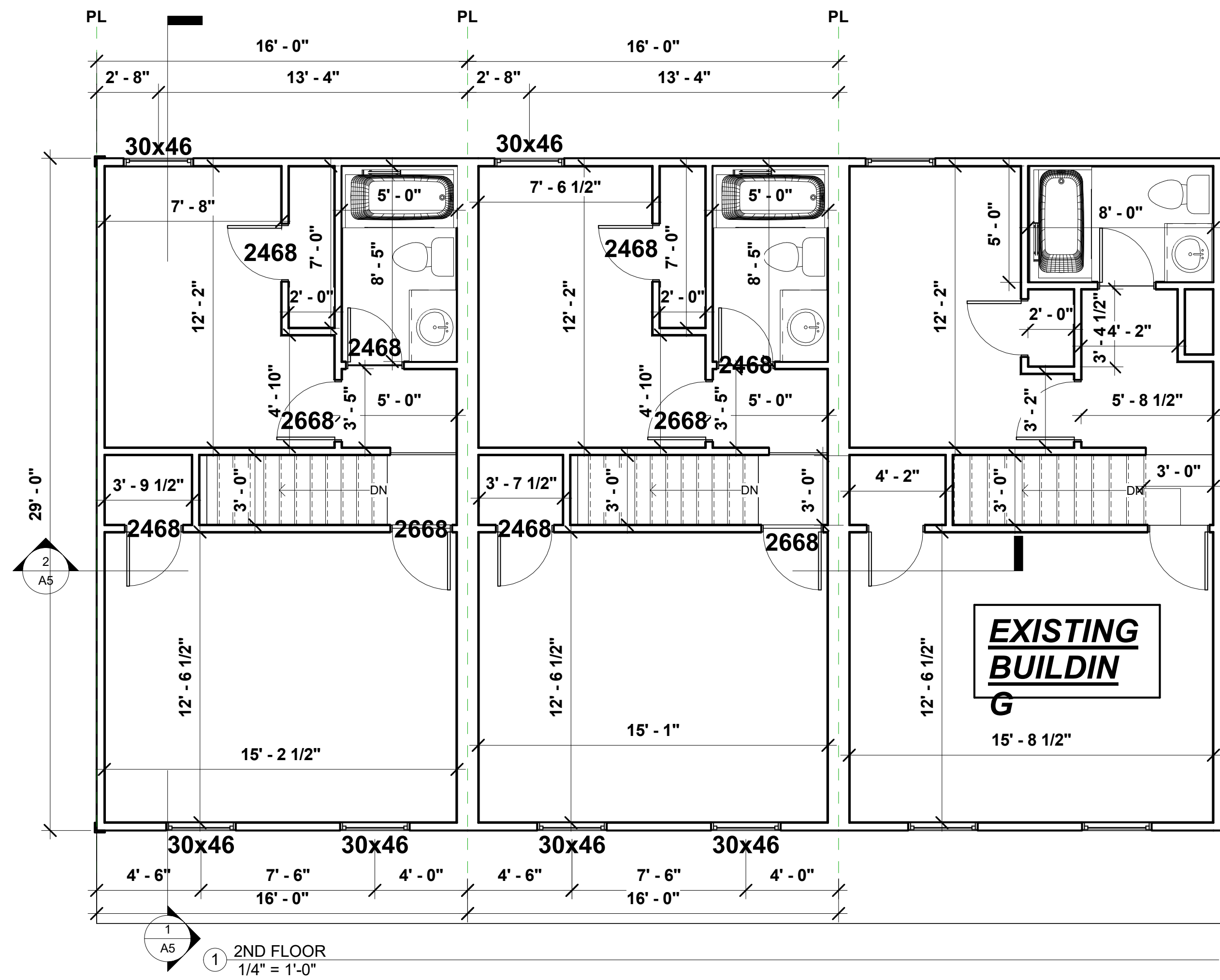


① 1ST FLOOR  
1/4" = 1'-0"

