



# City of Richmond Department of Planning & Development Review

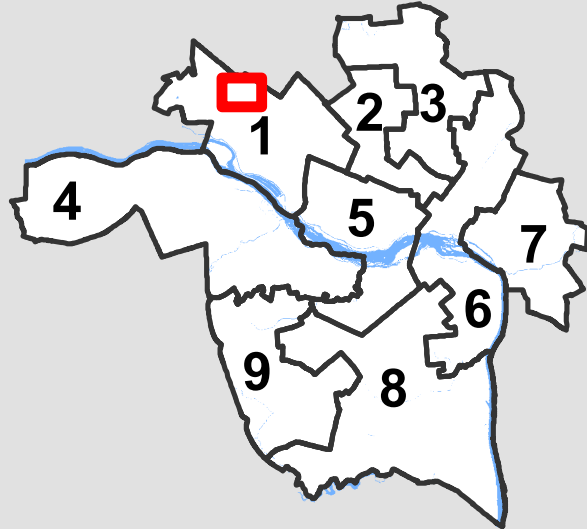
## Final Location, Character & Extent Review

### LOCATION:

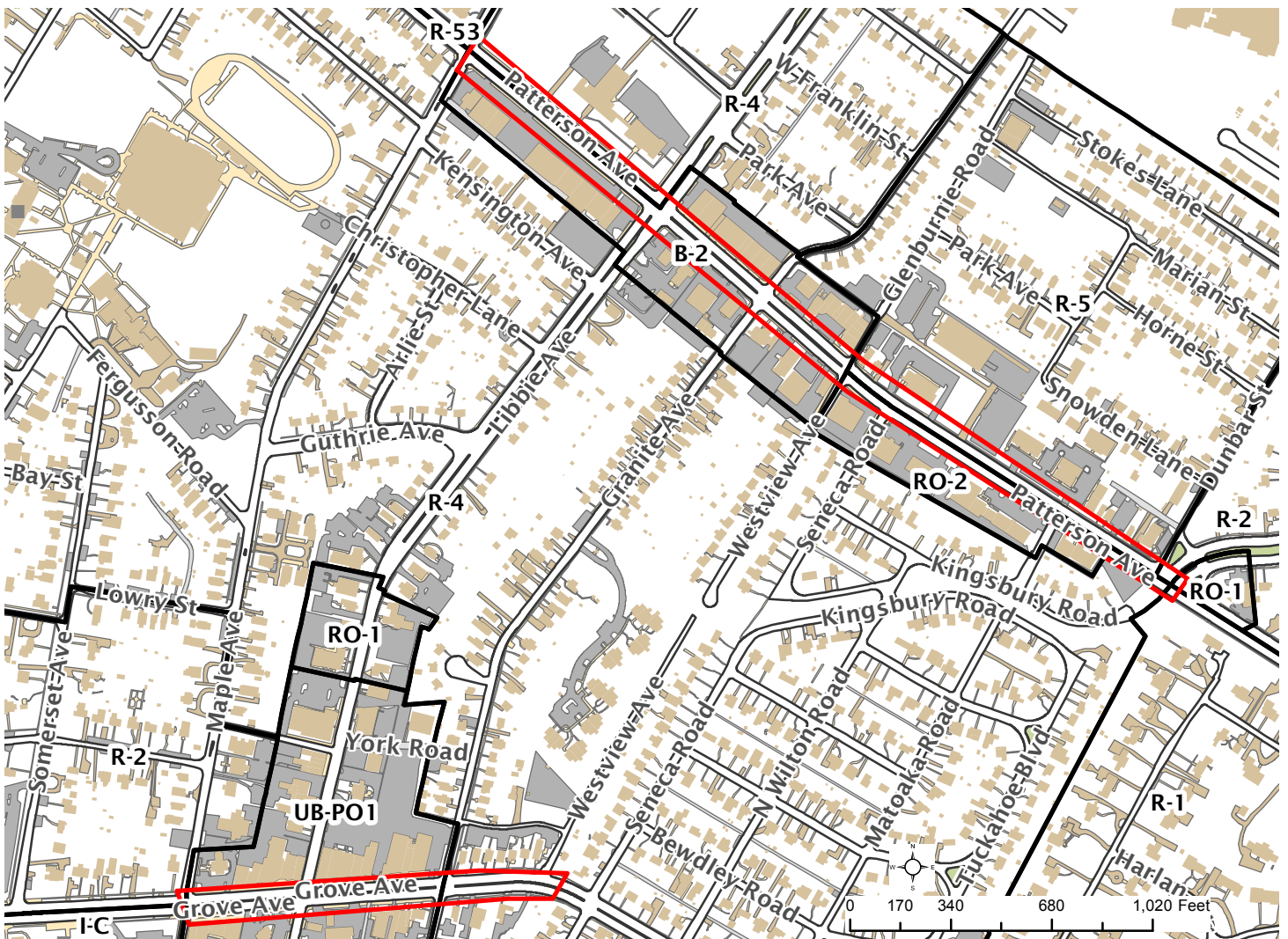
Patterson Ave. (between Maple Ave. & Willow Lawn Dr.);  
Grove Ave. (between Maple Ave. & Westview Ave.)

### COUNCIL DISTRICT: 1

PROPOSAL: Final Location, Character and Extent review of  
Westhampton Streetscape Improvements



For questions, please contact Josh Son  
at 646-3741 or [joshua.son@richmondgov.com](mailto:joshua.son@richmondgov.com)





## Application for URBAN DESIGN COMMITTEE Review

Department of Planning and Development Review  
Planning & Preservation Division  
900 E. Broad Street, Room 510  
Richmond, Virginia 23219  
(804) 646-6335

<http://www.richmondgov.com/CommitteeUrbanDesign>

### Application Type

Addition/Alteration to Existing Structure  
 New Construction  
 Streetscape  
 Site Amenity

Encroachment  
 Master Plan  
 Sign  
 Other

### Review Type

Conceptual  
 Final

Project Name: WESTHAMPTON STREETScape IMPROVEMENTS - PATTERSON & GROVE AVE.

Project Address: PATTERSON AVE - MAPLE AVE. TO WILLOW LAWN DR.; GROVE AVE. - MAPLE AVE. TO WESTVIEW AVE.

Brief Project Description (this is not a replacement for the required detailed narrative) : \_\_\_\_\_

THE PROJECT IS TO PROVIDE STREETScape IMPROVEMENTS ON PATTERSON AVE. FROM MAPLE TO WILLOW LAWN AVE.

AND GROVE AVE. FROM MAPLE TO WESTVIEW AVE., INCLUDES ORNAMENTAL LIGHTS, SITE FURNISHINGS, BANNERS AND AREA IDENTIFICATION SIGNS, STREET TREES, DECORATIVE SIDEWALK PAVING, STRIPING CROSSWALKS AND PARKING LANES.

### Applicant Information

(on all applications other than encroachments, a City agency representative must be the applicant)

Name: Yongping Wang Email: yongping.wang@richmondgov.com

City Agency: Public Works Phone: 646-2467

Address: 900 E. Broad St. RM#603, Richmond, VA 223219

Main Contact (if different from Applicant): \_\_\_\_\_

Company: \_\_\_\_\_ Phone: \_\_\_\_\_

Email: \_\_\_\_\_

### Submittal Deadlines

All applications and support materials must be filed no later than 21 days prior to the scheduled meeting of the Urban Design Committee (UDC). Please see the schedule on page 3 as actual deadlines are adjusted due to City holidays. **Late or incomplete submissions will be deferred to the next meeting.**

### Filing

Applications can be mailed or delivered to the attention of "Urban Design Committee" at the address listed at the top of this page. **It is important that the applicant discuss the proposal with appropriate City agencies, Zoning Administration staff, and area civic associations and residents prior to filing the application with the UDC.**

### UDC Background

The UDC is a ten member committee created by City Council in 1968 whose purpose is to advise the City Planning Commission on the design of projects on City property or right-of-way. The UDC provides advice of an aesthetic nature in connection with the performance of the duties of the Commission under Sections 17.05, 17.06 and 17.07 of the City Charter. The UDC also advises the Department of Public Works in regards to private encroachments in the public right-of-way.



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### Submission Requirements

- 10 copies of the application cover sheet and all support materials (see below), unless the application is for an encroachment, in which case only 6 copies are required. Plan sheets should be 11" x 17", folded to 8 1/2" x 11". If it is not possible to scale plans to these dimensions, please provide one set of larger, scaled plans.
- An electronic copy (PDF preferred) of all application materials, which can be burned to disc, emailed, or delivered by FTP.

All applications must include the attached cover sheet and the following support materials, as applicable to the project:

#### For Conceptual Review

- A detailed project narrative which includes the following: purpose of the project, project background, project budget and funding sources, description of construction program and estimated construction start date (description should also provide information on the surrounding area to provide context).
- A site plan for the project indicating site characteristics which include: building footprints, parking areas, pedestrian routes, recreation areas, open areas and areas of future expansion.
- A set of floor plans and elevations, as detailed as possible.
- A landscaping plan which shows the general location and character of plant materials and notes any existing tree to be removed.

#### For Final Review

- A detailed project narrative which includes the following: purpose of the project, project background, project budget and funding sources, description of construction program and estimated construction start date (description should also provide information on the surrounding area to provide context).
- A site plan for the project indicating site characteristics which include: building footprints, parking areas, pedestrian routes, recreation areas, open areas and areas of future expansion.
- A set of floor plans and elevations, as detailed as possible.
- A landscaping plan that includes a complete plant schedule, the precise location of all plant materials, and a landscape maintenance analysis. The plant schedule must show number, size and type of each planting proposed. If existing trees are to be removed, their size, type and location must be noted on the landscape plan.
- The location of all lighting units should be noted on a site plan, including wall-mounted, site and parking lot lighting. Other site details, such as benches, trash containers and special paving materials, should also be located. Include specification sheets for each item.
- Samples of all proposed exterior building materials, including but not limited to brick, mortar, shingles, siding, glass, paint and stain colors. When an actual sample cannot be provided, a product information sheet that shows the item or a photo of an existing item may be substituted.

### Review and Processing

Once an application is received, it is reviewed by staff, who compiles a report that is sent to the UDC. A copy of the report and the meeting agenda will be sent to the applicant prior to the meeting. The applicant or a representative should be present at the UDC meeting or the application may be deferred to the next regularly scheduled meeting. It is also strongly suggested that a representative of the City Agency which will have final responsibility for the item be present at the meeting (if the applicant and the representative are not the same). Once the UDC recommends action on the application, it is automatically placed on the agenda for the next City Planning Commission (CPC) meeting. An exception to this is encroachment applications, recommendations for which are forwarded to the Department of Public Works. The applicant or a representative must be present at the CPC meeting or the application may be deferred to the next regularly scheduled meeting.



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### MEETING SCHEDULE 2015-2016

UDC Meetings	UDC Submission Deadlines	Anticipated Date of Planning Commission Following the UDC Meeting
December 10, 2015	November 12, 2015*	January 4, 2016
January 7, 2016	December 10, 2015**	January 19, 2016 <sup>1</sup>
February 4, 2016	January 14, 2016	February 16, 2016 <sup>2</sup>
March 10, 2016	February 18, 2016	March 21, 2016
April 7, 2016	March 17, 2016	April 18, 2016
May 5, 2016	April 14, 2016	May 16, 2016
June 9, 2016	May 19, 2016	June 20, 2016
July 7, 2016	June 16, 2016	July 18, 2016
August 4, 2016	July 14, 2016	September 6, 2016 <sup>3</sup>
September 8, 2016	August 18, 2016	September 19, 2016
October 6, 2016	September 15, 2016	October 17, 2016
November 10, 2016	October 20, 2016	November 21, 2016
December 8, 2016	November 10, 2016*	January 3, 2017 <sup>4</sup>

<sup>1</sup> Monday, January 18<sup>th</sup> is a City of Richmond Holiday

<sup>2</sup> Monday, February 15<sup>th</sup> is a City of Richmond Holiday

<sup>3</sup> Monday, September 5<sup>th</sup> is a City of Richmond Holiday

<sup>4</sup> Monday, January 2<sup>nd</sup>, 2017 is a City of Richmond Holiday

\* Moved forward to account for Thanksgiving Holiday Schedule

\*\* Moved forward to account for Winter Holiday Schedule

For further information or assistance, please contact the Planning and Preservation Division by phone at (804) 646-6335 or by email at [DCDCCompPlan@RichmondGov.com](mailto:DCDCCompPlan@RichmondGov.com).

Information about the UDC along with the application and meeting schedule is available at the City of Richmond website, <http://www.richmondgov.com/CommitteeUrbanDesign>



## **Patterson and Grove Avenue Streetscape Improvement Project**

### **Project Narrative for Richmond UDC Final Review Meeting – Submitted February 16, 2017**

#### Project Purpose

The purpose of this project is to provide design guidelines for streetscape improvements and implement streetscape improvements along Patterson Avenue and Grove Avenue within the Westhampton Commercial District.

The streetscape improvements along Patterson Avenue (Maple Avenue to Willow Lawn Drive) and Grove Avenue (Maple Avenue to Westview Avenue) include: ornamental pedestrian streetlights, site furnishings, banners and area identification signs, street trees and tree wells in sidewalk, decorative sidewalk paving, and striping crosswalks. The proposed improvements along both streets maintain the existing roadway width, travel lanes, and number of parking and loading zones.

Phase I construction will implement streetscape improvements as described above along the 5700 block of Patterson Avenue (Libbie Avenue to Granite Avenue).

#### Project Background

The project is located in the west end of the City of Richmond. Project limits generally include areas within the right of way on Patterson Avenue between Maple Avenue and Willow Lawn Drive and Grove Avenue between Maple Avenue and Westview Avenue.

The project will be completed in phases as funding becomes available. City of Richmond Department of Public Works and HG, working with the Westhampton Merchants Association, have defined the scope and project limits for Phase 1 construction to include the 5700 block of Patterson Avenue (between Libbie Avenue and Granite Avenue).

This is a City of Richmond Department of Public Works project managed by Yongping Wang, P.E. (City Project Manager – Engineer II). As part of their architectural services term contract with the City, Commonwealth Architects, with HG as a subcontractor, was hired in Fall 2015 to provide landscape architectural design services.

#### Project Budget / Funding Sources

The total City project budget is \$375,000.

Funding source is 100% City funding.

**Patterson and Grove Avenue Streetscape Improvement Project**

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Description of Construction / Proposed Modifications

Proposed construction and modifications include the following (see the corresponding construction plans for additional details):

- Ornamental streetlights, Charleston fixture mounted on a 12 foot New London Pole, along both sides of Patterson Avenue between Libbie Avenue and Granite Avenue. Streetlights to be Forest Green color to match existing streetlights on Grove and Libbie Avenues.
- Site furnishings to include benches, trash cans, and bike bollards.
- Banners mounted on existing utility poles.
- Expanded tree wells planted with street trees and low plantings.
- Decorative paving strip adjacent to the curb on sidewalks. Concrete paving with an 18 – 24 inch scoring grid proposed.
- Concrete sidewalk and entrance apron repairs.
- Replacement of exposed aggregate strip with truncated domes on curb ramps as needed
- Restriping of crosswalks at intersections of Libbie and Patterson Avenues and Granite and Patterson Avenues. Crosswalks to be striped with 24” wide x 8’ long white markings.

Project Schedule

- |  |                    |
|--|--------------------|
| • HG submitted schematic plans to the City                         | February, 2016     |
| • Design guidelines presented to Westhampton Merchants Association | April 2016         |
| • UDC conceptual review package submitted                          | June 16, 2016      |
| • UDC conceptual review meeting                                    | July 7, 2016       |
| • Planning Commission meeting                                      | July 18, 2016      |
| • Phase I scoping  | July-November 2016 |
| • UDC final review package submitted                               | February 16, 2017  |
| • UDC final review meeting   | March 9, 2017      |
| • Planning Commission meeting                                      | March 20, 2017     |
| • HG 100% complete plans, quantities, & cost estimates             | April 2017         |

Application Attachments

*Streetscape Design for Patterson & Grove Avenues, dated June 15, 2016, revised January 19, 2017*

*Patterson and Grove Avenue Streetscape Improvement Plans, dated February 15, 2017*



# CITY OF RICHMOND, VIRGINIA

## DEPARTMENT OF PUBLIC WORKS ENGINEERING & TECHNICAL SERVICES



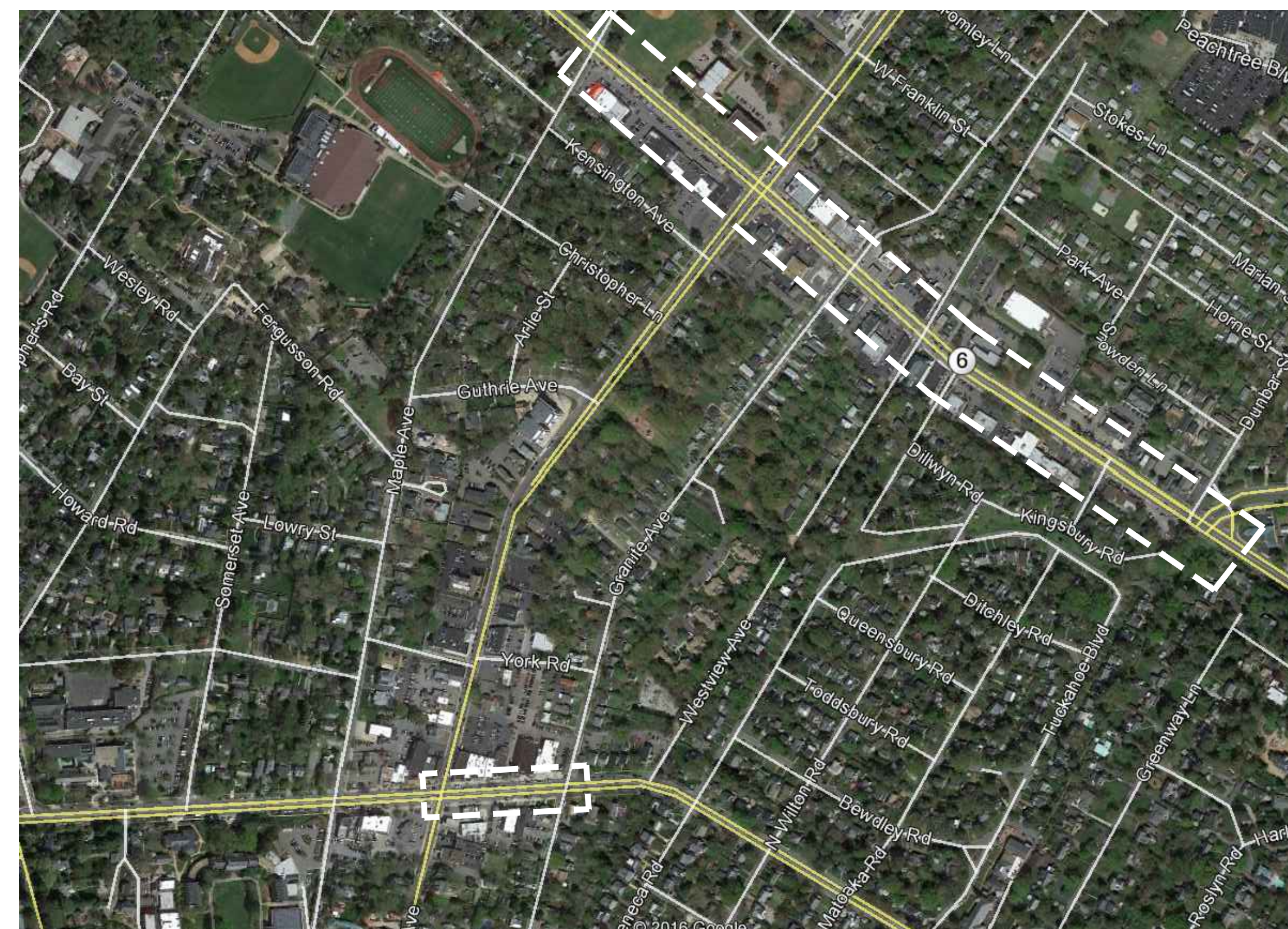
**\*\*PATTERSON & GROVE AVE STREETSCAPE IMPROVEMENTS \*\***  
**\*\*PATTERSON AVE - MAPLE AVE TO WILLOW LAWN DR\*\***  
**\*\*GROVE AVE - MAPLE AVE TO WESTVIEW AVE\*\***  
**\*\*PROJECT #100534**  
**\*\*AWARD #500367**

CITY OF RICHMOND

APPROVED FOR CONSTRUCTION	
DATE	SURVEYS SUPERINTENDENT
DATE	PROJECT MANAGER
DATE	MAINTENANCE ENGINEER
DATE	CITY TRAFFIC ENGINEER
DATE	CAPITAL PROJECTS ADMINISTRATOR
DATE	CITY ENGINEER
DATE	DIRECTOR OF PUBLIC WORKS

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LANDSCAPE NOTES & DETAILS	L4.4
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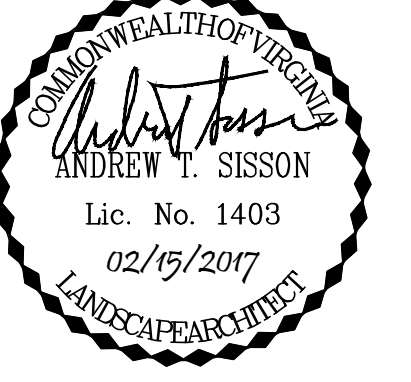
**LOCATION MAP**  
 NTS  
 FEBRUARY, 2017

**REVISIONS**

NO.	DATE	COMMENTS

\* ALL WORK IS WITHIN THE EXISTING RIGHT-OF-WAY \*





**STREETScape  
PATTERSON & GROVE  
AVENUES**

RICHMOND, VIRGINIA

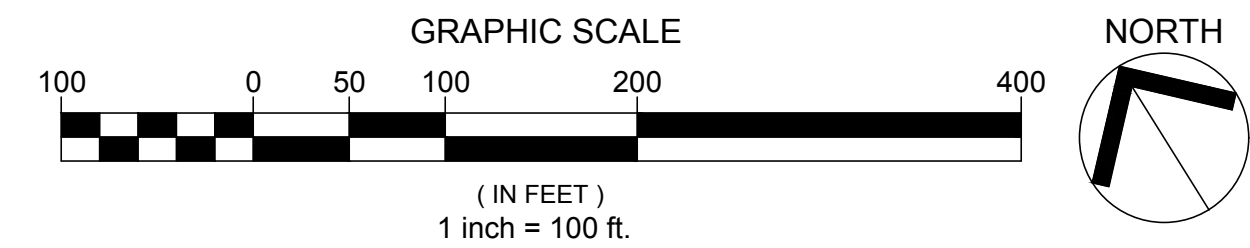
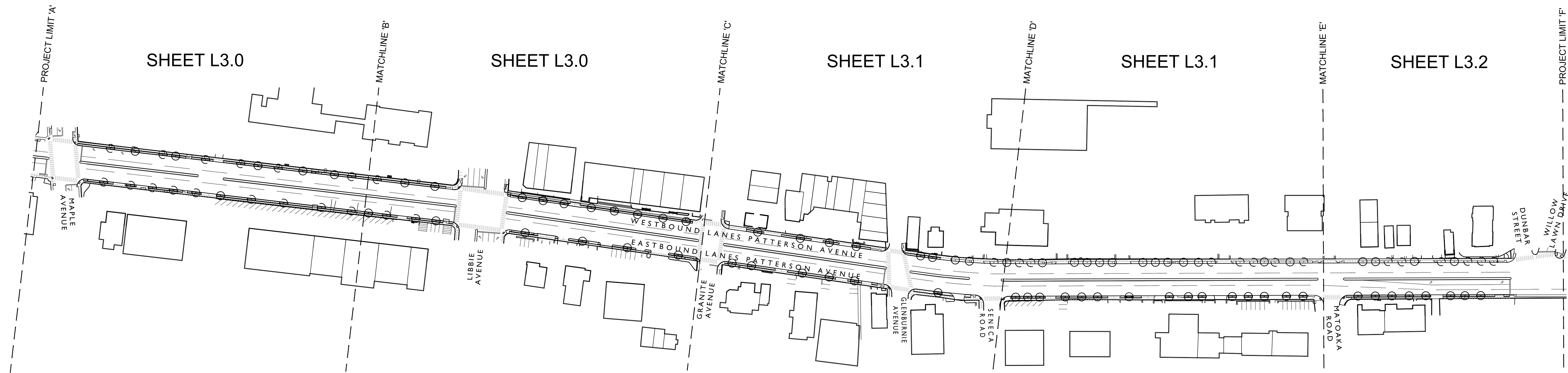
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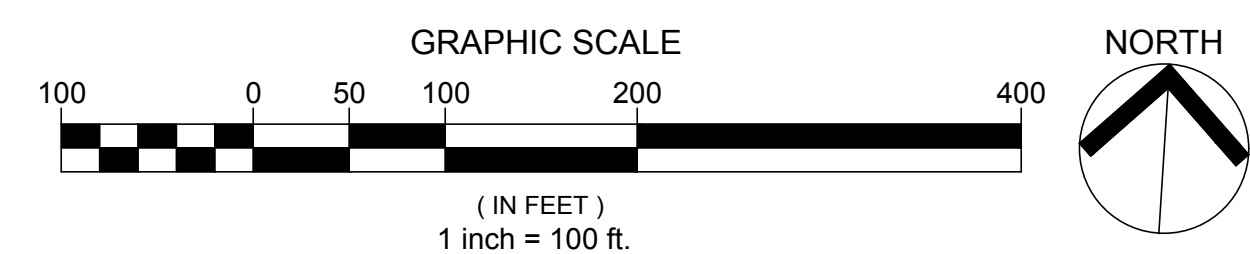
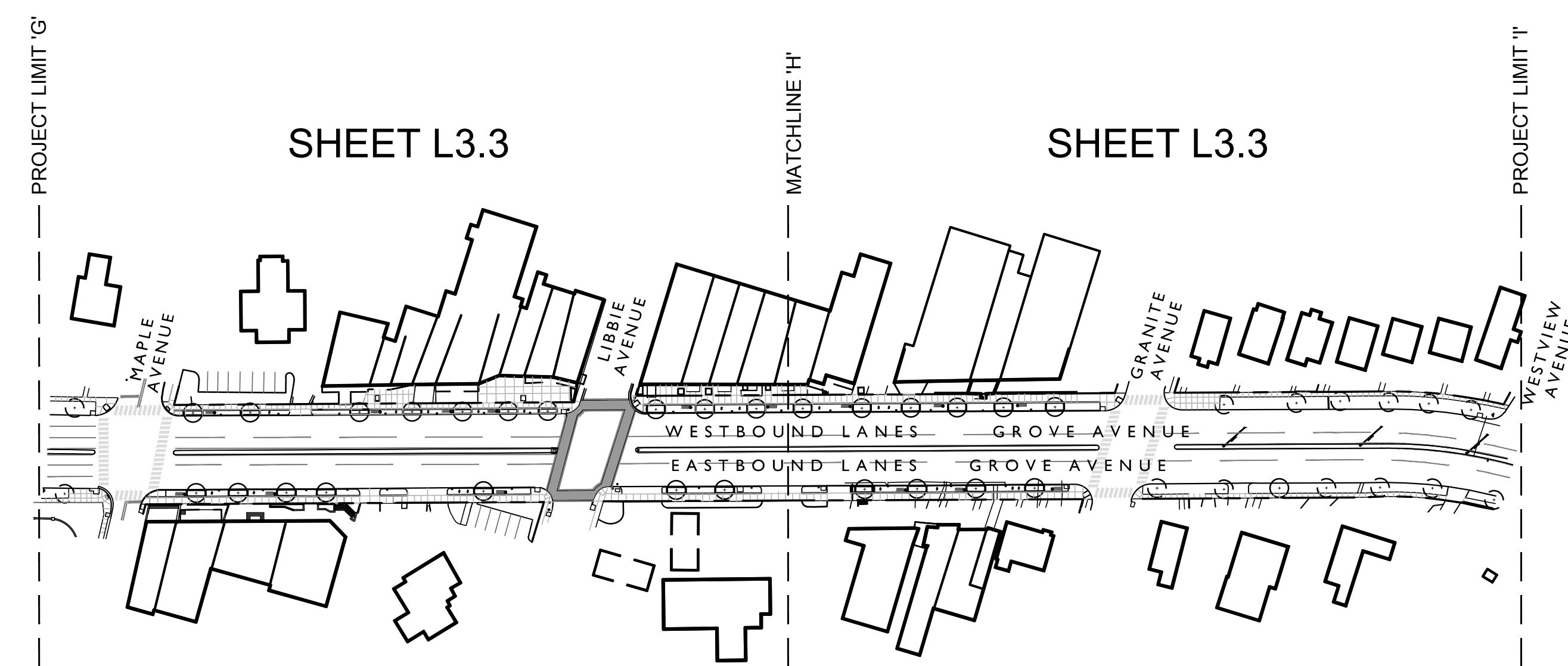
**OVERALL SHEET  
KEY PLAN**

Designed By:	ATS
Drawn By:	ANL
Checked By:	ATS
QA/QC By:	DCG
Date:	FEBRUARY 15, 2017
Project Number:	M15033
Sheet Number:	

**L1.0**



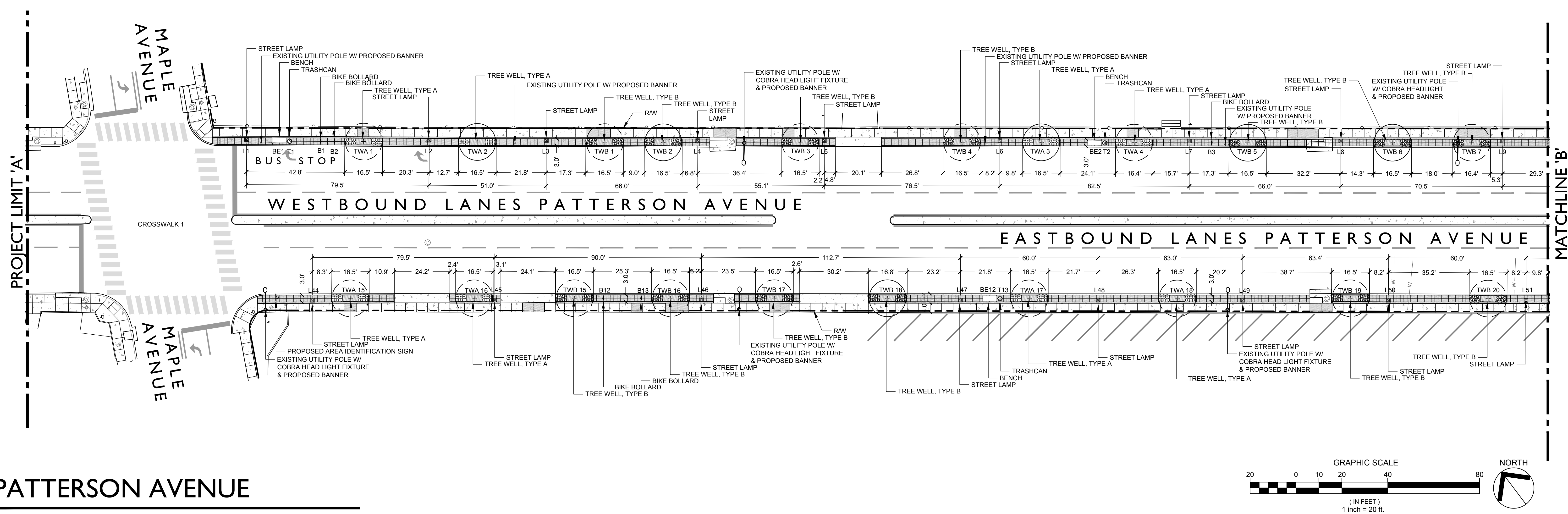
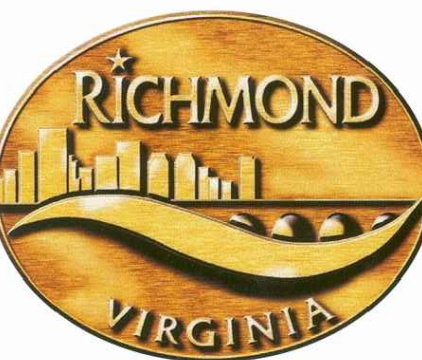
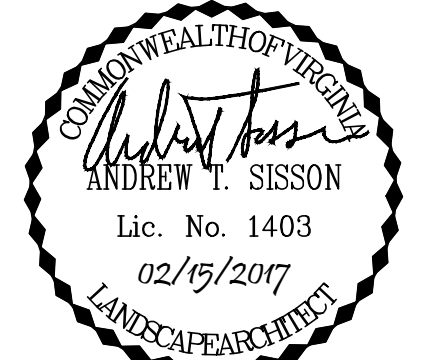
**PATTERSON AVENUE**