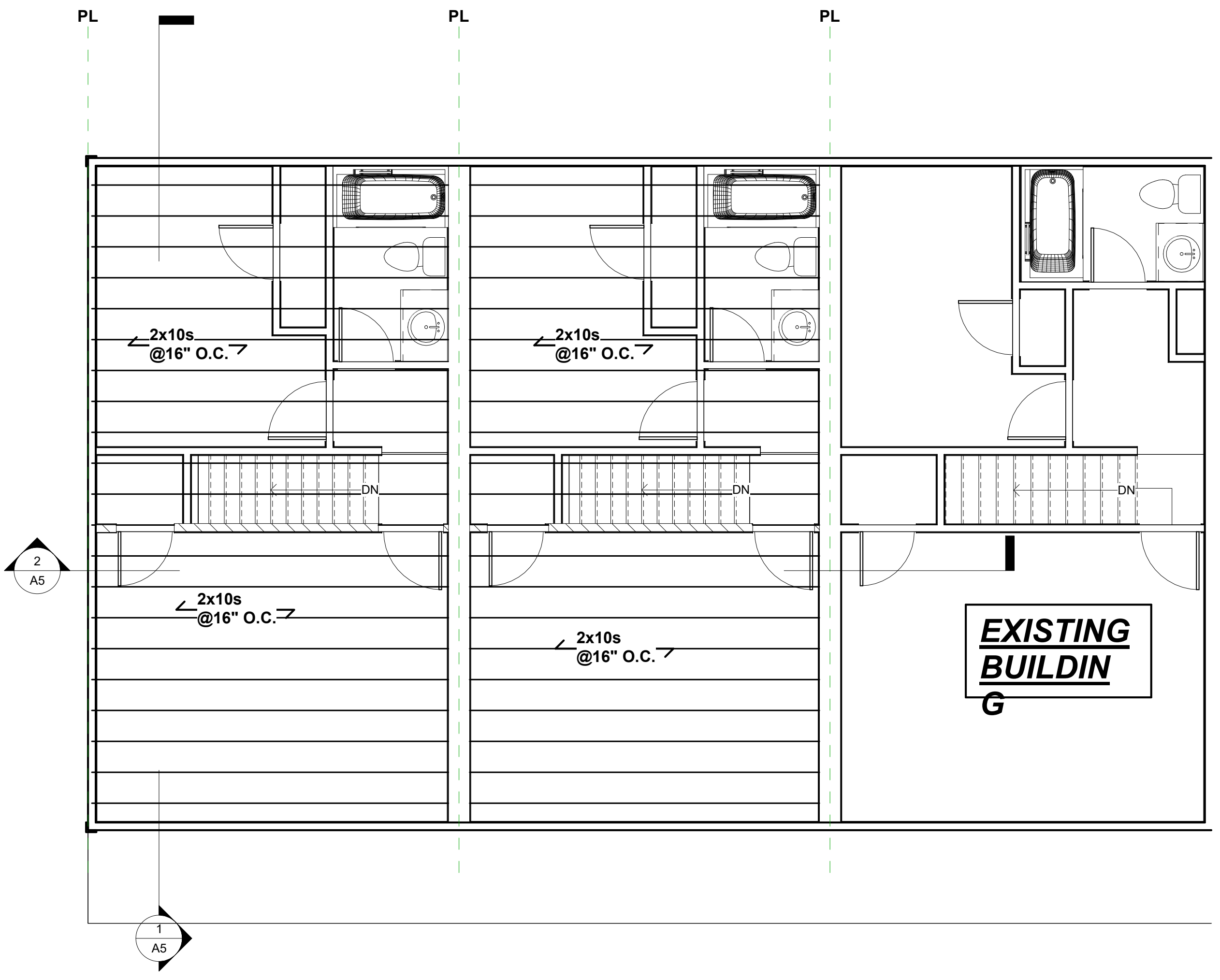
NOTES:  
 - ALL DIMENSIONS ARE SHOWN TO BE FROM THE FACE OF THE STUD  
 - THIS PLAN DESIGNED UNDER VRC 2015 CODE.  
 - ALL WINDOW AND DOOR HEADERS ARE (2)2X8s UNLESS OTHERWISE NOTED.  
 - ALL POSTS ARE (2)2X4s UNLESS OTHERWISE NOTED.  
 - FIRST FLOOR CEILINGS 9'  
 - SECOND FLOOR CEILINGS 8'  
 - KEEP JOISTS CLEAR OF TOILET DRAIN.

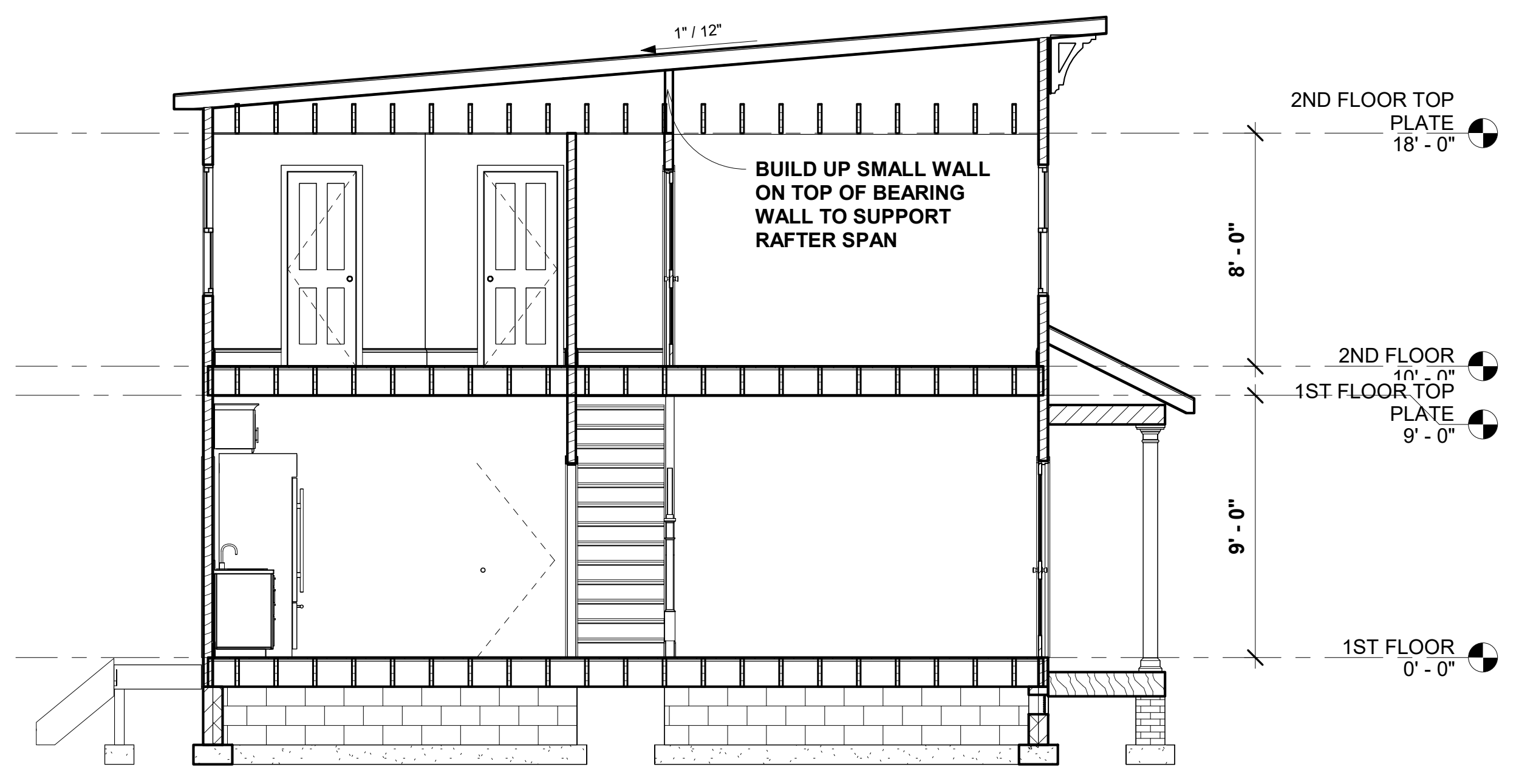


② 1ST FLOOR FRAMING  
1/4" = 1'-0"