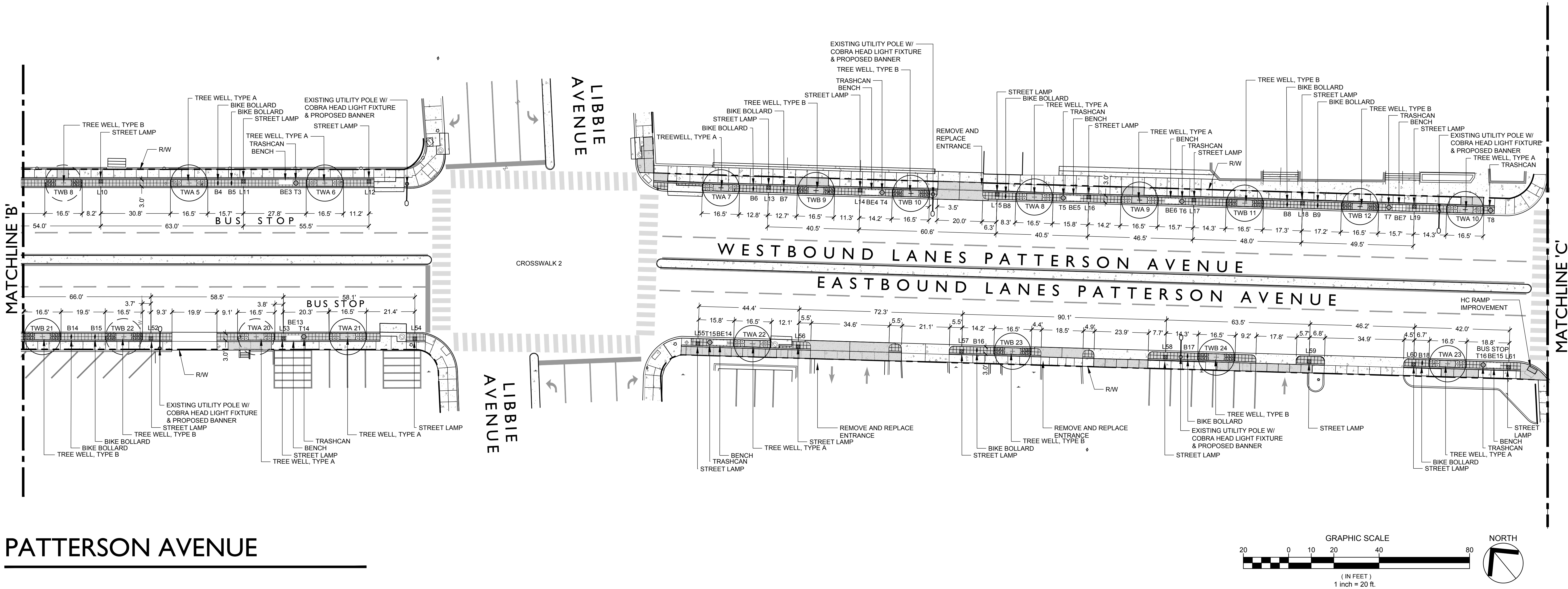
**GROVE AVENUE**

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**PATTERSON AVENUE**



**PATTERSON AVENUE**

**STREETSCAPE  
PATTERSON & GROVE  
AVENUES**

RICHMOND, VIRGINIA

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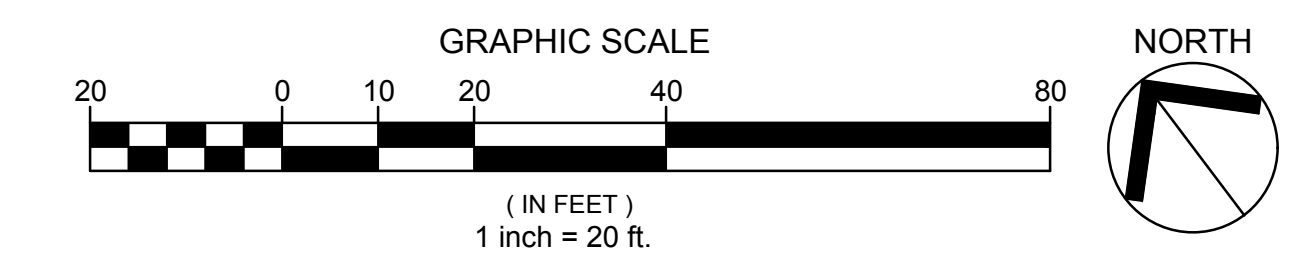
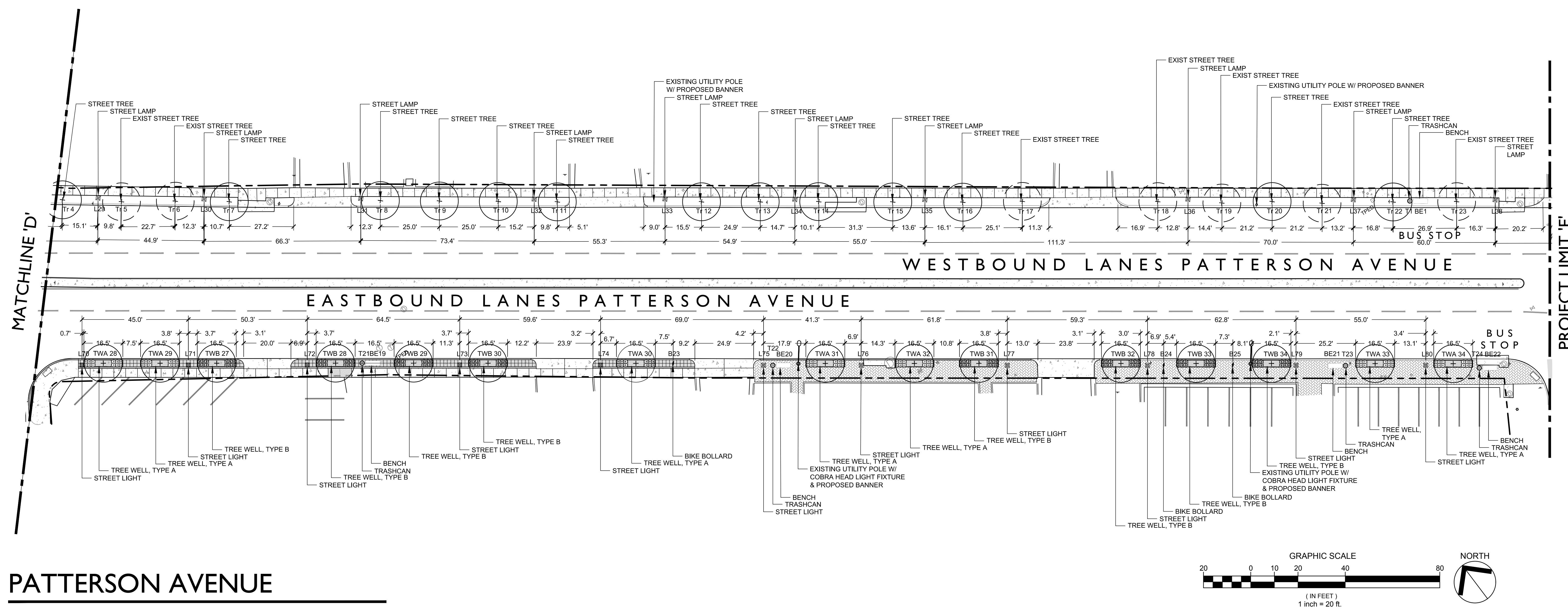
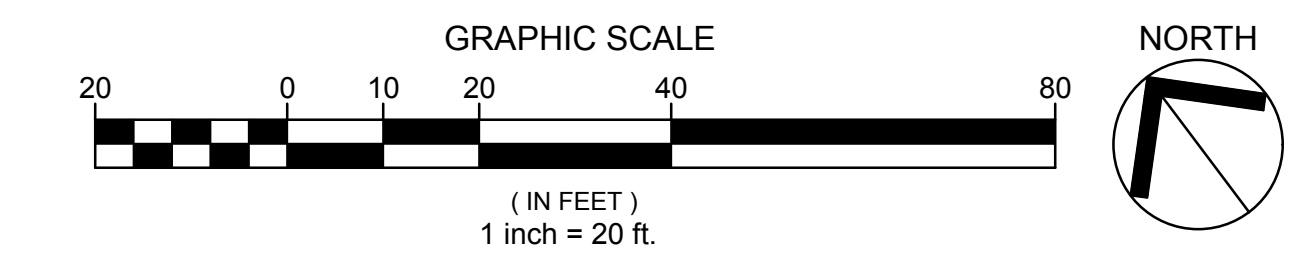
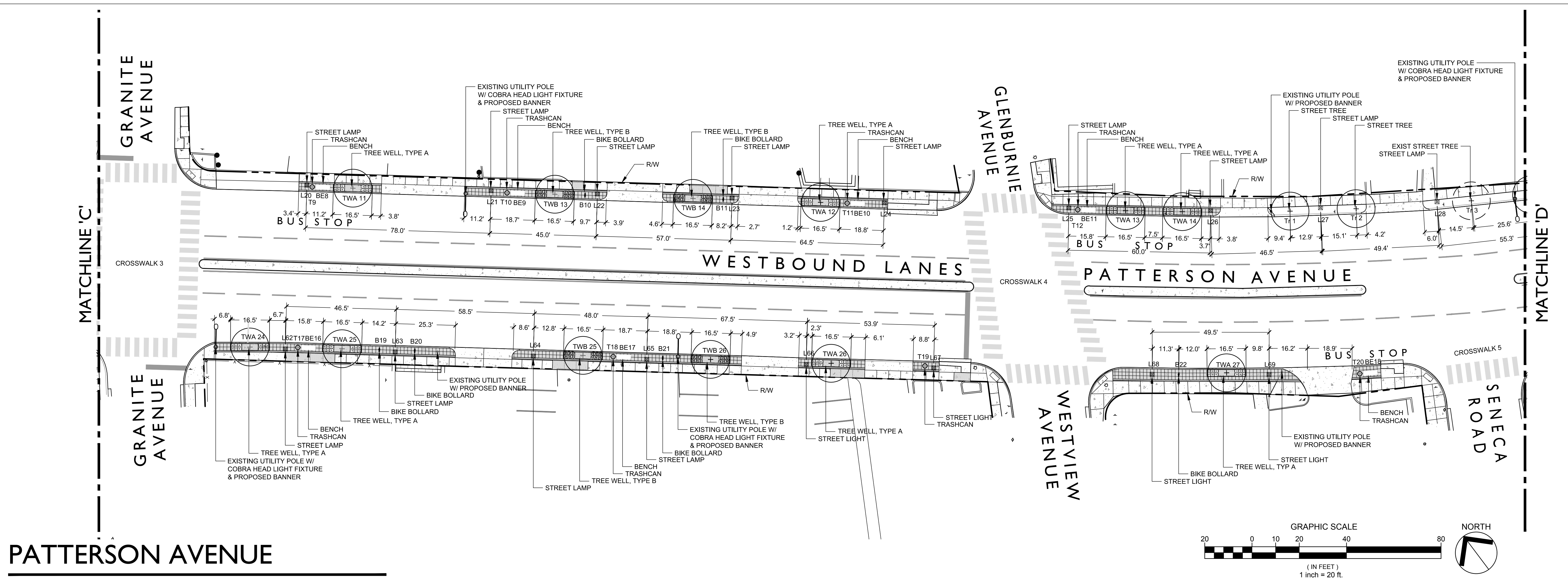
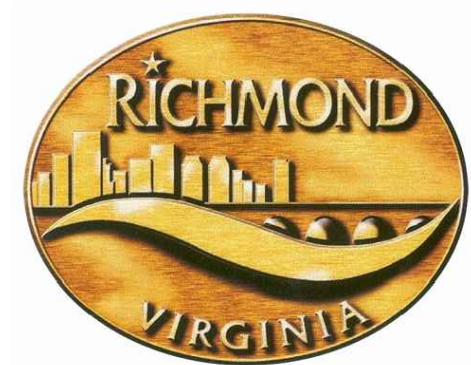
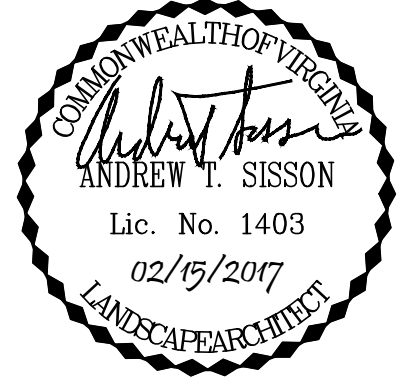
**STREETSCAPE  
PLAN**

**DETAIL REFERENCE**

- 1. CONCRETE TO BE REMOVED AND REPLACED. SEE DETAILS SHEETS L4.0 - L4.1
- 1. ENTRANCE IMPROVEMENTS. SEE DETAIL SHEET L4.0
- 2. CURB RAMP IMPROVEMENTS. SEE DETAIL SHEET L4.0
- 3. LIGHTING FIXTURE, PLACEMENT, AND FOOTINGS. SEE DETAILS SHEET L4.2
- 4. TREE WELL DETAIL AND PLANTING PLANS. SEE DETAILS SHEETS L4.3 - L4.4
- 5. SITE FURNITURE PLACEMENT AND INSTALLATION. SEE DETAILS SHEET L4.5
- 6. CROSSWALK STRIPING. SEE DETAIL SHEET L4.6

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Drawn By:	ANL
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QA/QC By:	DCG
Date:	FEBRUARY 15, 2017
Project Number:	M15033
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**STREETSCAPE  
 PATTERSON & GROVE  
 AVENUES**

RICHMOND, VIRGINIA

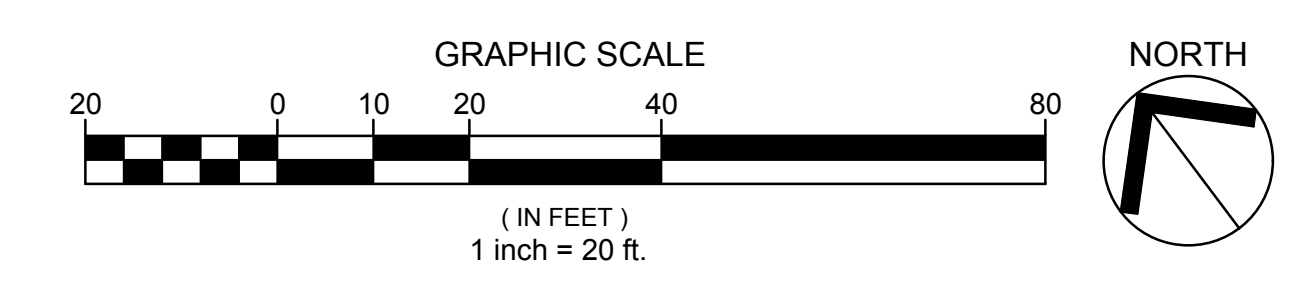
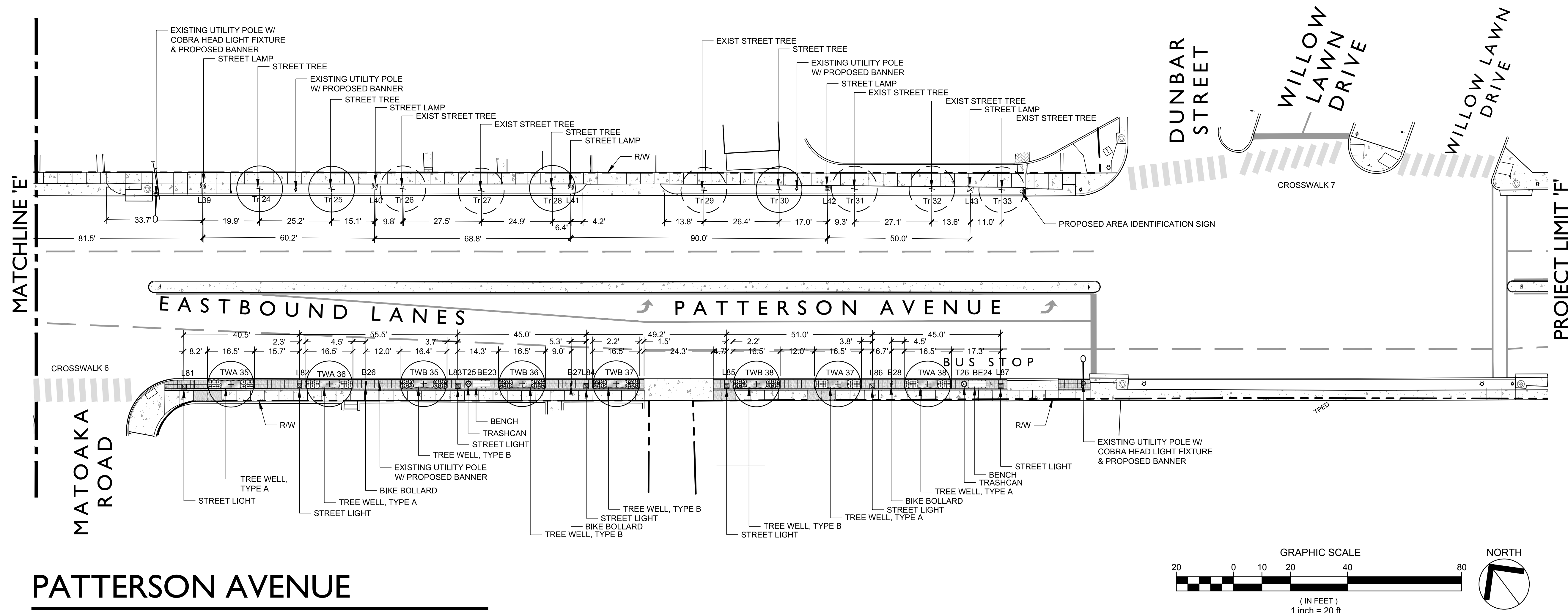
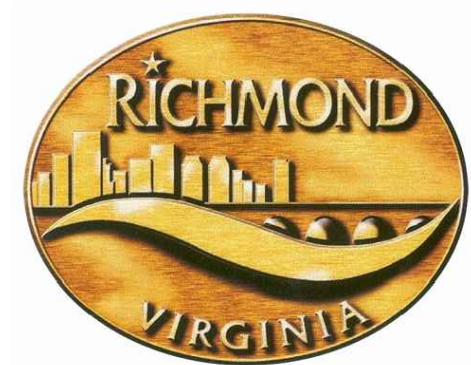
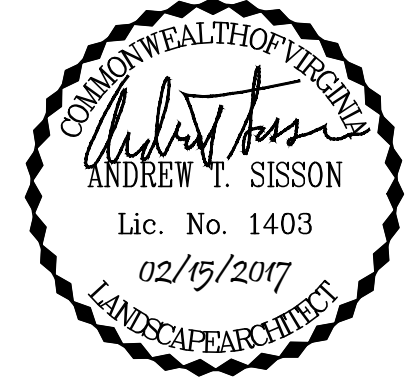
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No.	Description	Date

**STREETSCAPE  
 PLAN**

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**PATTERSON AVENUE**

**STREETScape  
PATTERSON & GROVE  
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RICHMOND, VIRGINIA

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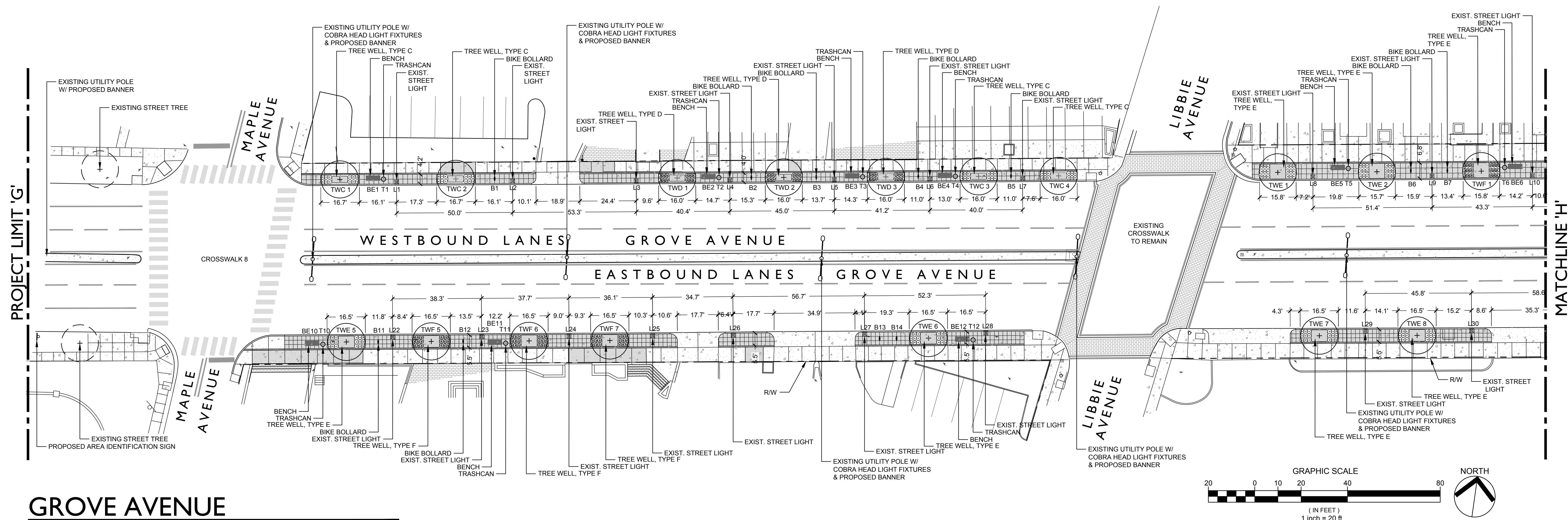
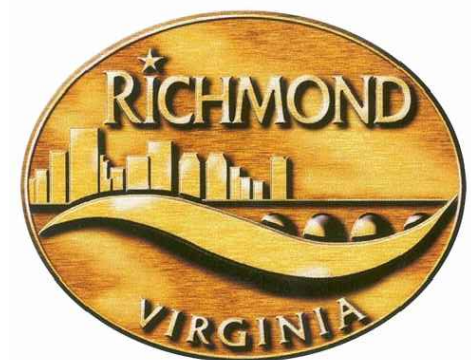
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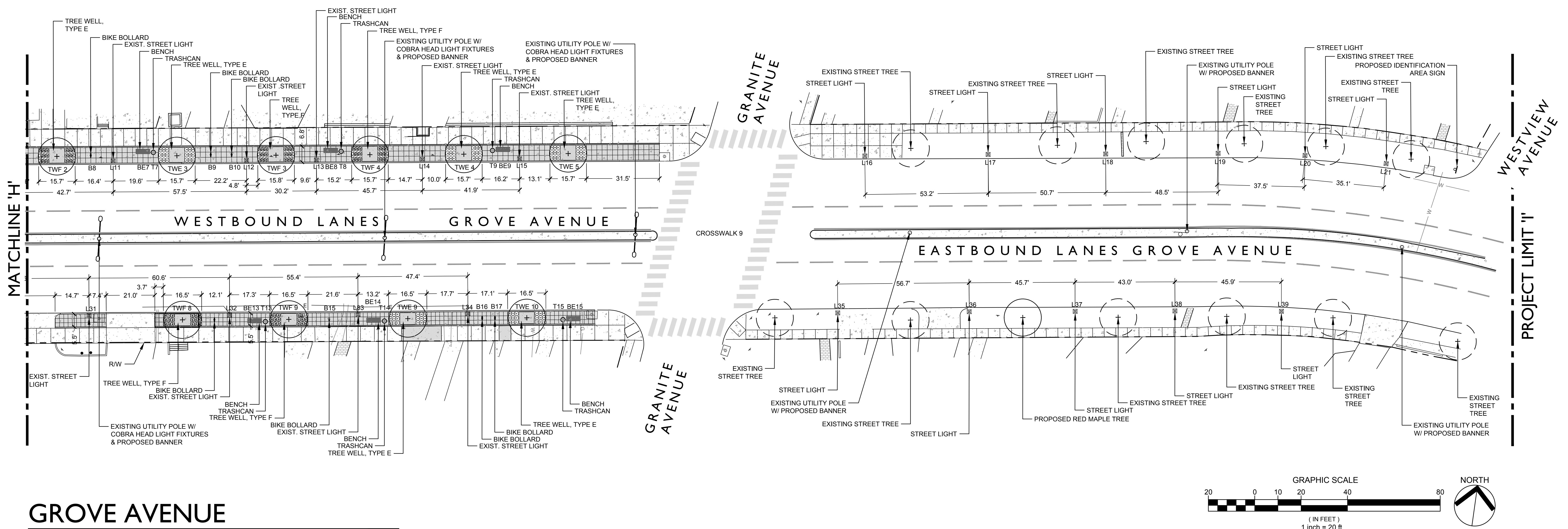
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**GROVE AVENUE**



**GROVE AVENUE**

**STREETScape  
 PATTERSON & GROVE  
 AVENUES**

RICHMOND, VIRGINIA

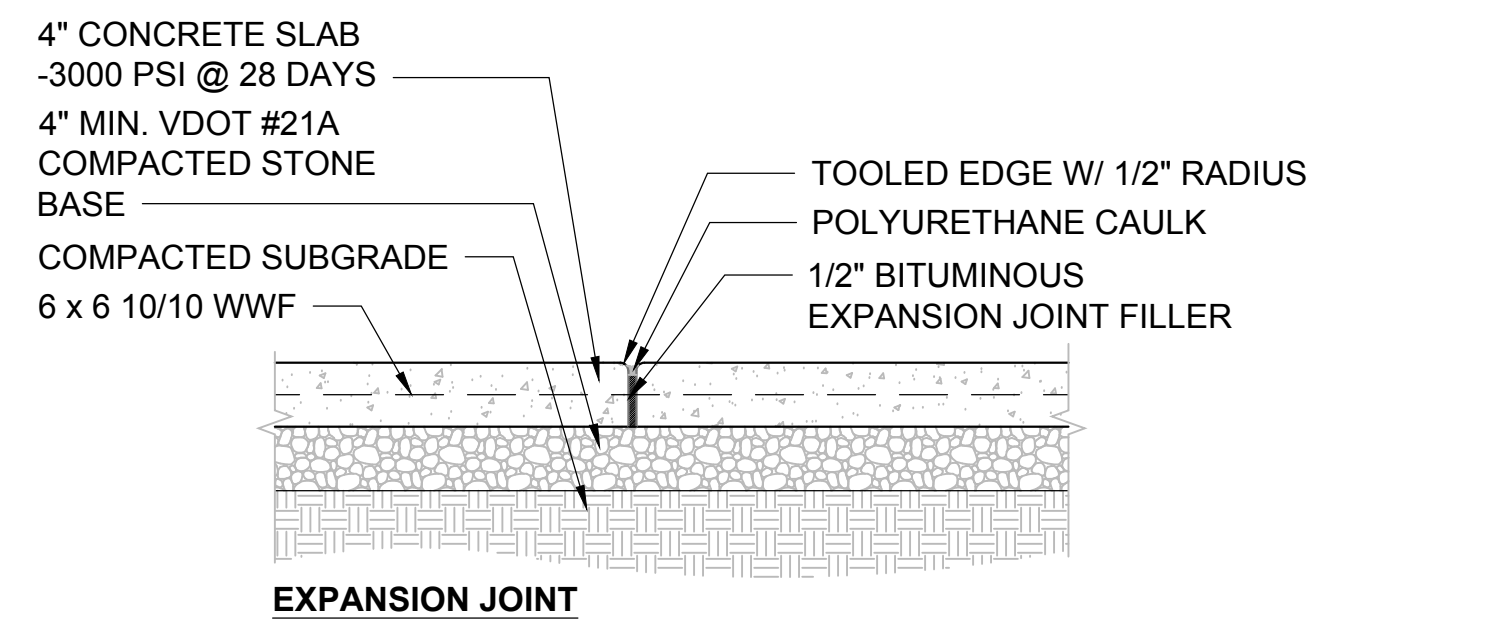
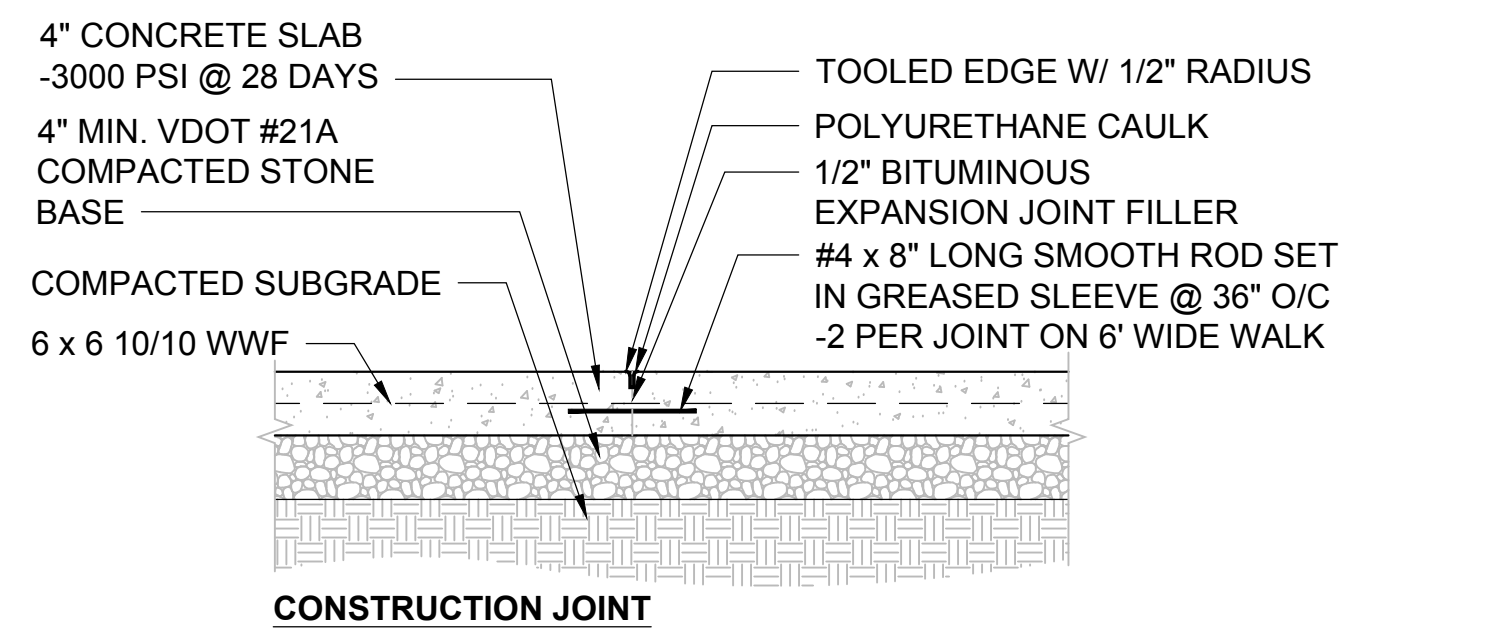
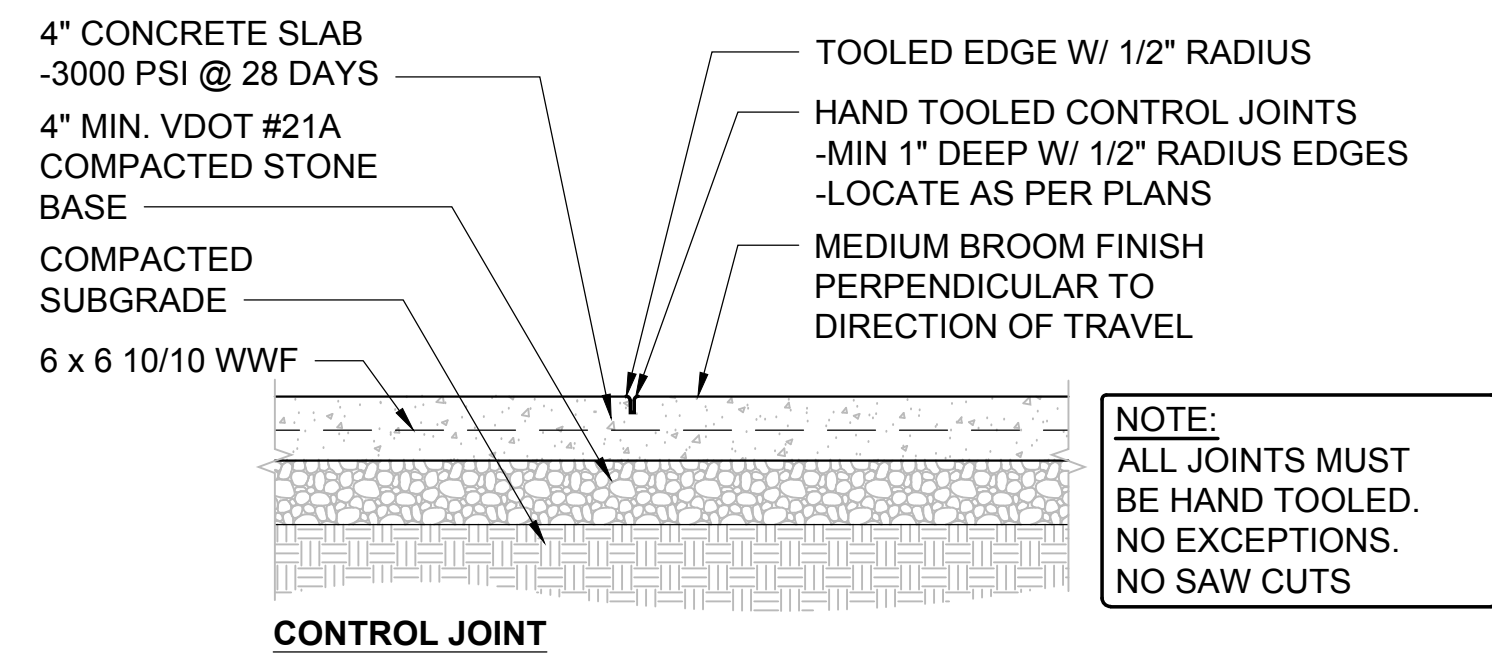
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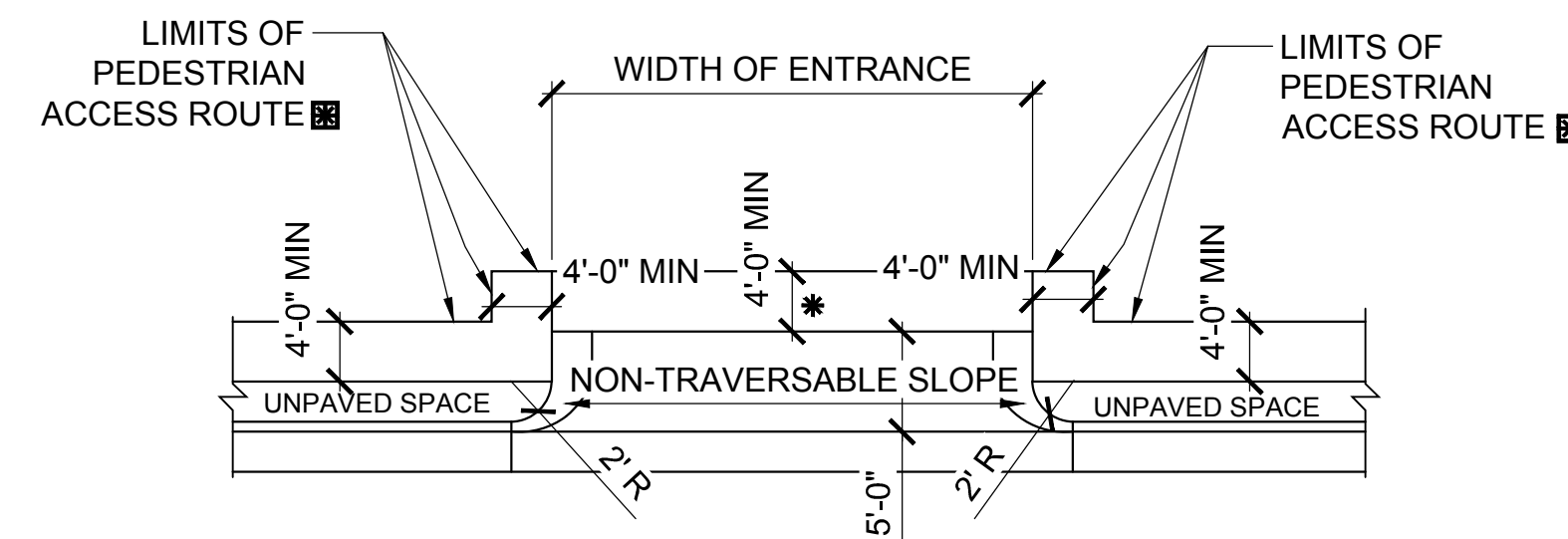
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 Sheet Number:





**CONCRETE SIDEWALK DETAIL**

SCALE: 1" = 1'-0"



**PEDESTRIAN ACCESS ROUTE DETAIL**

ADDITIONAL RIGHT-OF-WAY IS REQUIRED IF THE LIMITS OF PEDESTRIAN ACCESS ROUTE ■ EXTEND BEYOND EXISTING OR PROPOSED VDOT RIGHT-OF-WAY.