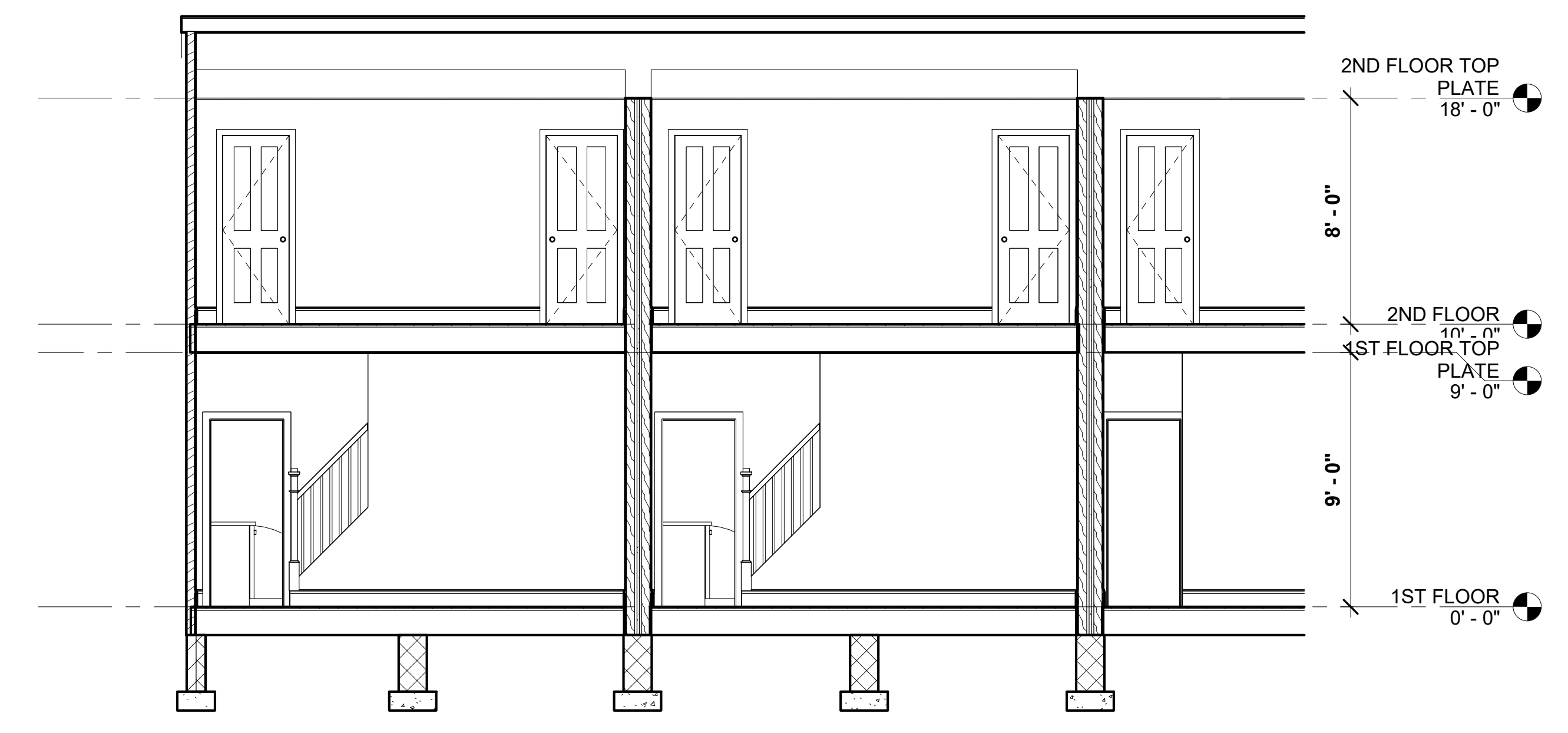


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