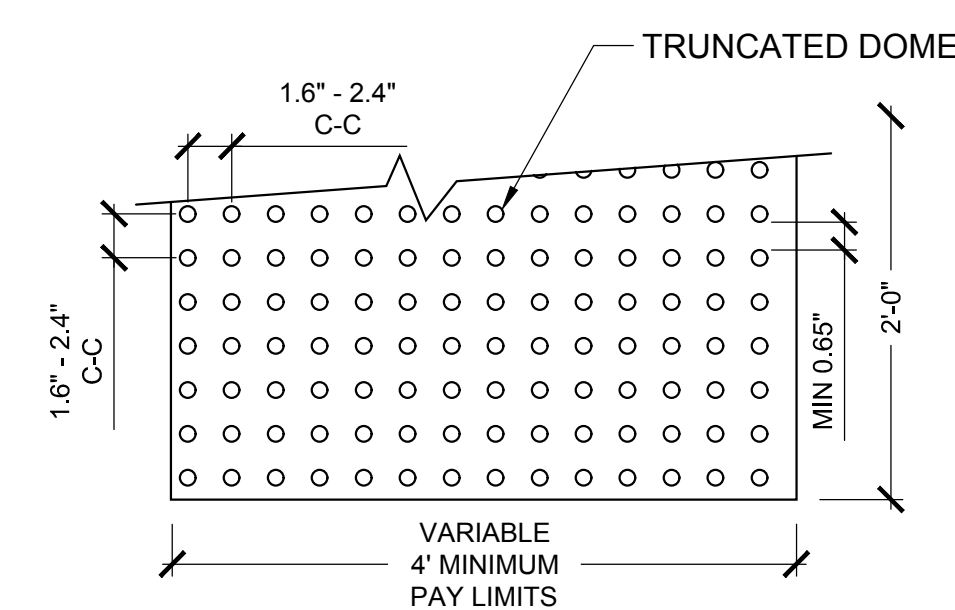
■ PEDESTRIAN ACCESS ROUTES PROVIDE A CONTINUOUS UNOBSTRUCTED, STABLE, FIRM AND SLIP RESISTANT PATH CONNECTING ALL ACCESSIBLE ELEMENTS OF A FACILITY THAT CAN BE APPROACHED, ENTERED AND USED BY PEDESTRIANS.

\* IF PEDESTRIAN ACCESS ROUTES ■ ARE BEING PROVIDED, A MINIMUM 4' TRAVERSABLE WIDTH IS REQUIRED WITH A MAX. 2% CROSS SLOPE.

WHEN USED IN CONJUNCTION WITH STANDARD CG-3 OR CG-7, THE CURB FACE ON THIS STANDARD IS TO BE ADJUSTED TO MATCH THE MOUNTABLE CURB CONFIGURATION.

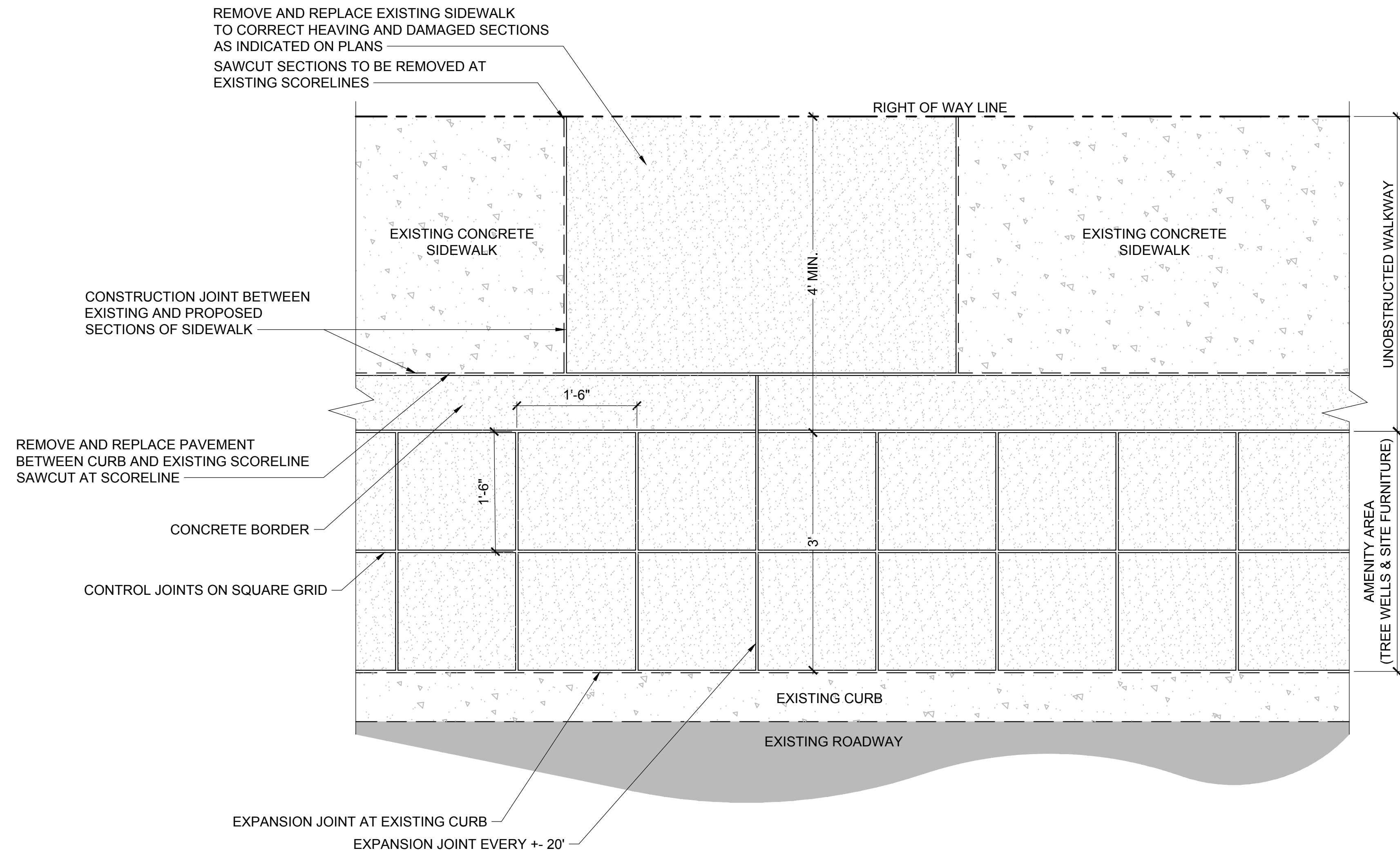
**STANDARD ENTRANCE GUTTER CG-9B**

SCALE: 1/2" = 1'-0"



**DETECTABLE WARNING DETAIL**

SCALE: 1" = 1'-0"



**SIDEWALK ENLARGEMENT PLAN - 3' AMENITY AREA**

SCALE: 1" = 1'-0"



**STREETScape  
PATTERSON & GROVE  
AVENUES**

RICHMOND, VIRGINIA

REVISIONS:


No.	Description	Date
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**HARDScape  
DETAILS**

Designed By:	ATS
Drawn By:	ANL
Checked By:	ATS
QA/QC By:	DCG
Date:	FEBRUARY 15, 2017
Project Number:	M15033
Sheet Number:	





**STREETScape  
PATTERSON & GROVE  
AVENUES**

RICHMOND, VIRGINIA

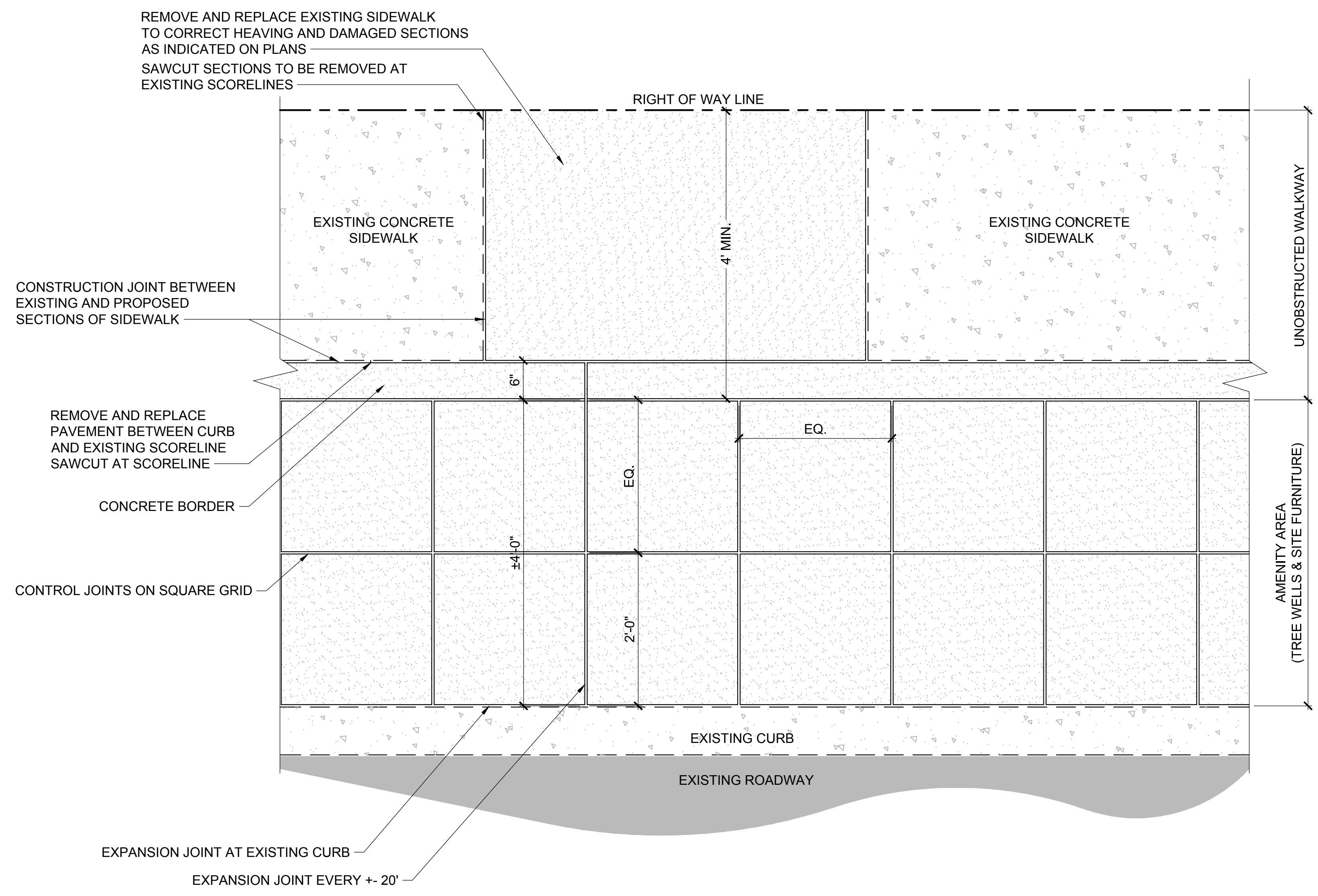
REVISIONS:


No.	Description	Date
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**HARDScape  
DETAILS**

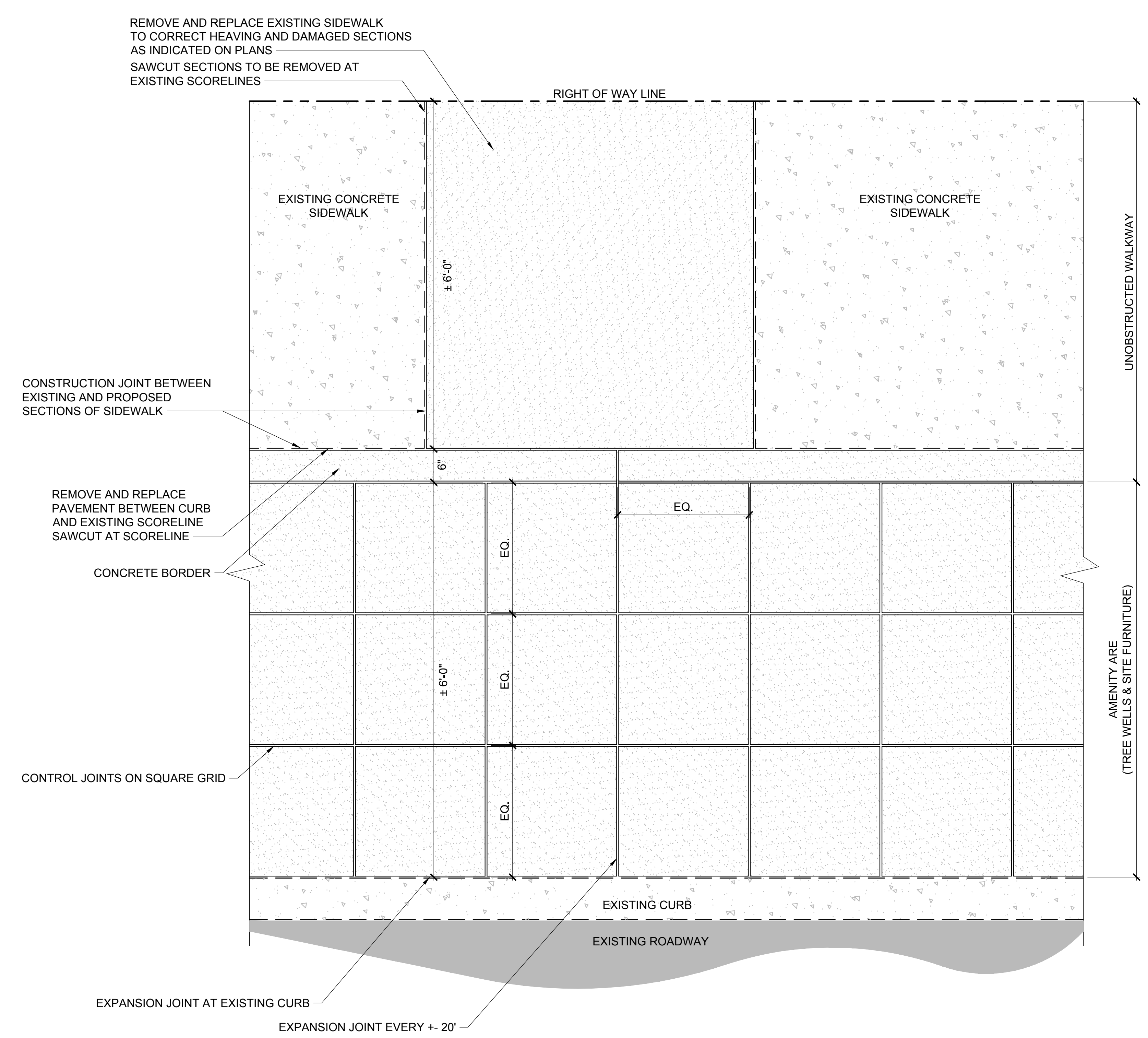
Designed By:	ATS
Drawn By:	ANL
Checked By:	ATS
QA/QC By:	DCG
Date:	FEBRUARY 15, 2017
Project Number:	M15033
Sheet Number:	

**L4.1**



**SIDEWALK ENLARGEMENT PLAN - 4' AMENITY AREA**

SCALE: 1" = 1'-0"



**SIDEWALK ENLARGEMENT PLAN - 6' AMENITY AREA**

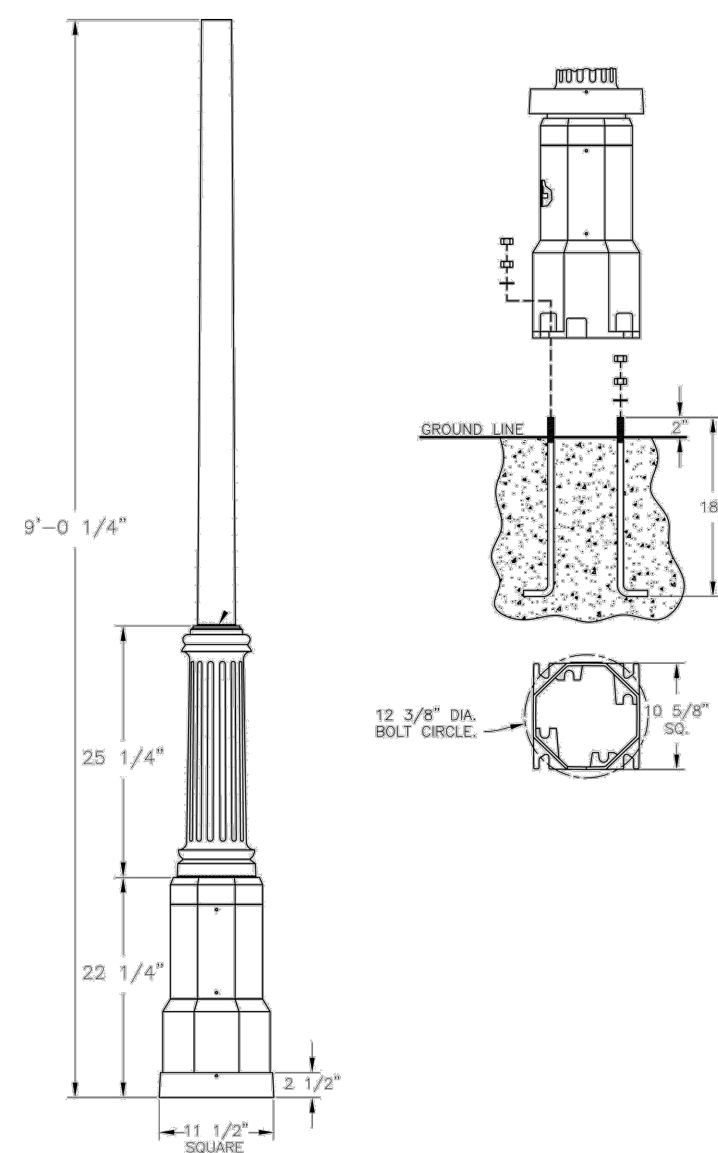
SCALE: 1" = 1'-0"

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**Anchor Base Post (316-) Specification Sheet**

Project Name: Location: MFG: Philips Lighting  
 Fixture Type: Catalog No.: Qty:



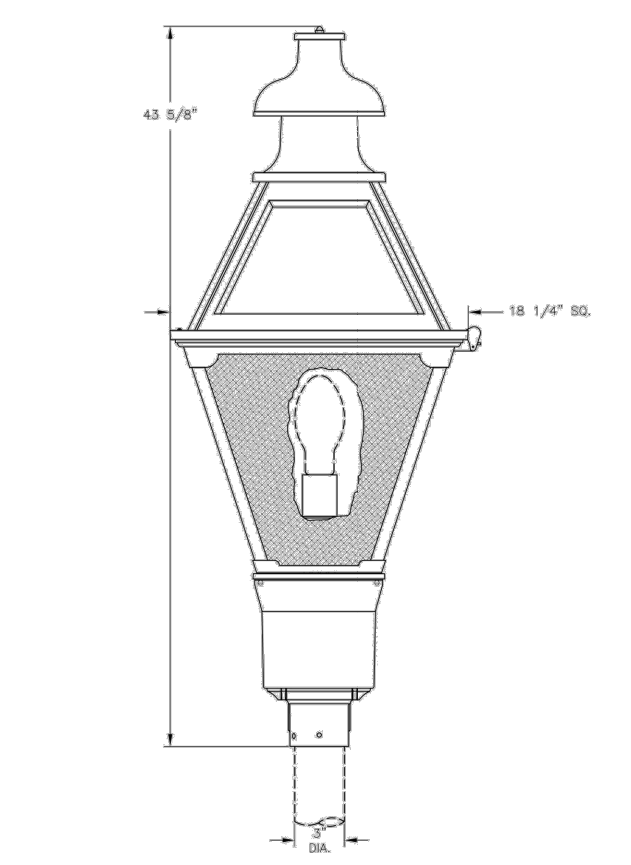
**Ordering Guide**  
 Example: 316- 8 ABS B B D

Product Code	316- Anchor Base Post
Height(s)	8 (R 1) 10 (R 2) 12 (R 3) 14 (R 4)
Finish	ABS Antique Brass ACP Antique Copper ARD Antique Red ASL Antique Silver BLK Black BRN Bronze BRZ Bronze FGN Forest Green GRA Granite IRN Ironstone RST Shadow Rust VBR Verde Bronze VCP Verde Copper VWN Weathered WBZ Weathered Bronze WHT White
Photoeye (Optional)	B 120V C 208V - 277V
Outlet Location (Optional)	B 4" from Top of Base T 12" from Top of Pole
Outlet Options (Optional)	D Standard Duplex GFI Duplex

**Specifications**  
**OUTLET:**  
 GFI Duplex Outlet has dual-function indicator light, universal metal weatherproof cover. Weatherproof while in use. Heavy-duty all-metal construction. Lockable security cover. Meets NEC 408.9 (B). Weather-resistant. Standard Duplex Outlet has universal metal weatherproof cover. Weatherproof while in use. Heavy-duty all-metal construction. Lockable security cover. Meets NEC 408.9 (B). Weather-resistant.  
**CONSTRUCTION:**  
 Cast aluminum octagonal anchor base. Cast aluminum removable access door. Cast aluminum upper base welded to base and post. Tapered post welded to base. Cast aluminum square cover included with post.  
**FINISH:**  
 Resilient TGIC thermoset polyester powdercoat paint is electrostatically applied to every fixture. Specially formulated for Philips Outdoor Lighting. It provides UV protection, and

**Charleston (1237) Specification Sheet**

Project Name: Location: MFG: Philips Lighting  
 Fixture Type: Catalog No.: Qty:



**Ordering Guide**  
 Example: 1237- ABS-A-D-H-E-B-B

Product Code	1237 Charleston
Finish	ABS Antique Brass ACP Antique Copper ARD Antique Red ASL Antique Silver BLK Black BRN Bronze BRZ Bronze FGN Forest Green GRA Granite IRN Ironstone RST Shadow Rust VBR Verde Bronze VCP Verde Copper VWN Weathered WBZ Weathered Bronze WHT White
Panel/Globe	A Clear Acrylic B Clear Sealed Acrylic C Bronze Tone Acrylic D Clear Textured Acrylic E Opal M Polycarbonate P Polycarbonate Q Polycarbonate
Socket	D Medium Mogul L LED R Induction
Wattage/Source	H Metal Halide S High Pressure Sodium I Incandescent R Induction LED LED
Voltage	E 120V F 208V H 277V
Distribution	B 2" Type V D 2" Type V E 2" Type V M Type II W Type III - Cutoff Optic Frosted Chimney - No Internal Optics N None Photoeye B Button Eye

**Anchor Base Post (316-) Specification Sheet**

Project Name: Location: MFG: Philips Lighting  
 Fixture Type: Catalog No.: Qty:

The highest temperature rating in the industry. In addition to the standard color choices shown, a spectrum of custom colors is available.  
**WARRANTY:**  
 Three-year limited warranty.  
**Tanon/Top:**  
 3" O.D.  
**Bolt Circle:**  
 12 3/8" dia.  
**Anchor Rods:**  
 (6) 1/2" dia. x 18" long zinc plated steel  
**Base Dimensions:**  
 11 1/2" sq. x 12 1/4"  
**Shaw:**  
 4" to 3" Tapered  
**Wall Thickness:**  
 .125"  
**Height:**  
 8", 10", 12", 14"

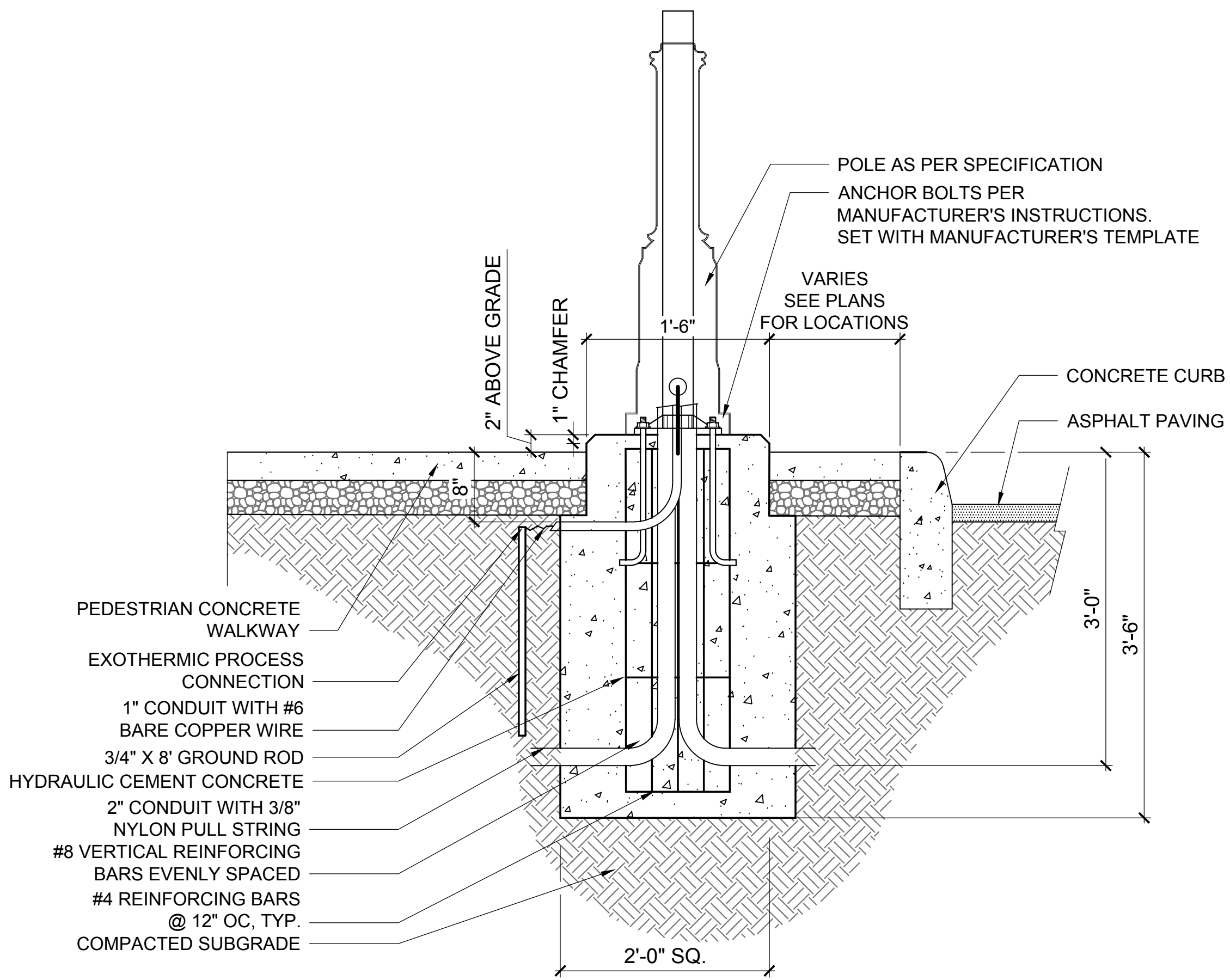
**Pole EPA Values**

Windspeed(mph)	Height			
	8'	10'	12'	14'
80	30,020	19,700	14,310	10,900
110	15,960	9,960	6,900	4,970
130	10,130	7,260	5,200	3,590

**Charleston (1237) Specification Sheet**

Project Name: Location: MFG: Philips Lighting  
 Fixture Type: Catalog No.: Qty:

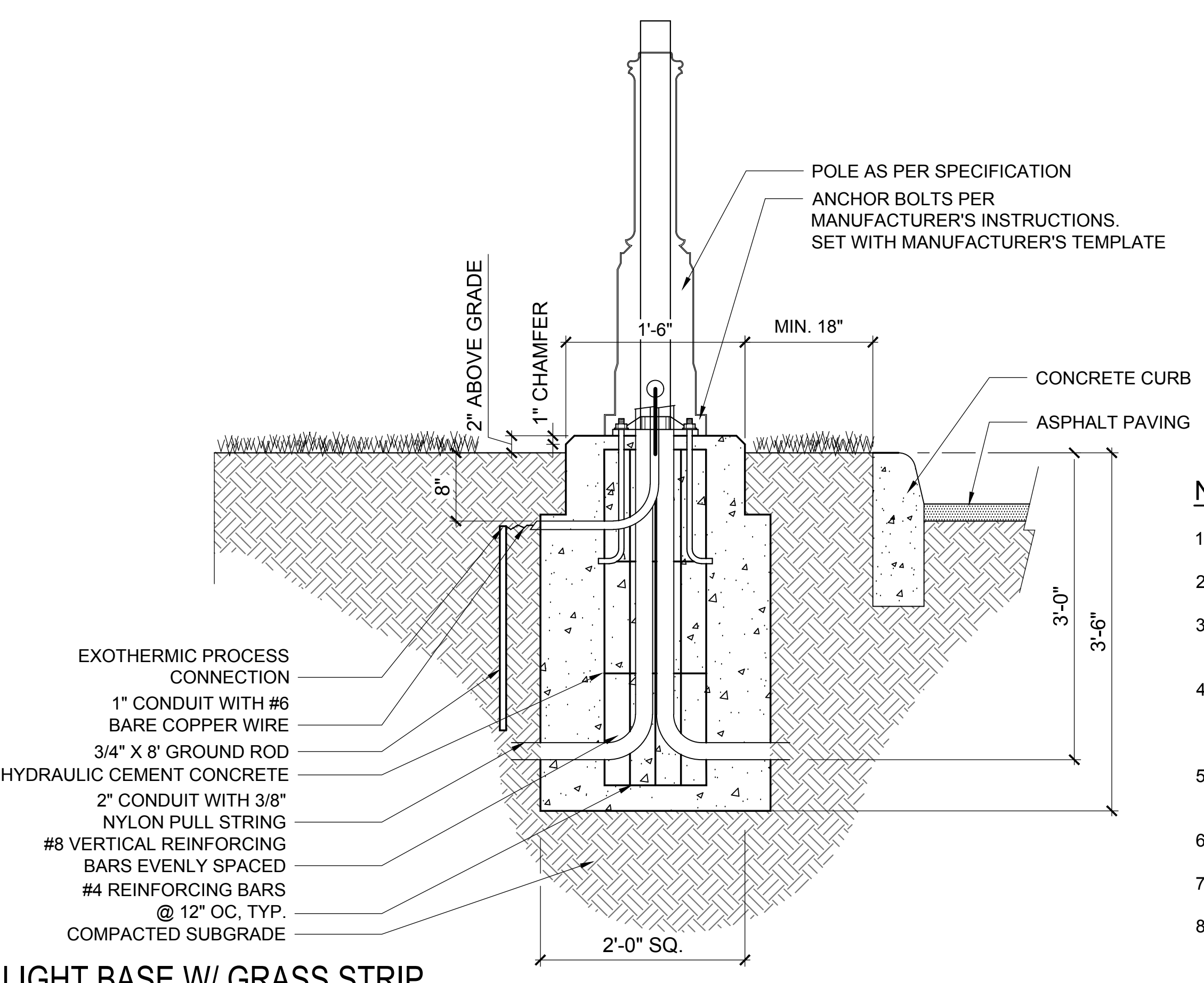
**Specifications**  
**CONSTRUCTION:**  
 Three (3) piece cast aluminum vent cap assembly. Cast aluminum solid hinged roof for easy reamping. Cast aluminum top & bottom cage frame. 4 Extruded aluminum cage legs welded to top and bottom cage frames. Cast aluminum post filler slips over 3" O.D. post or iron.  
**FINISH:**  
 Resilient TGIC thermoset polyester powdercoat paint is electrostatically applied to every fixture. Specially formulated for Philips Outdoor Lighting. It provides UV protection, and the highest temperature rating in the industry. In addition to the standard color choices shown, a spectrum of custom colors is available.  
**PANELS/LENS/GLOBE:**  
 See finish for available options.  
**LAMPING:**  
 Lamp is not included.  
**ELECTRICAL ASSEMBLY:**  
 Lantern will be pre-wired and tested. All electrical components are ETL listed.  
**BALLAST:**  
 Ballast and component parts mounted inside 3-piece cast aluminum moisture proof ballast compartment with hinged access door and slide-out ballast tray. (Customer must specify wattage and voltage).  
**MOUNTING:**  
 Fixture mounts to 3" dia. post or tenon.  
**WARRANTY:**  
 Three-year limited warranty.  
**CERTIFICATIONS:**  
 ETL Listed to U.S. safety standards for wet locations. cETL Listed to Canadian safety standards for wet locations.  
**Height:**  
 43 5/8"  
**Width:**  
 18 1/4"  
**EPA:**  
 3.28  
**Max. Weight:**  
 46 lbs.