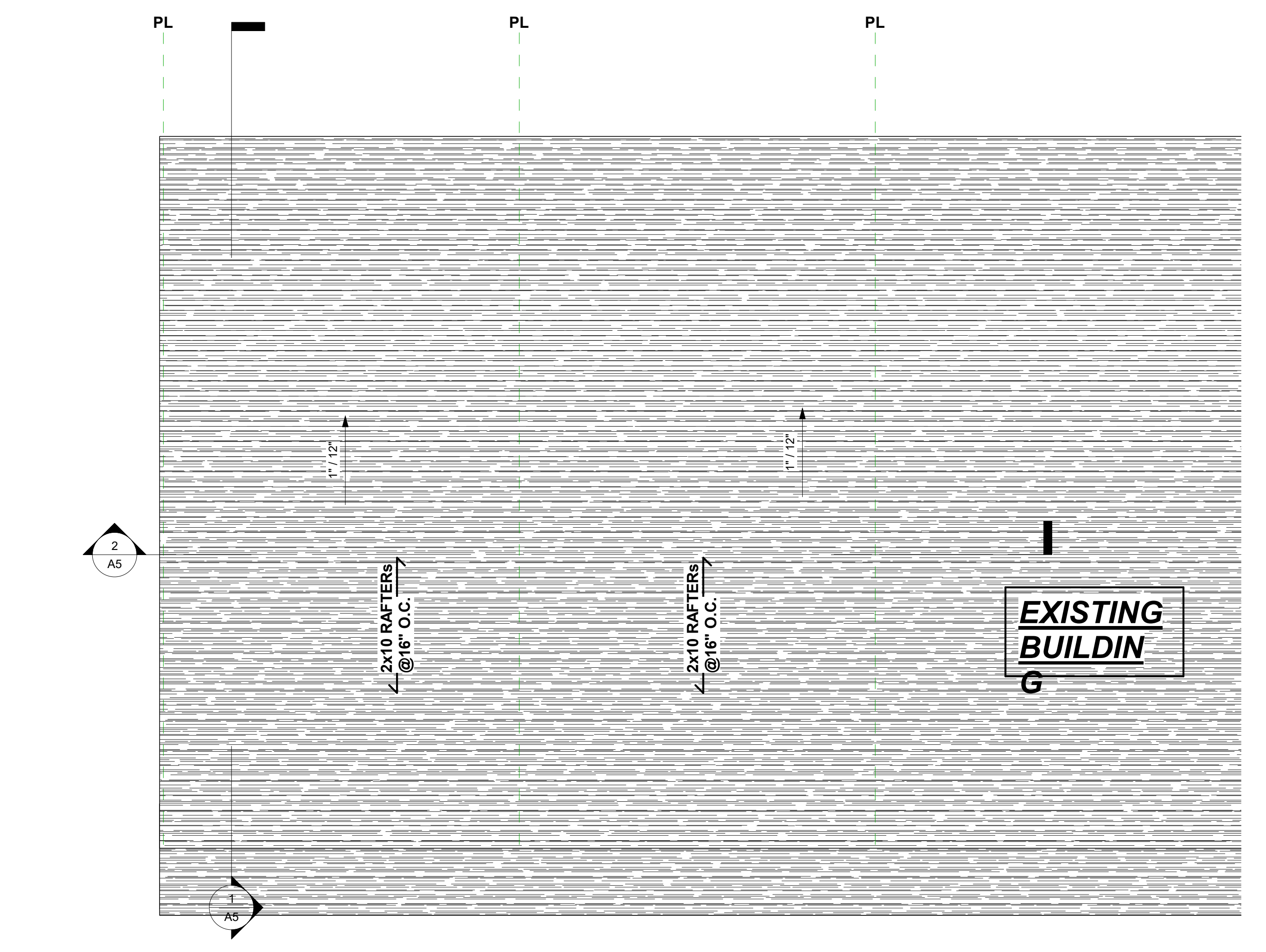




1 Section 1  
 1/4" = 1'-0"

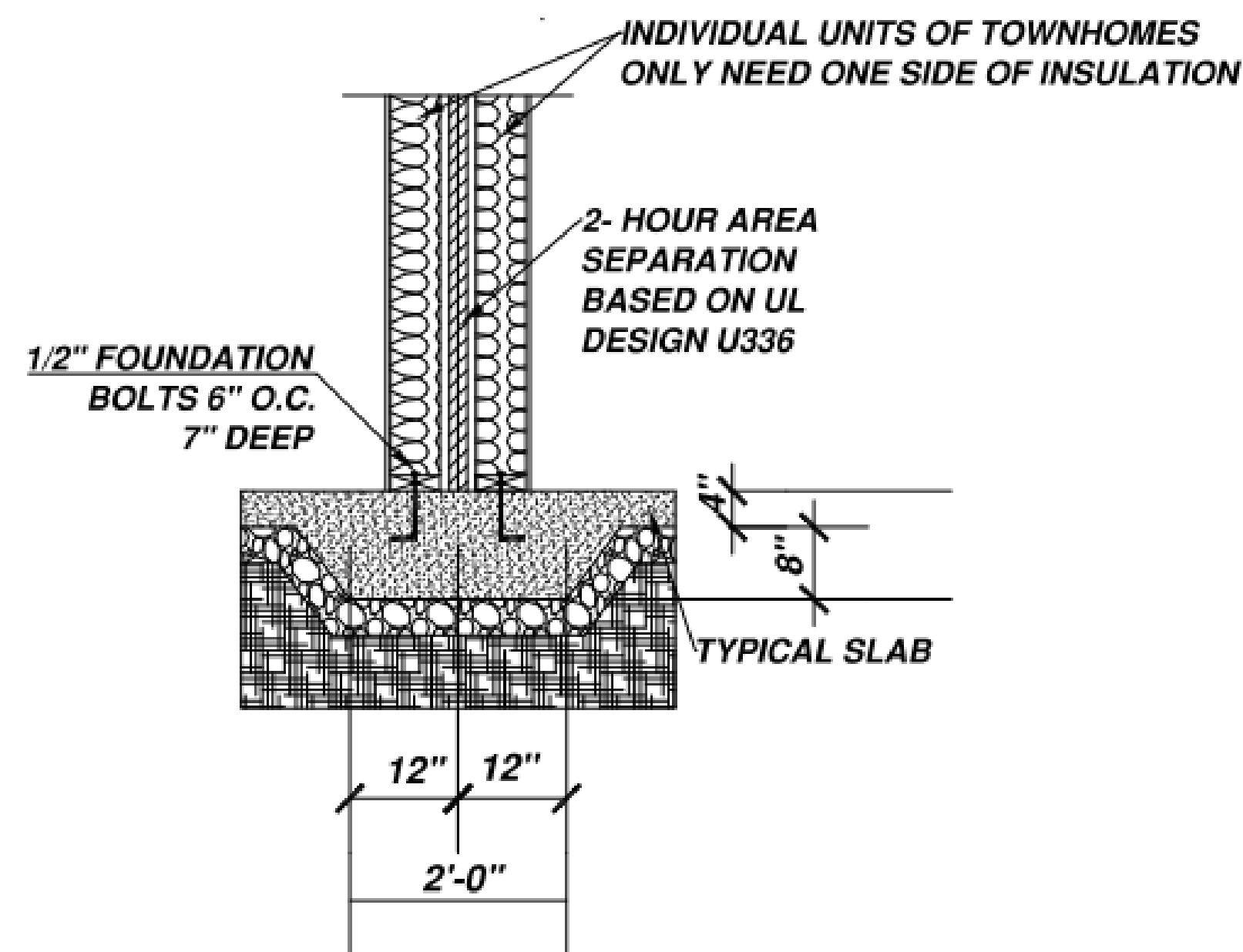


2 Section 2  
 1/4" = 1'-0"

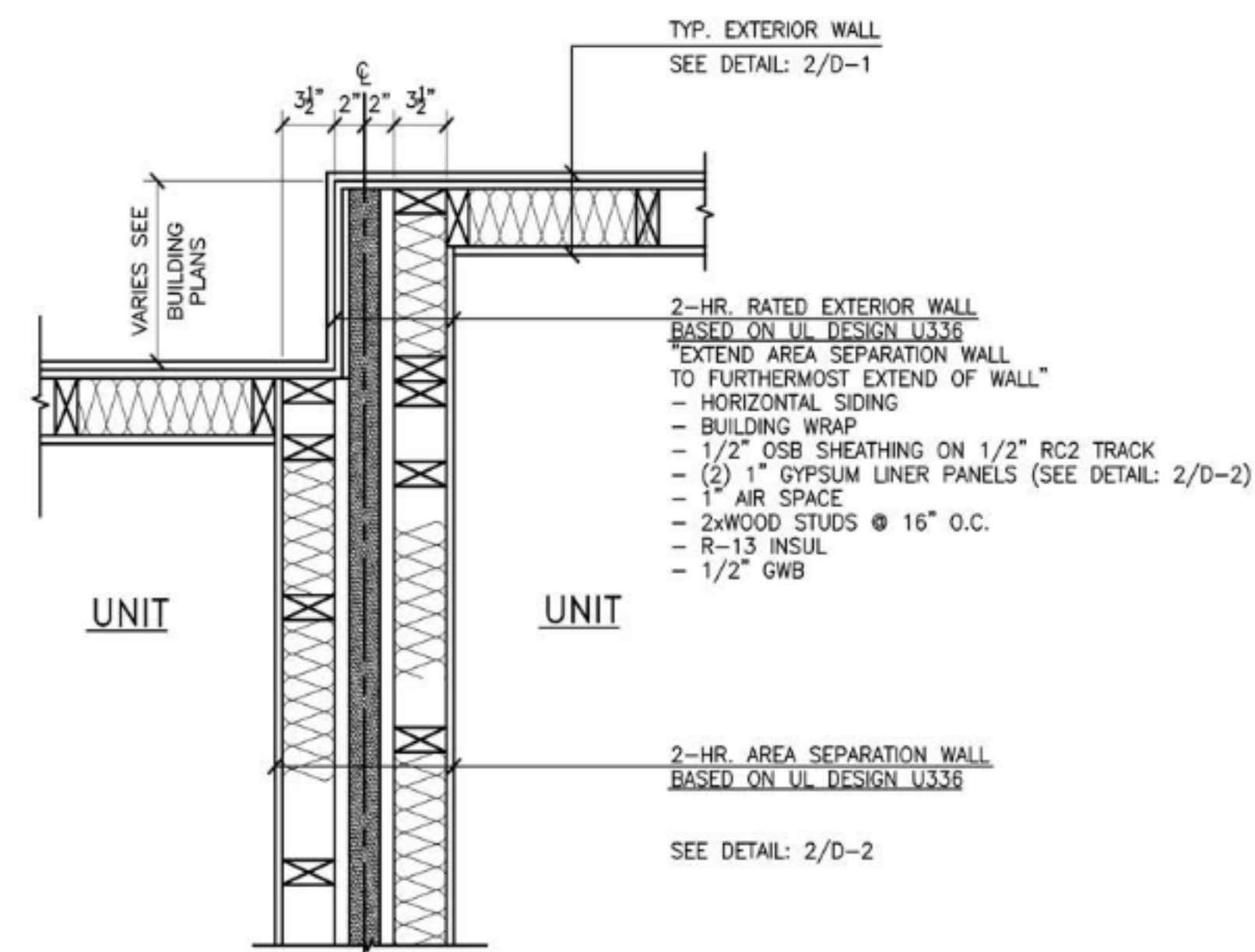