- NOTES**
- CONDUIT ELBOWS SHALL HAVE 90° BEND. THE BEND RADIUS SHALL BE IN ACCORDANCE WITH THE NEC.
  - THE BOLT CIRCLE TEMPLATE SHALL BE FURNISHED BY THE LIGHTING POLE MANUFACTURER.
  - THE NUMBER, ORIENTATION AND SIZE OF THE CONDUITS ENTERING AND EXITING FOUNDATION SHALL BE AS SHOWN ON THE PLANS.
  - CONCRETE POUR SHALL BE CONTINUOUS WITH 3000 PSI CONCRETE NOR MORTAR. GROUT, OR CONCRETE SHALL BE PLACED BETWEEN BOTTOM OF BASE PLATE AND TOP OF PEDESTAL.
  - THE ANCHOR BOLTS SHALL BE DRIPPED GALVANIZED AND "L" TYPE WITH THE ORIENTATION PARALLEL TO THE STREET.
  - THE HORIZONTAL REINFORCING BARS SHALL BE 4" ABOVE THE BOTTOM OF THE HOLE AND 4" BELOW THE SURFACE.
  - THE VERTICAL REINFORCING BARS SHALL BE 4" FROM WALL OF THE HOLE.
  - THE LIGHTING POLE MANUFACTURER WILL SPECIFY THE BOLT PROJECTION REQUIREMENTS.

**LIGHT BASE W/ CONCRETE WALKWAY**

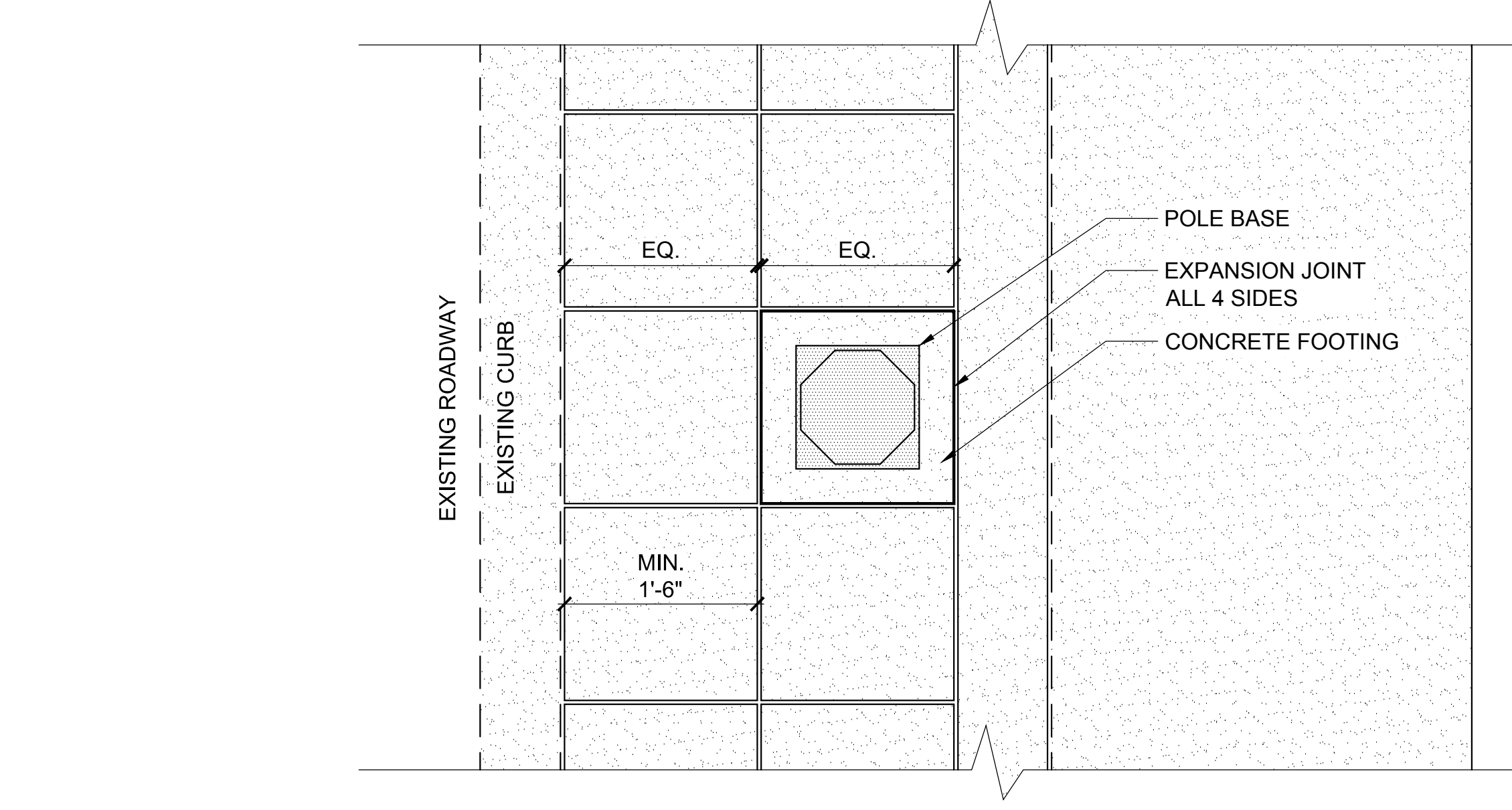
SCALE: 1" = 1'-0"



- NOTES**
- CONDUIT ELBOWS SHALL HAVE 90° BEND. THE BEND RADIUS SHALL BE IN ACCORDANCE WITH THE NEC.
  - THE BOLT CIRCLE TEMPLATE SHALL BE FURNISHED BY THE LIGHTING POLE MANUFACTURER.
  - THE NUMBER, ORIENTATION AND SIZE OF THE CONDUITS ENTERING AND EXITING FOUNDATION SHALL BE AS SHOWN ON THE PLANS.
  - CONCRETE POUR SHALL BE CONTINUOUS WITH 3000 PSI CONCRETE NOR MORTAR. GROUT, OR CONCRETE SHALL BE PLACED BETWEEN BOTTOM OF BASE PLATE AND TOP OF PEDESTAL.
  - THE ANCHOR BOLTS SHALL BE DRIPPED GALVANIZED AND "L" TYPE WITH THE ORIENTATION PARALLEL TO THE STREET.
  - THE HORIZONTAL REINFORCING BARS SHALL BE 4" ABOVE THE BOTTOM OF THE HOLE AND 4" BELOW THE SURFACE.
  - THE VERTICAL REINFORCING BARS SHALL BE 4" FROM WALL OF THE HOLE.
  - THE LIGHTING POLE MANUFACTURER WILL SPECIFY THE BOLT PROJECTION REQUIREMENTS.

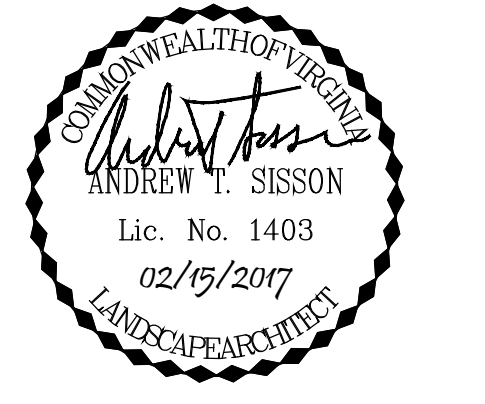
**LIGHT BASE W/ GRASS STRIP**

SCALE: 1" = 1'-0"



**DECORATIVE STREET LIGHT PLAN**

SCALE: 1" = 1'-0"



**STREETSCAPE  
 PATTERSON & GROVE  
 AVENUES**

RICHMOND, VIRGINIA

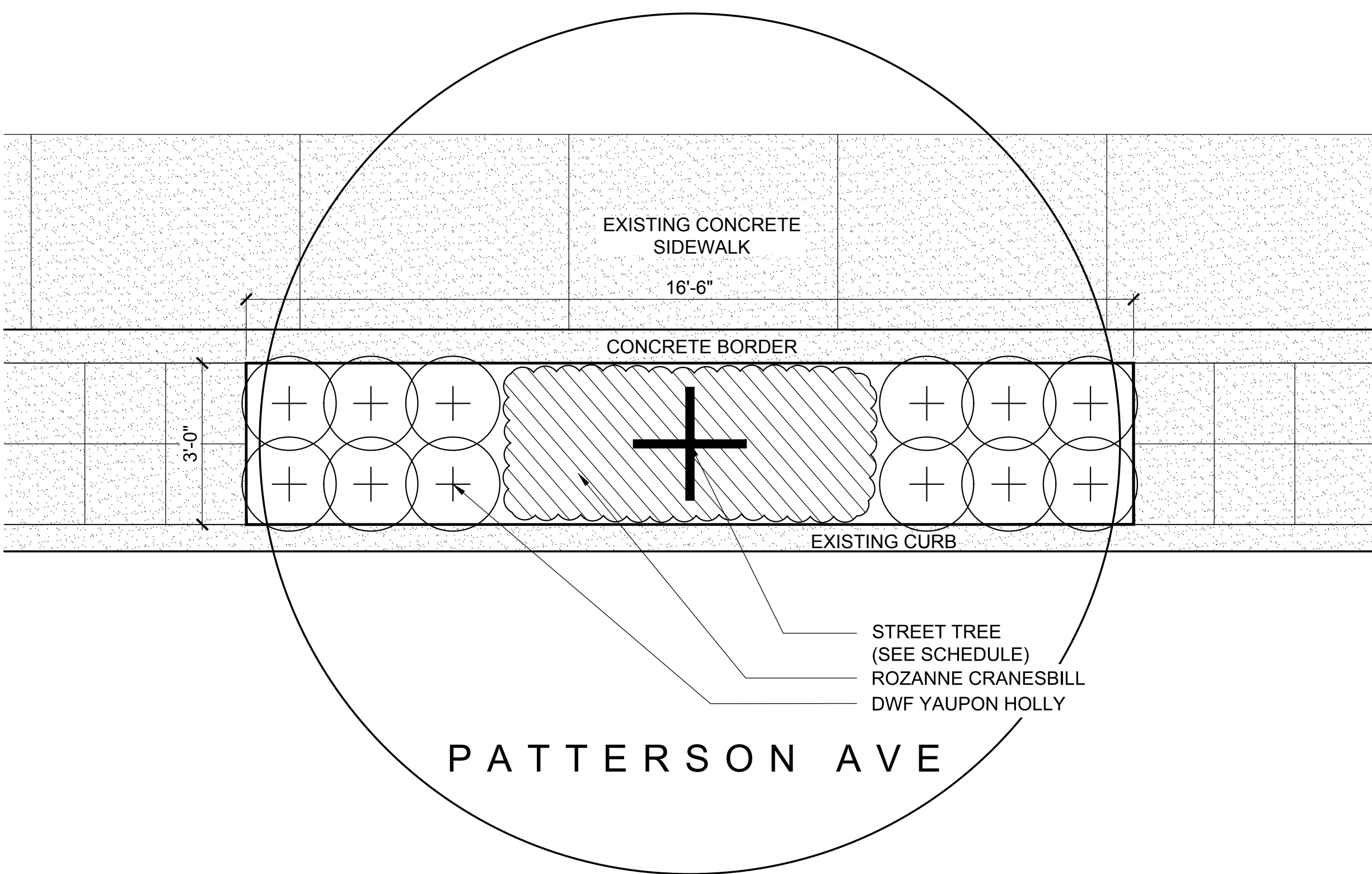
**REVISIONS:**

No.	Description	Date

**LIGHTING  
 DETAILS**

Designed By: ATS  
 Drawn By: ANL  
 Checked By: ATS  
 QA/QC By: DCG  
 Date: FEBRUARY 15, 2017  
 Project Number: M15033  
 Sheet Number:

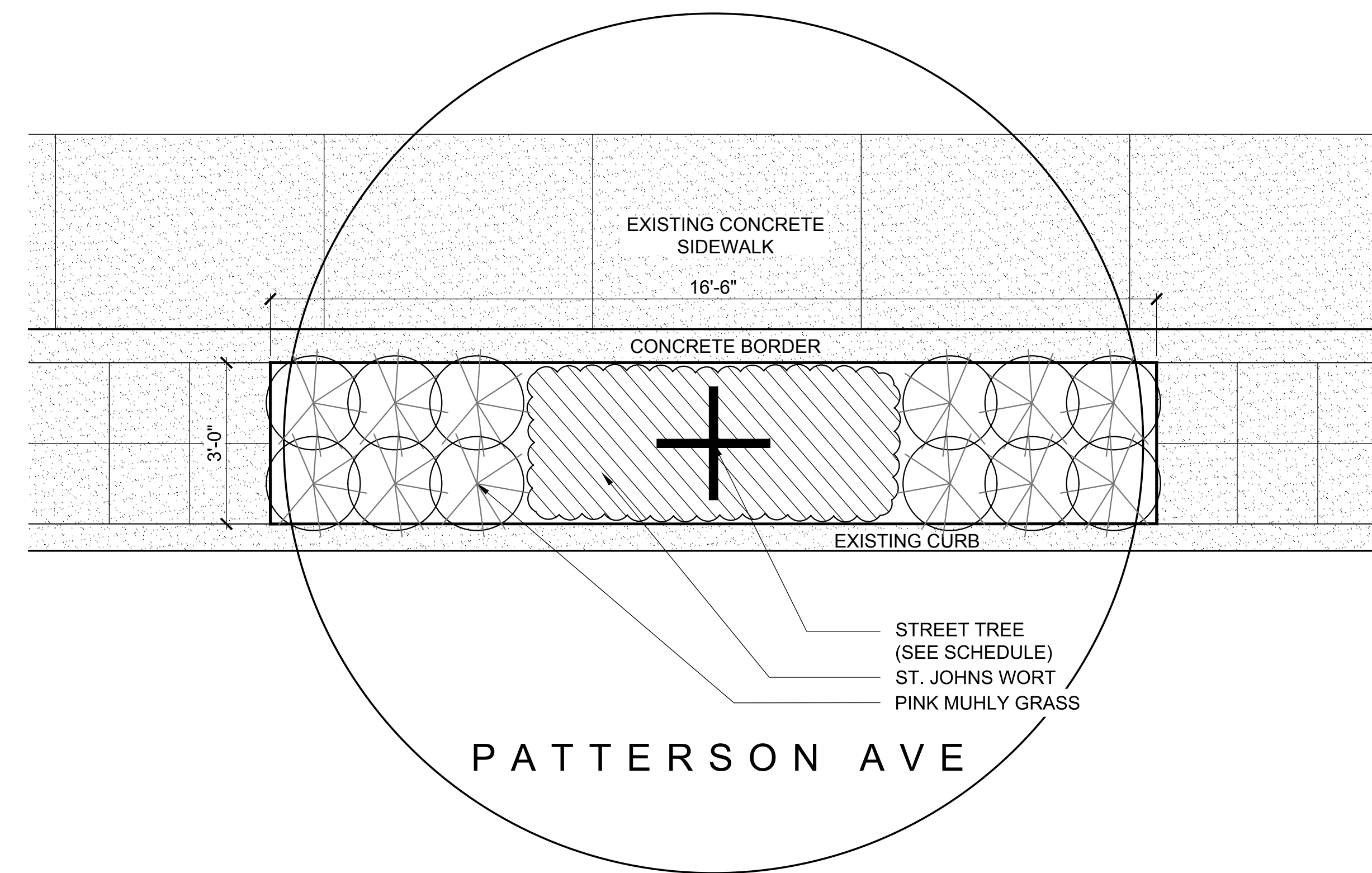




**PLANT MATERIAL SCHEDULE**

QUANTITY	BOTANICAL NAME	COMMON NAME	SPACING	CALIPER	HEIGHT	ROOT TYPE	DETAIL	REMARKS
<b>TREES</b>								
1	CERCIS CANADENSIS	REDBUD	AS SHOWN	2"		B&B	C & D	NORTH SIDE OF PATTERSON AVE
1	PISTACIA CHINENSIS	CHINESE PISTACHE	AS SHOWN	2"		B&B	C & D	SOUTH SIDE OF PATTERSON AVE
<b>SHRUBS</b>								
12	ILEX VOMITORIA 'NANA'	DWF YAUPON HOLLY	AS SHOWN		18"	CONT.	B	
<b>GROUND COVER</b>								
X	GERANIUM 'ROZANNE'	ROZANNE CRANESBILL	12" O.C.			1 GALLON	CONT.	A

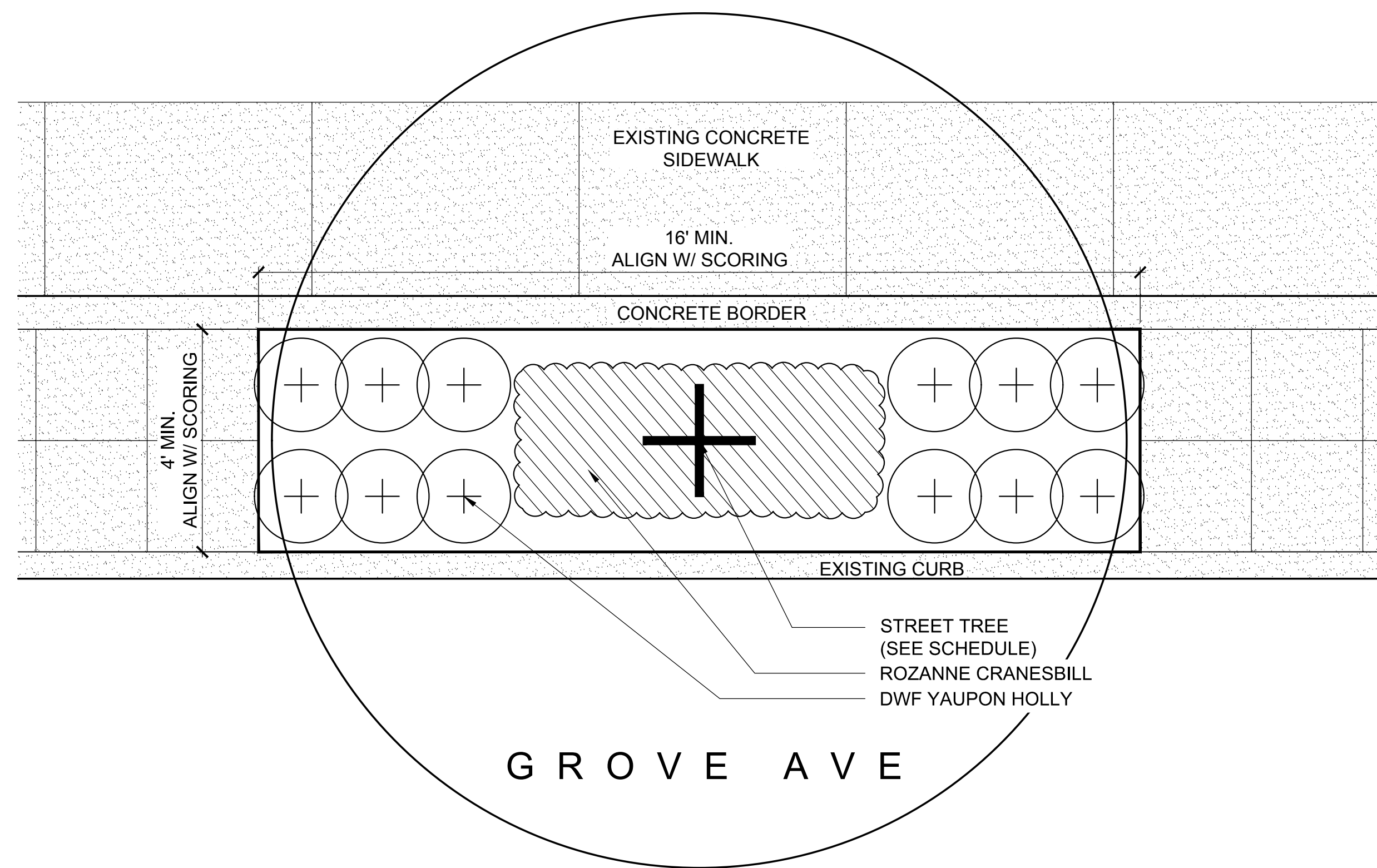
**A** TREEWELL PLAN - A 1/2" = 1'-0"



**PLANT MATERIAL SCHEDULE**

QUANTITY	BOTANICAL NAME	COMMON NAME	SPACING	CALIPER	HEIGHT	ROOT TYPE	DETAIL	REMARKS
<b>TREES</b>								
1	CERCIS CANADENSIS	REDBUD	AS SHOWN	2"		B&B	C & D	NORTH SIDE OF PATTERSON AVE
1	PISTACIA CHINENSIS	CHINESE PISTACHE	AS SHOWN	2"		B&B	C & D	SOUTH SIDE OF PATTERSON AVE
<b>SHRUBS</b>								
12	MUHLENBERGIA CAPILLARIS	PINK MUHLY GRASS	AS SHOWN		3 GALLON	CONT.	B	FULL CLUMP
<b>GROUND COVER</b>								
X	HYPERICUM CALYCIUM	ST. JOHNS WORT	6" O.C.			4" POT	CONT.	A 18/FLAT

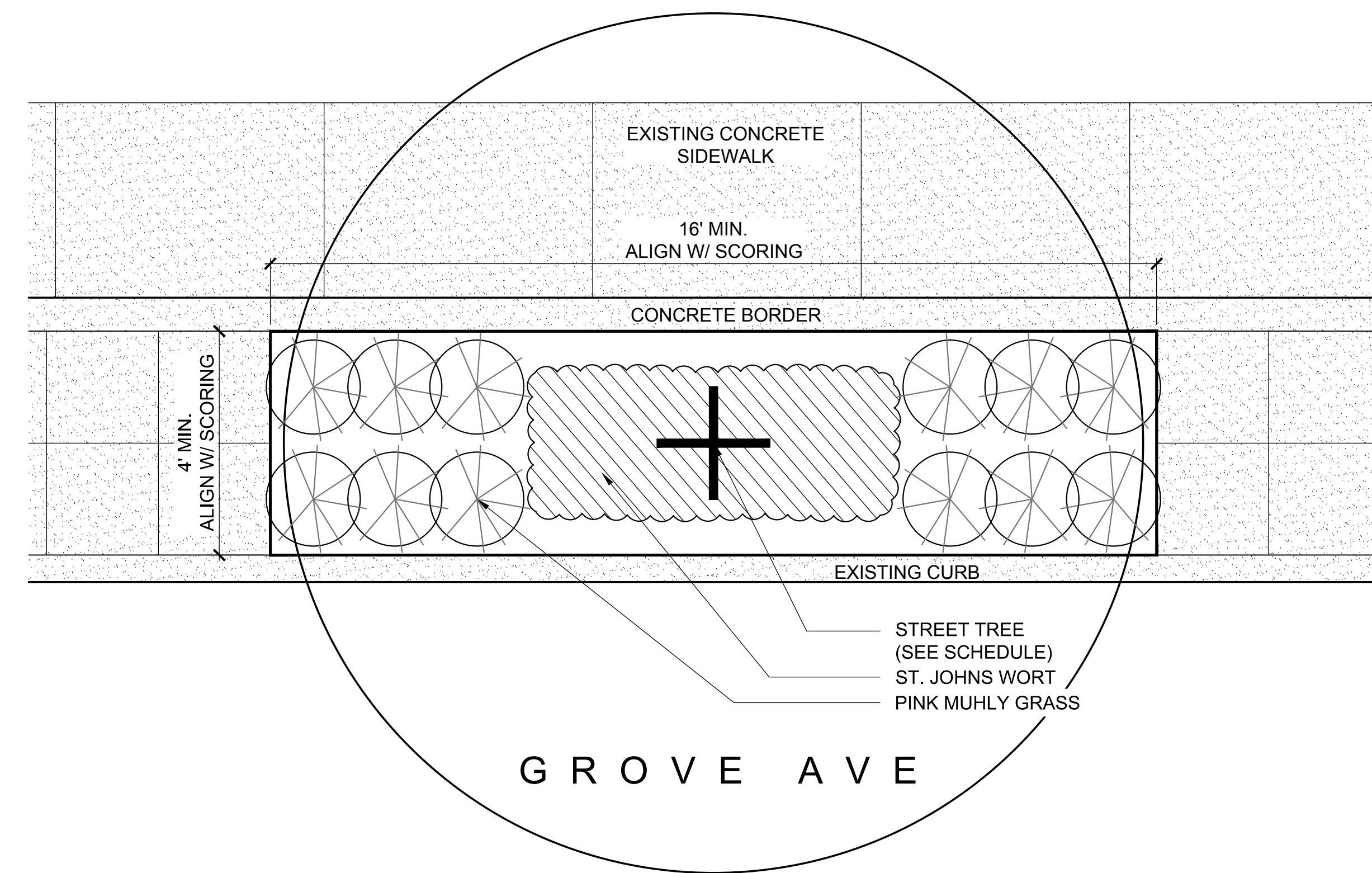
**B** TREEWELL PLAN - B 1/2" = 1'-0"



**PLANT MATERIAL SCHEDULE**

QUANTITY	BOTANICAL NAME	COMMON NAME	SPACING	CALIPER	HEIGHT	ROOT TYPE	DETAIL	REMARKS
<b>TREES</b>								
1	ACER RUBRUM	RED MAPLE	AS SHOWN	2"		B&B	C & D	GROVE AVENUE
<b>SHRUBS</b>								
12	ILEX VOMITORIA 'NANA'	DWF YAUPON HOLLY	AS SHOWN		18"	CONT.	B	
<b>GROUND COVER</b>								
X	GERANIUM 'ROZANNE'	ROZANNE CRANESBILL	12" O.C.			1 GALLON	CONT.	A

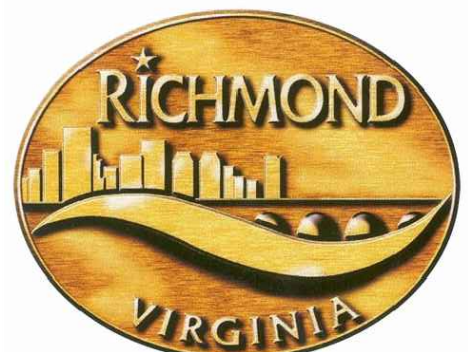
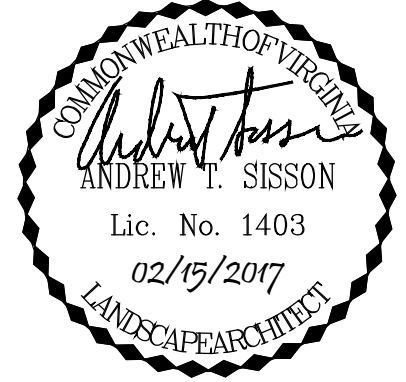
**C** TREEWELL PLAN - C 1/2" = 1'-0"



**PLANT MATERIAL SCHEDULE**

QUANTITY	BOTANICAL NAME	COMMON NAME	SPACING	CALIPER	HEIGHT	ROOT TYPE	DETAIL	REMARKS
<b>TREES</b>								
1	ACER RUBRUM	RED MAPLE	AS SHOWN	2"		B&B	C & D	GROVE AVENUE
<b>SHRUBS</b>								
12	MUHLENBERGIA CAPILLARIS	PINK MUHLY GRASS	AS SHOWN		3 GALLON	CONT.	B	FULL CLUMP
<b>GROUND COVER</b>								
X	HYPERICUM CALYCIUM	ST. JOHNS WORT	6" O.C.			4" POT	CONT.	A 18/FLAT

**D** TREEWELL PLAN - D 1/2" = 1'-0"



**STREETSCAPE  
PATTERSON & GROVE  
AVENUES**

RICHMOND, VIRGINIA

REVISIONS:

No.	Description	Date

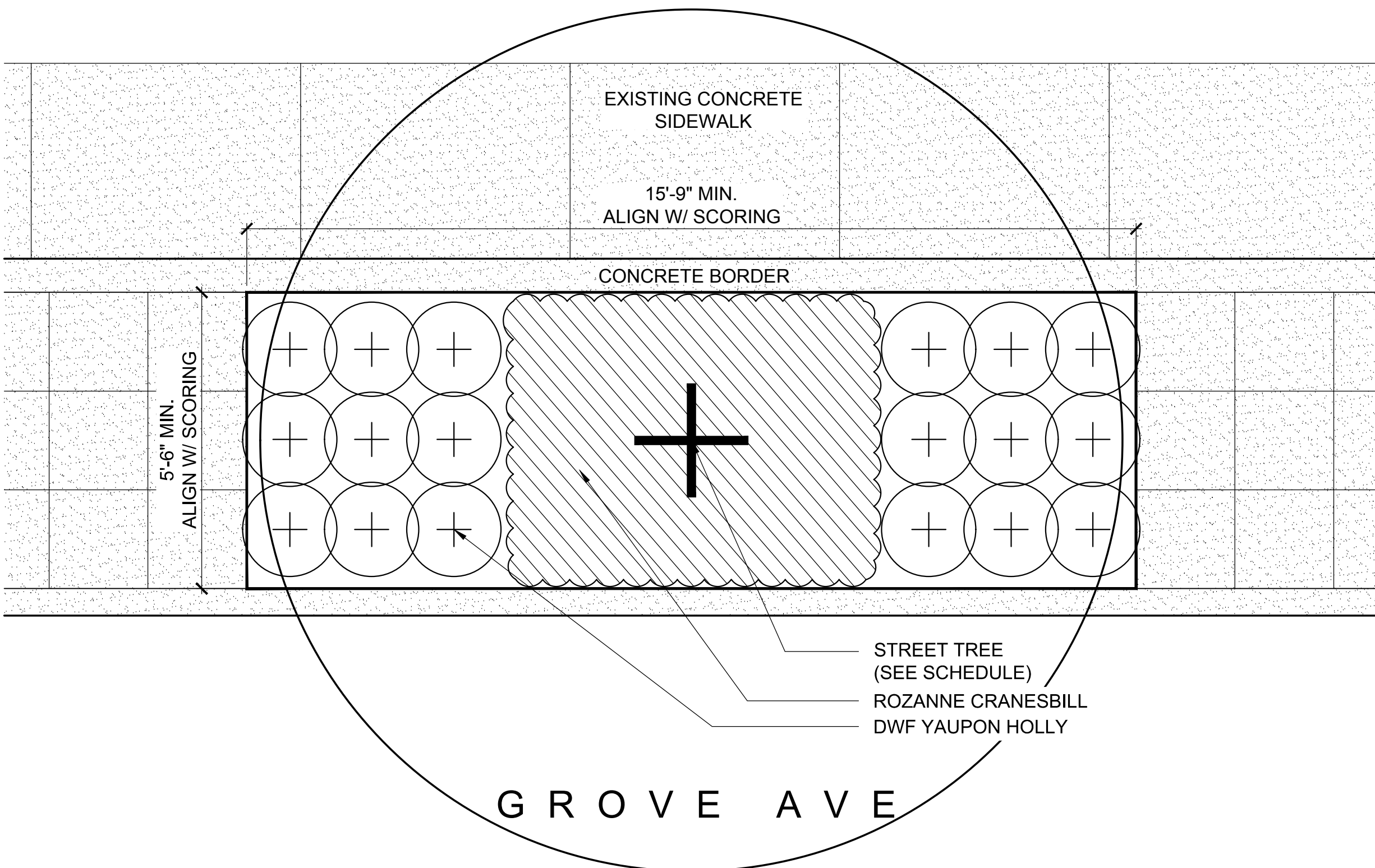
No. Description Date

**LANDSCAPE NOTES  
& DETAILS**

Designed By: ATS  
Drawn By: ANL  
Checked By: ATS  
QA/QC By: DCG  
Date: FEBRUARY 15, 2017  
Project Number: M15033  
Sheet Number:

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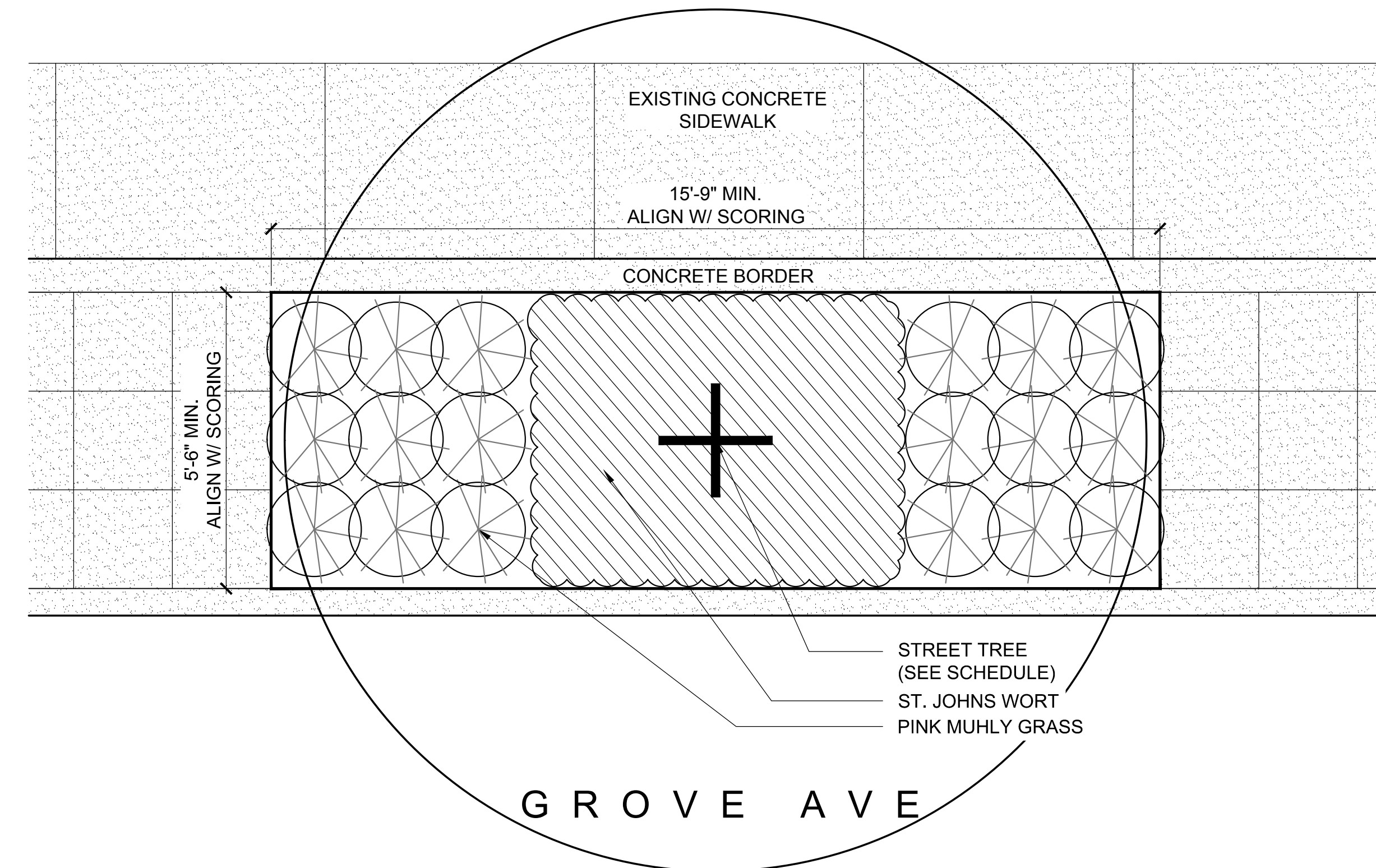


**PLANT MATERIAL SCHEDULE**

QUANTITY	BOTANICAL NAME	COMMON NAME	SPACING	CALIPER	HEIGHT	ROOT TYPE	DETAIL	REMARKS
<b>TREES</b>								
1	ACER RUBRUM	RED MAPLE	AS SHOWN	2"		B&B	C & D	GROVE AVENUE
<b>SHRUBS</b>								
18	ILEX VOMITORIA 'NANA'	DWF YAUPON HOLLY	AS SHOWN		18"	CONT.	B	
<b>GROUND COVER</b>								
X	GERANIUM 'ROZANNE'	ROZANNE CRANESBILL	12" O.C.			1 GALLON	CONT.	A

**E** TREEWELL PLAN - E

1/2" = 1'-0"

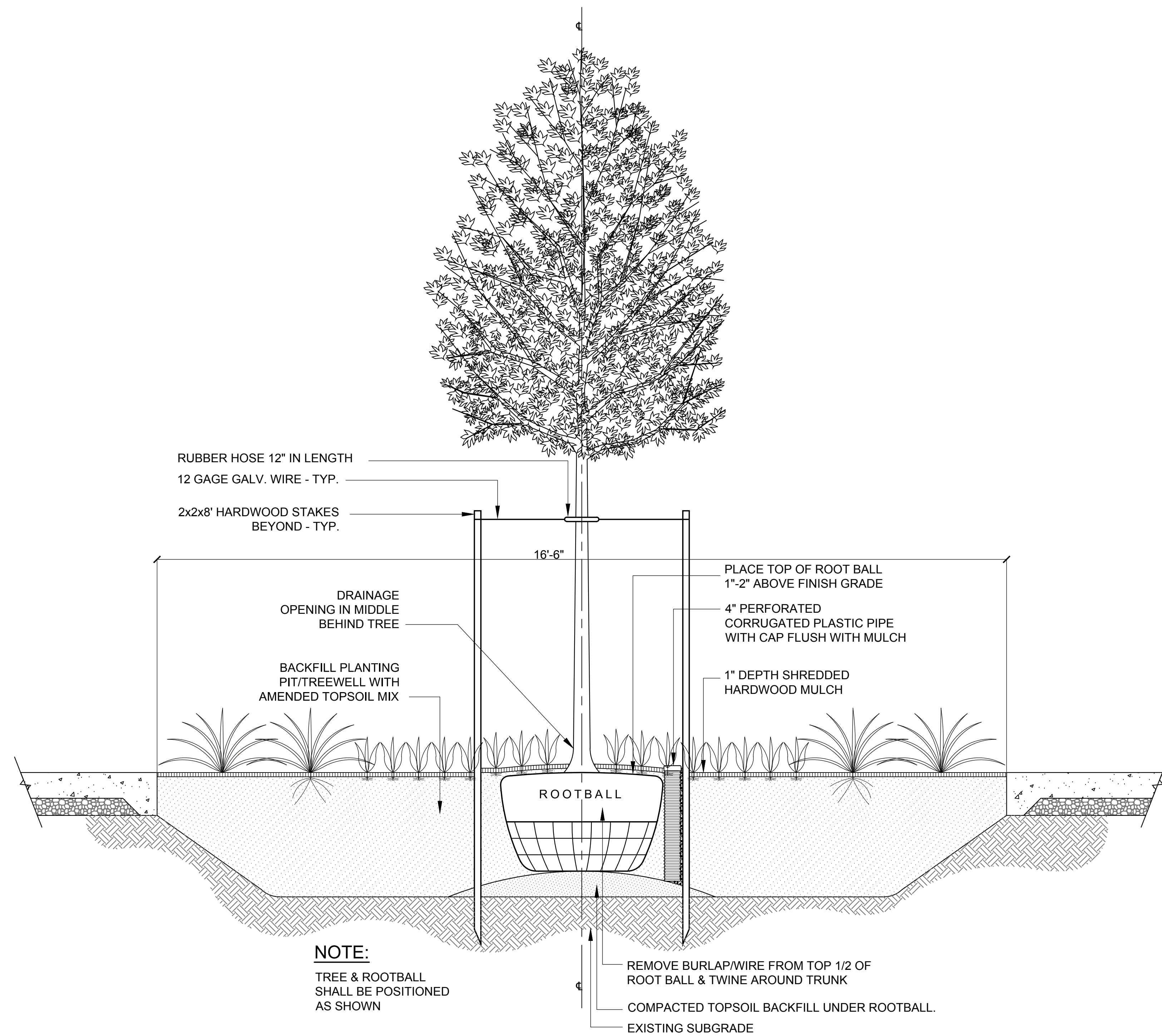


**PLANT MATERIAL SCHEDULE**

QUANTITY	BOTANICAL NAME	COMMON NAME	SPACING	CALIPER	HEIGHT	ROOT TYPE	DETAIL	REMARKS
<b>TREES</b>								
1	ACER RUBRUM	RED MAPLE	AS SHOWN	2"		B&B	C & D	GROVE AVENUE
<b>SHRUBS</b>								
18	MUHLENBERGIA CAPILLARIS	PINK MUHLY GRASS	AS SHOWN			3 GALLON	CONT.	B
<b>GROUND COVER</b>								
X	HYPERICUM CALYGINUM	ST. JOHNS WORT	6" O.C.			4" POT	CONT.	A

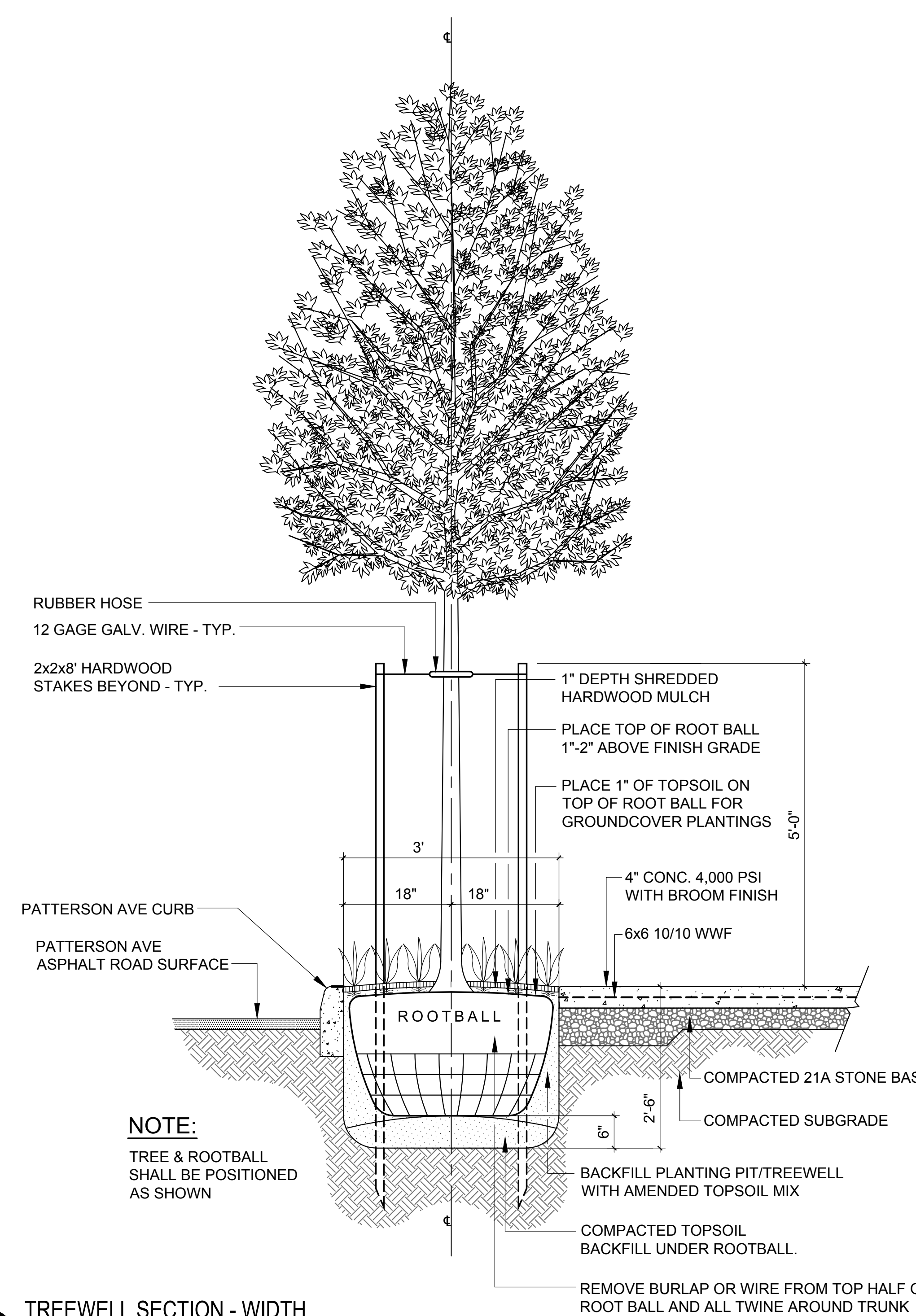
**F** TREEWELL PLAN - F

1/2" = 1'-0"



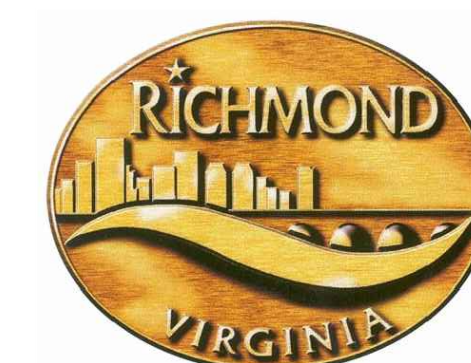
**G** TREEWELL SECTION - LENGTH

3/4" = 1'-0"



**H** TREEWELL SECTION - WIDTH

3/4" = 1'-0"



**STREETSCAPE  
PATTERSON & GROVE  
AVENUES**

RICHMOND, VIRGINIA

**REVISIONS:**

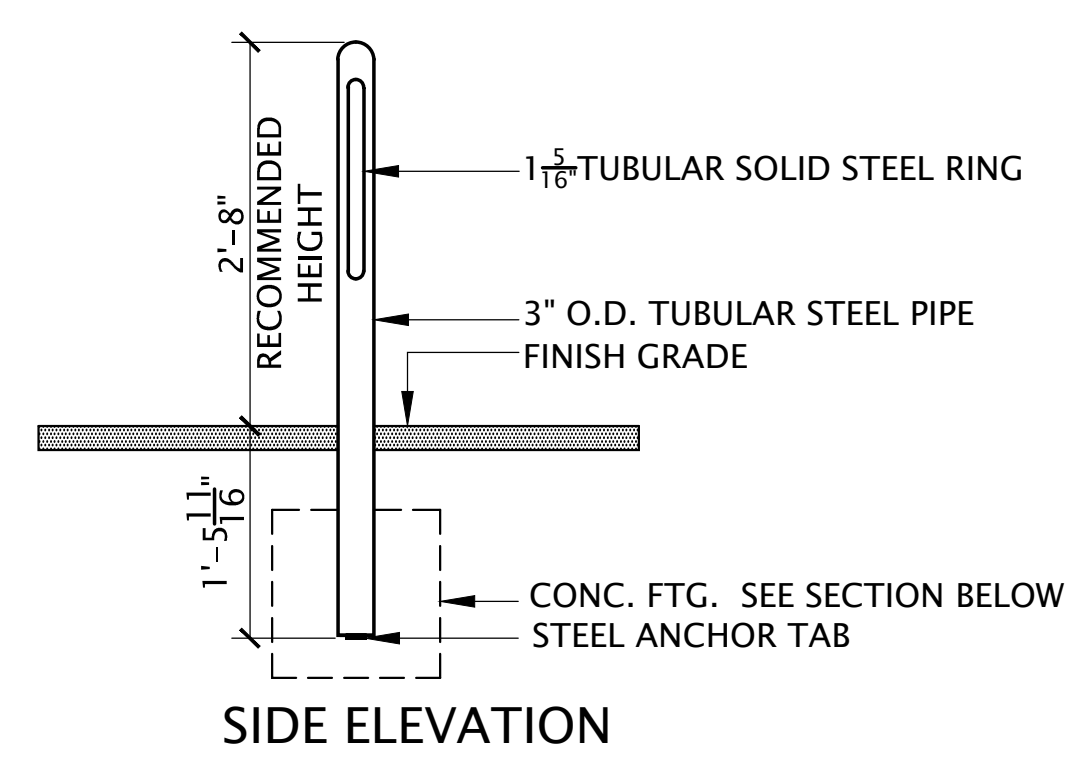
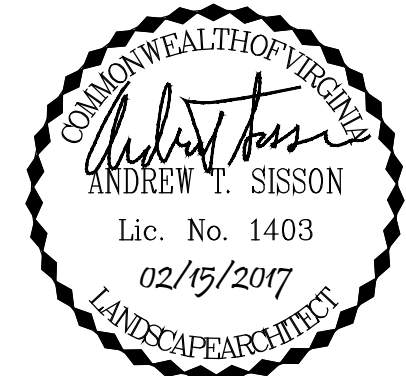
No.	Description	Date

No.	Description	Date

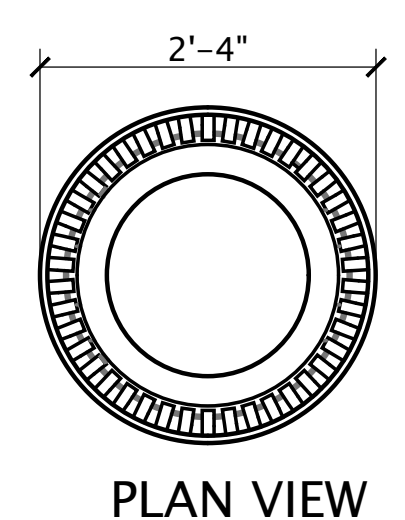
**LANDSCAPE NOTES  
& DETAILS**

Designed By:	ATS
Drawn By:	ANL
Checked By:	ATS
QA/QC By:	DCG
Date:	FEBRUARY 15, 2017
Project Number:	M15033
Sheet Number:	