3 ROOF PLAN  
 1/4" = 1'-0"

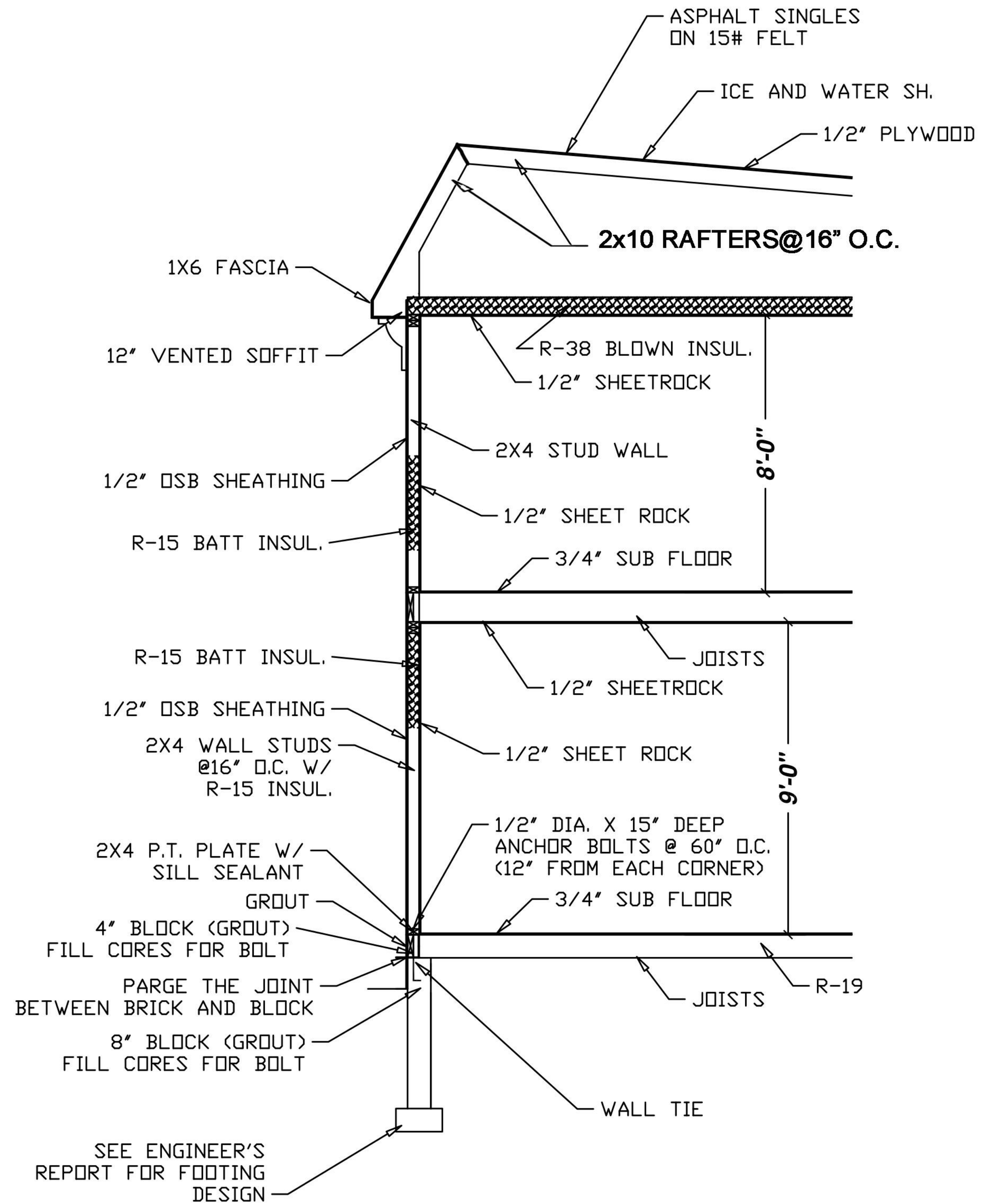




**DETAIL S2**  
SCALE- NTS



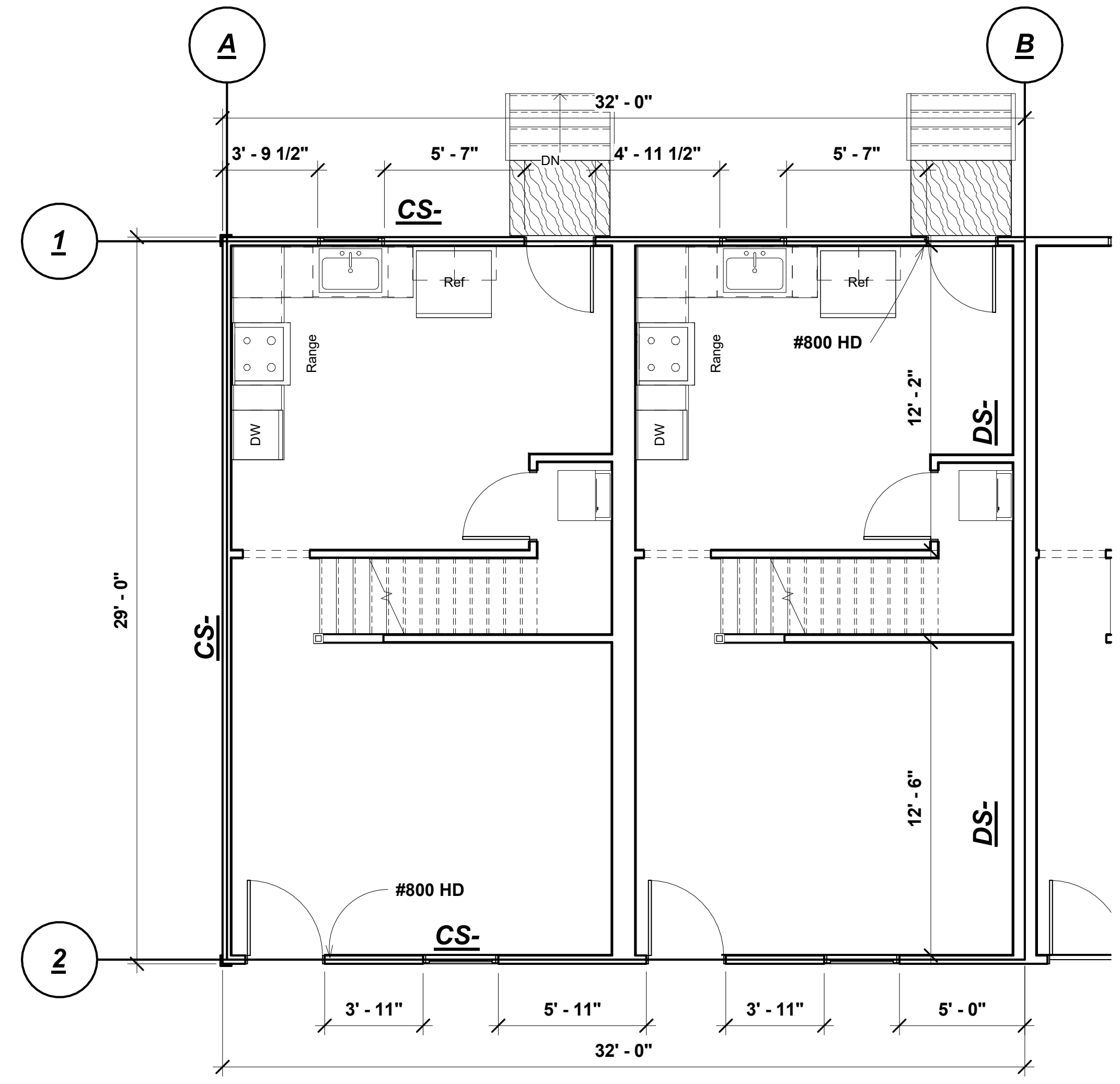
6 **DETAIL: PLAN: 2-HOUR AREA SEPARATION WALL**  
OFFSET CONDITION  
SCALE: N.T.S.



# WALL SECTION

## SCALE N.T.S.





① WIND BRACING DIAGRAM  
1/4" = 1'-0"