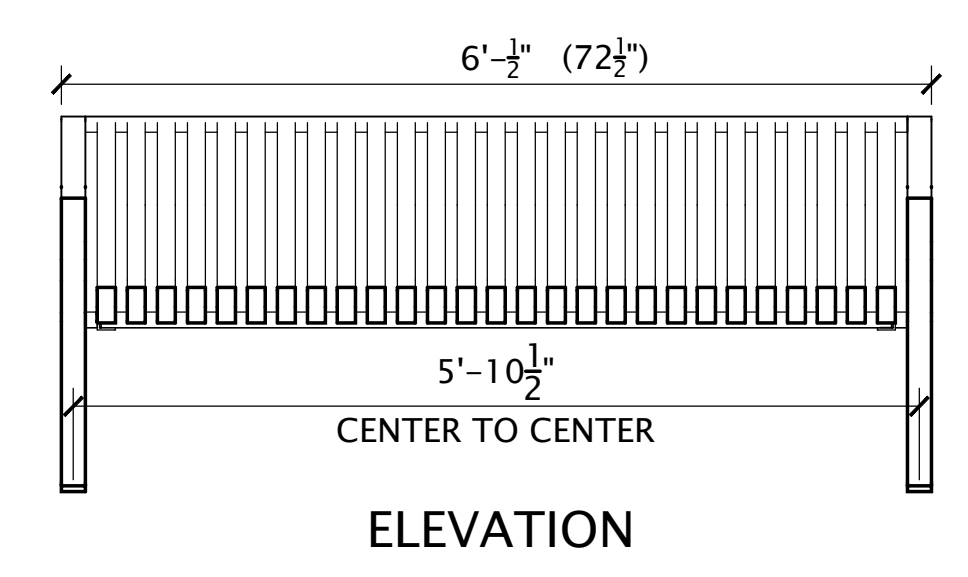




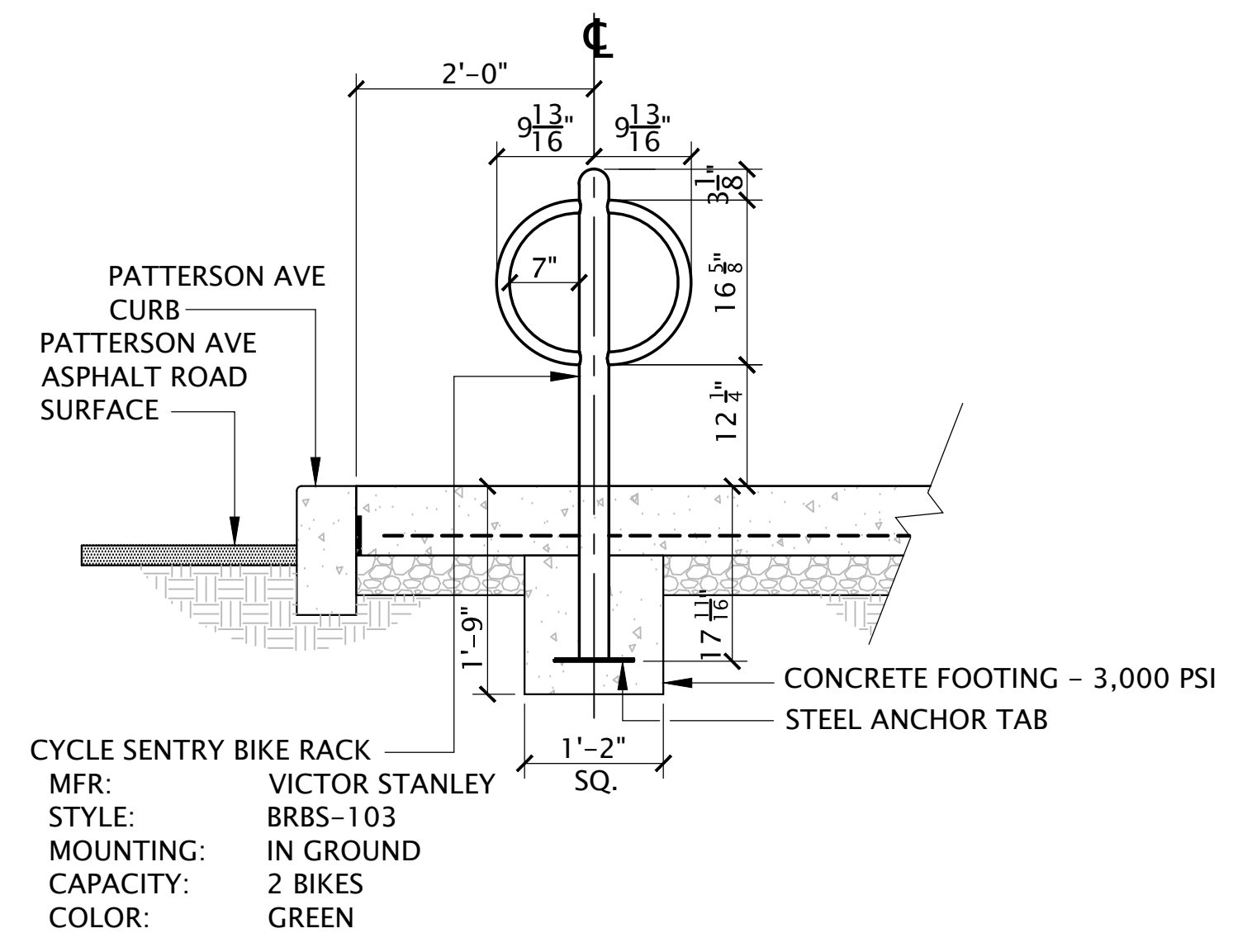
SIDE ELEVATION



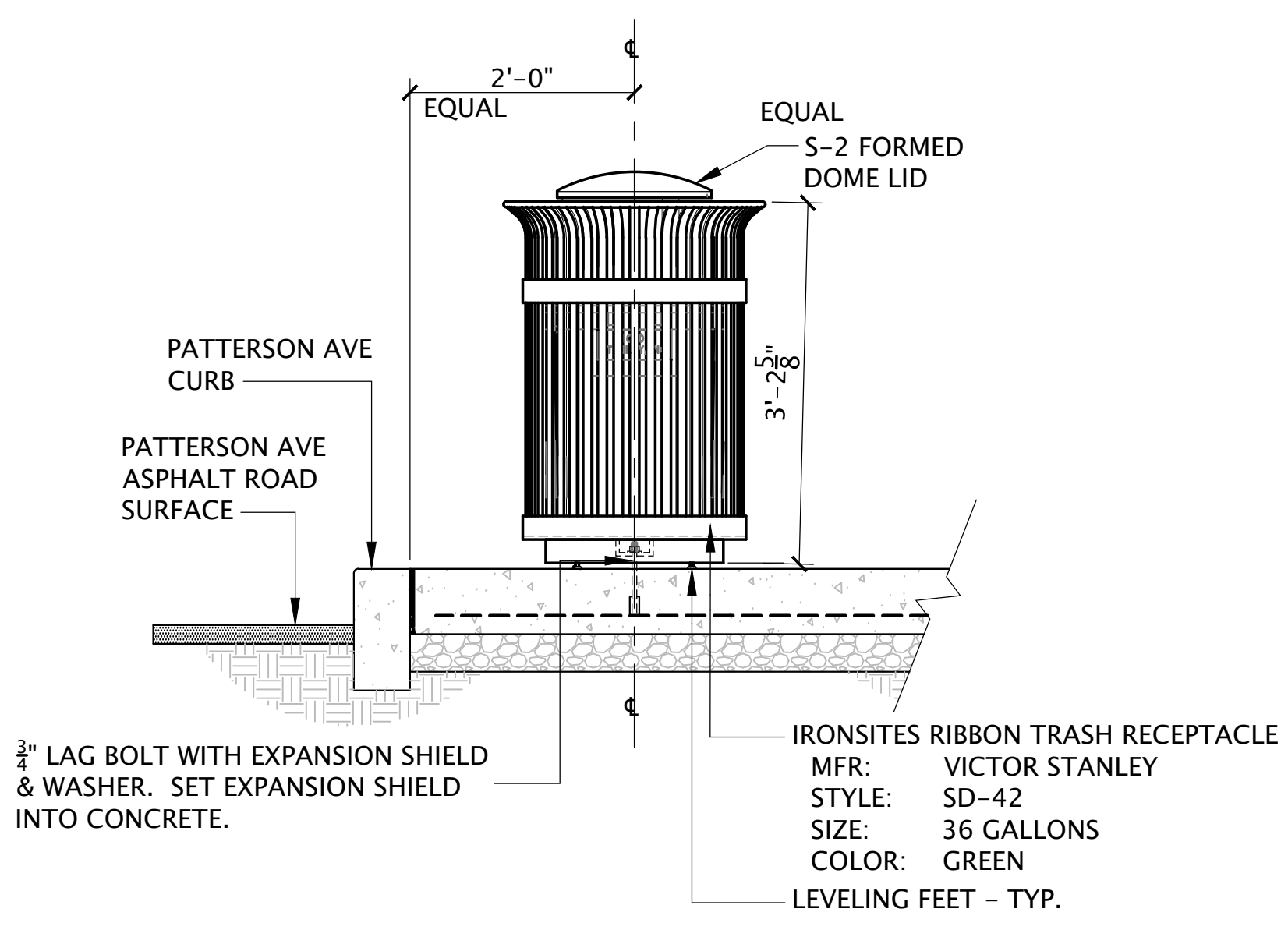
PLAN VIEW



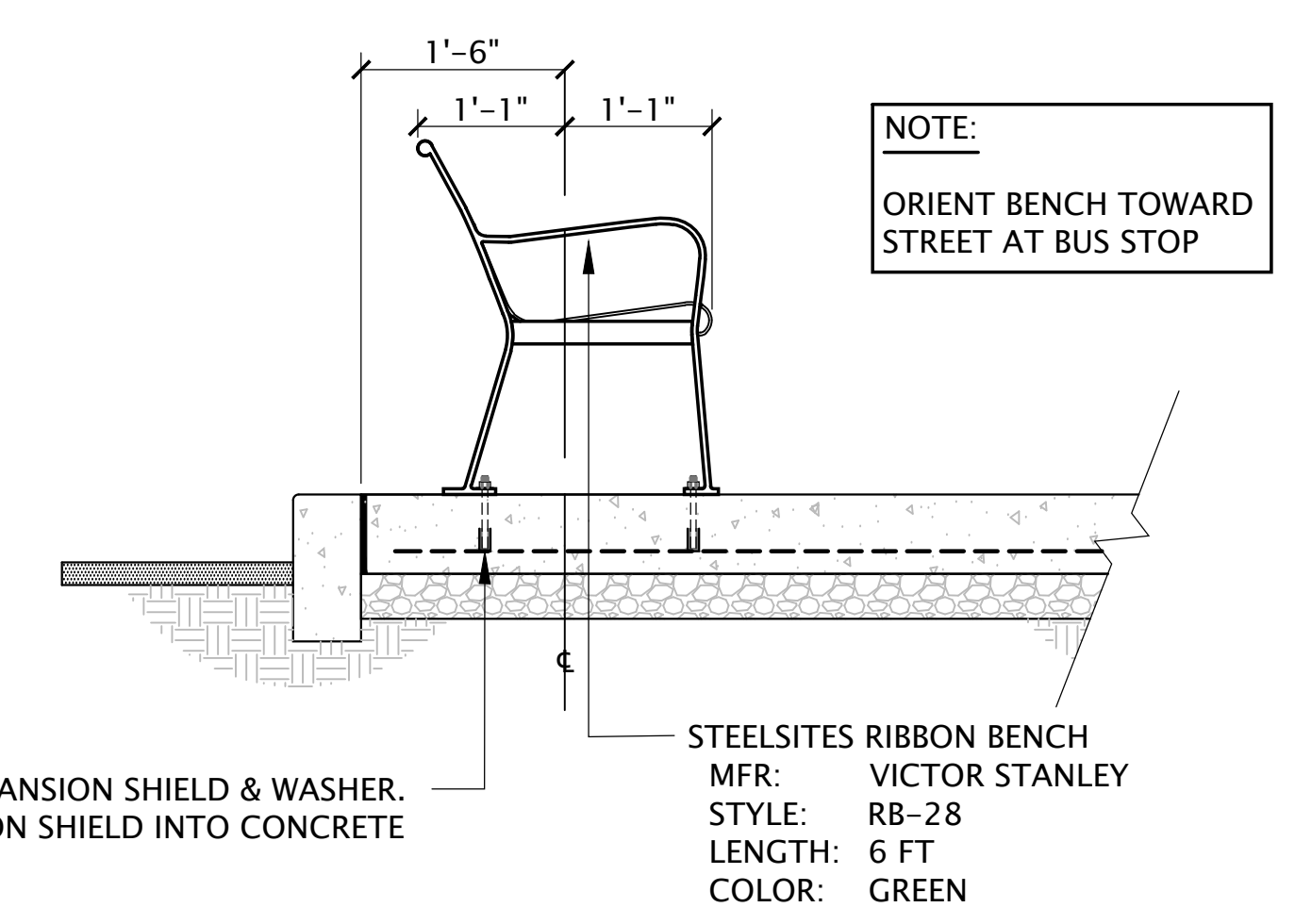
ELEVATION



SECTION



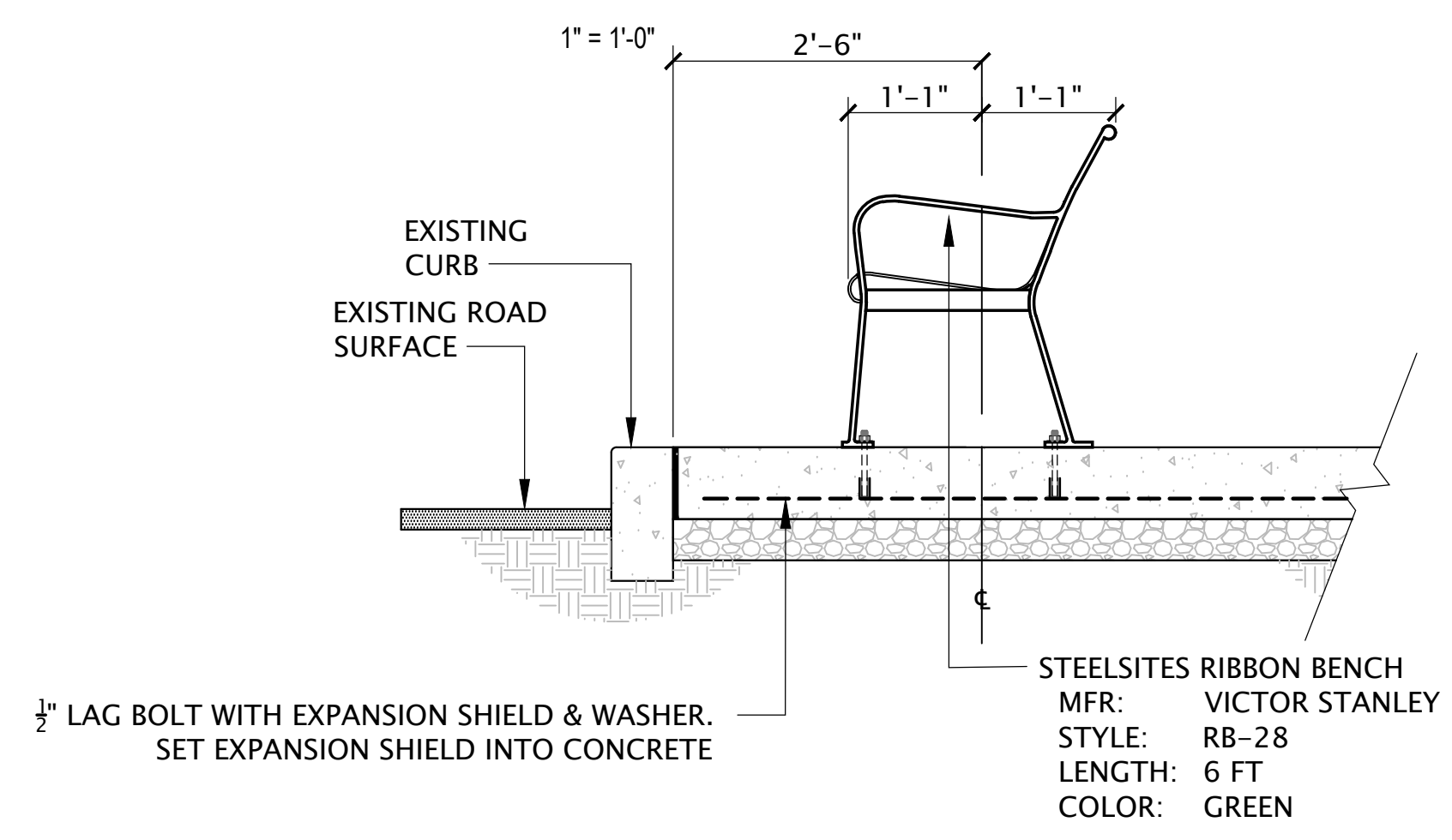
SECTION



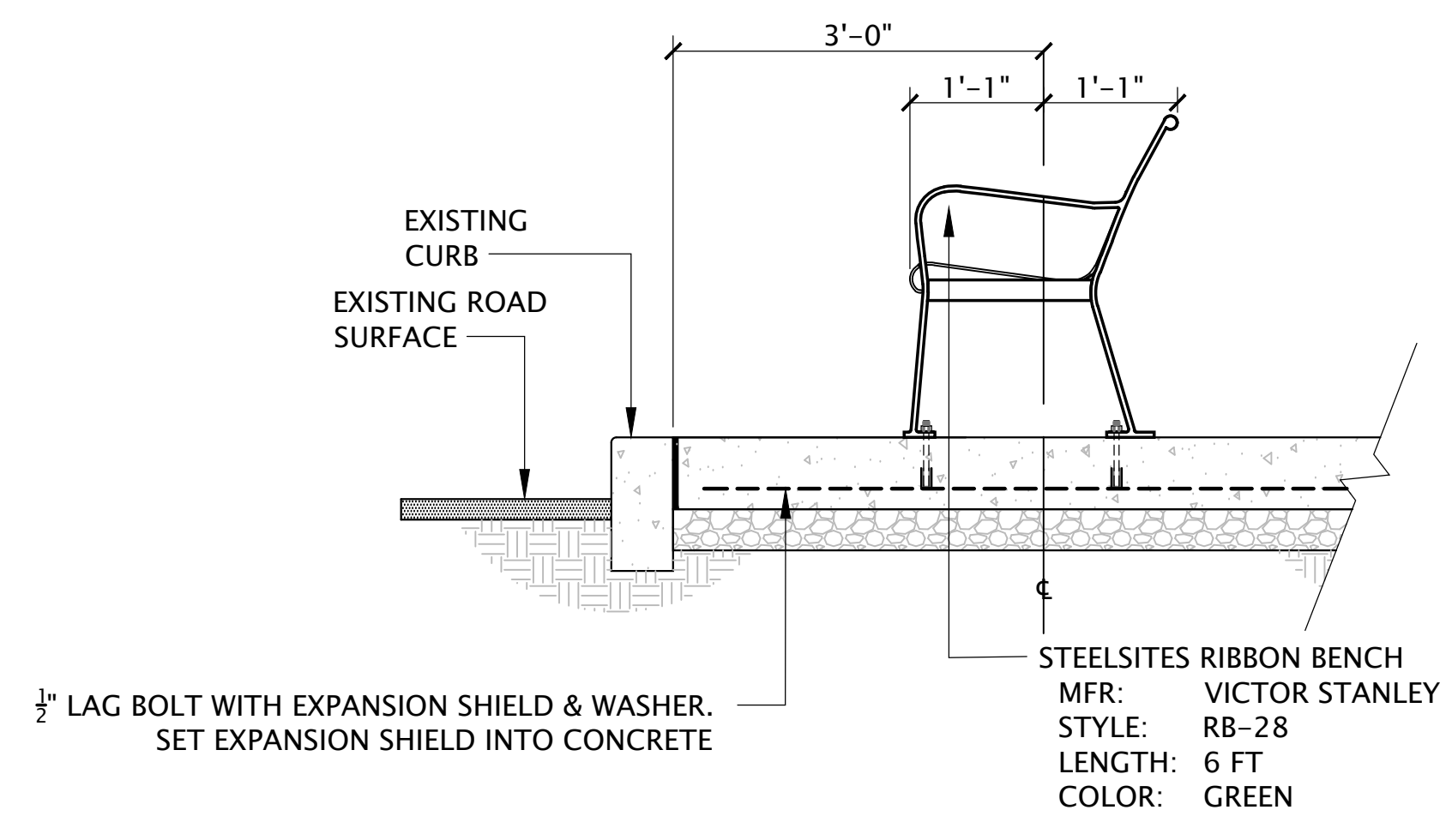
SECTION - 3' AMENITY AREA

1 SECTION BIKE RACK FASTENING DETAIL  
SCALE: 1" = 1'-0"

2 SECTIONAL ELEVATION TRASH CAN FASTENING DETAIL  
SCALE: 1" = 1'-0"



SECTION - 4' AMENITY AREA



SECTION - 6' AMENITY AREA

3 SECTIONAL ELEVATION BENCH FASTENING DETAIL  
SCALE:

STREETScape  
PATTERSON & GROVE  
AVENUES

RICHMOND, VIRGINIA

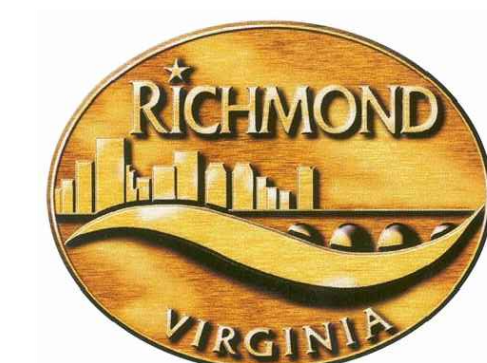
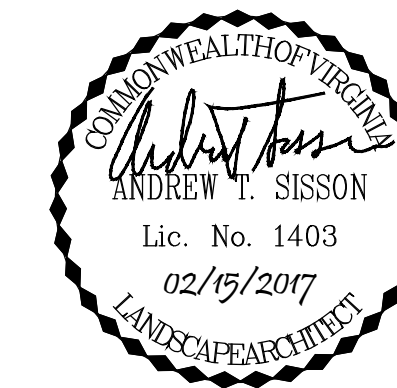
REVISIONS:

No.	Description	Date

SITE FURNISHING  
DETAILS

Designed By:	ATS
Drawn By:	ANL
Checked By:	ATS
QA/QC By:	DCG
Date:	FEBRUARY 15, 2017
Project Number:	M15033
Sheet Number:	

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**STREETScape  
PATTERSON & GROVE  
AVENUES**

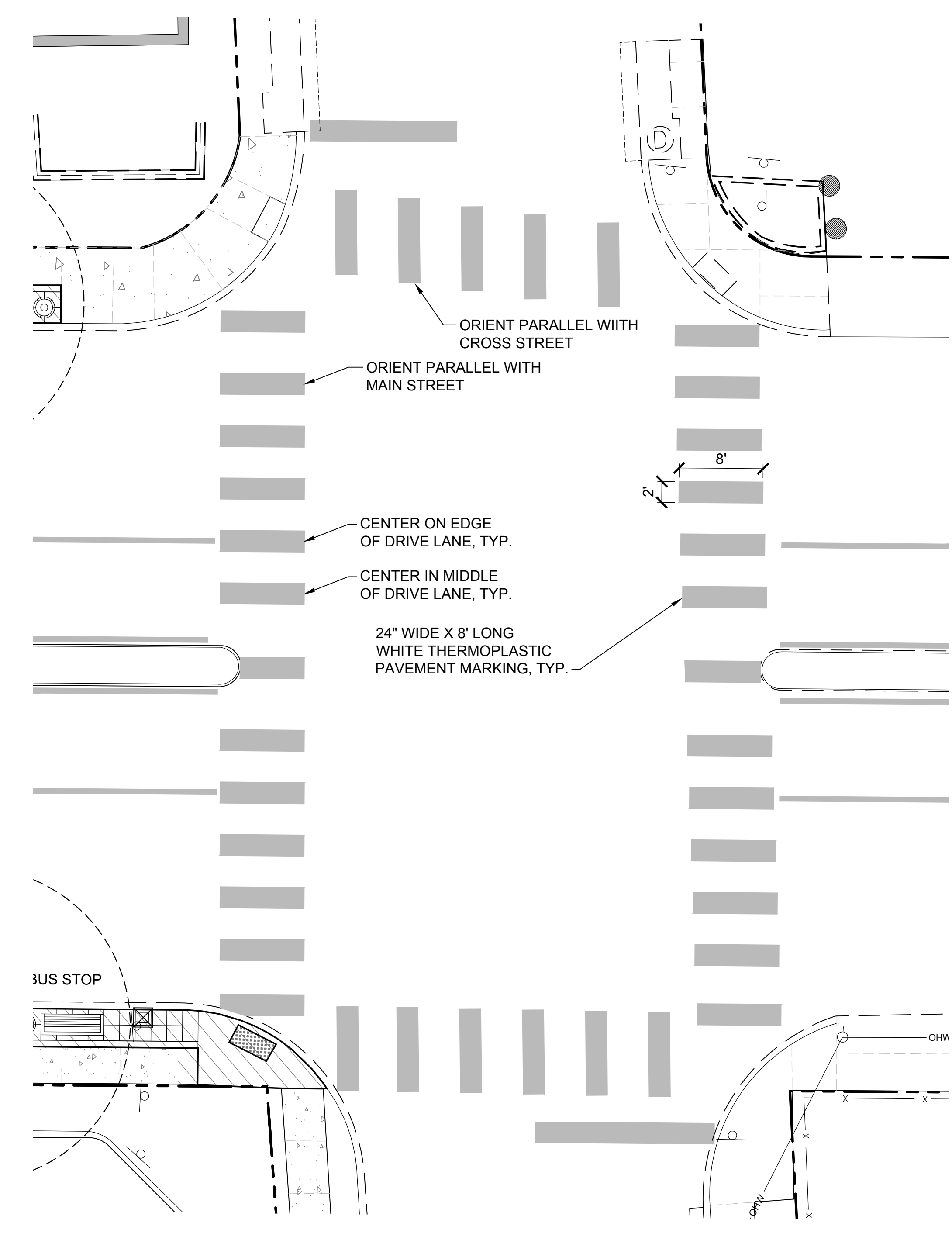
RICHMOND, VIRGINIA

REVISIONS:

No.	Description	Date

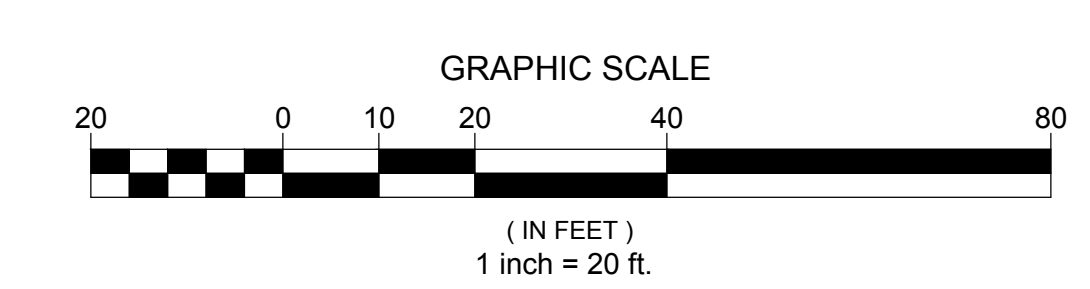
**CROSSWALK  
STRIPING PLAN**

Designed By:	ATS
Drawn By:	ANL
Checked By:	ATS
QA/QC By:	DCG
Date:	FEBRUARY 15, 2017
Project Number:	M15033
Sheet Number:	L4.6



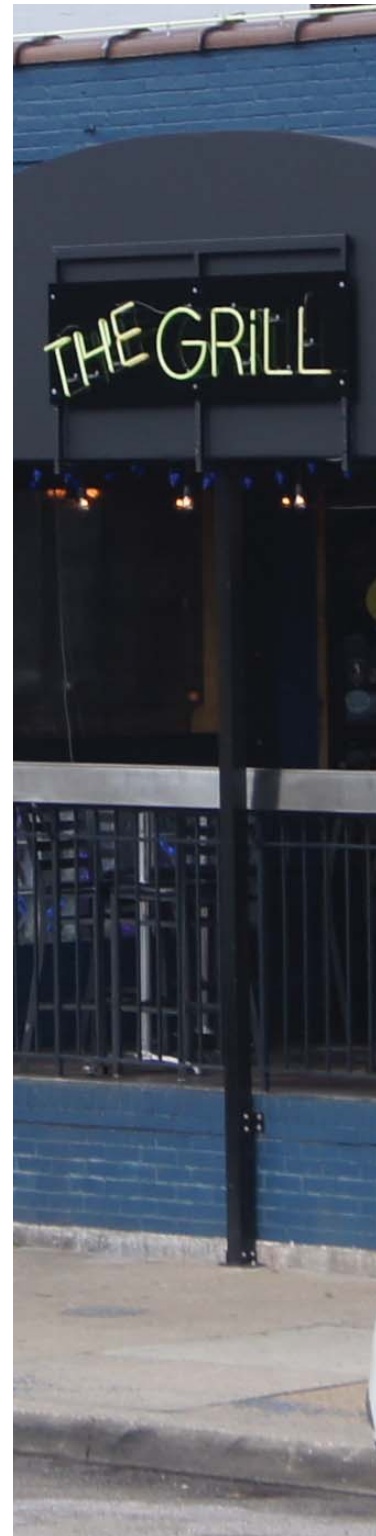
**TYPICAL CROSSWALK STRIPING**

SCALE: 1" = 8'



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# STREETSCAPE DESIGN FOR PATTERSON & GROVE AVENUES





## PURPOSE

The purpose of this study is to provide design guidelines for the streetscape along Patterson Avenue and Grove Avenue within the Westhampton Commercial District. The guidelines address the following goals.

- Developing a unique physical identity for the Westhampton Commercial District. The Grove Avenue and Patterson Avenue commercial corridors have existed up to this point as separate entities. Streetscape design seeks to create a visual connection between the two streets, developing a singular identity.
- Complimenting the varied business uses and character of the area. While providing an identity as a whole for the area is important, the design also needs to address, and compliment, the way various businesses relate to the street. In addition, the design needs to work as well for areas with a more suburban character as it does for areas with an urban character.
- Providing a better experience for visitors. The streetscape should create a welcoming feel with clear circulation and areas to linger and rest. Vehicular traffic should be able to clearly identify driveways and parking. The streetscape should provide a walkable environment that emphasizes the pedestrian presence.

## SCOPE

This study addresses the areas within the right of way on the following stretches of Patterson and Grove Avenues.

- Patterson Avenue between Maple Avenue and Willow Lawn Drive
- Grove Avenue between Maple Avenue and Westview Avenue

Funding has been secured to execute a limited amount of the following design as a first phase. The City of Richmond and HG are currently working with the Westhampton Merchants Association to define the scope of phase I construction. This study will provide design guidance for future phases of construction. Regardless of whether construction occurs in large sections or piece by piece as elements are replaced, these design guidelines will provide a consistent character for the district.

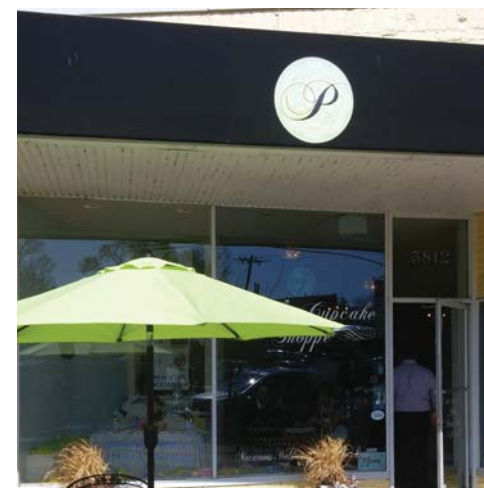








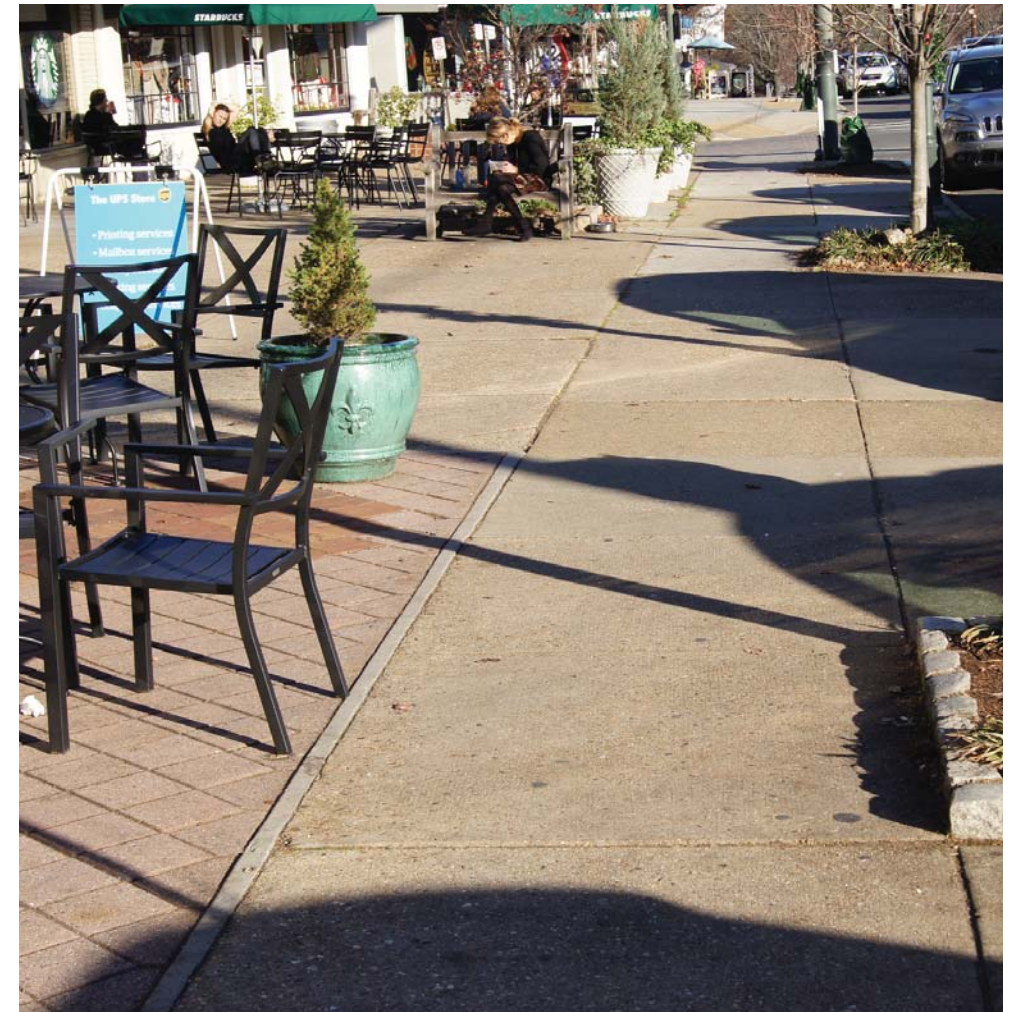
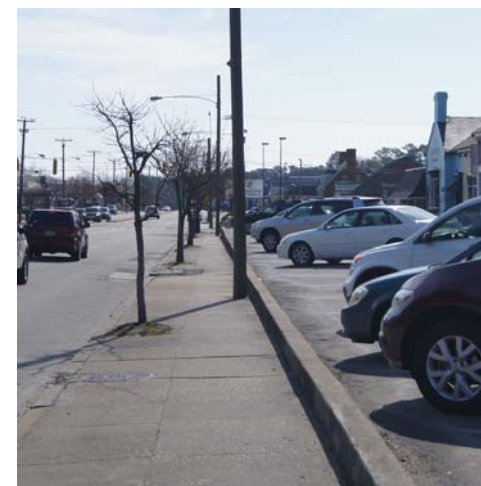
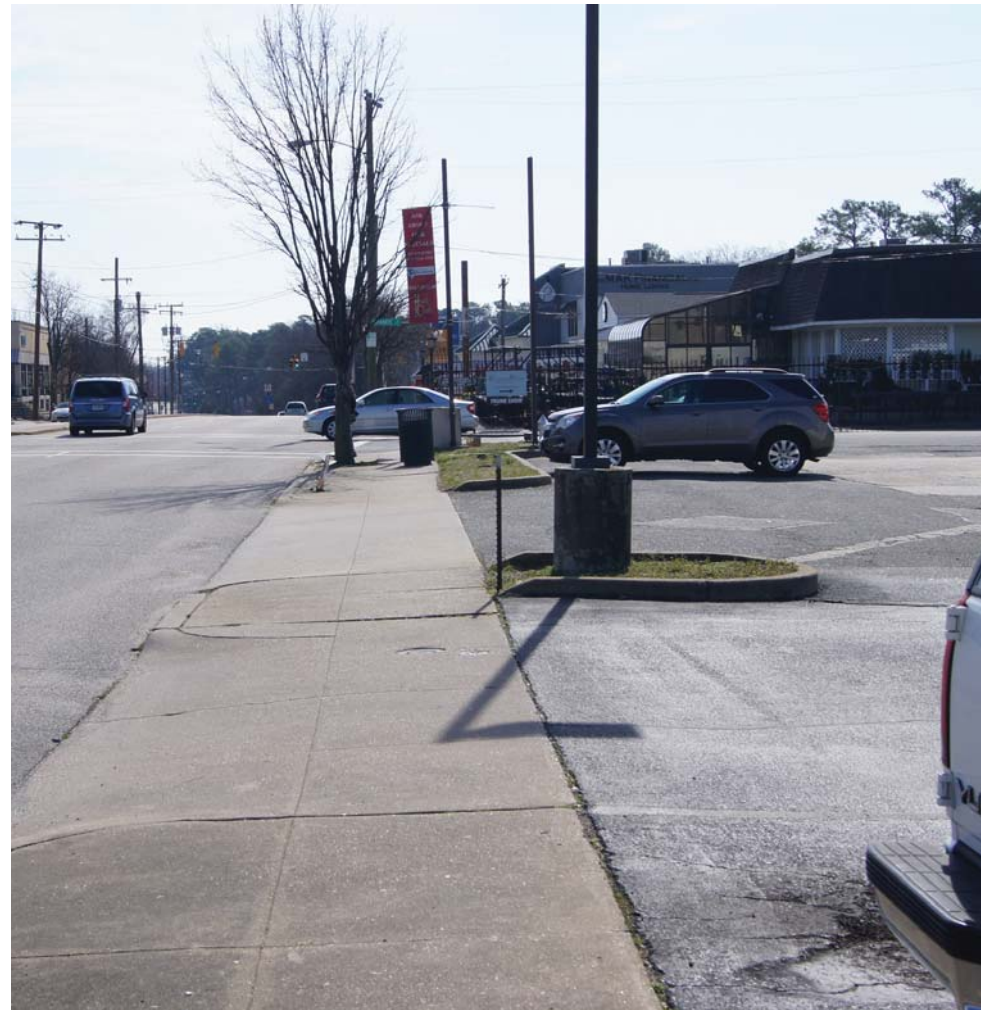
**VARIETY OF USES**  
 THE AREA IS HOME TO LARGE AND SMALL RETAIL ESTABLISHMENTS, RESTAURANTS, OFFICES, BANKS, GAS STATIONS, A PUBLIC LIBRARY, AND THE FUTURE BON SECOURS COLLEGE OF NURSING. THE VARIETY OF USES IS ONE OF THE AREA'S STRENGTHS. HOWEVER, ALL OF THESE BUSINESSES RELATE TO THE STREET IN DIFFERENT WAYS. CREATING A UNIFIED STREETSCAPE THAT GIVES THE AREA AN IDENTITY AS A WHOLE, WHILE STILL TRYING TO MEET THE NEEDS OF THE VARIOUS BUSINESSES IN THE AREA PRESENTS A REAL CHALLENGE.





**STREETSCAPE CHARACTER**

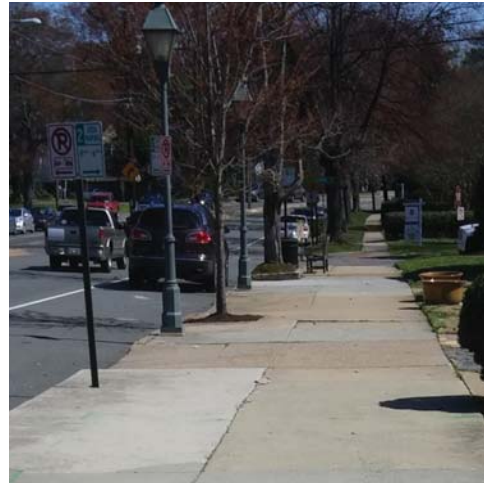
THE CHARACTER OF THE STREETSCAPE VARIES THROUGHOUT THE PROJECT AREA. IN SOME PLACES IT HAS A VERY URBAN FEEL WITH BUSINESSES RIGHT UP ON THE SIDEWALK AND OUTDOOR SEATING AREAS. IN OTHERS, PARKING ADJACENT TO THE SIDEWALK AND DRIVEWAY ENTRANCES REPEATEDLY CROSSING THE SIDEWALK CREATE A MORE SUBURBAN FEEL. HOUSES CONVERTED TO OFFICE SPACE MEETING THE SIDEWALK WITH LAWNS CREATE A COMPLETELY DIFFERENT CHARACTER. THE STREETSCAPE DESIGN NEEDS TO COMPLIMENT ALL OF THESE VARIATIONS IN ORDER TO SUCCESSFULLY TIE THEM TOGETHER WHILE MAINTAINING EACH'S CHARACTER.





**SIDEWALK**

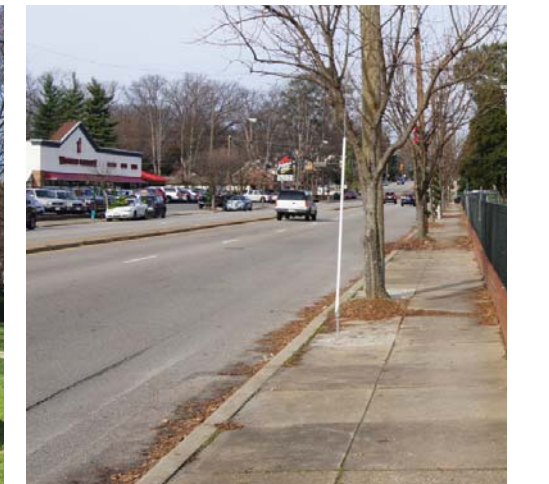
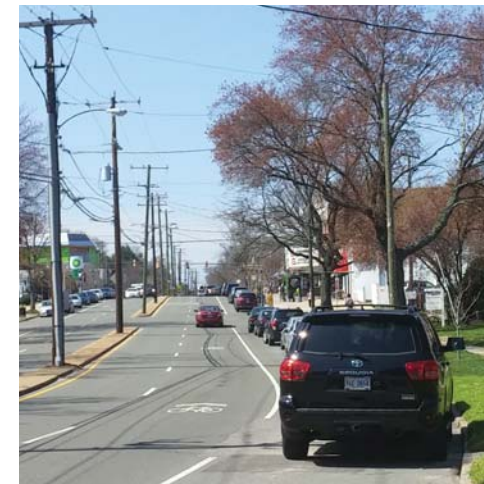
SIDEWALKS ARE OVERWHELMINGLY CONCRETE WITH THE EXCEPTION OF ONE STRETCH ON PATTERSON. OVERALL, THE SIDEWALKS ARE IN GOOD CONDITION. INSTANCES OF HEAVING AROUND TREE WELLS, PATCHING, AND SETTLING THAT SHOULD BE ADDRESSED.



**CROSSWALKS**  
CROSSWALKS VARY IN STYLE THOUGHOUT THE AREA. IN SOME LOCATIONS CROSSWALKS ARE COMPLETELY ABSENT. OVERALL, THE EXISTING CROSSWALKS FAIL TO EMPHASIZE THE PEDESTRIAN NATURE OF THE AREA.



**PARKING**  
MARKED PARKING LANES ALONG GROVE AVENUE HELP TO IDENTIFY PARKING AREAS. WITHOUT THESE MARKINGS IT IS OFTEN DIFFICULT TO DETERMINE WHETHER PARKING IS ALLOWED ALONG STRETCHES OF PATTERSON AVENUE. THE MULTITUDE OF PARKING SIGNS OFTEN MAKES PARKING CONFUSING.



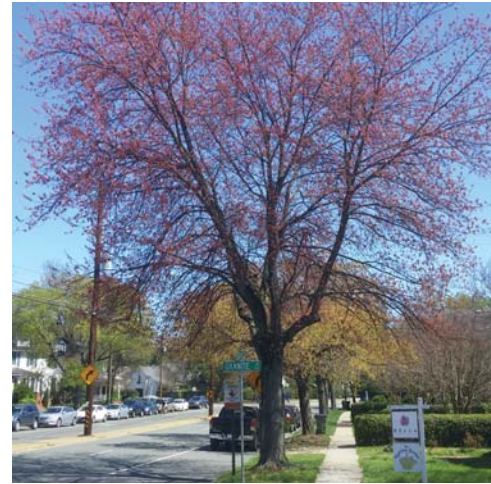
**TREE WELLS**  
OVERALL, TREE WELLS ARE UNDERSIZED. THE STYLE OF TREE WELLS VARIES THROUGHOUT THE AREA FROM COBBLE OR TIMBER EDGED TO FLUSH WITH THE SIDEWALK.





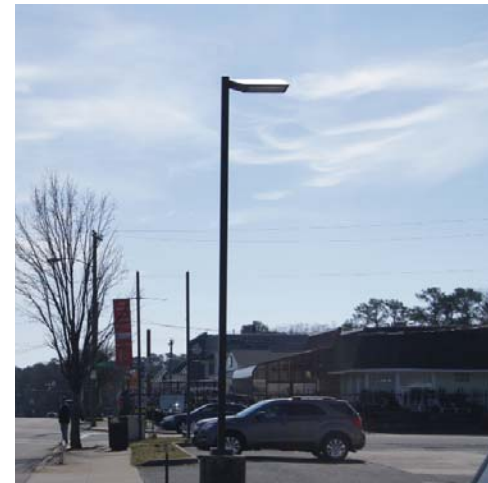
**STREET TREES**

TREES RANGE FROM RECENTLY PLANTED SAPLINGS TO FULLY MATURE TREES. TREE SPECIES ARE NOT ALWAYS CONSISTENT. SOME TREE WELLS ARE MISSING TREES. MATURE TREES IN SEVERAL CASES HAVE OUTGROWN THEIR TREE WELLS. A NUMBER OF TREES HAVE BEEN TOPPED TO AVOID CONFLICTS WITH POWER LINES.



**LIGHTING**

THE DECORATIVE STREET LAMPS USED ALONG GROVE AVENUE ARE ONE OF THE MOST DEFINING ELEMENTS IN THE AREA. ADDITIONAL LIGHT IS PROVIDED BY COBRAHEAD LIGHTS MOUNTED ON THE UTILITY POLES AND PRIVATE LIGHTING ON INDIVIDUAL PROPERTIES.



**SITE FURNITURE**

SITE FURNITURE IS LIMITED TO BENCHES, LOCATED PRIMARILY AT BUS STOPS, AND TRASH CANS. THE STYLE OF BENCHES AND TRASH CANS VARIES.

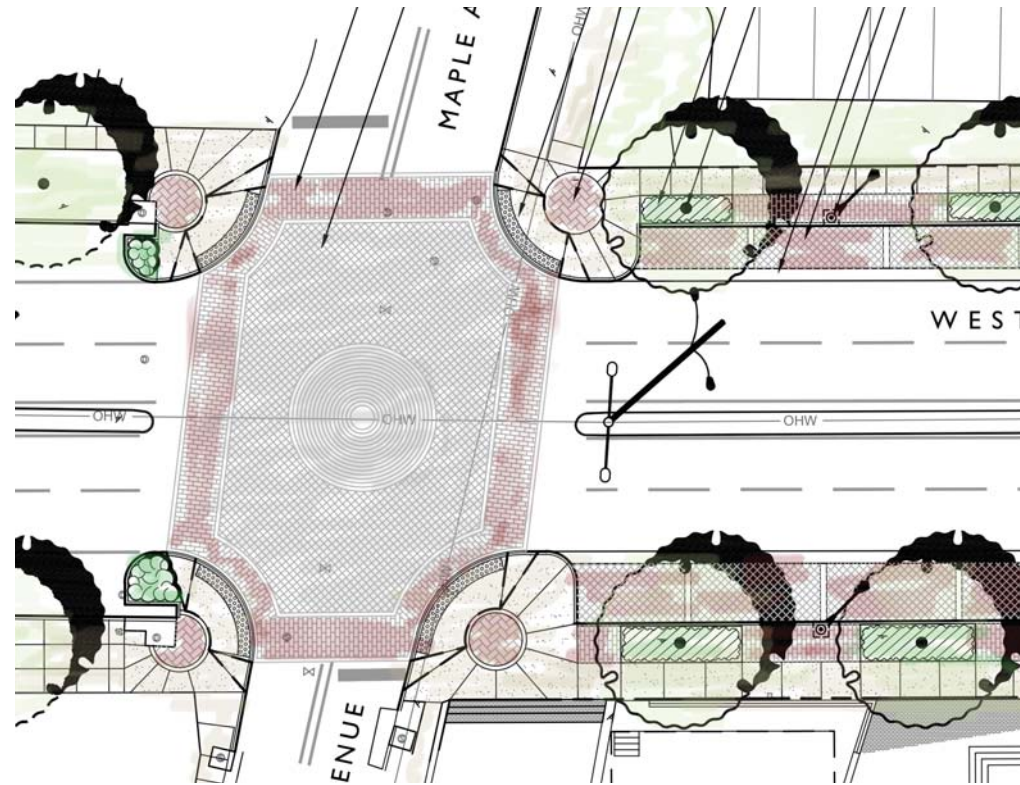
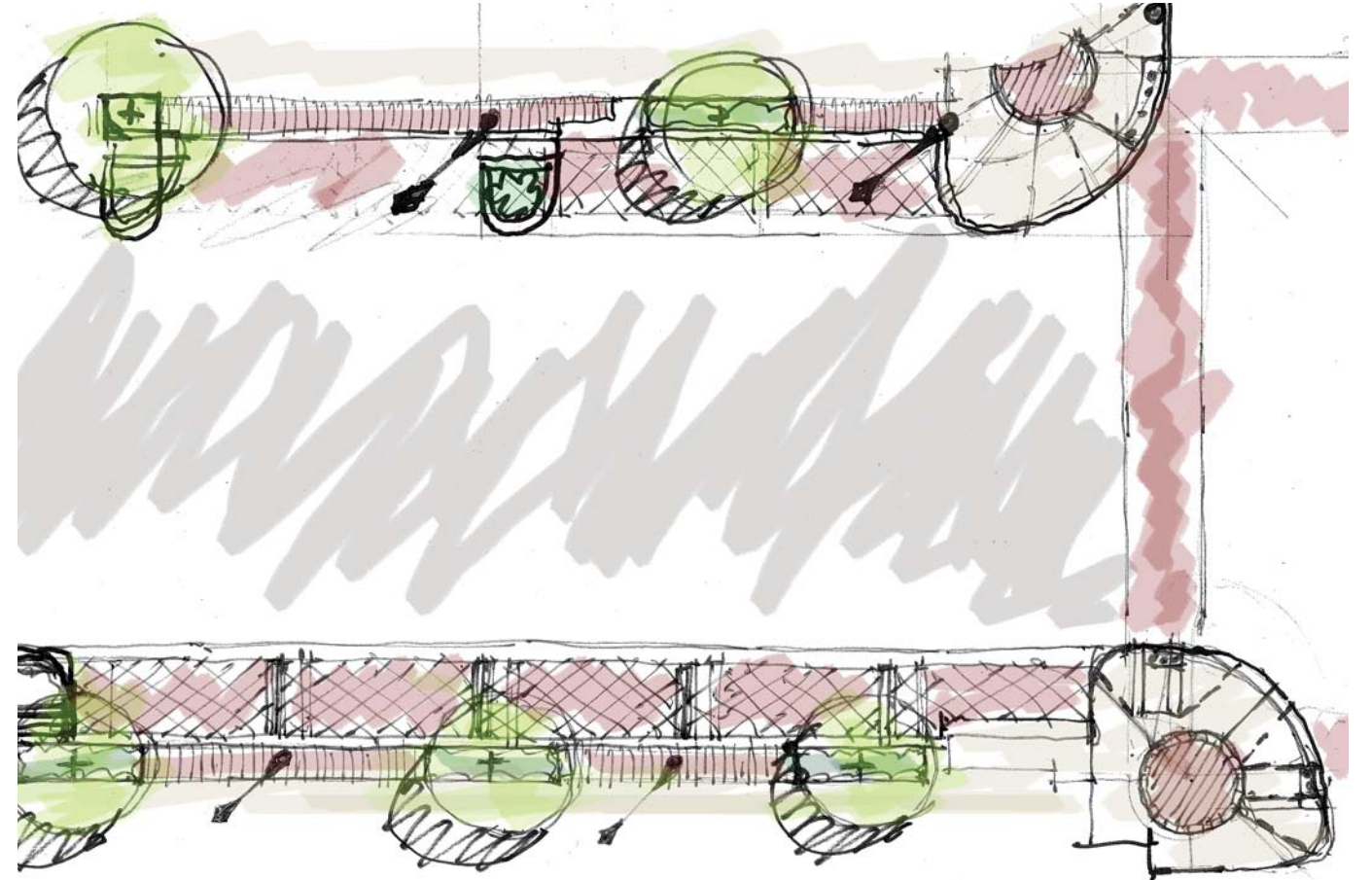
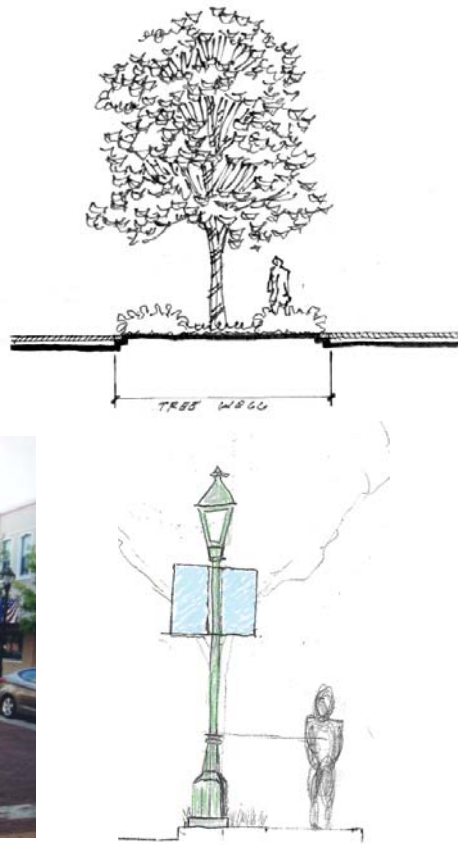
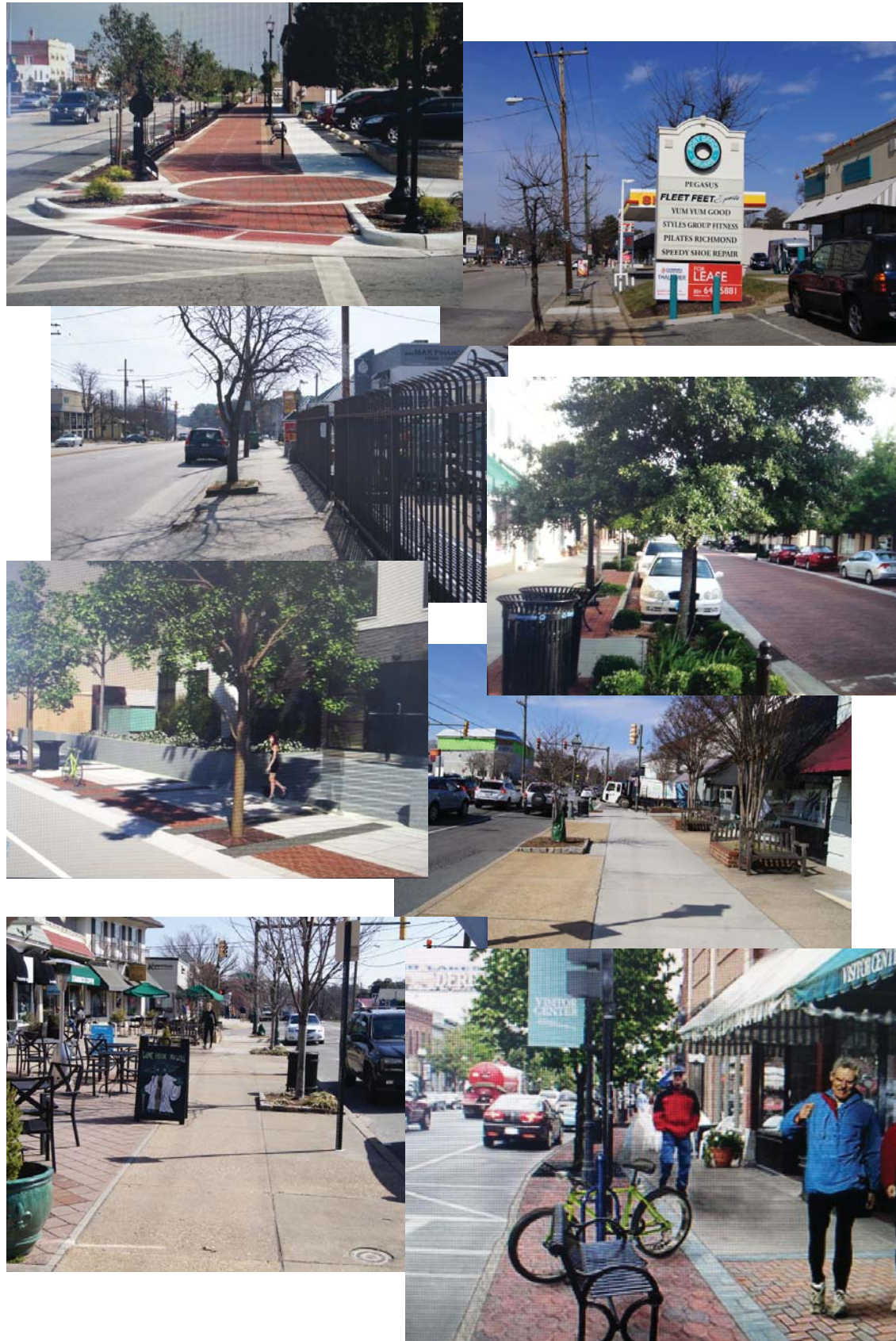


**SIGNAGE**

SIGNAGE IS LIMITED TO TWO SIGNS LOCATED ON LIBBIE AVENUE ON EITHER SIDE OF GROVE. EXISTING SIGNS IDENTIFY 'LIBBIE GROVE' AREA.







**SCHEMATIC DESIGN PROCESS**

DESIGN STARTED WITH A SURVEY OF THE PROJECT AREA AND A MULTITUDE OF PHOTOGRAPHS UP AND DOWN PATTERSON AND GROVE. RESEARCH PROVIDED PRECEDENTS THAT APPLIED TO THE AREA. DIFFERENT IDEAS WERE APPLIED TO THE STREETScape WITH VARYING DEGREES OF SUCCESS. AT EVERY STAGE THE PROCESS EXPOSED NEW CHALLENGES AND OPPORTUNITIES. SOME IDEAS WERE ABANDONED BECAUSE THE IMPACT DID NOT JUSTIFY THE COST. OTHER IDEAS FELL BY THE WAYSIDE BECAUSE THEY ONLY COMPLIMENTED CERTAIN SECTIONS WITHIN THE OVERALL AREA. THE RECOMMENDATIONS THAT FOLLOW ARE THE END RESULT OF THIS PROCESS.

**PATTERSON & GROVE AVENUES | STREETScape DESIGN**





# PROPOSED IMPROVEMENTS

## A STREET TREES

STREET TREES COMBINED WITH LOW LEVEL PLANTINGS IN EXPANDED TREE WELLS HELP TO SOFTEN THE STREETScape. EXPANDED TREE WELLS PROVIDE MORE ROOM FOR ROOT GROWTH DECREASING THE CHANCE FOR HEAVING SIDEWALKS. (SEE PAGES 12-15 FOR ADDITIONAL INFORMATION.)

## B DECORATIVE STREET LIGHT

THE DECORATIVE STREET LIGHTS THAT ARE THE MOST IDENTIFIABLE FEATURE ALONG GROVE AND LIBBIE AVENUES ARE CONTINUED ONTO PATTERSON AVENUE. (SEE PAGES 16-17 FOR ADDITIONAL INFORMATION.)

## C SIDEWALK PAVING

A GRIDDED SCORING PATTERN PROVIDES A VISUAL SEPARATION BETWEEN THE SIDEWALK AND STREET AND PROVIDES A SOURCE OF DEFINITION FOR THE AREA. TYPICAL SIDEWALK SCORING IDENTIFIES PATHS OF TRAVEL FOR PEDESTRIANS AND VEHICULAR ENTRANCES. (SEE PAGES 10-11 FOR ADDITIONAL INFORMATION.)

## D CROSSWALKS

MORE PRONOUNCED CROSSWALKS HELP MAKE THE AREA MORE WALKABLE BY EMPHASIZING THE PEDESTRIAN PRESENCE. (SEE PAGES 10-11 FOR ADDITIONAL INFORMATION.)

## E SIGNAGE

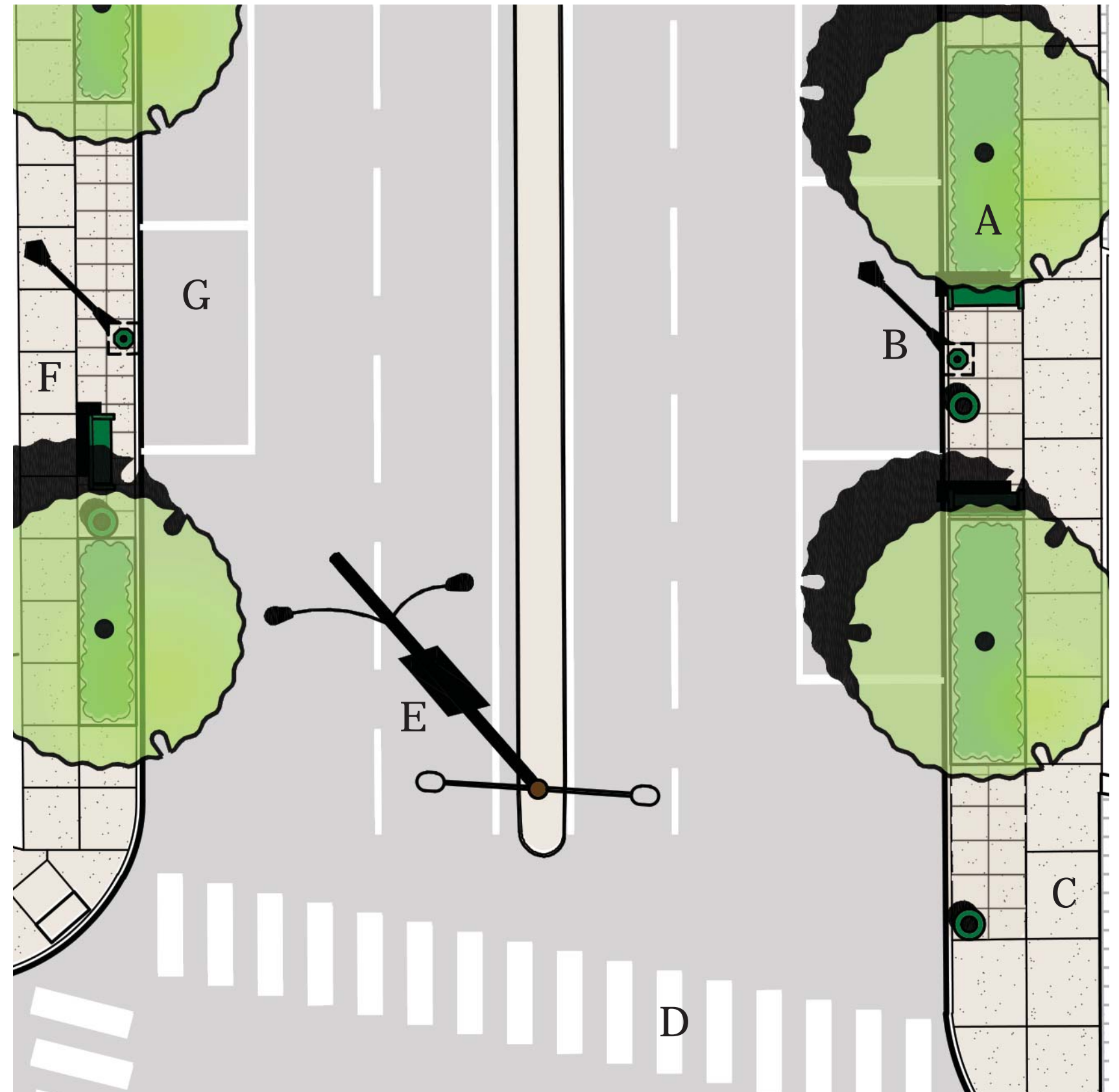
A COMBINATION OF BANNERS MOUNTED ON UTILITY POLES AND ENTRANCE SIGNS AT THE EDGES OF THE AREA CREATE A STRONG IDENTITY FOR THE AREA. (SEE PAGES 18-19 FOR ADDITIONAL INFORMATION.)

## F SITE FURNISHINGS

BENCHES, BIKE BOLLARDS, AND TRASHCANS LOCATED THROUGHOUT THE AREA PROVIDE A MORE USER FRIENDLY EXPERIENCE. (SEE PAGES 16-17 FOR ADDITIONAL INFORMATION.)

## G PARKING SPACE MARKINGS

WELL MARKED PARKING LANES MAKE IT EASIER TO IDENTIFY AVAILABLE SPACES AND HELPS REDUCE INTERFERENCE WITH DRIVEWAYS AND INTERSECTIONS. (SEE PAGES 10-11 FOR ADDITIONAL INFORMATION.)







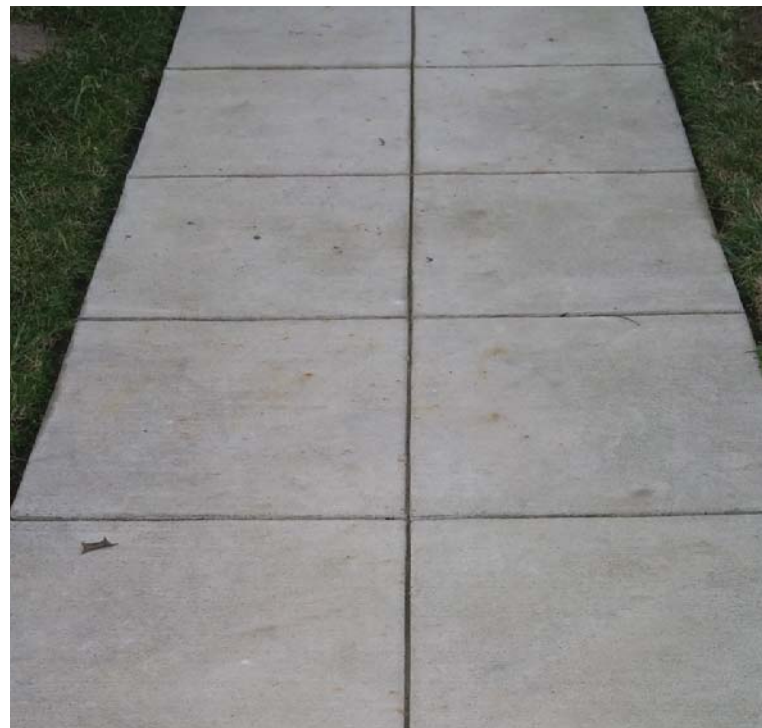




**BRUSHED CONCRETE:** EXISTING SIDEWALK, REPAIRED AS NEEDED, MARKS THE PATH FOR PEDESTRIANS. CONCRETE CLEARLY DEFINES DRIVEWAY ENTRANCES WHERE IT CROSSES THE TIGHTER GRIDDED SCORING PATTERN.



**PARKING SPACE MARKING:** CLEARLY MARKED PARKING SPACES WILL HELP REDUCE CONFUSION ABOUT WHERE PARKING IS ACCEPTABLE.



**TIGHTER GRIDDED SCORING:** CREATE A VISUAL SEPARATION BETWEEN ROAD AND SIDEWALK, DEFINES AREAS FOR SITE FURNISHINGS, AND PROVIDES A DEFINING FEATURE FOR THE AREA.



**CROSSWALK MARKING:** MORE PRONOUNCED CROSSWALK MARKINGS EMPHASIZE THE PEDESTRIAN PRESENCE.











**Acer rubrum - Red Maple**

Category: Tree  
 Native: Yes  
 Evergreen: No  
 Fall Color: Red  
 Height: 35'-45'  
 Width: 25'-30'  
 Exposure: Full Sun  
 Irrigation: Moderate water needs  
 Drought Tolerant: Yes  
 Growth rate: Moderate to Fast



**Cercis canadensis - Redbud**

Category: Tree  
 Native: Yes  
 Evergreen: No  
 Fall Color: Yellow  
 Bloom: Pink blooms in Spring  
 Height: 20'-25'  
 Width: 25'-30'  
 Exposure: Full to Partial Sun  
 Irrigation: Moderate water needs  
 Drought Tolerant: Yes  
 Growth rate: Moderate to Fast

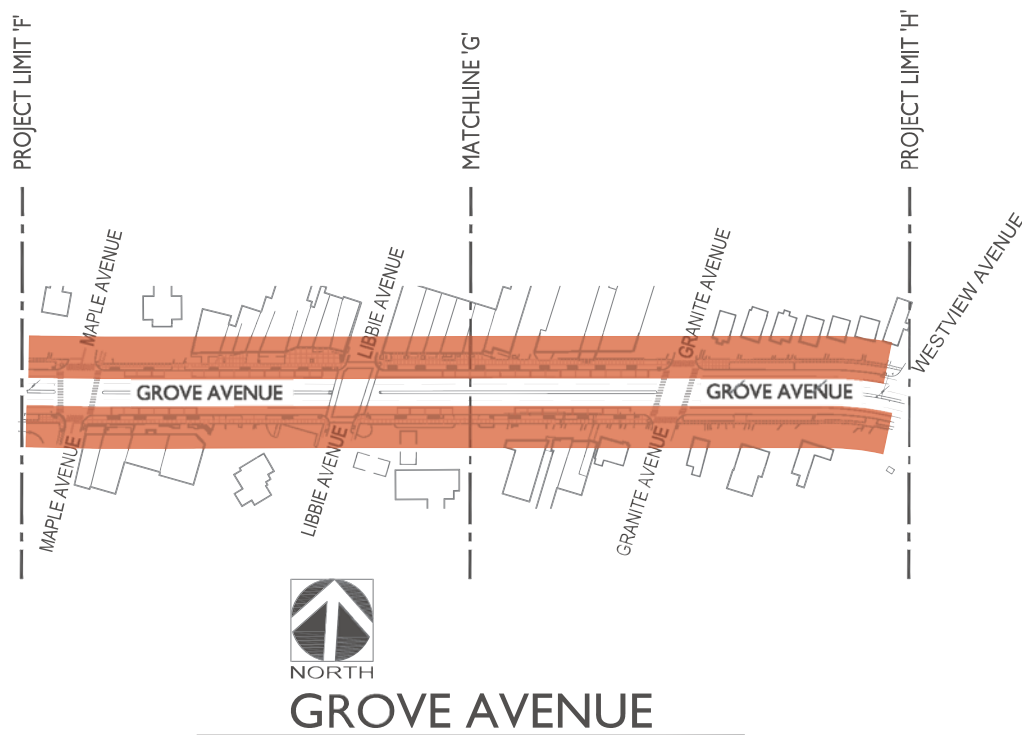
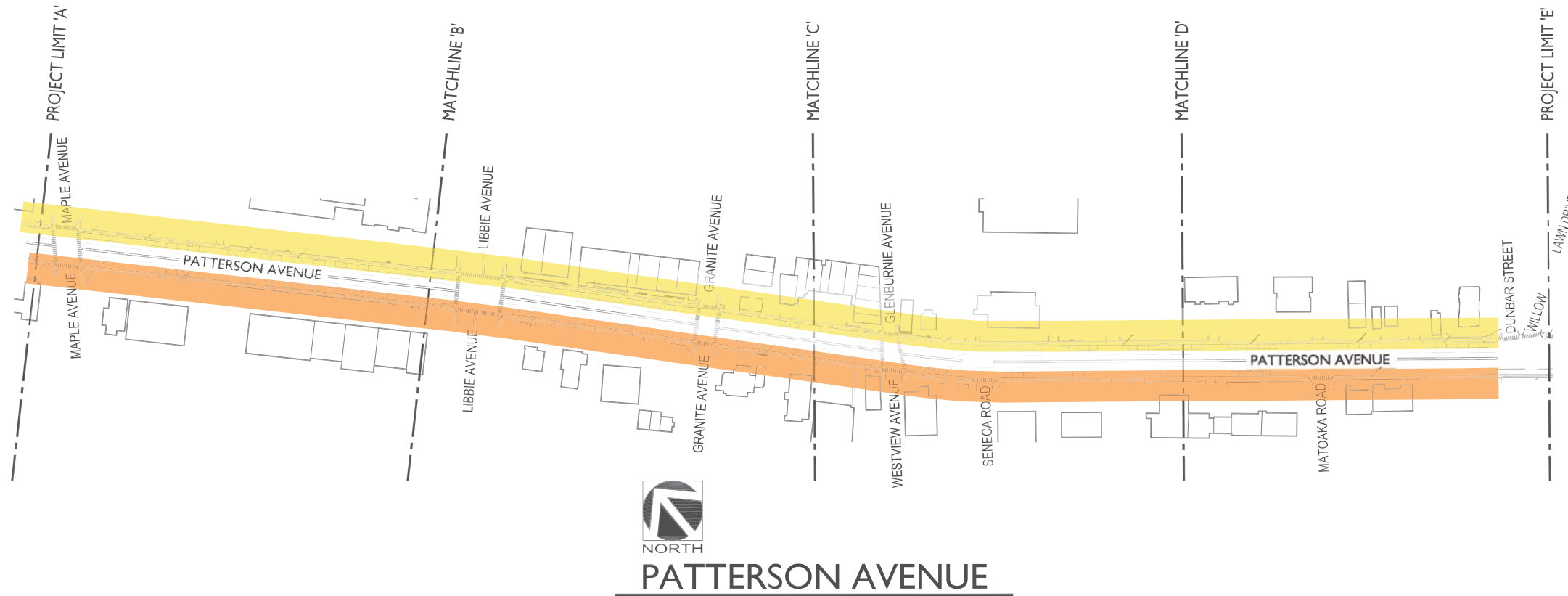




**Pistacia chinensis - Chinese Pistache**



Category: Tree  
 Native: No  
 Evergreen: No  
 Fall Color: Orange-Red  
 Height: 25'-35'  
 Width: 25'-30'  
 Exposure: Full to Partial Sun  
 Irrigation: Moderate water needs  
 Drought Tolerant: Yes  
 Growth rate: Moderate









- 


**REDBUD**  
NORTH SIDE OF PATTERSON  
UNDER UTILITY LINES
- 


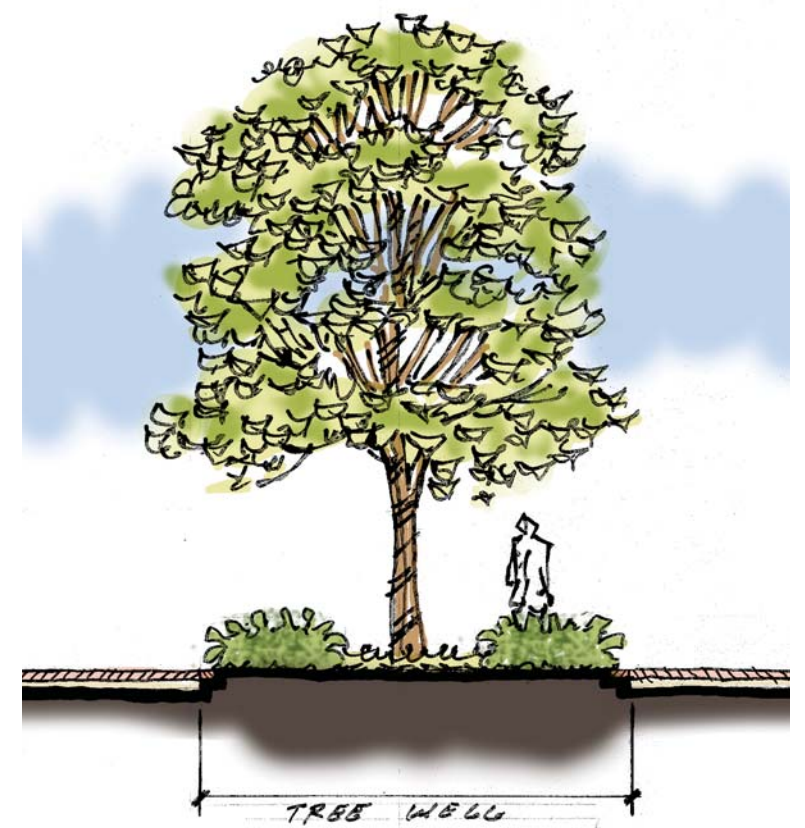
**CHINESE PISTACHE**  
SOUTH SIDE OF PATTERSON
- 


**RED MAPLE**  
BOTH SIDES OF GROVE

NOTE: TREE SELECTION PER CITY OF RICHMOND ARBORIST DIRECTION.



EXPANDED TREE WELL, DOWNTOWN RICHMOND



**EXPANDED TREE WELL:** EXPANDING THE SIZE OF TREE WELLS PROVIDES ADDITIONAL AREA FOR THE TREE'S ROOT GROWTH. SHRUB, ORNAMENTAL GRASS, AND GROUNDCOVER PLANTINGS IN THE TREE WELL ADD INTEREST AND HELP SOFTEN THE EXPANSES OF HARD SURFACE.





**Ilex vomitoria 'Bordeaux' - Dwarf Yaupon Holly**

Category: Shrub  
 Native: Yes  
 Evergreen: Yes  
 Flower Color: N/A  
 Bloom time: N/A  
 Height: 2'  
 Width: 3'-4'  
 Exposure: Full to Part Sun  
 Irrigation: Low Water Needs  
 Growth rate: Moderate to fast



**Abelia x grandiflora 'Radiance' - Radiance Abelia**

Category: Shrub  
 Native: No  
 Evergreen: Yes  
 Flower Color: White  
 Bloom time: Summer to Fall  
 Height: 2'-3'  
 Width: 3'-4'  
 Exposure: Full to Part Sun  
 Irrigation: Low Water Needs  
 Growth rate: Moderate to Fast



**Rozanne Geranium**

Category: Groundcover  
 Native: No  
 Evergreen: Yes  
 Flower Color: Purple  
 Bloom time: Summer  
 Height: 1'  
 Width: 1.5'-2'  
 Exposure: Full Sun  
 Irrigation: Low Water Needs  
 Growth rate: Moderate



**Muhlenbergia capillaris - Pink Muhly Grass**

Category: Ornamental Grass  
 Native: No  
 Evergreen: Yes  
 Flower Color: Pink  
 Bloom time: Summer  
 Height: 2'-3'  
 Width: 2'-3'  
 Exposure: Full to Part Sun  
 Irrigation: Low Water Needs  
 Growth rate: Moderate



**Liriope spicata - Creeping Lilyturf**

Category: Groundcover  
 Native: No  
 Evergreen: Yes  
 Flower Color: White  
 Bloom time: Summer  
 Height: 1'  
 Width: 2'+  
 Exposure: Full Sun to Part Shade  
 Irrigation: Low Water Needs  
 Growth rate: Fast



**Hypericum calycinum - St. John's Wort**

Category: Groundcover  
 Native: No  
 Evergreen: Yes  
 Flower Color: Yellow  
 Bloom time: Summer  
 Height: 1'  
 Width: 2'  
 Exposure: Full Sun to Part shade  
 Irrigation: Low Water Needs  
 Growth rate: Moderate







**DECORATIVE STREET LAMP:** THE EXISTING STREET LAMPS ON GROVE AVENUE ARE ONE OF THE MOST RECOGNIZABLE ELEMENTS IN THE AREA. EXTENDING THE USE OF THIS STREET LAMP THROUGHOUT THE AREA WILL PROVIDE A UNIFYING ELEMENT.



STEEL BENCH  
COLOR: DARK GREEN



EXISTING STEEL BENCH, PATTERSON AVENUE



STEEL TRASH CAN  
COLOR: DARK GREEN

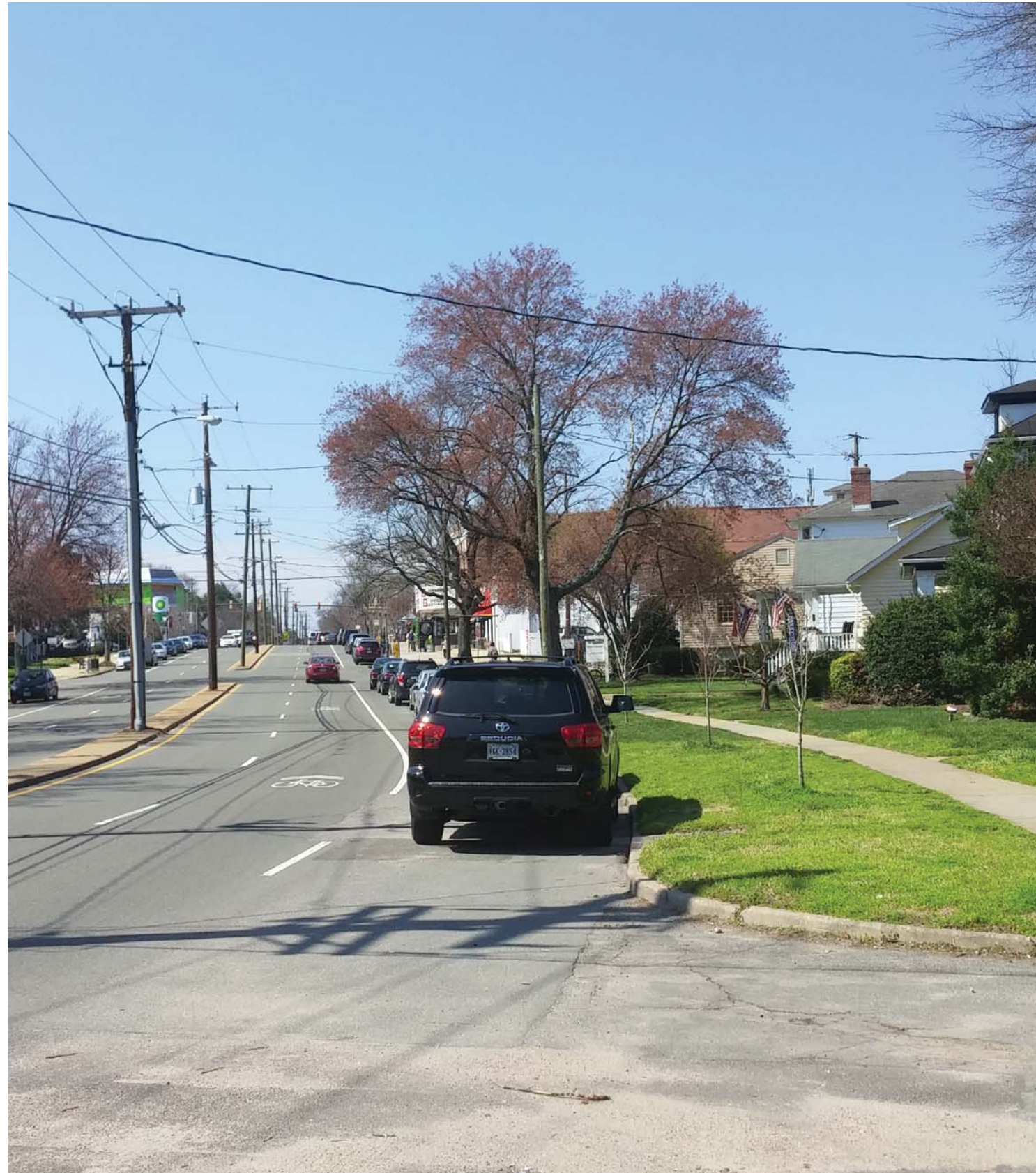


STEEL BIKE RACK  
COLOR: DARK GREEN

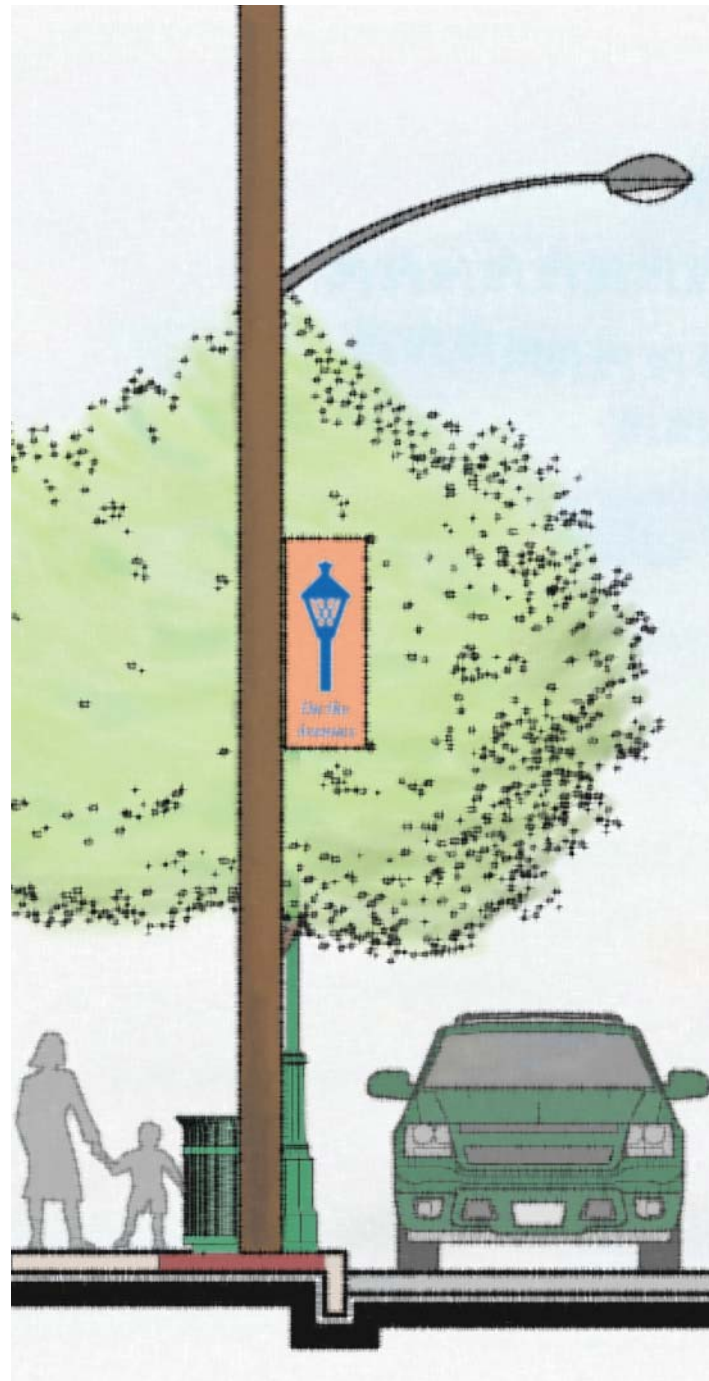


EXISTING BIKE RACKS, RICHMOND PUBLIC LIBRARY  
BELMONT AND ELWOOD AVENUES







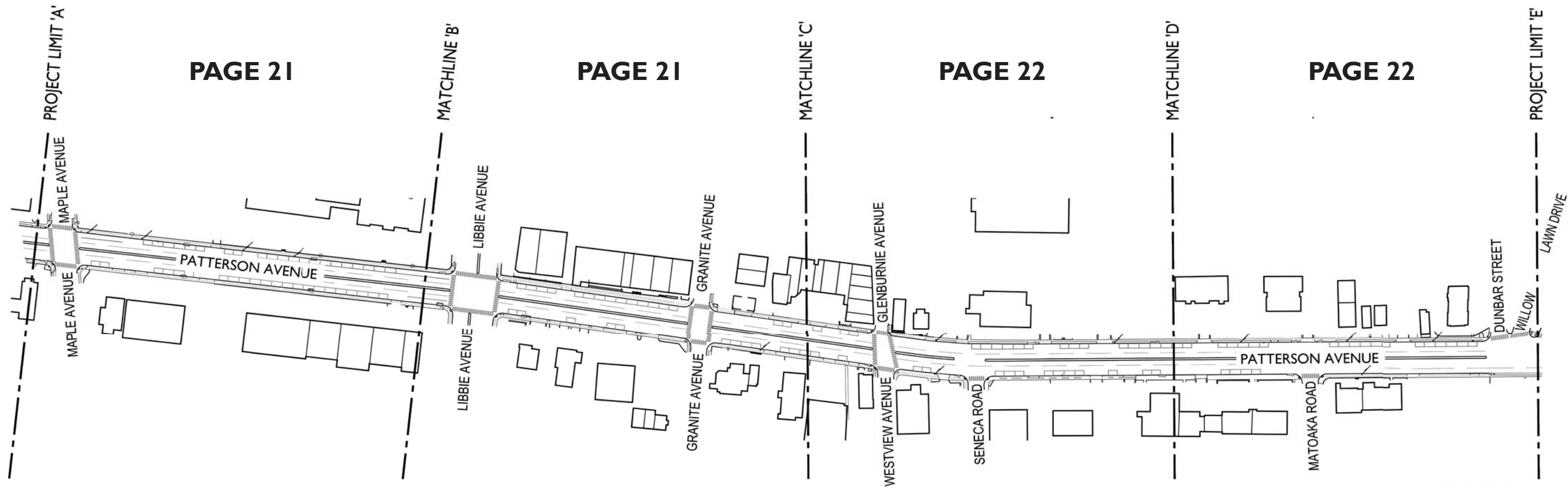


**BANNERS:** BANNERS ARE USED THROUGHOUT THE RICHMOND AREA TO DEFINE SPECIFIC AREAS. BANNERS WOULD BE ATTACHED TO UTILITY POLES ON BOTH SIDES OF THE STREET ON PATTERSON AVENUE AND DOWN THE MIDDLE OF THE STREET ON GROVE AVENUE.

**AREA IDENTIFICATION SIGNS:** AREA IDENTIFICATION SIGNS ARE PROPOSED AT EITHER END OF THE STUDY AREA ON BOTH PATTERSON AND GROVE AVENUE.



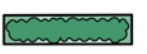


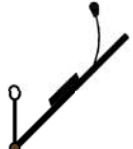













## LEGEND

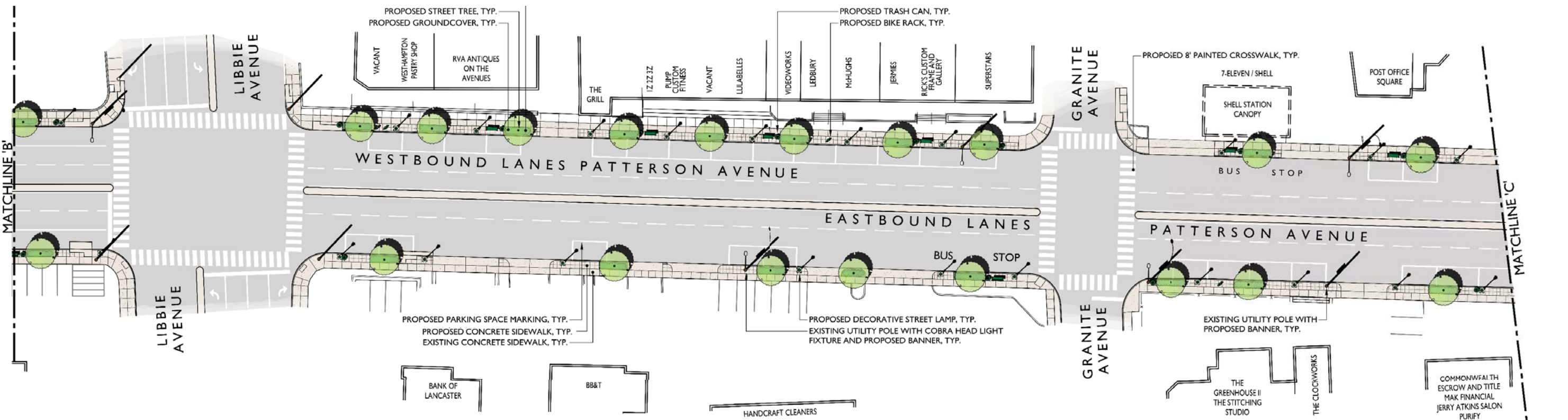
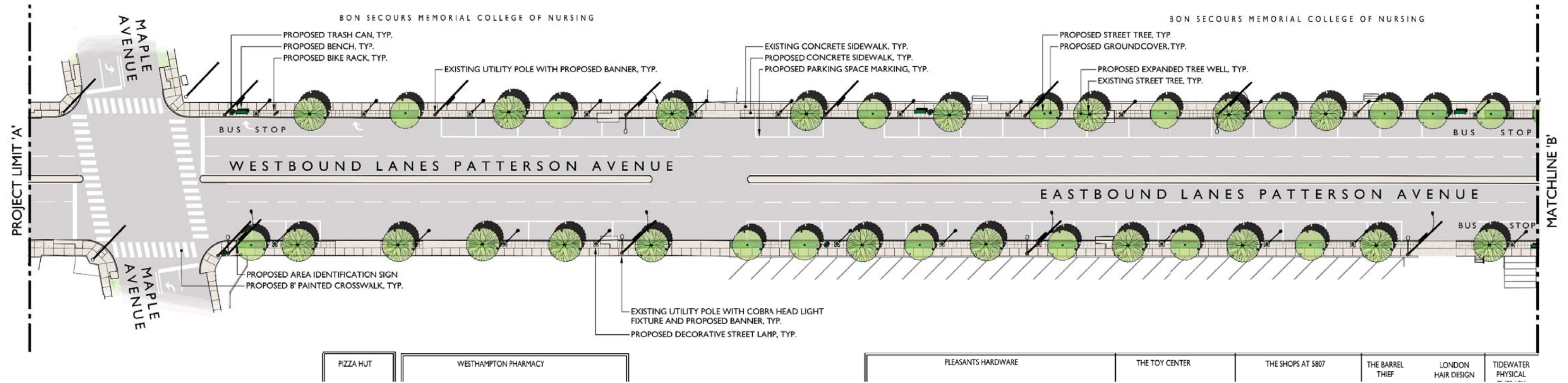


-  PROPOSED STREET TREE
-  EXSISTING STREET TREE
-  EXPANDED TREE WELL WITH GROUNDCOVER
-  PROPOSED CONCRETE SIDEWALK
-  EXISTING CONCRETE SIDEWALK
-  EXSISTING UTILITY POLE WITH COBRA HEAD LIGHT AND PROPOSED BANNER
-  EXISTING UTILITY POLE WITH PROPOSED BANNER
-  PROPOSED DECORATIVE STREET LAMP
-  PROPOSED 8' PAINTED CROSSWALK
-  PROPOSED PARKING SPACE MARKING
-  PROPOSED BENCH
-  PROPOSED BIKE RACK
-  PROPOSED TRASHCAN



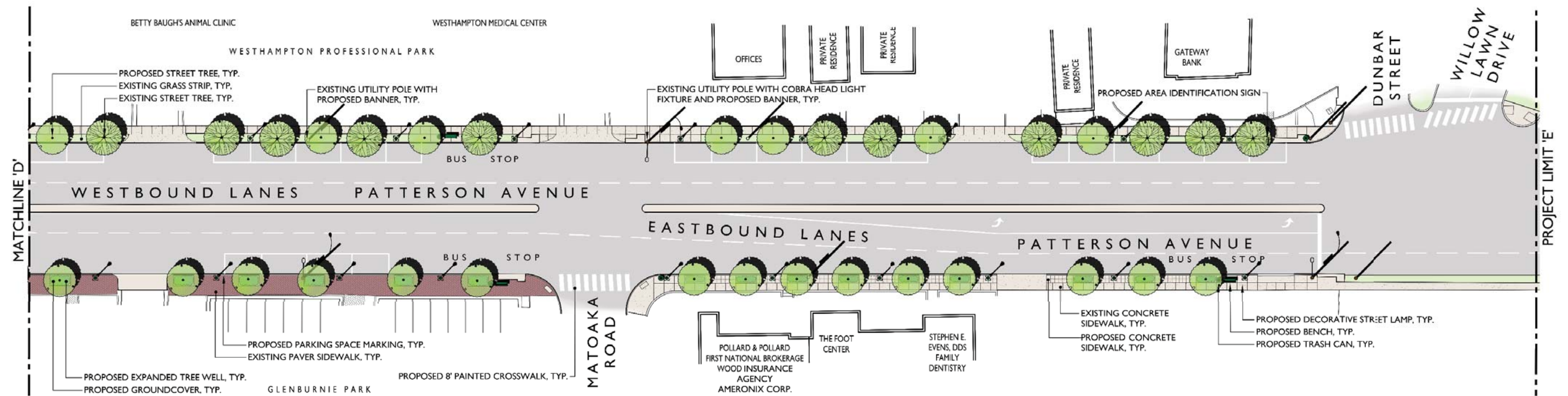
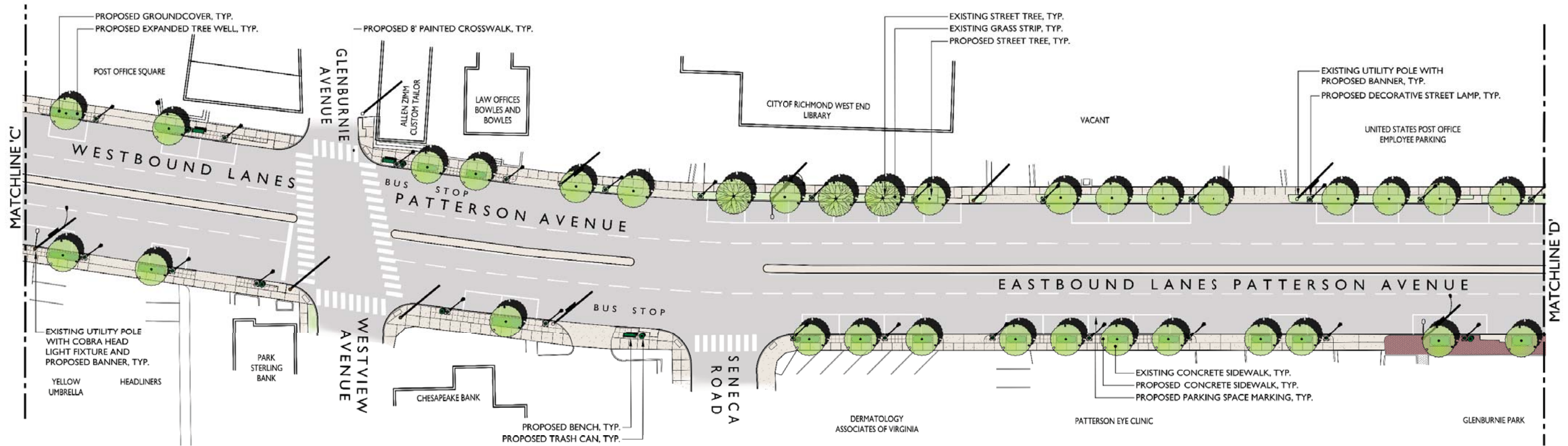
## PATTERSON & GROVE AVENUES | STREETScape DESIGN



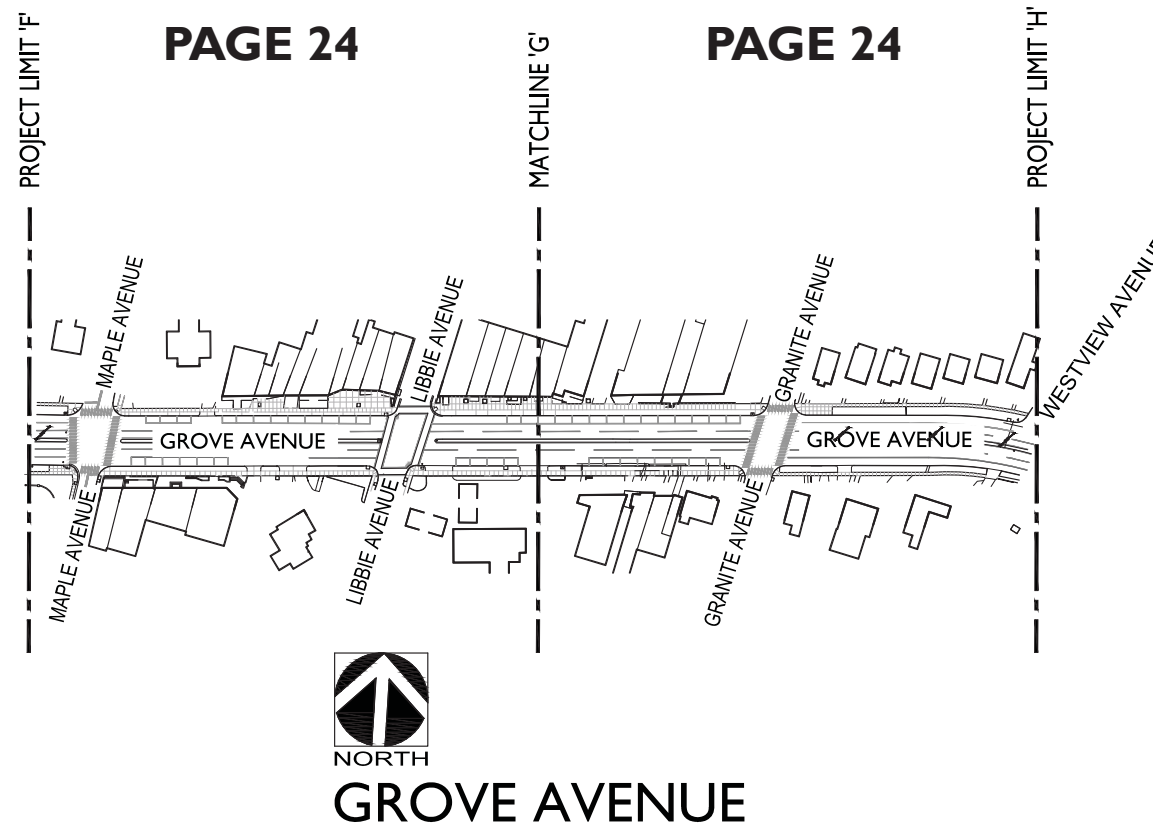


**PATTERSON & GROVE AVENUES | STREETSCAPE DESIGN**


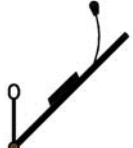







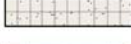







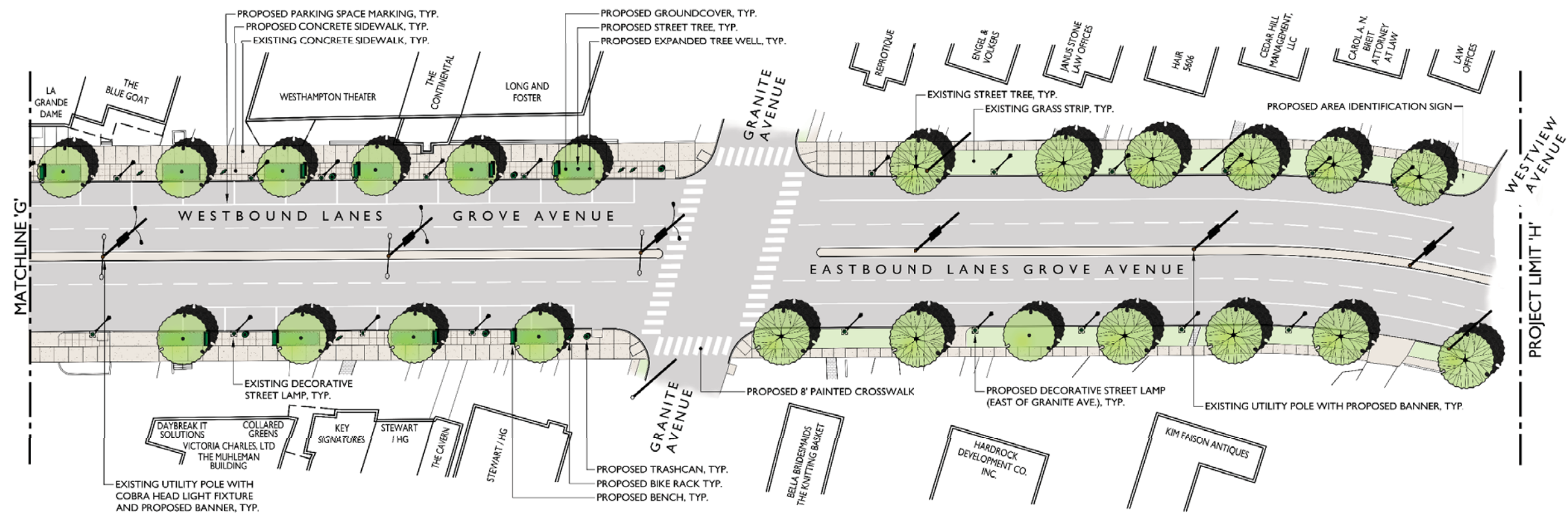
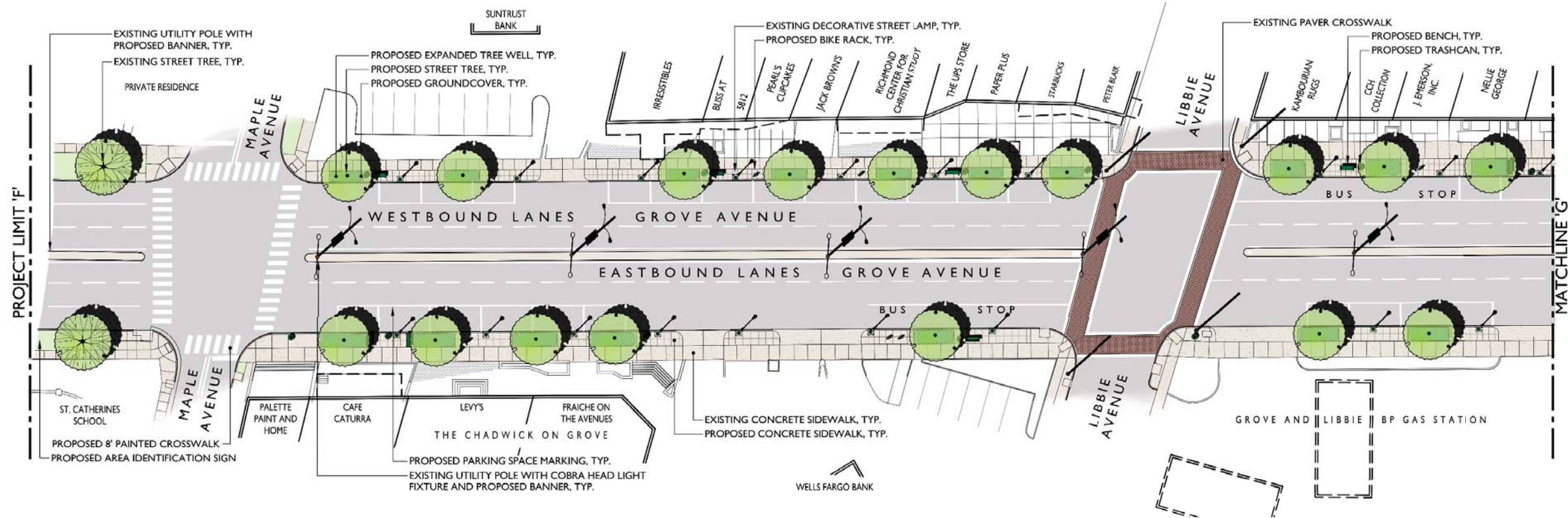




## LEGEND

- |   |                                     |   |   |   |                                |
|---|-------------------------------------|---|---|---|--------------------------------|
|  | PROPOSED STREET TREE                |  | EXISTING UTILITY POLE WITH COBRA HEAD LIGHT AND PROPOSED BANNER |  | PROPOSED 8' PAINTED CROSSWALK  |
|  | EXISTING STREET TREE                |  | EXISTING UTILITY POLE WITH PROPOSED BANNER                      |  | PROPOSED PARKING SPACE MARKING |
|  | EXPANDED TREE WELL WITH GROUNDCOVER |  | PROPOSED DECORATIVE STREET LAMP                                 |  | PROPOSED BENCH                 |
|  | PROPOSED CONCRETE SIDEWALK          |   |   |  | PROPOSED BIKE RACK             |
|  | EXISTING CONCRETE SIDEWALK          |   |   |  | PROPOSED TRASHCAN              |





**PATTERSON & GROVE AVENUES | STREETScape DESIGN**



**LIBBIE AVENUE**

LIBBIE AVENUE WAS NOT INCLUDED IN THIS STUDY. HOWEVER, LIBBIE'S ROLE AS A CONNECTOR BETWEEN GROVE AND PATTERSON MAKES IT A CRITICAL COMPONENT IN CREATING A UNIFIED IDENTITY FOR THE WESTHAMPTON COMMERCIAL DISTRICT. IT IS RECOMMENDED THAT THE ELEMENTS INCLUDED IN THIS STREETScape DESIGN BE ADAPTED AND APPLIED TO LIBBIE AVENUE TO PROVIDE CONTINUITY THROUGHOUT THE AREA.

**CENTRAL FOCAL POINT**

IT WAS SUGGESTED DURING THE DESIGN PROCESS THAT SOME TYPE OF CENTRAL FOCAL POINT SUCH AS A CLOCK TOWER COULD BE USEFUL IN CREATING A CENTER FOR THE WESTHAMPTON COMMERCIAL DISTRICT. THE EXCLUSION OF LIBBIE AVENUE FROM THIS STUDY MAKES IT DIFFICULT TO IDENTIFY WHAT MIGHT BEST BE CONSIDERED A CENTER FOR THE DISTRICT. IT IS RECOMMENDED THAT THE IDEA OF A CENTRAL FOCAL POINT BE CONSIDERED IN MORE DETAIL LOOKING AT THE DISTRICT AS A WHOLE.



**PUBLIC ART**

THE STREETScape ALONG PATTERSON AND GROVE AVENUES PRESENTS THE OPPORTUNITY TO PROVIDE SPACE FOR PUBLIC ART DISPLAYS. EXACT LOCATIONS WOULD DEPEND ON THE SCALE AND CHARACTER OF THE PIECE TO BE DISPLAYED. THE INCLUSION OF PUBLIC ART IN THE STREETScape SHOULD BE ASSESSED AS PART OF CONSTRUCTION PHASING.



**CONNECTION TO STREETScape OUTSIDE OF THE RIGHT OF WAY**

IN SEVERAL AREAS ALONG GROVE AND PATTERSON AVENUES SIDEWALK AREAS OUTSIDE OF THE RIGHT OF WAY CONTRIBUTE SIGNIFICANTLY TO THE CHARACTER OF THE STREETScape. OPPORTUNITIES TO STRENGTHEN THE CONNECTION BETWEEN THE STREETScape AND ADJACENT PROPERTIES SHOULD BE EXPLORED AND ENCOURAGED. ONE IDEA THAT WAS RAISED DURING DESIGN WAS THE USE OF STRING LIGHTS STRUNG FROM BUILDINGS TO STREET LIGHTS TO CREATE OTHER OPPORTUNITIES INCLUDE THE USE OF CONTRASTING PAVING, OUTDOOR SEATING AND LANDSCAPING TO CREATE DISTINCT RELATIONSHIPS BETWEEN PRIVATE AND PUBLIC SPACE.



**CONSTRUCTION PHASING**

THERE ARE LIMITED FUNDS AVAILABLE FOR PHASE I CONSTRUCTION. IT IS RECOMMENDED THAT WORK IN PHASE I BE CONCENTRATED IN A COUPLE OF BLOCKS IN ORDER TO SHOW THE FULL IMPACT OF ALL OF THE ELEMENTS WORKING TOGETHER. IT IS HOPED THAT BY SHOWING A CLEAR PICTURE OF THE STREETScape'S POTENTIAL, IT WILL PAVE THE WAY FOR GAINING SUPPORT FOR FUTURE PHASES.

**MAINTENANCE**

THE ULTIMATE SUCCESS OF THE STREETScape PLAN FOR GROVE AND PATTERSON AVENUES WILL DEPEND GREATLY ON THE MAINTENANCE OF THE IMPROVEMENTS AFTER CONSTRUCTION. THE CREATION OF A PUBLIC/PRIVATE PARTNERSHIP BETWEEN THE CITY OF RICHMOND AND THE WESTHAMPTON MERCHANTS ASSOCIATION SEEMS TO PROVIDE THE BEST OPPORTUNITY FOR PROVIDING STRONG ONGOING MAINTENANCE.

